

LEGISLATIVE TRACKING FORMFiling for Council Meeting Date: 08/04/26☐ Resolution ☒ OrdinanceContact/Prepared By: Antony KwanyaDate Prepared: 07/27/26Title (Caption): An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville andDavidson County, through the Metropolitan Board of Parks and Recreation, and Ben Allen Land Partners, LLC, forgreenway improvements at 329 Ben Allen Road. (Proposal No.2026M-032AG-001)Submitted to Planning Commission? ☐ N/A ☒ Yes-Date: 7/10/2026 Proposal No: 2026M-032AG-001Proposing Department: General Services Requested By: Antony KwanyaAffected Department(s): Metro Parks Affected Council District(s): 5**Legislative Category (check one):**

- | | | |
|---|---|--|
| ☐ Bonds | ☐ Contract Approval | ☐ Intergovernmental Agreement |
| ☐ Budget - Pay Plan | ☐ Donation | ☐ Lease |
| ☐ Budget - 4% | ☐ Easement Abandonment | ☐ Maps |
| ☐ Capital Improvements | ☒ Easement Accept/Acquisition | ☐ Master List A&E |
| ☐ Capital Outlay Notes | ☐ Grant | ☐ Settlement of Claims/Lawsuits |
| ☐ Code Amendment | ☐ Grant Application | ☐ Street/Highway Improvements |
| ☐ Condemnation | ☐ Improvement Acc. | ☐ Other: _____ |

FINANCE Amount +/-: \$ _____

Funding Source: Capital Improvement Budget
 Capital Outlay Notes
 Departmental/Agency Budget
 Funds to Metro
 General Obligation Bonds
 Grant
 Increased Revenue Sources

Approved by OMB: _____

Approved by Finance/Accounts: _____

Approved by Div Grants Coordination: _____

Match: \$ _____

Judgments and Losses
 Local Government Investment Project
 Revenue Bonds
 Self-Insured Liability
 Solid Waste Reserve
 Unappropriated Fund Balance
 4% Fund
 Other: _____

Date to Finance Director's Office: _____

APPROVED BY**FINANCE DIRECTOR'S OFFICE:** _____**ADMINISTRATION**

Council District Member Sponsors: _____

Council Committee Chair Sponsors: _____

Approved by Administration: _____ Date: _____

DEPARTMENT OF LAW

Date to Dept. of Law: _____ Approved by Department of Law: _____

Settlement Resolution/Memorandum Approved by: _____Date to Council: _____ For Council Meeting: _____ ☐ E-mailed Clerk
☐ All Dept. Signatures ☐ Copies ☐ Backing ☐ Legislative Summary ☐ Settlement Memo ☐ Clerk Letter ☐ Ready to File

Department of Law – White Copy

Administration –Yellow Copy

Finance Department - Pink Copy

ORDINANCE NO. _____

An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Ben Allen Land Partners, LLC, for greenway improvements at 329 Ben Allen Road (Parcel No. 06100008500) (Proposal No. 2026M-032AG-001).

WHEREAS, Ben Allen Land Partners, LLC (Owner") owns property located at 329 Ben Allen Road (Parcel No. 06100008500); and,

WHEREAS, pursuant to the greenway conservation easement attached hereto as Exhibit A and incorporated herein, Owner proposes to donate, and the Metropolitan Government proposes to accept a conservation greenway easement; and,

WHEREAS, pursuant to Tenn. Code Ann. § 66-9-305 and Metropolitan Charter § 2.01, the Metropolitan Government may accept donations of property interests for the purpose of establishing greenways and providing the public with recreational opportunities in natural areas; and,

WHEREAS, it is in the best interest of The Metropolitan Government of Nashville and Davidson County that the greenway conservation easement agreement be approved.

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That the agreement attached hereto as Exhibit A and incorporated herein is hereby approved, and the Director of Public Property is authorized to execute the same.

Section 2. The Director of Public Property, or his designee, is authorized to accept and record the greenway conservation easement agreement and to take such reasonable actions as may be necessary to carry out the intent of this ordinance.

Section 3. That this ordinance shall take effect from and after its final passage, the welfare of The Metropolitan Government of Nashville & Davidson County requiring it.

RECOMMENDED BY:

Monique Odom
Monique H. Odom, Director
Department of Parks and Recreation

Abraham Wescott
Abraham Wescott, Director
Public Property Administration

INTRODUCED BY:

Member(s) of Council

APPROVED AS TO AVAILABILITY
OF FUNDS:

Jenneen Reed/MJR
Jenneen Reed, Director
Department of Finance

APPROVED AS TO FORM AND
LEGALITY:

Kelli Woodward
Assistant Metropolitan Attorney

AGREEMENT FOR GRANT OF EASEMENT

for

CONSERVATION GREENWAY

THIS AGREEMENT, made and entered into this the 9 day of March, 2026, by and between **The Metropolitan Government of Nashville and Davidson County**, acting by and through its Board of Parks and Recreation (herein referred to as "Metro"), and **BEN ALLEN LAND PARTNERS, LLC**, property owner (herein referred to as Grantor).

WHEREAS, Metro recognizes the increasing benefit of protecting open spaces within the Metropolitan Government area; and

WHEREAS, greenways provide the general public with recreational opportunities in natural areas, preserve, and protect native plant and animal species and their habitat, and provide low-impact transportation routes for pedestrian and bicycle traffic; and

WHEREAS, Metro, by Ordinance No. 091-13, created a Greenways Commission to assist Metro in the development of a system of open space greenways; and

WHEREAS, Grantor is the sole owner in fee simple of certain real property in Davidson County, Tennessee, more particularly described in Exhibits A1–A4 and Exhibits B1–B4 attached hereto and incorporated by this reference (herein referred to as "the Property"); and

WHEREAS, the Property possesses natural, open space, and recreational values (collectively, "conservation values") of great importance to Grantor and the people of Nashville and Davidson County; and

WHEREAS, Grantor intends that the conservation values of the Property be preserved and made more accessible for public enjoyment by the anticipated

incorporation and maintenance of the property as part of the Metro greenways system; and

WHEREAS, Grantor further intends, as owner of the Property, to convey to Metro the right to preserve and protect the conservation values of the Property in perpetuity; and

WHEREAS, Metro has the authority to accept this grant pursuant to Tennessee Code Annotated, Section 66-9-305(d), and Section 11.1002 of the Metropolitan Charter; and

WHEREAS, Metro agrees by accepting this grant to honor the intentions of Grantor stated herein, and to preserve and protect, in perpetuity, the conservation values of the Property for the benefit of the people of Tennessee and the public-at-large.

NOW, THEREFORE, in consideration of the above and the mutual covenants, terms, conditions, and restrictions contained herein, Grantor hereby voluntarily grants and conveys to Metro, its successors and assigns, an easement in perpetuity over the Property of the Grantor (herein referred to as "the Easement") to be located as more particularly shown on Exhibits A1-A4 and Exhibits B1-B4 attached hereto and incorporated by this reference.

1. Purpose. It is the purpose of this grant to allow Metro to utilize the Easement area for one or more of the following: a pathway for pedestrian or bicycle travel, nature trail, and/or natural area. At Grantor sole expense, Grantor shall construct the paved greenway trail, trail shoulders, and greenway amenities (the "Amenities"), including without limitation a trailhead sign and structure and install landscaping (the "Landscaping"), as shown on the Final Site Plan attached hereto as Exhibit C. Grantor further shall forever maintain the paved greenway trail, trail shoulders, the Amenities, and the Landscaping upon inspection and acceptance. For avoidance of doubt, Grantor's obligations under this paragraph shall run with the land and are binding on Grantor's successors and assigns. All of the work described in this paragraph shall be carried out in a manner that best preserves the

open and natural condition of the Property. It is the intention of the parties hereby expressed that the granting of the Easement will not significantly interfere with the conservation values of the Property. Grantor intends that the Easement will confine the use of the Property to such activities as are consistent with the purpose of the Easement.

2. Rights of Metro. To accomplish the purpose of the Easement, the following rights are conveyed to Metro by this grant:

- a. To preserve and protect the conservation values of the Property;
and
- b. To construct and maintain a pathway to be located on the Easement, including, at the discretion of Metro, necessary trailheads, signage, benches, and other improvements consistent with the recreational and educational uses of the pathway and other conservation values; and
- c. To prevent any activity on or use of the Property that is inconsistent with the purpose of the Easement and to require the restoration of such areas or features of the Property that may be damaged by any inconsistent activity or use.

3. Metro Covenants. Metro, by accepting this grant, covenants and agrees, on behalf of itself, its successors and assigns, that the following shall constitute real covenants that shall attach to and run with the easement hereby granted and shall be binding upon anyone who may hereafter come into ownership of such Easement, whether by purchase, devise, descent, or succession, or to be authorized to use said Easement area:

- a. It will make the Easement area available for use by all members of the general public without distinction or illegal discrimination on the grounds of race, color, national origin, handicap, or age.
- b. It will adopt rules and regulations governing the use of the Easement area so as not to permit or suffer any use of the Easement by Grantor or others in violation of

such rules and regulations. At a minimum, the rules and regulations will provide as follows:

- i. That the hours of public access of the Easement shall be from sunrise to sunset.
- ii. That all persons utilizing the Easement area must remain on the pathway.
- iii. That all pets of persons utilizing the pathway must be on a leash at all times.
- iv. That the following activities shall be strictly prohibited:
 1. consumption or possession of alcoholic beverages;
 2. horseback riding;
 3. unauthorized motor vehicles; ebikes are permitted as defined under applicable state law;
 4. collecting or distributing plants, animals or other natural features;
 5. littering or dumping;
 6. possession of firearms, weapons or projected objects (consistent with state law);
 7. playing of radios, musical instruments or other devices in a manner that might disturb others;
 8. vending or other concessions without proper permits;
 9. advertising or posting of bills;
 10. trespassing on adjacent property of Grantor;
 11. any unlawful activities.

4. Other Prohibited Uses. Any activity on or use of the Property inconsistent with the purpose of the Easement is prohibited. The aforementioned express prohibitions shall not limit the generality of this paragraph.

5. Reserved Rights. Grantor reserves to itself, and to its personal representatives, heirs, successors, and assigns, all rights accruing from their ownership of the Property, including the right to engage in or permit or invite others to engage in all uses of the Property that are not expressly prohibited herein and are not inconsistent with the purpose of the Easement. Further, Grantor reserves the right to maintain the subject property consistent with the purposes herein set forth and will maintain it in accordance with all local laws until greenway improvements are accepted by Metro.

6. Metro's Remedies. If Metro determines that Grantor is in violation of the terms of this Agreement or that a violation is threatened, Metro shall give written notice to Grantor of such violation and demand corrective action sufficient to cure the violation and, where the violation involves injury to the Property resulting from any use or activity inconsistent with the purpose of the Easement, to restore the portion of the Property so injured. If Grantor fails to cure the violation within thirty (30) days after receipt of notice thereof from Metro or, under circumstances where the violation cannot reasonably be cured within a thirty (30) day period, fails to continue diligently to cure such violation until finally cured, Metro may bring an action in a court of competent jurisdiction to enforce the terms of this Agreement to enjoin the violation by temporary or permanent injunction, and to recover any damages to which it may be entitled for violation of the terms of this Agreement or for injury to any conservation values protected by the Easement, including damages for the loss of scenic, aesthetic, or environmental values, and to require the restoration of the Property to the condition that existed prior to any such injury. If Metro, in its sole discretion, determines that circumstances require immediate action to prevent or mitigate significant damage to the conservation values of the Property, Metro may pursue its remedies under this paragraph without prior notice to Grantor or without waiting for the expiration of the period provided for cure. Metro's rights under this paragraph apply equally in the event of either actual or threatened violations of the terms of this Agreement.

Metro's remedies described in this paragraph shall be cumulative and shall be in addition to all remedies now or hereafter existing at law or in equity.

7. Metro's Discretion. Enforcement of the terms of this Agreement shall be at the discretion of Metro, and any forbearance by Metro to exercise its rights under this Agreement in the event of any breach of any terms of this Agreement by Grantor shall not be deemed or construed to be a waiver by Metro of such term, or of any subsequent breach of the same, or any other term of this Agreement, or of any of Metro's rights under this Agreement. No delay or omission by Metro in the exercise of any right or remedy upon any breach by Grantor shall impair such right or remedy or be construed as a waiver.

8. Waiver of Certain Defenses. Grantor hereby waives any defense of laches, estoppel, or prescription.

9. Acts Beyond Grantor's Control. Nothing contained in this Agreement shall be construed to entitle Metro to bring any action against Grantor for any injury to or change in the Property resulting from causes beyond Grantor's control, including, without limitation, fire, flood, storm, and earth movement, or from any prudent action taken by Grantor under emergency conditions to prevent, abate, or mitigate significant injury to the Property resulting from such causes.

10. Amendment. If circumstances arise under which an amendment to or modification of this Agreement is appropriate, the Grantor, or the then current owner of the Property, and Metro are free to jointly amend this Agreement without prior notice to any other party; provided that any amendment shall be in writing; shall be consistent with the purpose of the Easement; shall not affect its perpetual duration; and shall have the unanimous consent of the Metro Greenways Commission.

