

- Case Number: 2026SP-008-001
- The purpose of this SP is to permit a mixed-use development.
- No new construction is proposed, only rehabilitation of the existing structure.
- Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.

Dragon Bowl & Boba

HIBACHI, SUSHI, RAMEN, WINGS, FRIES, BOBA TEA ...

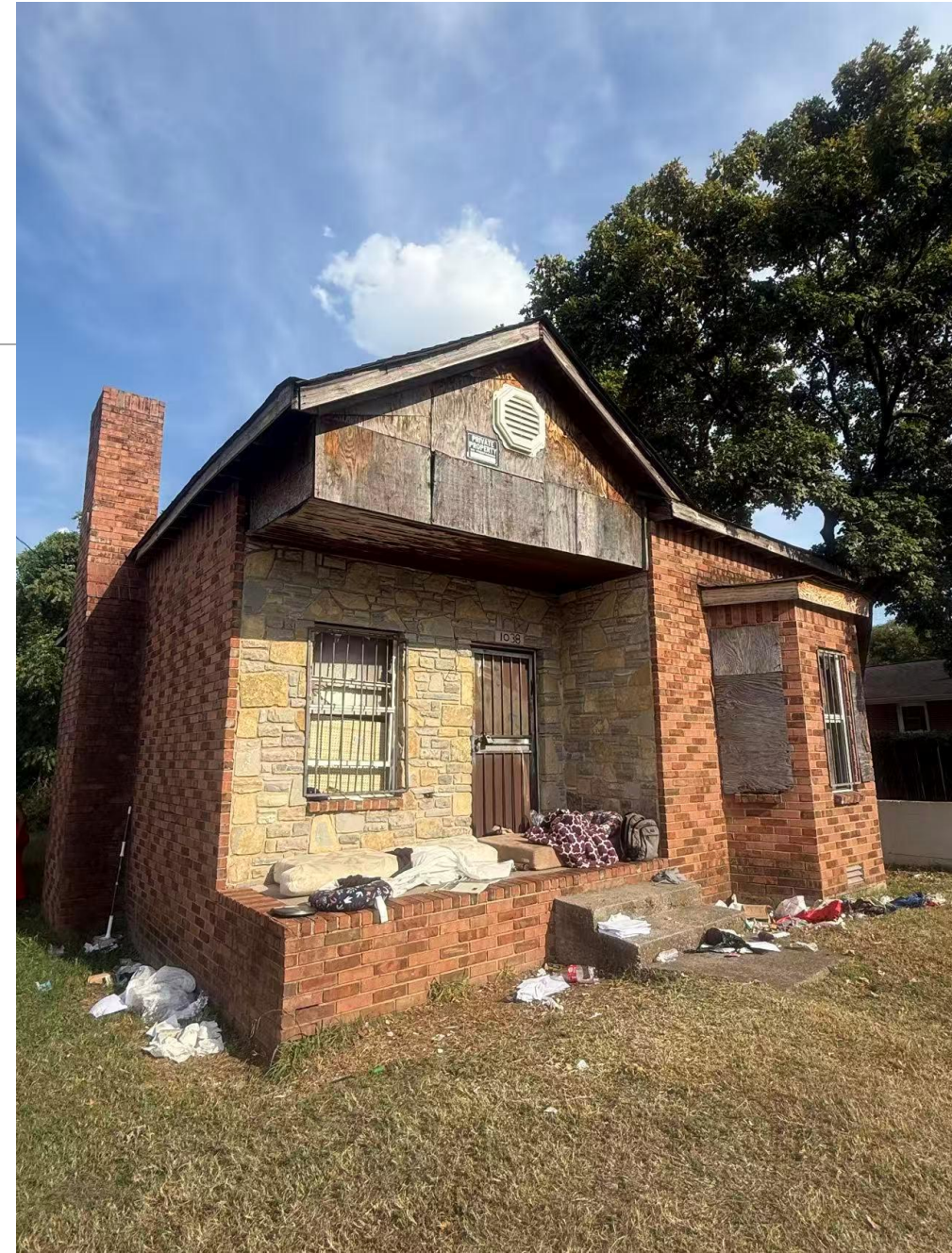