11. Extinguishment. If circumstances arise in the future that render the purpose of the Easement impossible to accomplish, the Easement can only be terminated or extinguished, whether in whole or in part, by judicial proceedings in a court of competent jurisdiction.

12. Assignment. The Easement is transferable, but Metro may assign its rights and obligations under this Agreement only to an organization that is a qualified organization at the time of transfer under Section 170(h) of the Internal Revenue Code of 1954, as amended, and the applicable regulations promulgated thereunder and authorized to acquire and hold conservation easements. As a condition of such transfer, Metro shall require that the conservation purposes which this grant is intended to advance continue to be carried out.

13. Subsequent Transfers. Grantor agrees to incorporate the terms of this Agreement in any deed or other legal instrument by which it divests itself of any interest in all or a portion of the Property, including, without limitation, a leasehold interest. Grantor further agrees to give written notice to Metro of the transfer of any interest at least thirty (30) days prior to the date of such transfer. The failure of Grantor to perform any act required by this paragraph shall not impair the validity of the Easement or limit its enforceability in any way.

14. General Provisions.

a. Controlling Law. The interpretation and performance of this Agreement shall be governed by the laws of the State of Tennessee.

b. Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Agreement shall be liberally construed in favor of the grant to effect the purpose of the Easement and the policy and purpose of Tenn. Code Ann. §§ 66-9-301 to 309. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of the Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

c. Severability. If any provision of this Agreement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Agreement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, shall not be affected thereby.

d. Entire Agreement. This instrument sets forth the entire agreement of the parties with respect to the Easement and supersedes all prior discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with paragraph ten (10).

e. Successors. The covenants, terms, conditions, and restrictions of this Agreement shall be binding upon, and inure to the benefit of, the parties hereto and their respective personal representatives, heirs, successors, and assigns, and shall continue as a servitude running in perpetuity with the Property.

TO HAVE AND TO HOLD said Easement unto Metro, its successors, and assigns, forever.

IN WITNESS WHEREOF, we have caused this instrument to be executed as of this 9 day of March, 2026.

GRANTOR:


Christian Paro
Managing Member

TITLE:

ACCEPTED:

THE METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY


DIRECTOR, PARKS AND RECREATION

STATE OF Tennessee)
COUNTY OF Davidson)

On this the 9th day of March, 2026, before me personally appeared Christian Paro, known to me (or satisfactorily proven) to be the person whose name

is subscribed to the within instrument and acknowledged that he/she executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Erica Wilkes
NOTARY PUBLIC



My Commission Expires: 3.9.2027

STATE OF TENNESSEE)
)
COUNTY OF DAVIDSON)

On this the 15th day of April, 2026, before me personally appeared Monique Horton Odom, who acknowledged himself to be the Director of the Metropolitan Government Department of Parks and Recreation, and that he, as such Director, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Monica Canady
NOTARY PUBLIC

My Commission Expires: 3/5/2030





EXHIBIT A1
GREENWAY CONSERVATION EASEMENT "A"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Commencing at a mag nail (found) in the southerly right-of-way line of Broadmoor Drive, said mag nail also being in the northeasterly corner of the O.I.C. 272 Broadmoor Drive property, Instrument No. 20230927-0075964 (RODCT), having a Tennessee State Plane coordinate value of North: 691,529.62 US feet, East: 1,747,233.37 US feet (NAD83, 2011);

Thence, with 272 Broadmoor, South 14° 07' 12" East 21.33 feet, to the True Point of Beginning;

Thence, severing Ben Allen Land Partners, the following two (2) calls:

- 1) South 83° 44' 20" East 5.83 feet;
- 2) South 06° 25' 07" West 15.57 feet, to the northeasterly line of said O.I.C. 272 Broadmoor Drive property;

Thence, with 272 Broadmoor, North 14° 07' 12" West 16.61 feet, to the Point of Beginning, containing in all 0.001 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit - P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



EXHIBIT A2
GREENWAY CONSERVATION EASEMENT "B"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Beginning at an iron rebar (set) in the southeasterly corner of the O.I.C. 272 Broadmoor Drive property, Instrument No. 20230927-0075964 (RODCT), having a Tennessee State Plane coordinate value of North: 691,102.58 US feet, East: 1,747,192.17 US feet (NAD83, 2011);

Thence, with 272 Broadmoor, North 10° 30' 56" East 88.76 feet;

Thence, severing Ben Allen Land Partners, the following sixteen (16) calls:

- 1) South 04° 57' 54" West 52.30 feet;
- 2) South 84° 49' 50" East 2.99 feet;
- 3) South 05° 10' 45" West 50.75 feet;
- 4) North 84° 38' 08" West 12.70 feet;
- 5) With a curve to the right, having a radius of 37.16 feet, an arc length of 32.61 feet, and a chord bearing North 57° 51' 06" West 31.57 feet;
- 6) South 77° 11' 10" West 39.21 feet;
- 7) With a curve to the left, having a radius of 37.00 feet, an arc length of 67.30 feet, and a chord bearing South 25° 04' 35" West 58.40 feet;
- 8) With a curve to the right, having a radius of 53.00 feet, an arc length of 48.68 feet, and a chord bearing South 00° 43' 13" East 46.99 feet;
- 9) South 25° 35' 34" West 67.56 feet;
- 10) With a curve to the left, having a radius of 92.00 feet, an arc length of 29.27 feet, and a chord bearing South 16° 28' 47" West 29.14 feet;
- 11) With a curve to the right, having a radius of 108.00 feet, an arc length of 114.82 feet, and a chord bearing South 37° 49' 21" West 109.49 feet;
- 12) South 68° 16' 42" West 34.83 feet;
- 13) With a curve to the left, having a radius of 42.00 feet, an arc length of 71.36 feet, and a chord bearing South 19° 36' 24" West 63.08 feet;
- 14) South 29° 03' 55" East 131.35 feet;
- 15) With a curve to the right, having a radius of 43.00 feet, an arc length of 54.30 feet, and a chord bearing South 07° 06' 48" West 50.77 feet;
- 16) South 43° 17' 32" West 58.41 feet, to the northerly line of the MDHA property, Instrument No. QC-20230629-0049688 (RODCT);

Thence, with MDHA, North 80° 54' 26" West 19.34 feet;

Thence, severing Ben Allen Land Partners, the following forty-four (44) calls:

- 1) North 43° 17' 32" East 40.30 feet;
- 2) North 46° 42' 28" West 5.00 feet;
- 3) North 43° 17' 32" East 5.00 feet;
- 4) South 46° 42' 28" East 5.00 feet;
- 5) North 43° 17' 32" East 23.98 feet;
- 6) With a curve to the left, having a radius of 27.00 feet, an arc length of 34.10 feet, and a chord bearing North 07° 06' 48" East 31.88 feet;
- 7) North 29° 03' 55" West 2.84 feet;

- 8) South 60° 56' 05" West 5.00 feet;
- 9) North 29° 03' 55" West 5.00 feet;
- 10) North 60° 56' 05" East 5.00 feet;
- 11) North 29° 03' 55" West 63.97 feet;
- 12) South 60° 56' 05" West 5.00 feet;
- 13) North 29° 03' 55" West 5.00 feet;
- 14) North 60° 56' 05" East 5.00 feet;
- 15) North 29° 03' 55" West 54.54 feet;
- 16) With a curve to the right, having a radius of 58.00 feet, an arc length of 14.17 feet, and a chord bearing North 22° 03' 58" West 14.14 feet;
- 17) South 77° 24' 14" West 5.00 feet;
- 18) North 12° 35' 46" West 5.00 feet;
- 19) North 77° 24' 14" East 5.00 feet;
- 20) With a curve to the right, having a radius of 58.00 feet, an arc length of 78.69 feet, and a chord bearing North 28° 44' 21" East 72.79 feet;
- 21) North 21° 43' 18" West 5.00 feet;
- 22) North 68° 16' 42" East 5.00 feet;
- 23) South 21° 43' 18" East 5.00 feet;
- 24) North 68° 16' 42" East 30.51 feet;
- 25) With a curve to the left, having a radius of 92.00 feet, an arc length of 41.27 feet, and a chord bearing North 55° 25' 39" East 40.92 feet;
- 26) North 48° 58' 50" West 5.00 feet;
- 27) North 41° 01' 10" East 5.00 feet;
- 28) South 48° 58' 50" East 5.00 feet;
- 29) With a curve to the left, having a radius of 92.00 feet, an arc length of 51.54 feet, and a chord bearing North 23° 24' 52" East 50.86 feet;
- 30) With a curve to the right, having a radius of 108.00 feet, an arc length of 20.76 feet, and a chord bearing North 12° 52' 25" East 20.73 feet;
- 31) North 70° 17' 34" West 5.00 feet;
- 32) North 19° 42' 26" East 5.00 feet;
- 33) South 70° 17' 34" East 5.00 feet;
- 34) With a curve to the right, having a radius of 108.00 feet, an arc length of 8.59 feet, and a chord bearing North 23° 18' 47" East 8.59 feet;
- 35) North 25° 35' 34" East 67.56 feet;
- 36) North 68° 40' 30" West 5.00 feet;
- 37) North 21° 19' 30" East 5.00 feet;
- 38) South 68° 40' 30" East 5.03 feet;
- 39) With a curve to the left, having a radius of 37.00 feet, an arc length of 28.98 feet, and a chord bearing North 04° 35' 41" West 28.25 feet;
- 40) With a curve to the right, having a radius of 53.00 feet, an arc length of 43.31 feet, and a chord bearing North 03° 37' 20" West 42.12 feet;
- 41) North 67° 30' 26" West 5.01 feet;
- 42) North 22° 29' 34" East 5.00 feet;
- 43) South 67° 30' 26" East 5.01 feet;
- 44) With a curve to the right, having a radius of 53.00 feet, an arc length of 45.30 feet, and a chord bearing North 49° 40' 52" East 43.93 feet;

Thence, with 272 Broadmoor Drive, South 83° 23' 13" East 74.28 feet, to the Point of Beginning, containing in all 0.29 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit - P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



EXHIBIT A3
GREENWAY CONSERVATION EASEMENT "C"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Commencing at an iron rebar (found) in the northeasterly corner of the MDHA property, Instrument No. QC-20230629-0049688 (RODCT), having a Tennessee State Plane coordinate value of North: 690,476.76 US feet, East: 1,747,360.99 US feet (NAD83, 2011);

Thence, with MDHA, the following two (2) calls:

- 1) North 80° 54' 26" West 171.63 feet;
- 2) North 80° 54' 26" West 16.27 feet, to the True Point of Beginning;

Thence, severing Ben Allen Land Partners, the following twenty-seven (27) calls:

- 1) With a curve to the right, having a radius of 43.00 feet, an arc length of 48.02 feet, and a chord bearing North 49° 22' 47" East 45.56 feet;
- 2) Thence, North 81° 22' 07" East 61.38 feet;
- 3) With a curve to the left, having a radius of 42.00 feet, an arc length of 45.76 feet, and a chord bearing North 50° 09' 11" East 43.53 feet;
- 4) Thence, North 18° 56' 14" East 10.51 feet;
- 5) With a curve to the right, having a radius of 38.00 feet, an arc length of 109.69 feet, and a chord bearing South 78° 22' 11" East 75.38 feet;
- 6) Thence, North 85° 40' 36" West 16.00 feet;
- 7) With a curve to the left, having a radius of 22.00 feet, an arc length of 12.32 feet, and a chord bearing North 11° 42' 58" West 12.16 feet;
- 8) Thence, South 55° 43' 10" West 5.00 feet;
- 9) Thence, North 34° 16' 50" West 5.00 feet;
- 10) Thence, North 55° 43' 10" East 5.00 feet;
- 11) With a curve to the left, having a radius of 22.00 feet, an arc length of 46.18 feet, and a chord bearing South 79° 03' 57" West 38.15 feet;
- 12) Thence, South 18° 56' 14" West 10.51 feet;
- 13) With a curve to the right, having a radius of 58.00 feet, an arc length of 1.09 feet, and a chord bearing South 19° 28' 34" West 1.09 feet;
- 14) Thence, South 67° 30' 52" East 5.00 feet;
- 15) Thence, South 22° 29' 08" West 5.00 feet;
- 16) Thence, North 67° 30' 52" West 5.00 feet;
- 17) With a curve to the right, having a radius of 58.00 feet, an arc length of 57.11 feet, and a chord bearing South 53° 09' 44" West 54.83 feet;
- 18) Thence, South 81° 22' 07" West 8.60 feet;
- 19) Thence, South 08° 37' 53" East 5.00 feet;
- 20) Thence, South 81° 22' 07" West 5.00 feet;
- 21) Thence, North 08° 37' 53" West 5.00 feet;

- 22) Thence, South 81° 22' 07" West 47.78 feet;
- 23) With a curve to the left, having a radius of 27.00 feet, an arc length of 11.98 feet, and a chord bearing South 68° 39' 40" West 11.88 feet;
- 24) Thence, South 39° 21' 33" East 5.00 feet;
- 25) Thence, South 50° 38' 27" West 5.00 feet;
- 26) Thence, North 39° 21' 33" West 5.00 feet;
- 27) With a curve to the left, having a radius of 27.00 feet, an arc length of 10.81 feet, and a chord bearing South 33° 51' 15" West 10.74 feet, to the Point of Beginning, containing in all 0.09 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit - P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