TAKE-OUT

1038 28TH AVE N., NASHVILLE, TN 37208

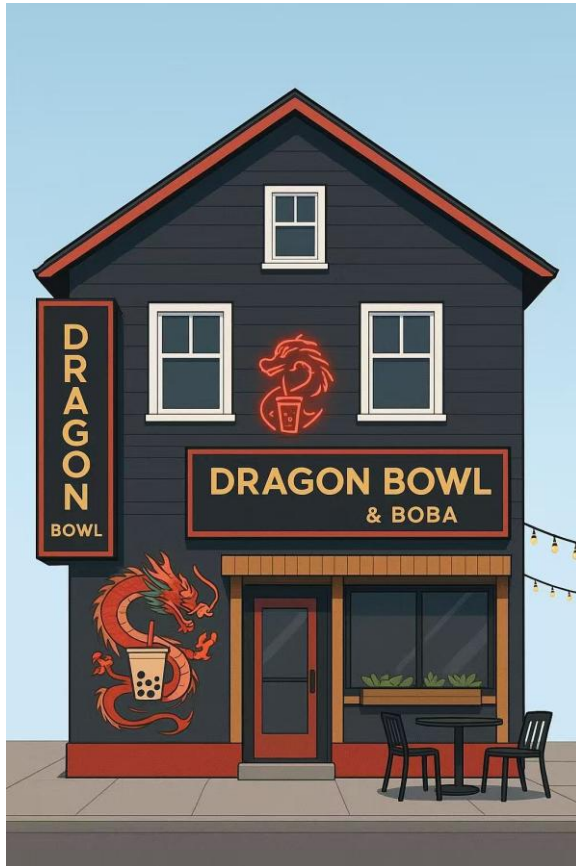
9/12/2025

Too many past code violations ...

- Time for a positive change!
- Renovation of the existing building only.
- NO new development/construction.



Proposed Renderings



Proposed Offerings

Hibachi, sushi, ramen, wings, fries, boba tea ...