EXHIBIT A4
GREENWAY CONSERVATION EASEMENT "D"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Commencing at an iron rebar (set) in the southeasterly corner of the O.I.C. 272 Broadmoor Drive property, Instrument No. 20230927-0075964 (RODCT), having a Tennessee State Plane coordinate value of North: 691,102.58 US feet, East: 1,747,192.17 US feet (NAD83, 2011);

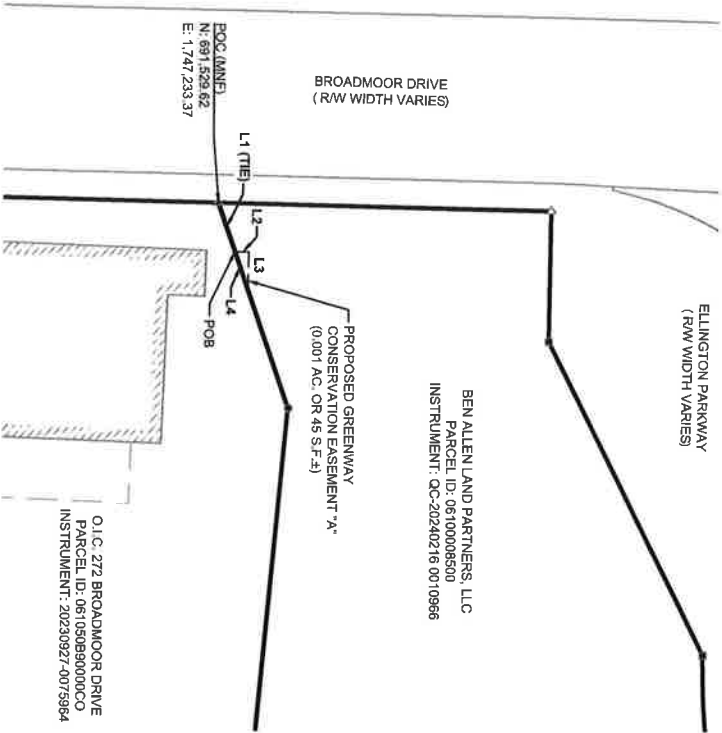
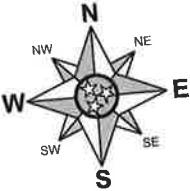
Thence, with 272 Broadmoor, the following two (2) calls:

- 1) North 10° 30' 56" East 105.63 feet, to the True Point of Beginning;
- 2) North 10° 30' 56" East 5.02 feet;

Thence, severing Ben Allen Land Partners, the following three (3) calls:

- 1) South 85° 02' 06" East 2.88 feet;
- 2) South 04° 57' 54" West 5.00 feet;
- 3) North 85° 02' 06" West 3.37 feet, to the Point of Beginning, containing in all 0.0004 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit – P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



BEN ALLEN LAND PARTNERS, LLC
PARCEL ID: 06100008500
INSTRUMENT: QC-20240216 0010966

O.I.C. 272 BROADMOOR DRIVE
PARCEL ID: 06100008500
INSTRUMENT: 20230927-0075964

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S14° 07' 12"E	21.33
L2	S83° 44' 20"E	5.83
L3	S06° 28' 07"W	15.57
L4	N14° 07' 12"W	16.61

LEGEND:

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING ADJACENT PROPERTY LINE
	PROPOSED EASEMENT
	POINT OF BEGINNING
	POINT OF COMMENCING
	MAAG / PK MAIL FOUNDRY (MNF)
	IRON REBAR FOUNDRY (IRF)
	IRON REBAR SET WCAP (IRS)

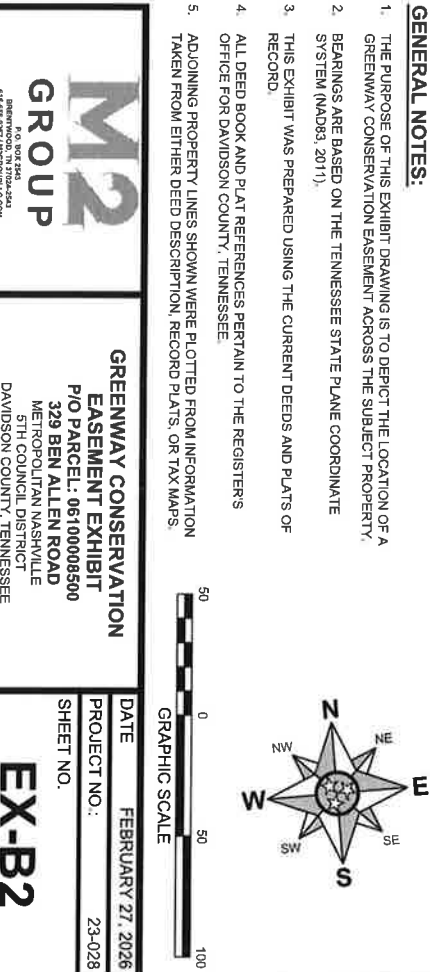
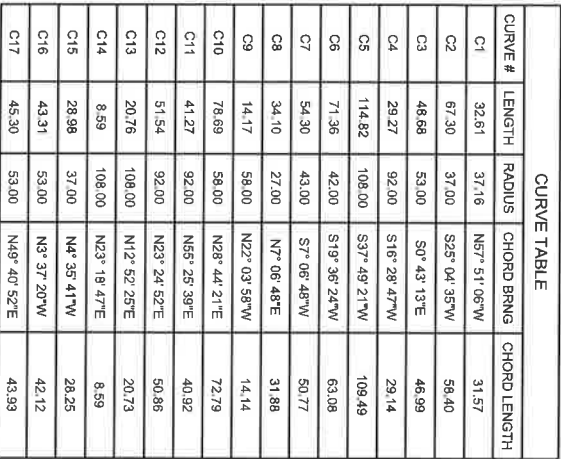
GENERAL NOTES:

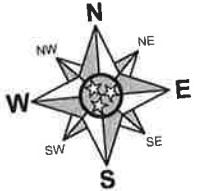
1. THE PURPOSE OF THIS EXHIBIT DRAWING IS TO DEPICT THE LOCATION OF A GREENWAY CONSERVATION EASEMENT ACROSS THE SUBJECT PROPERTY.
2. BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
3. THIS EXHIBIT WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
4. ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
5. ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.



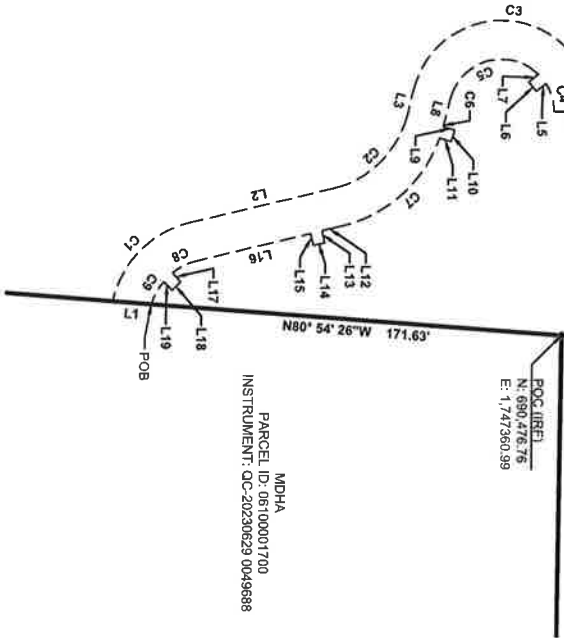
GREENWAY CONSERVATION
EASEMENT EXHIBIT
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE

DATE: FEBRUARY 27, 2026
PROJECT NO.: 23-028
SHEET NO.
EX-B1





BEN ALLEN LAND PARTNERS, LLC
PARCEL ID: 06100008500
INSTRUMENT: OC-20240216 00109686
CONSERVATION EASEMENT "C"
(0.09 AC. OR 4.115 S.F.±)



- GENERAL NOTES:**
1. THE PURPOSE OF THIS EXHIBIT DRAWING IS TO DEPICT THE LOCATION OF A GREENWAY CONSERVATION EASEMENT ACROSS THE SUBJECT PROPERTY.
 2. BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
 3. THIS EXHIBIT WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
 4. ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTERS OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
 5. ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.



GREENWAY CONSERVATION EASEMENT EXHIBIT
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE

DATE: FEBRUARY 27, 2026
PROJECT NO.: 23-028
SHEET NO.
EX-B3

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING ADJACENT PROPERTY LINE
- PROPOSED EASEMENT

- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- MAG / PERMANENT FOUND (MNF)
- IRON REBAR FOUND (IRF)
- IRON REBAR SET W/ CAP (IRS)

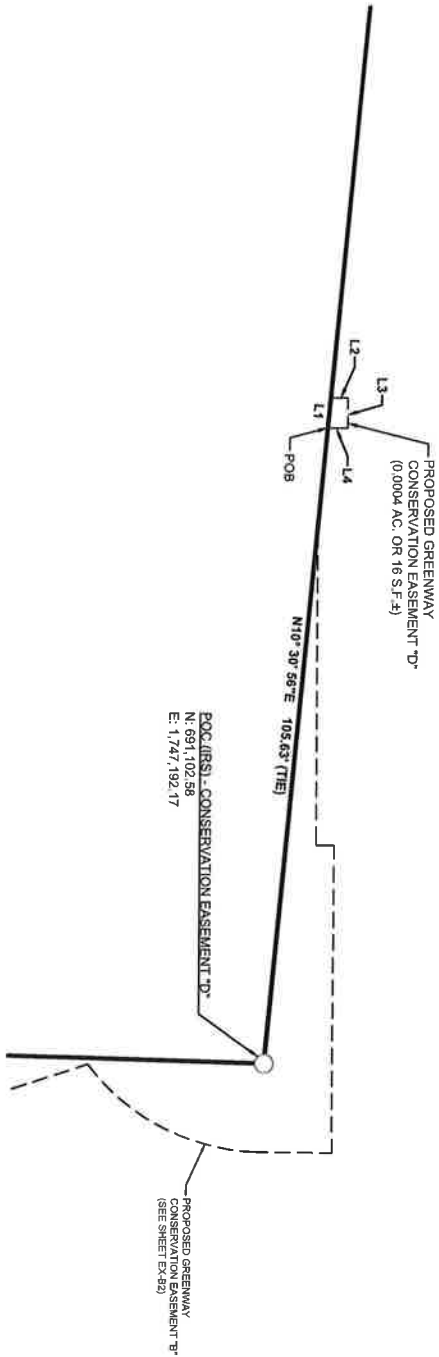
CURVE TABLE			
CURVE #	LENGTH	RADIUS	CHORD BRNG
C1	48.02	43.00	M49° 22' 47"E
C2	45.76	42.00	N50° 09' 11"E
C3	109.69	38.00	S78° 22' 11"E
C4	12.32	22.00	N11° 42' 58"W
C5	46.18	22.00	S79° 03' 57"W
C6	1.09	58.00	S19° 28' 34"W
C7	57.11	58.00	S33° 09' 44"W
C8	11.98	27.00	S68° 39' 40"W
C9	10.81	27.00	S33° 51' 15"W

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N80° 54' 26"W	16.27
L2	N81° 22' 07"E	61.38
L3	N18° 56' 14"E	10.51
L4	N85° 40' 36"W	16.00
L5	S55° 43' 10"W	5.00
L6	N34° 16' 50"W	5.00
L7	N55° 43' 10"E	5.00
L8	S18° 56' 14"W	10.51
L9	S67° 30' 52"E	5.00
L10	S22° 28' 08"W	5.00

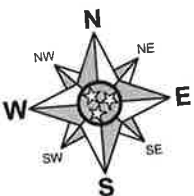
LINE TABLE		
LINE #	DIRECTION	LENGTH
L11	N67° 30' 52"W	5.00
L12	S81° 22' 07"W	8.60
L13	S08° 37' 53"E	5.00
L14	S81° 22' 07"W	5.00
L15	N08° 37' 53"W	5.00
L16	S81° 22' 07"W	47.78
L17	S39° 21' 33"E	5.00
L18	S50° 38' 27"W	5.00
L19	N39° 21' 33"W	5.00

1. THE PURPOSE OF THIS EXHIBIT DRAWING IS TO DEPICT THE LOCATION OF A GREENWAY CONSERVATION EASEMENT ACROSS THE SUBJECT PROPERTY.
2. BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
3. THIS EXHIBIT WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
4. ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTERS OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
5. ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N10° 30' 56"E	5.02
L2	S85° 02' 06"E	2.88
L3	S04° 57' 54"W	5.00
L4	N85° 02' 06"W	3.37



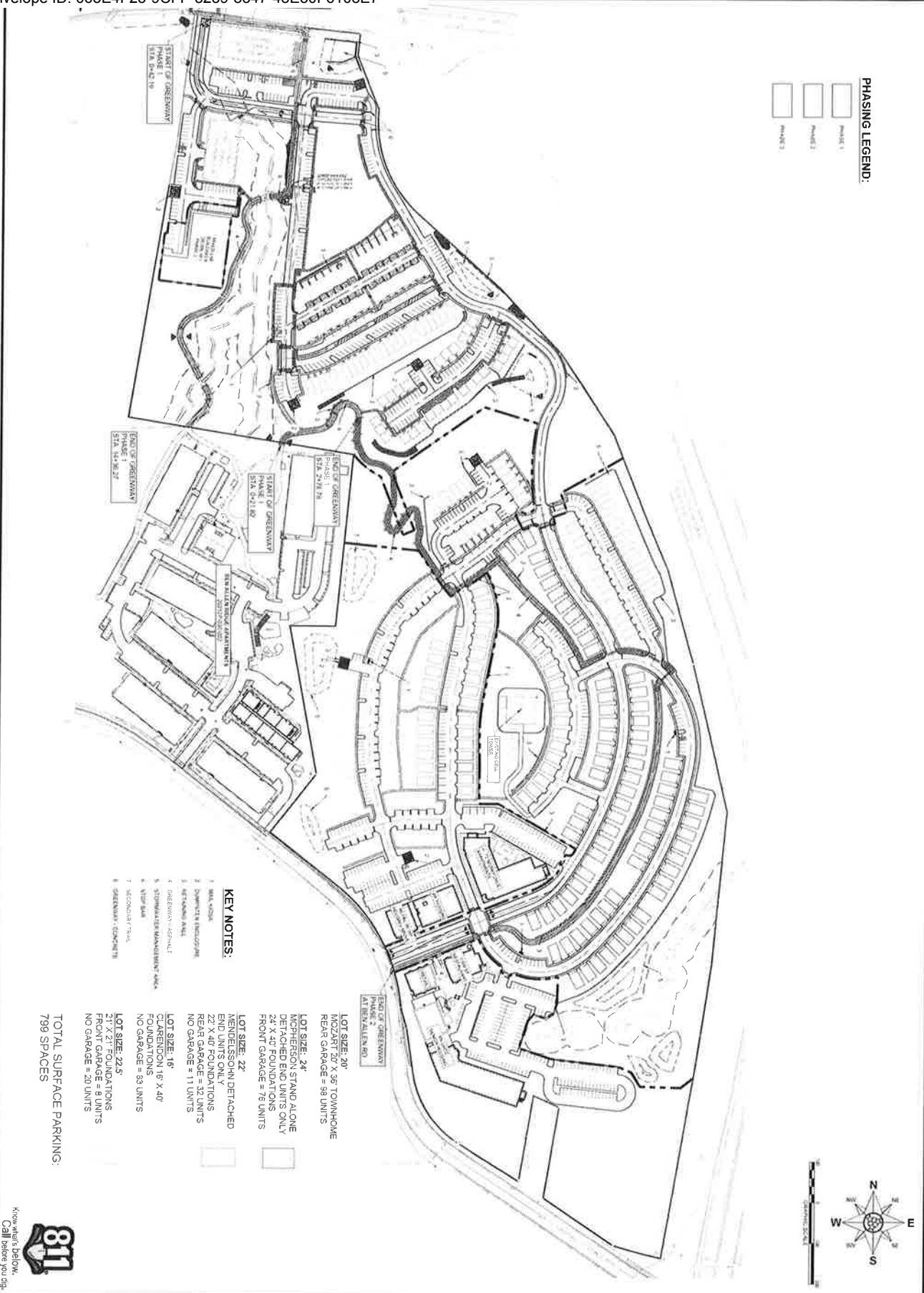
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING ADJACENT PROPERTY LINE
	PROPOSED EASEMENT
	POINT OF BEGINNING
POB	POINT OF COMMENCING
POC	MAAG / PK MAIL FOUND (MM/5)
	IRON REBAR FOUND (RR5)
	IRON REBAR SET (WICAP - RR5)



M2 GROUP
P.O. Box 2343
BRENTWOOD, TN 37122-2343
615-658-9257 / M2GROUP.LLC.COM

**GREENWAY CONSERVATION
EASEMENT EXHIBIT
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE**

DATE FEBRUARY 27, 2026
PROJECT NO.: 23-028
SHEET NO.



OVERALL LAYOUT & PHASING PLAN

DATE:	OCTOBER 21, 2021	DRAWN BY:	T.O.T.
PROJECT NO:	23028	CHECKED BY:	K.B.



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 061508900000 & 06100000500
METROPOLITAN PARKS & RECREATION DEPARTMENT
MINNESOTA



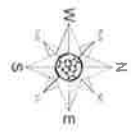
REVISION #	DATE	DESCRIPTION
1	10/21/2021	SP CASE NO. 2017SP-034-004
2	10/21/2021	SP CASE NO. 2017SP-034-004
3	10/21/2021	SP CASE NO. 2017SP-034-004

M2
GROUP

SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 061509900000C & 061000000500

DATE:	JANUARY, 2026	DRAWN BY:	T.O.T
PROJECT NO.:	21-026	CHECKED BY:	AK

[illegible]



DATA SUMMARY

DATE: 01/11/2017
PROJECT: OSAGE ARBOR AT BROADMOOR - PHASE 1
SHEET: 1 OF 1

PERMETER LAND DESCRIPTION (PER SURVEY)

THE SURVEYED LAND IS DESCRIBED AS FOLLOWS: [Detailed description of the surveyed land, including acreage, boundaries, and easements.]

GENERAL NOTES

1. THE SURVEY WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE SURVEYING BOARD OF THE STATE OF MISSOURI.

2. THE SURVEY WAS MADE BY THE METHOD OF TRIANGULATION AND THE RESULTS ARE AS FOLLOWS: [Detailed notes regarding the survey method and results.]



REFERENCE CERTIFICATE

THIS CERTIFICATE IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY MAP AS FILED IN THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BOUNDARY & TOPOGRAPHIC SURVEY	
PARCEL ID: 06100008500	
229 BEN ALLEN ROAD	
DAVIDSON, IN CLARK COUNTY, MISSOURI	
DATE: 01/11/2017	BY: [Signature]
PROJECT: OSAGE ARBOR AT BROADMOOR - PHASE 1	SHEET: 1 OF 1
M2 GROUP	
229 BEN ALLEN ROAD	
DAVIDSON, IN CLARK COUNTY, MISSOURI	
SY-01	

LEGEND

1. [Symbol] EXISTING LOT LINES

2. [Symbol] EXISTING LOT CORNERS

3. [Symbol] EXISTING LOT EASEMENTS

4. [Symbol] EXISTING LOT ENCUMBRANCES

5. [Symbol] EXISTING LOT INTERESTS

6. [Symbol] EXISTING LOT RIGHTS

7. [Symbol] EXISTING LOT LIENS

8. [Symbol] EXISTING LOT TAXES

9. [Symbol] EXISTING LOT UTILITIES

10. [Symbol] EXISTING LOT RECORDS



FINAL SPECIFIC PLAN FOR OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO.: 2017SP-034-004

272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD

PARCEL ID: 06100008500 & 06100008500



REVISION #	DATE	DESCRIPTION
1	01/11/2017	INITIAL SURVEY FOR BOUNDARY & TOPOGRAPHIC SURVEY
2	01/11/2017	REVISION FOR BOUNDARY & TOPOGRAPHIC SURVEY
3	01/11/2017	REVISION FOR BOUNDARY & TOPOGRAPHIC SURVEY



GPS SURVEY DATA INFORMATION

1. The first part of the paper is a review of the literature on the effects of the 1997 Asian financial crisis on the economies of the Asian countries.

PERIMETER LAND DESCRIPTION (PER SURVEY)

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

GENERAL NOTES

10. The following are the steps in the process of forming a new business:
 - a. The entrepreneur identifies a business opportunity.
 - b. The entrepreneur develops a business plan.
 - c. The entrepreneur secures financing.
 - d. The entrepreneur registers the business.
 - e. The entrepreneur obtains licenses and permits.
 - f. The entrepreneur hires employees.
 - g. The entrepreneur launches the business.
11. The following are the steps in the process of forming a new business:
 - a. The entrepreneur identifies a business opportunity.
 - b. The entrepreneur develops a business plan.
 - c. The entrepreneur secures financing.
 - d. The entrepreneur registers the business.
 - e. The entrepreneur obtains licenses and permits.
 - f. The entrepreneur hires employees.
 - g. The entrepreneur launches the business.
12. The following are the steps in the process of forming a new business:
 - a. The entrepreneur identifies a business opportunity.
 - b. The entrepreneur develops a business plan.
 - c. The entrepreneur secures financing.
 - d. The entrepreneur registers the business.
 - e. The entrepreneur obtains licenses and permits.
 - f. The entrepreneur hires employees.
 - g. The entrepreneur launches the business.

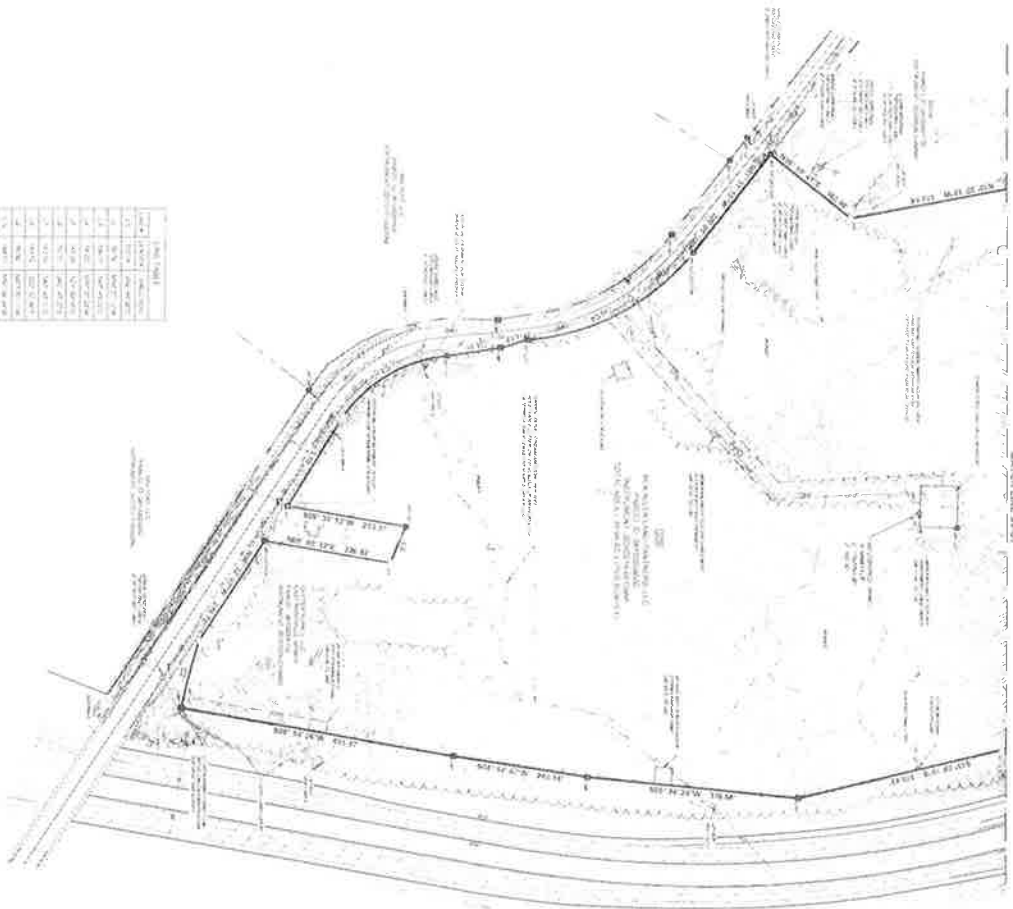
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TABLE 1	
Year	Number of cases
1990	10
1991	15
1992	20
1993	25
1994	30
1995	35
1996	40
1997	45
1998	50
1999	55
2000	60
2001	65
2002	70
2003	75
2004	80
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2050	310
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2053	325
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2055	335
2056	340
2057	345
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2061	365
2062	370
2063	375
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2065	385
2066	390
2067	395
2068	400
2069	405
2070	410
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2082	470
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2086	490
2087	495
2088	500
2089	505
2090	510
2091	515
2092	520
2093	525
2094	530
2095	535
2096	540
2097	545
2098	550
2099	555
2100	560