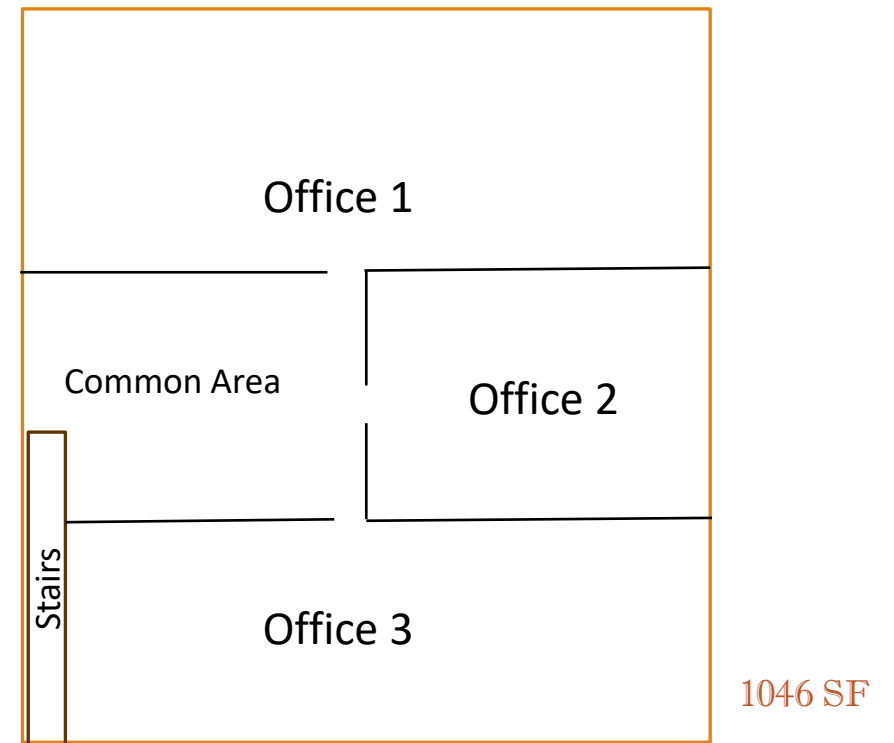
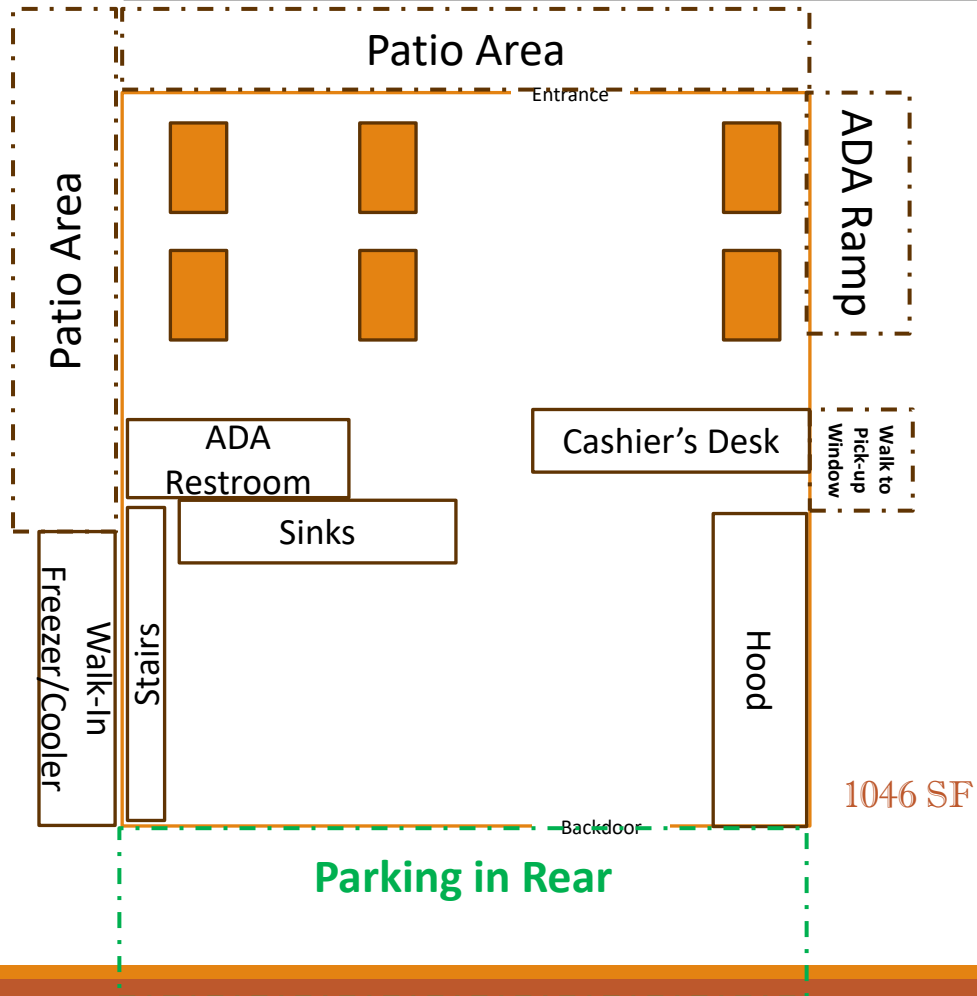