9405142, T0008, 36, 6005777, 602621

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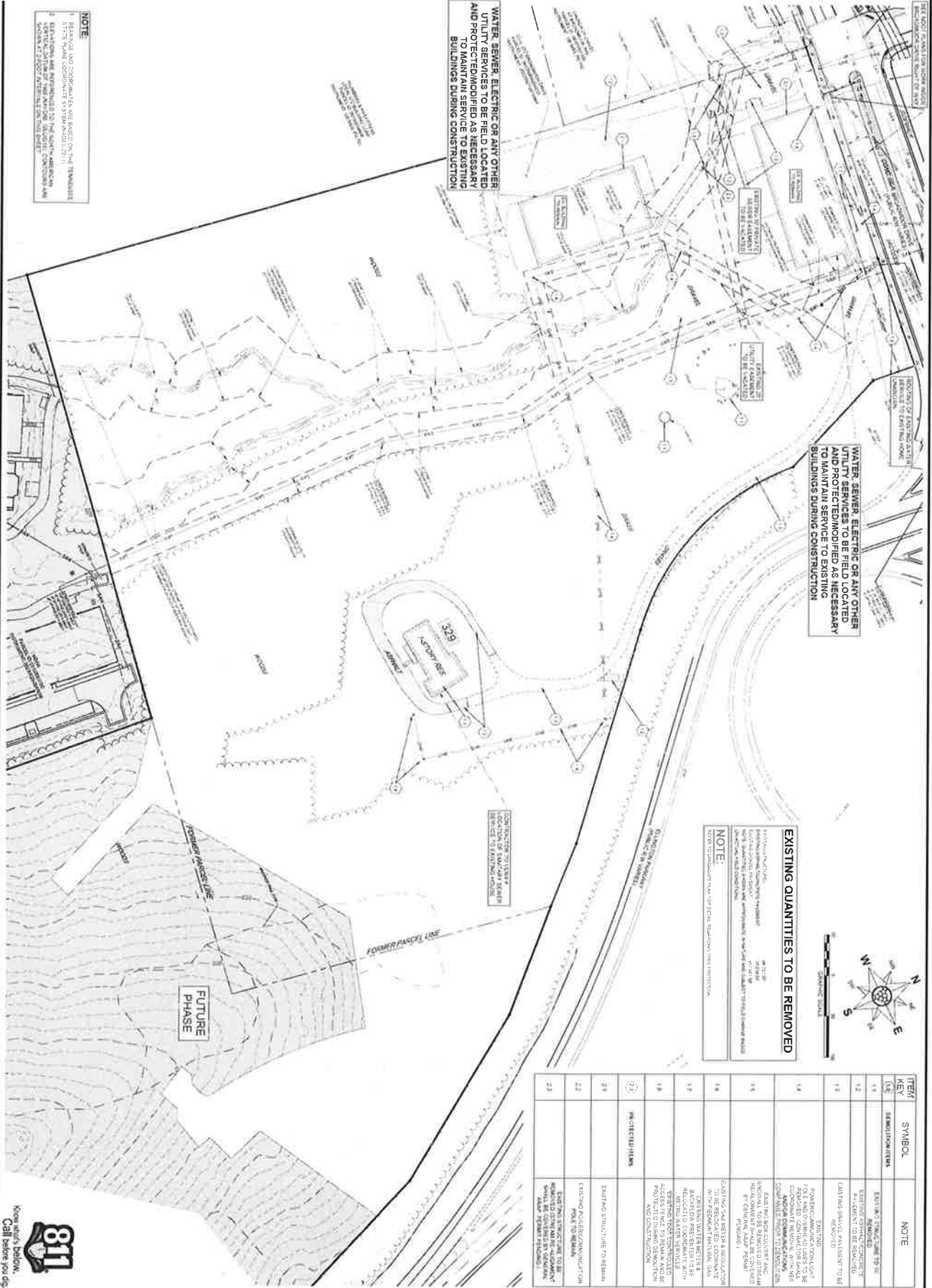
FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE
 SF CASE NO.: 2017SP-034-004
 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
 PARCEL ID: 06150B90000C0 & 06100008500



BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL ID 06100008500

2229 THE N. ALLEN ROAD
 THE PROCTOR MANOR VILLAGE
 8TH CIVIL DISTRICT
 LARSDON COUNTY, TEXAS

PROJECT NO.	SV-02
PROJECT NAME	SV-02
PROJECT LOCATION	SV-02
PROJECT DATE	SV-02
PROJECT STATUS	SV-02
PROJECT DESCRIPTION	SV-02
PROJECT CONTACT	SV-02
PROJECT PHONE	SV-02
PROJECT FAX	SV-02
PROJECT E-MAIL	SV-02
PROJECT WEBSITE	SV-02
PROJECT ADDRESS	SV-02
PROJECT CITY	SV-02
PROJECT STATE	SV-02
PROJECT ZIP	SV-02
PROJECT COUNTRY	SV-02
PROJECT REGION	SV-02
PROJECT DISTRICT	SV-02
PROJECT SUB-DISTRICT	SV-02
PROJECT WARD	SV-02
PROJECT VILLAGE	SV-02
PROJECT HAMLET	SV-02
PROJECT HOUSEHOLD	SV-02
PROJECT PERSON	SV-02
PROJECT SEX	SV-02
PROJECT AGE	SV-02
PROJECT BIRTH DATE	SV-02
PROJECT BIRTH PLACE	SV-02
PROJECT BIRTH TIME	SV-02
PROJECT BIRTH WEIGHT	SV-02
PROJECT BIRTH LENGTH	SV-02
PROJECT BIRTH HEAD CIRCUMFERENCE	SV-02
PROJECT BIRTH ARM CIRCUMFERENCE	SV-02
PROJECT BIRTH LEG CIRCUMFERENCE	SV-02
PROJECT BIRTH SKIN COLOR	SV-02
PROJECT BIRTH HAIR COLOR	SV-02
PROJECT BIRTH EYE COLOR	SV-02
PROJECT BIRTH NOSE COLOR	SV-02
PROJECT BIRTH MOUTH COLOR	SV-02
PROJECT BIRTH TEETH COLOR	SV-02
PROJECT BIRTH FINGER COLOR	SV-02
PROJECT BIRTH TOE COLOR	SV-02
PROJECT BIRTH NAIL COLOR	SV-02
PROJECT BIRTH SKIN CONDITION	SV-02
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PROJECT BIRTH EYE CONDITION	SV-02
PROJECT BIRTH NOSE CONDITION	SV-02
PROJECT BIRTH MOUTH CONDITION	SV-02
PROJECT BIRTH TEETH CONDITION	SV-02
PROJECT BIRTH FINGER CONDITION	SV-02
PROJECT BIRTH TOE CONDITION	SV-02
PROJECT BIRTH NAIL CONDITION	SV-02
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PROJECT BIRTH HAIR TONE	SV-02
PROJECT BIRTH EYE TONE	SV-02
PROJECT BIRTH NOSE TONE	SV-02
PROJECT BIRTH MOUTH TONE	SV-02
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PROJECT BIRTH TEETH TREATMENT	SV-02
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PROJECT BIRTH EYE PRODUCTS	SV-02
PROJECT BIRTH NOSE PRODUCTS	SV-02
PROJECT BIRTH MOUTH PRODUCTS	SV-02
PROJECT BIRTH TEETH PRODUCTS	SV-02
PROJECT BIRTH FINGER PRODUCTS	SV-02
PROJECT BIRTH TOE PRODUCTS	SV-02
PROJECT BIRTH NAIL PRODUCTS	SV-02
PROJECT BIRTH SKIN TOOLS	SV-02
PROJECT BIRTH HAIR TOOLS	SV-02
PROJECT BIRTH EYE TOOLS	SV-02
PROJECT BIRTH NOSE TOOLS	SV-02
PROJECT BIRTH MOUTH TOOLS	SV-02
PROJECT BIRTH TEETH TOOLS	SV-02
PROJECT BIRTH FINGER TOOLS	SV-02
PROJECT BIRTH TOE TOOLS	



NOTE
ELEVATIONS AND COORDINATES ARE BASED ON THE NAD83 DATUM. ALL ELEVATIONS ARE REFERENCED TO THE MEAN SEA LEVEL. ALL COORDINATES ARE REFERENCED TO THE NAD83 DATUM. ALL ELEVATIONS ARE REFERENCED TO THE MEAN SEA LEVEL. ALL COORDINATES ARE REFERENCED TO THE NAD83 DATUM.

WATER, SEWER, ELECTRIC OR ANY OTHER UTILITY SERVICES TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION

WATER, SEWER, ELECTRIC OR ANY OTHER UTILITY SERVICES TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION

EXISTING QUANTITIES TO BE REMOVED

NOTE:
EXISTING QUANTITIES TO BE REMOVED SHALL BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.

ITEM	SYMBOL	NOTE
1.1	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.2	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.3	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.4	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.5	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.6	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.7	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.8	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
1.9	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
2.1	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
2.2	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.
2.3	REMOVAL OF EXISTING ASPHALT DRIVE	REMOVAL OF EXISTING ASPHALT DRIVE TO BE FIELD LOCATED AND PROTECTED/REMOVED AS NECESSARY TO MAINTAIN SERVICE TO EXISTING BUILDINGS DURING CONSTRUCTION.



C100

OVERALL EXISTING CONDITIONS & DEMOLITION PLAN

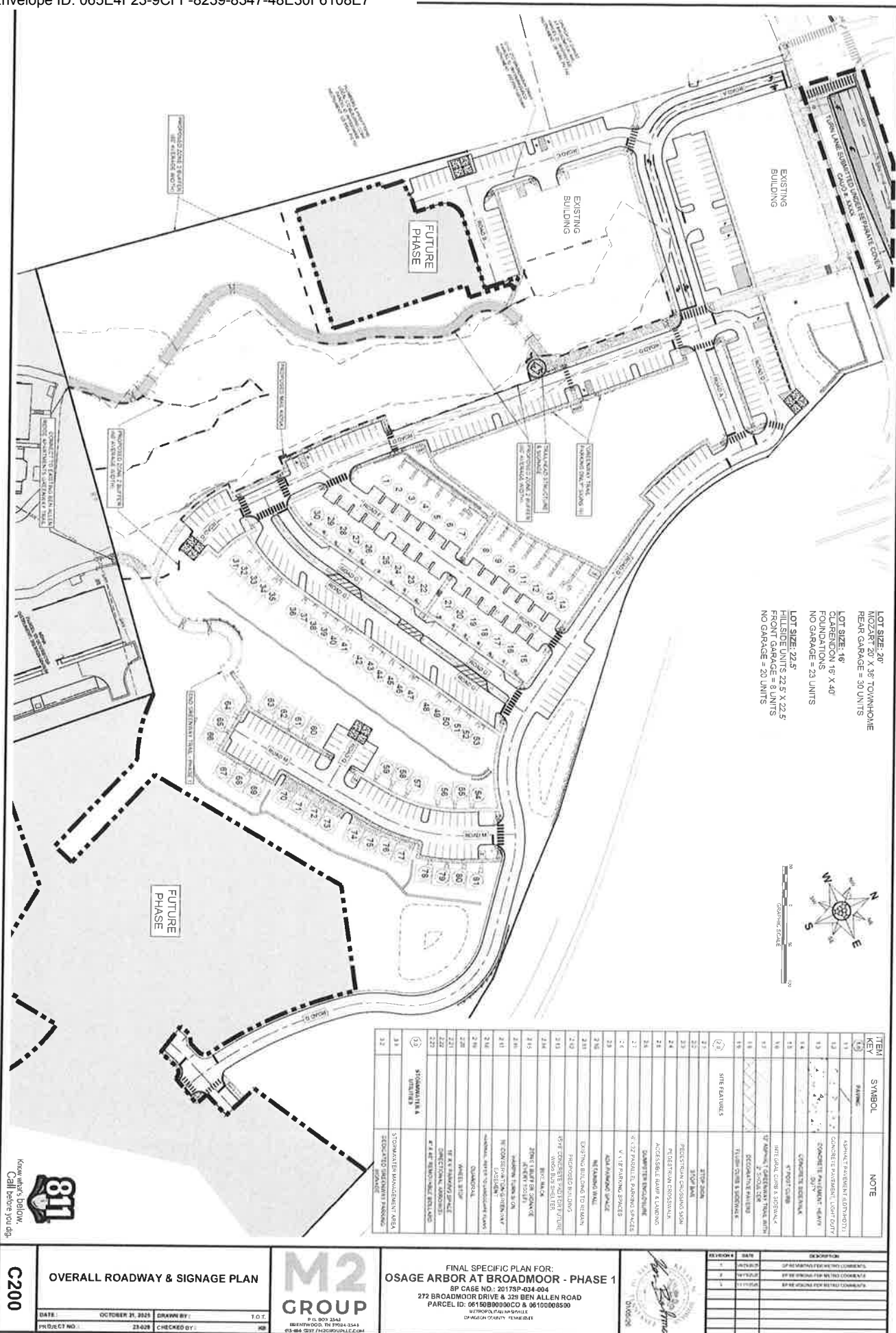
DATE: OCTOBER 21, 2023 DRAWN BY: T.G.T.
PROJECT NO: 23-028 CHECKED BY: KB

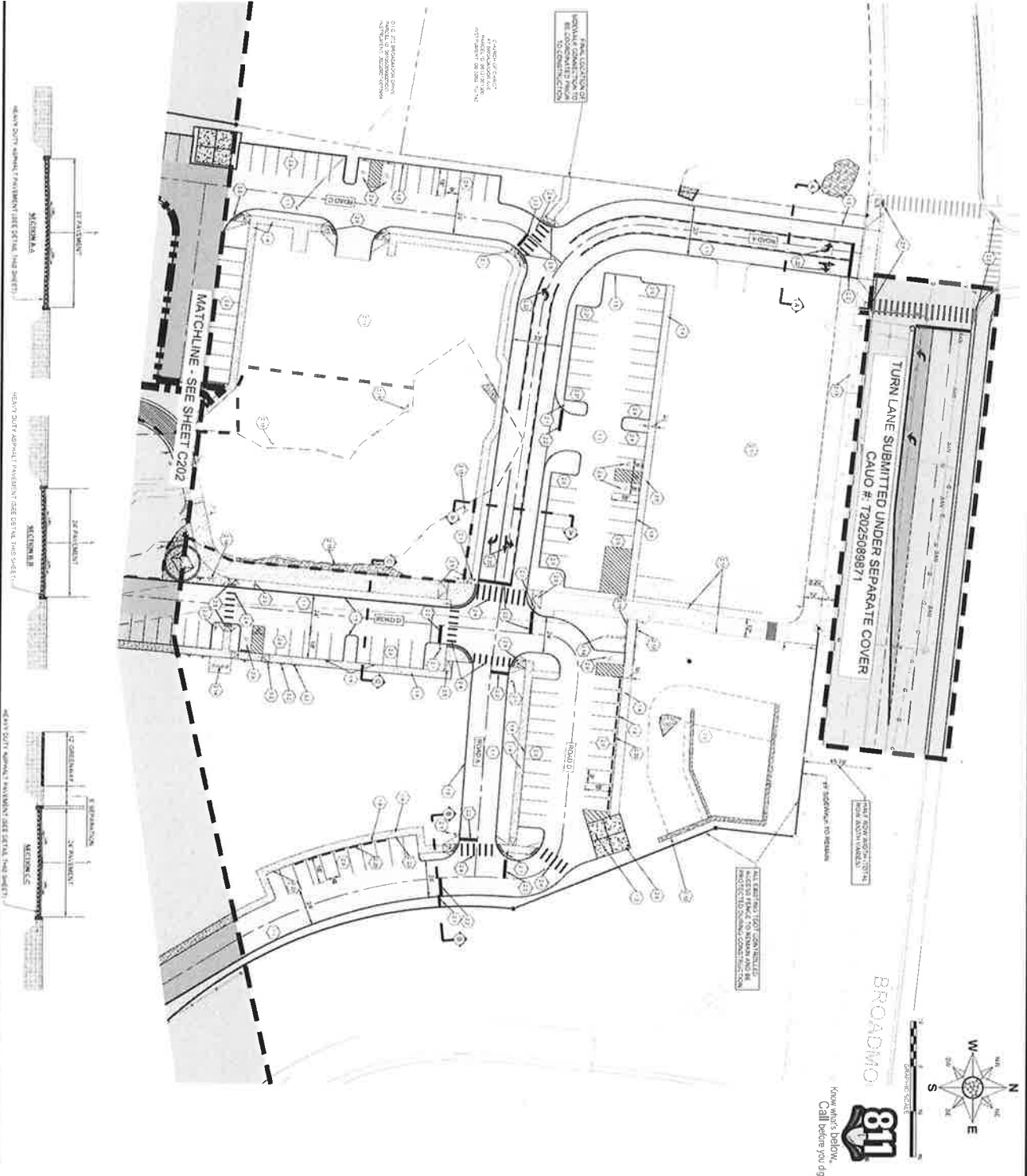


FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2017SP-024-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 061505800000 & 06100008500
MONTGOMERY COUNTY, TEXAS 75355



REVISION	DATE	DESCRIPTION
1	10/21/23	SP NO. 2017SP-024-004
2	10/21/23	SP NO. 2017SP-024-004
3	10/21/23	SP NO. 2017SP-024-004
4	10/21/23	SP NO. 2017SP-024-004
5	10/21/23	SP NO. 2017SP-024-004
6	10/21/23	SP NO. 2017SP-024-004
7	10/21/23	SP NO. 2017SP-024-004
8	10/21/23	SP NO. 2017SP-024-004
9	10/21/23	SP NO. 2017SP-024-004
10	10/21/23	SP NO. 2017SP-024-004





811

Know what's below.
Call before you dig.

811

Know what's below.
Call before you dig.

ITEM KEY	SYMBOL	NOTE
1.1	1.1	ASPHALT PAVEMENT (SECTION 1)
1.2	1.2	CONCRETE PAVEMENT (SECTION 2)
1.3	1.3	CONCRETE PAVEMENT (SECTION 3)
1.4	1.4	CONCRETE PAVEMENT (SECTION 4)
1.5	1.5	CONCRETE PAVEMENT (SECTION 5)
1.6	1.6	CONCRETE PAVEMENT (SECTION 6)
1.7	1.7	CONCRETE PAVEMENT (SECTION 7)
1.8	1.8	CONCRETE PAVEMENT (SECTION 8)
1.9	1.9	CONCRETE PAVEMENT (SECTION 9)
1.10	1.10	CONCRETE PAVEMENT (SECTION 10)
1.11	1.11	CONCRETE PAVEMENT (SECTION 11)
1.12	1.12	CONCRETE PAVEMENT (SECTION 12)
1.13	1.13	CONCRETE PAVEMENT (SECTION 13)
1.14	1.14	CONCRETE PAVEMENT (SECTION 14)
1.15	1.15	CONCRETE PAVEMENT (SECTION 15)
1.16	1.16	CONCRETE PAVEMENT (SECTION 16)
1.17	1.17	CONCRETE PAVEMENT (SECTION 17)
1.18	1.18	CONCRETE PAVEMENT (SECTION 18)
1.19	1.19	CONCRETE PAVEMENT (SECTION 19)
1.20	1.20	CONCRETE PAVEMENT (SECTION 20)
1.21	1.21	CONCRETE PAVEMENT (SECTION 21)
1.22	1.22	CONCRETE PAVEMENT (SECTION 22)
1.23	1.23	CONCRETE PAVEMENT (SECTION 23)
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1.25	1.25	CONCRETE PAVEMENT (SECTION 25)
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1.27	1.27	CONCRETE PAVEMENT (SECTION 27)
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1.98	1.98	CONCRETE PAVEMENT (SECTION 98)
1.99	1.99	CONCRETE PAVEMENT (SECTION 99)
1.100	1.100	CONCRETE PAVEMENT (SECTION 100)

ROADWAY & SIGNAGE PLAN

C201

DATE: JANUARY, 2024

DRAWN BY: T.D.T.

PROJECT NO.: 21404

CHECKED BY: KB

M2 GROUP

1701 BROADMOOR DRIVE, SUITE 200
BENTLEYVILLE, OHIO 45005
TEL: 513.887.7700 FAX: 513.887.7701

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO.: 2017SP-004-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 0615089000000 & 061000008500
VICTORVILLE, MISSOURI
PREPARED BY: [Signature]

REVISION

DATE

DESCRIPTION

1

1/1/2024

SP REVIEWED FOR REVIEW COMMENTS

2

1/1/2024

SP REVIEWED FOR REVIEW COMMENTS

3

1/1/2024

SP REVIEWED FOR REVIEW COMMENTS

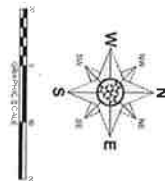
4

1/1/2024

SP REVIEWED FOR REVIEW COMMENTS

[illegible]

Know what's below.
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REVISION #	DATE	DESCRIPTION
1	08/20/20	SPRINGING FOR METRO COMBUSTIBLE
2	08/21/20	SPRINGING FOR METRO COMBUSTIBLE
3	11/10/20	SPRINGING FOR METRO COMBUSTIBLE

C202

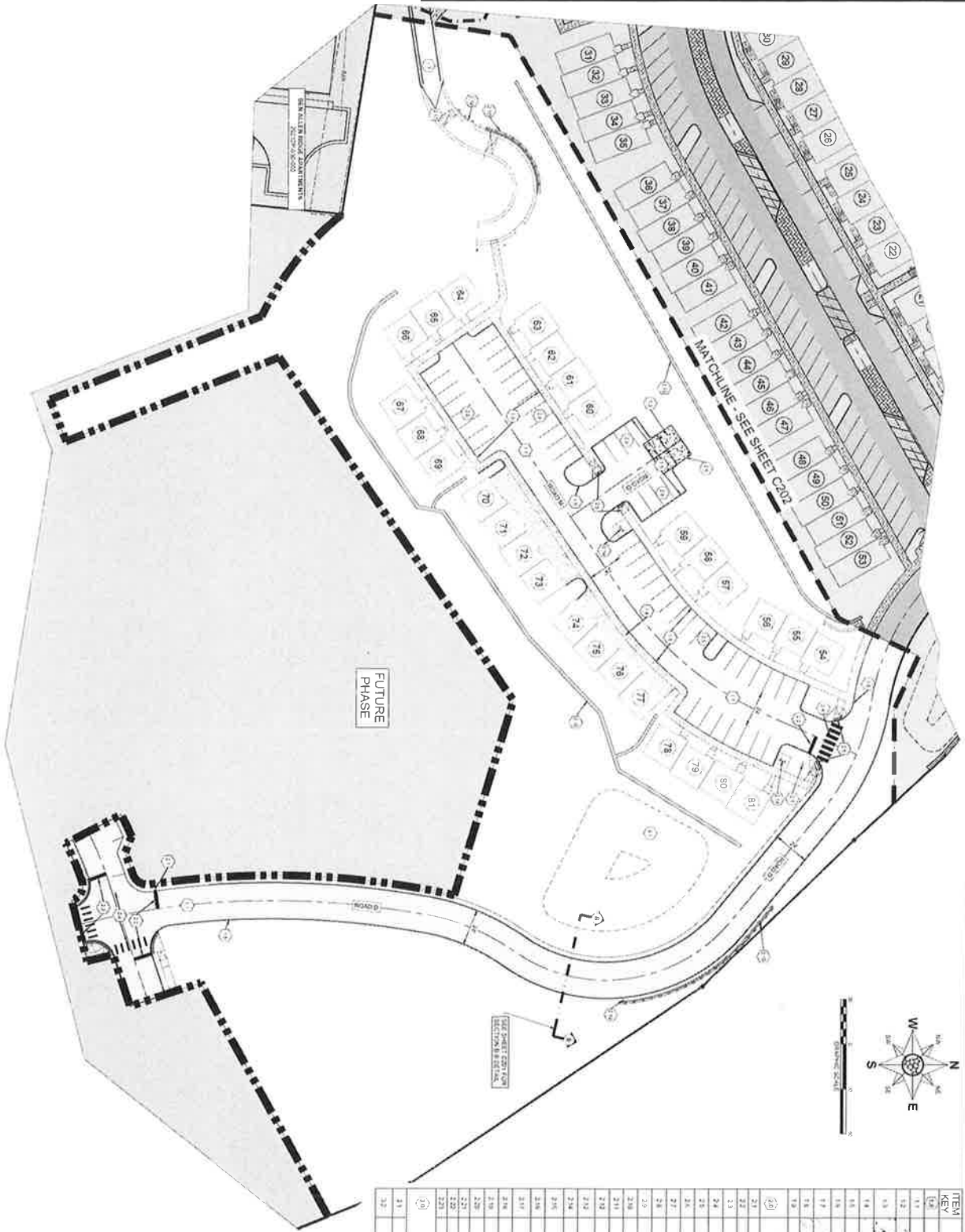
ROADWAY & SIGNAGE PLAN

DATE : OCTOBER 21, 2024	DRAWN BY :	T.O.
PROJECT NO. : 23-028	CHECKED BY :	

M2
GROUP
P.O. BOX 2543
BENTLEYVILLE, TN 37024-2543
615-626-0257 / M2GROUP@LLC.COM

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B9000C0 & 06100008500
CITY OF HOUSTON, TEXAS
CITY ENGINEER'S OFFICE, TEXAS A&M

01/06/2010



ITEM KEY	SYMBOL	NOTE
10	PARKING	USUAL PARKING LOT/STREET
11		CONCRETE PAVEMENT LOT/STREET
12		CONCRETE PAVEMENT DRIVEWAY
13		CONCRETE PAVEMENT DRIVEWAY
14		CONCRETE DRIVEWAY
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100		CONCRETE DRIVEWAY



C203

ROADWAY & SIGNAGE PLAN

DATE: OCTOBER 21, 2023 DRAWN BY: SGT
PROJECT NO: 23-018 CHECKED BY: SGT



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-404
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 081508900000 & 06100008500



REVISION	DATE	DESCRIPTION
1	10/21/23	SP NO. 2017SP-034-404 COMMENTS
2	10/21/23	SP NO. 2017SP-034-404 COMMENTS
3	10/21/23	SP NO. 2017SP-034-404 COMMENTS
4	10/21/23	SP NO. 2017SP-034-404 COMMENTS
5	10/21/23	SP NO. 2017SP-034-404 COMMENTS
6	10/21/23	SP NO. 2017SP-034-404 COMMENTS
7	10/21/23	SP NO. 2017SP-034-404 COMMENTS
8	10/21/23	SP NO. 2017SP-034-404 COMMENTS
9	10/21/23	SP NO. 2017SP-034-404 COMMENTS
10	10/21/23	SP NO. 2017SP-034-404 COMMENTS

[illegible]

Figure 1 consists of three schematic diagrams labeled A, B, and C, illustrating the experimental setup for the study of the effect of the initial concentration of the polymer solution on the morphology of the polymer film.

(A) PREPARE POLYMER SOLUTION
 This diagram shows a beaker containing a polymer solution. A label indicates "POLYMER SOLUTION". A note states: "CONCENTRATION: 0.1% (w/v)".

(B) CASTING POLYMER FILM
 This diagram shows a glass plate being used to cast a polymer film. A label indicates "GLASS PLATE". A note states: "FILM THICKNESS: 0.1 mm".

(C) DRYING POLYMER FILM
 This diagram shows a glass plate with a polymer film being dried. A label indicates "GLASS PLATE". A note states: "DRYING TEMPERATURE: 40°C".