Small dine-in & mainly take-out



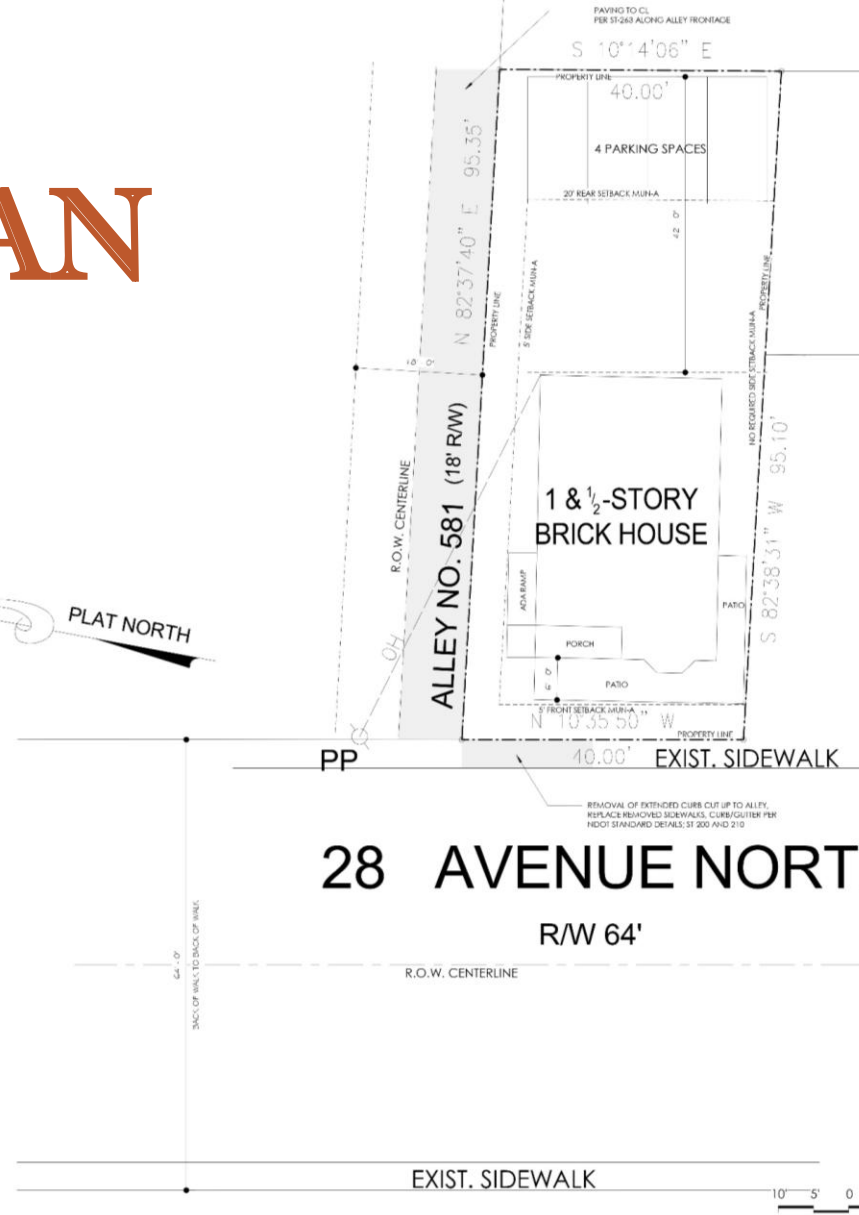
Main Level: Restaurant

Upper Level: Offices



~9 months to complete after receiving permit

SITE PLAN



PURPOSE NOTE: THE PURPOSE OF THE SP IS TO PROVIDE A MIXED USE DEVELOPMENT

CURRENT ZONING: R6
FALLBACK ZONING: MUN-A
PERMITTED USES: RESTAURANT TAKE-OUT, OFFICES

NOT PERMITTED: NO SHORT TERM RENTAL OCCUPIED OR NON-OWNER OCCUPIED

NO NEW CONSTRUCTION IS PROPOSED, ONLY REHABILITATION OF EXISTING STRUCTURE

BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH PRELIMINARY SP

LOT IS IN THE URBAN ZONING OVERLAY SO PARKING IS NOT REQUIRED.

Project Manager:
e-mail:

Project Manager:
e-mail:

DRAGON BOWL AND BOBA SP

1038 28TH AVE. N.
NASHVILLE, TN 37208

Revision Schedule		
Revision Number	Revision Description	Revision Date

Sheet Information

Date: 2 APR. 26
Job Number: 19045
Drawn By: ARCHITECTURAL
Checked By: Checker
Approved By: Approver

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Sheet Description:
SITE PLAN

Sheet:
A100

CASE #: 2026SP-008-001

Zoning Change to Regulated SP



- Changed to a transition policy.
- Change to Regulated SP: All parking shall be in rear. Park in rear and then walk to pick-up window on the side. Absolutely no parking on the street.
- Renovation of the existing building only. NO new development/construction.