Architectural floor plan of the first floor of the 'L' shaped building. The plan shows a central corridor (0.90m wide) connecting various rooms. On the left side, there is a large hall (12.00m x 14.00m) with a staircase (1.20m x 1.20m) and a small room (1.20m x 1.20m). On the right side, there is a large hall (12.00m x 14.00m) with a staircase (1.20m x 1.20m) and a small room (1.20m x 1.20m). The plan also shows a central staircase (1.20m x 1.20m) and a small room (1.20m x 1.20m). The overall dimensions of the building are 12.00m by 14.00m. The plan is labeled '1. STOR' and '2. STOR'.

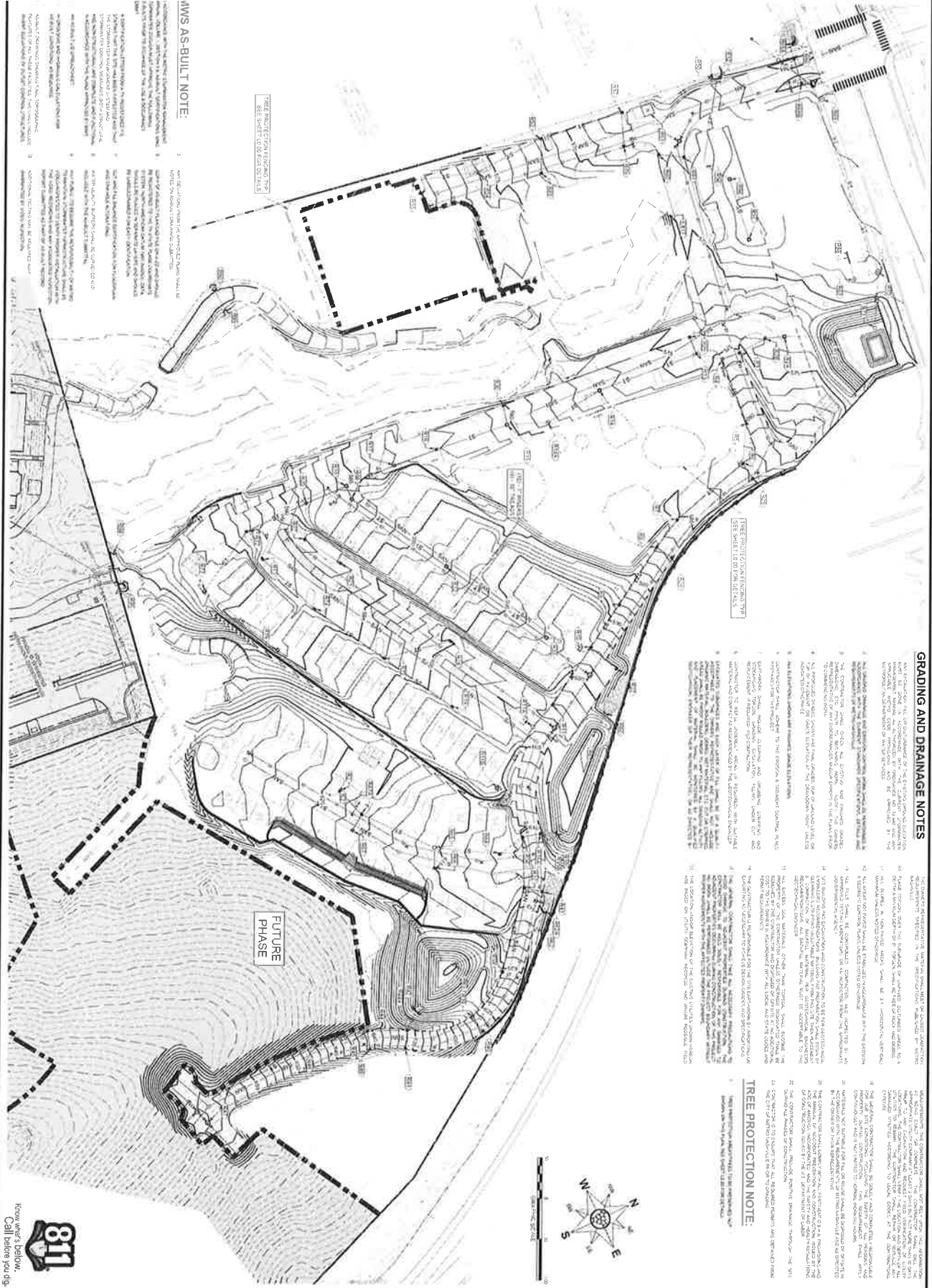
Figure 10.10 Signs for the proposed building.

DATE:	JANUARY, 2026	DRAWN BY:	103
PROJECT NO.	33-028	CHECKED BY:	AK

M2
GROUP
It is now 2010
WICKSTEAD RD, STONINGDON
401-444-1037 / [M2GROUPINC.COM](http://m2groupinc.com)

FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
 SP CASE NO.: 2017SP-034-004
 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
 PARCEL ID: 06160B590000CO & 06100008500

C210



AMS AS-BUILT NOTE:

SEE PROJECT GRADING TYPE
SEE SHEET 10-28 AND 10-29

SEE PROJECT GRADING TYPE
SEE SHEET 10-28 AND 10-29

GRADING AND DRAINAGE NOTES

1. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
2. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
3. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
4. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
5. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
6. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
7. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
8. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
9. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
10. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
11. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
12. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
13. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
14. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.
15. THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.

TREE PROTECTION NOTE:

THE GRADING AND DRAINAGE PLAN SHALL BE BASED ON THE SURVEYED DATA AND THE GRADING AND DRAINAGE NOTES.



C300

OVERALL GRADING & DRAINAGE PLAN

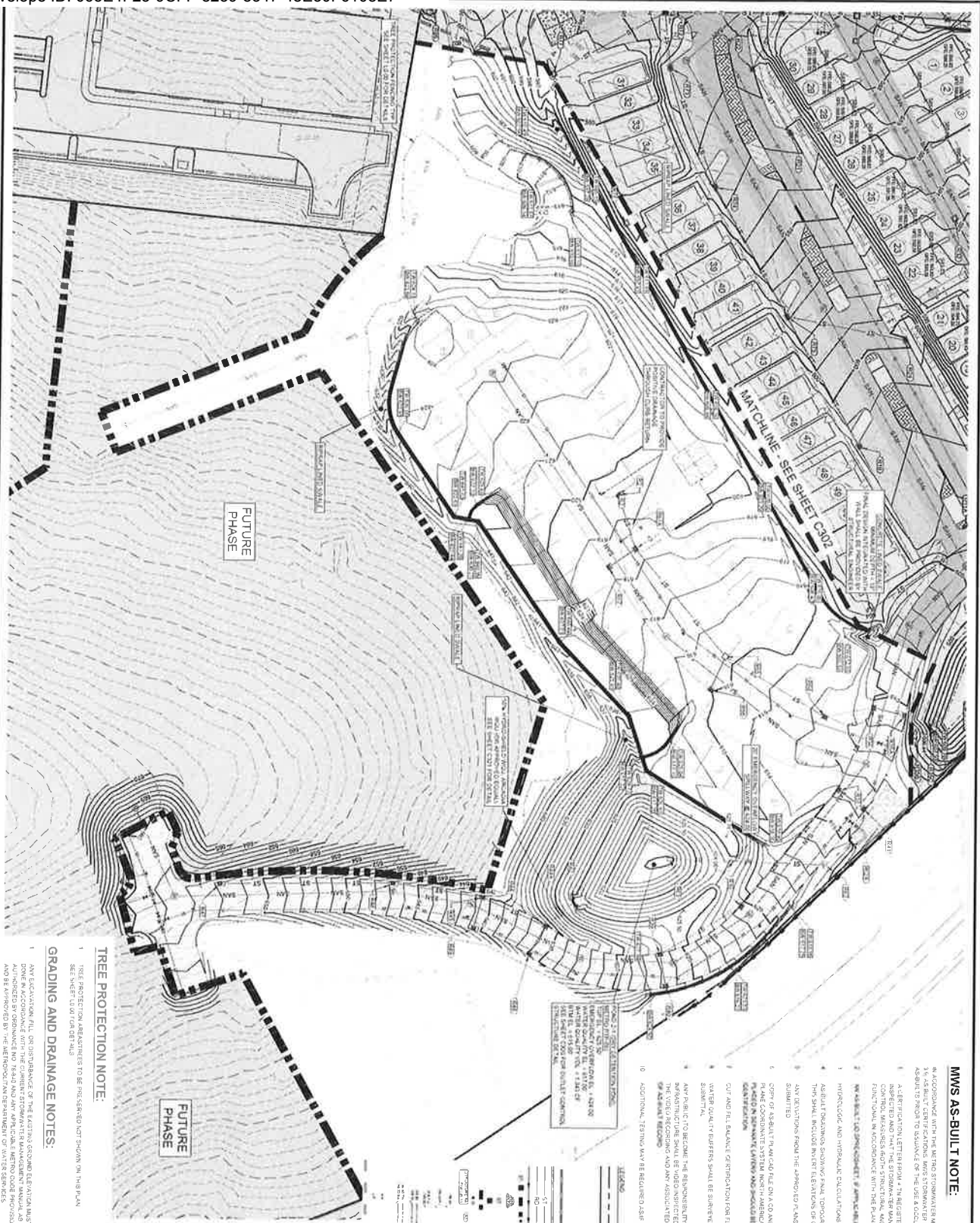
DATE: OCTOBER 21, 2025 DRAWN BY: T.O.T. PROJECT NO: 23-038 CHECKED BY: 99



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-024-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 061509900000 & 06100005500
MICHIGAN COUNTY, MICHIGAN



REVISION #	DATE	DESCRIPTION
1	10/21/25	ISSUED FOR PERMIT
2	10/21/25	ISSUED FOR PERMIT
3	10/21/25	ISSUED FOR PERMIT
4	10/21/25	ISSUED FOR PERMIT
5	10/21/25	ISSUED FOR PERMIT
6	10/21/25	ISSUED FOR PERMIT
7	10/21/25	ISSUED FOR PERMIT
8	10/21/25	ISSUED FOR PERMIT
9	10/21/25	ISSUED FOR PERMIT
10	10/21/25	ISSUED FOR PERMIT
11	10/21/25	ISSUED FOR PERMIT
12	10/21/25	ISSUED FOR PERMIT
13	10/21/25	ISSUED FOR PERMIT
14	10/21/25	ISSUED FOR PERMIT
15	10/21/25	ISSUED FOR PERMIT



MMS AS-BUILT NOTE:

1. IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 11.4, AS-BUILT CERTIFICATIONS MUST BE SUBMITTED BY THE DESIGNER TO THE FOLLOWING AGENCIES TO VERIFY THE AS-BUILT CONSTRUCTION OF THE SITE'S DRAINAGE SYSTEM:
- A. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 11.4, AND THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- B. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- C. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- D. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- E. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- F. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- G. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- H. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- I. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- J. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- K. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- L. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- M. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- N. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- O. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- P. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- Q. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- R. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- S. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- T. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- U. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- V. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- W. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- X. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- Y. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.
- Z. VERIFICATION LETTER FROM THE METRO BOARD OF COMMISSIONERS, STATEMENT THAT THE SITE IS FUNCTIONAL IN ACCORDANCE WITH THE PLAN APPROVED BY METRO.

TREE PROTECTION NOTE:

1. TREE PROTECTION BARRIERS TO BE INSTALLED TO PROTECT TREES ON THE PLAN. SEE SHEET D-1 FOR DETAILS.

GRADING AND DRAINAGE NOTES:

1. ANY EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT MANUAL AND BE APPROVED BY THE METRO BOARD OF COMMISSIONERS.



Know what's below.
Call before you dig.

C303

DATE	PROJECT NO.	DRAWN BY	CHECKED BY	T.O.T.
OCTOBER 27, 2015	27-038			MB

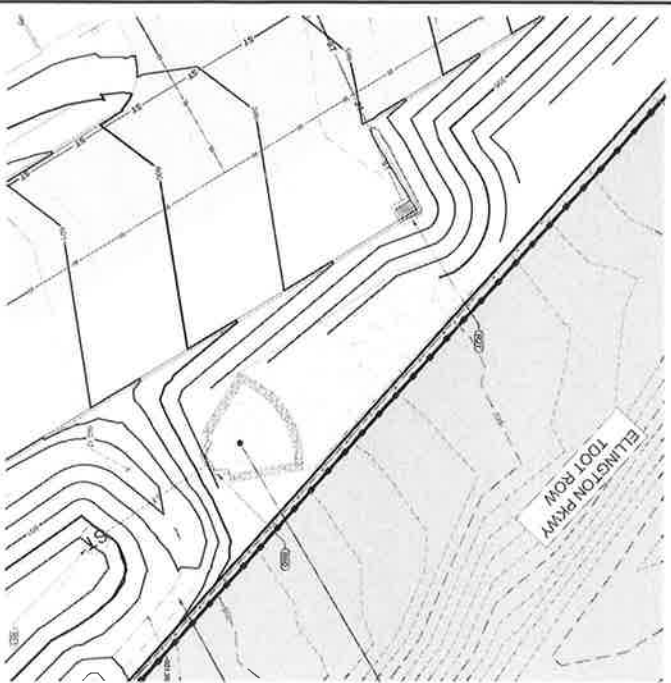


**FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1**

SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 0616089000000 & 06100008500



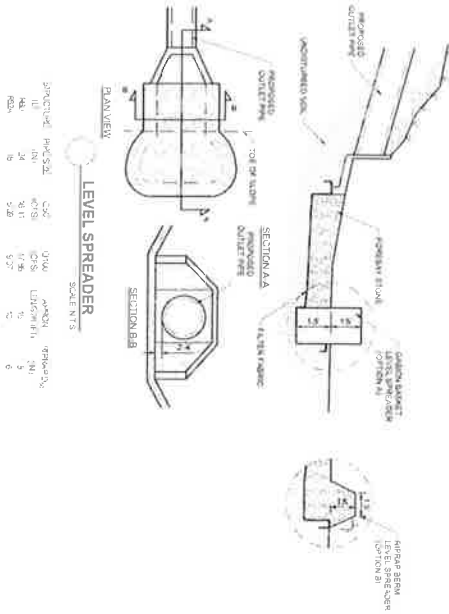
REVISION	DATE	DESCRIPTION
1	10/27/15	ISSUED FOR PERMIT
2	11/10/15	FOR REVIEW
3	11/10/15	FOR REVIEW
4	11/10/15	FOR REVIEW
5	11/10/15	FOR REVIEW
6	11/10/15	FOR REVIEW
7	11/10/15	FOR REVIEW
8	11/10/15	FOR REVIEW
9	11/10/15	FOR REVIEW
10	11/10/15	FOR REVIEW



STRUCTURE R60 OUTFALL
SEE SHEET C302



STRUCTURE R62A OUTFALL
SEE SHEET C303



LEVEL SPREADER
SCALE: 1" = 1'-0"

- TDOT NOTES:**
- 1. POST-CONSTRUCTION - FLOOD RISK RATES FOR THE 0.05 STORM EVENT SHALL NOT EXCEED 1%.
 - 2. APPROPRIATE STORMWATER MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO ENSURE COMPLIANCE.

- GRAVING AND DRAINAGE NOTES:**
- 1. ANY DRAINAGE, FILL OR OBSTRUCTION OF THE EXISTING DRAINAGE SYSTEM SHALL BE REMOVED OR RECONSTRUCTED TO MAINTAIN THE EXISTING DRAINAGE SYSTEM.
 - 2. ANY DRAINAGE, FILL OR OBSTRUCTION OF THE EXISTING DRAINAGE SYSTEM SHALL BE REMOVED OR RECONSTRUCTED TO MAINTAIN THE EXISTING DRAINAGE SYSTEM.

TDOT DRAINAGE PLAN

M2 GROUP

DATE: OCTOBER 21, 2025
PROJECT NO: 23-028
DRAWN BY: TGT
CHECKED BY: JBR

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150B900000 & 061000008500

THIS PLAN
IS FOR THE
USE OF THE
CLIENT
ONLY
(NOT FOR
REUSE)

STORM PIPE & STRUCTURE TABLES

M2
GROUP

FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150B900000 & 06100090500

METROPOLITAN SANITARY
DISTRICT OF ST. LOUIS
1000 MARKET STREET, ST. LOUIS, MO 63102

REV	DATE	DESCRIPTION
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2	08/10/2021	FOR PRELIMINARY REVIEW ONLY
3	08/10/2021	FOR PRELIMINARY REVIEW ONLY

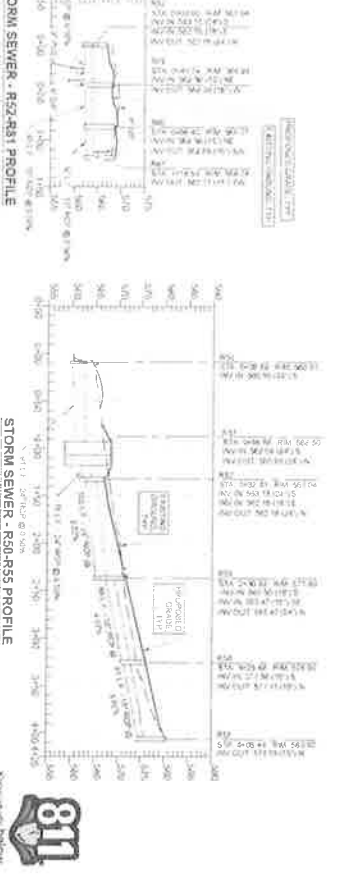
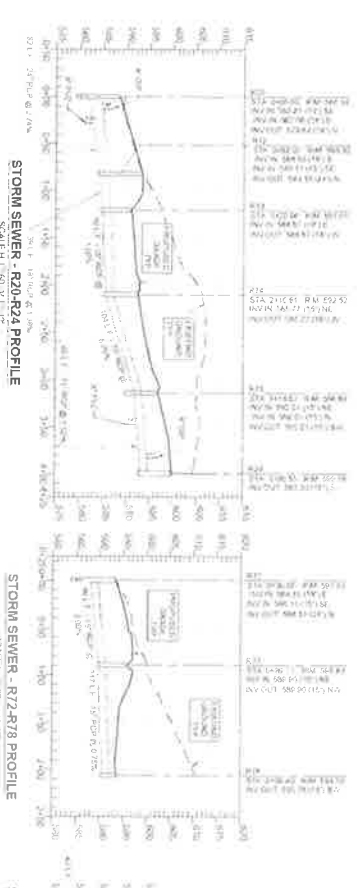
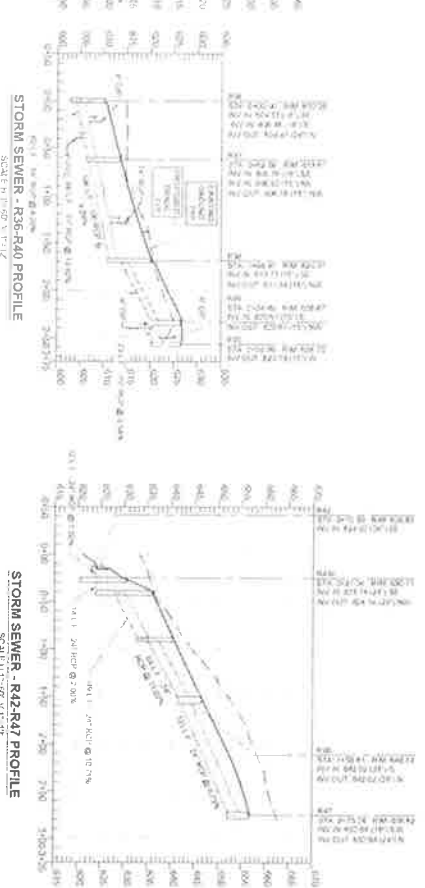
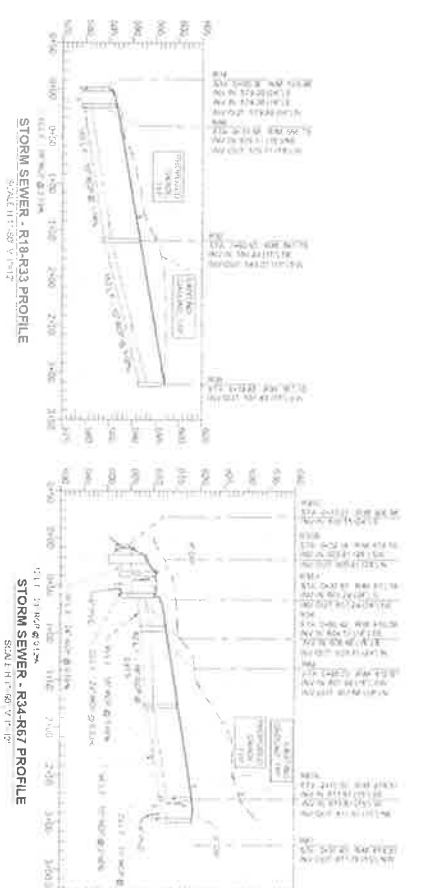
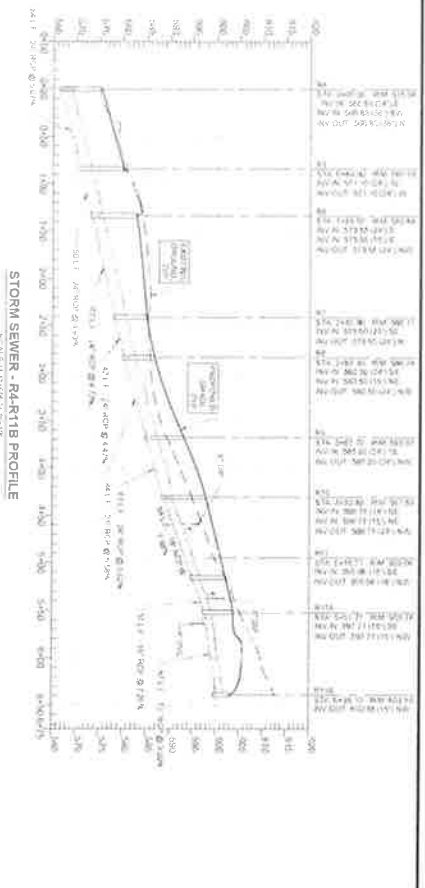
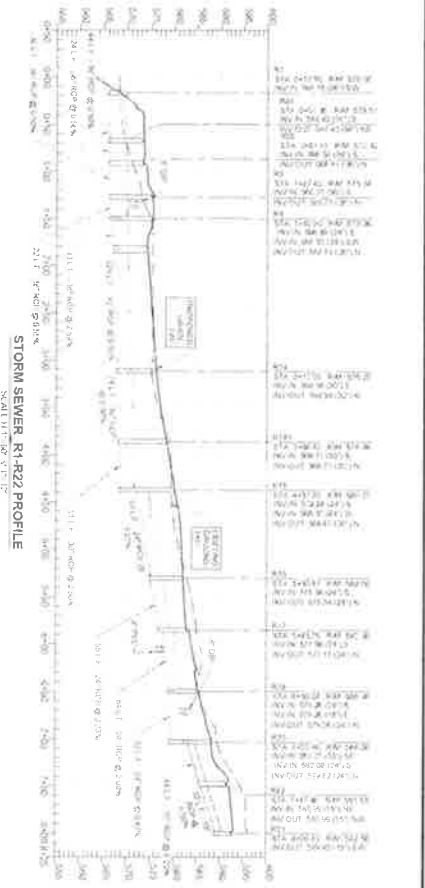
DATE: OCTOBER 11, 2021 DRAWN BY: T.O.T.

NOTE
ALL BUILDING STOCKS MUST BE RCP
PRIVATE STOCKS ARE MAY BE THERMOPLASTIC
FOLLOWING THE STANDARDS BELOW

10P
ASTM F2821 ASH TO MAKE MATERIAL,
ASTM D1216 SAWT (KONT)
ASTM D1273 INSTALLATION

10PE
ASTM F2821 ASH TO MAKE MATERIAL,
ASTM D1216 SAWT (KONT)
ASTM D1273 INSTALLATION

STORM PIP
DATE: OCT



C311

STORM PROFILES

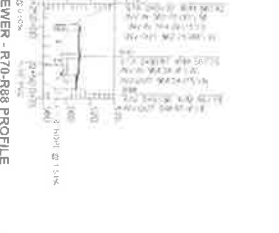
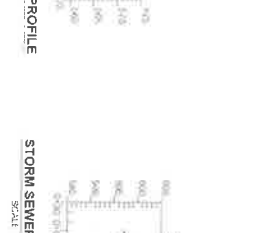
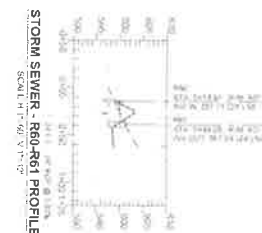
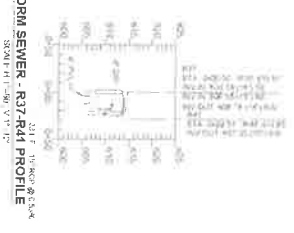
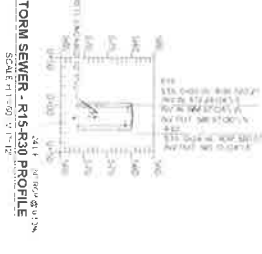
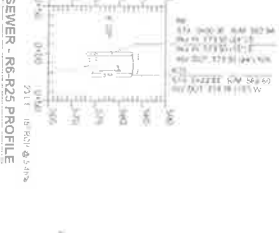
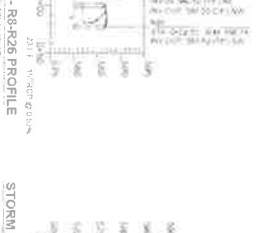
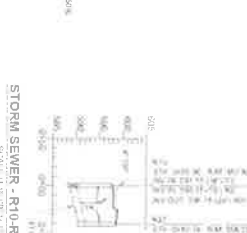
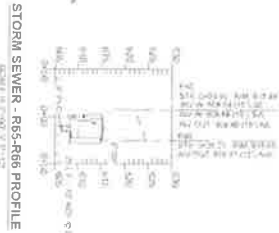
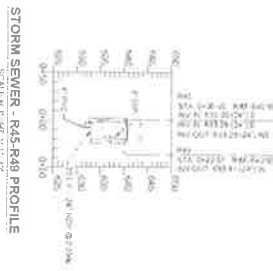
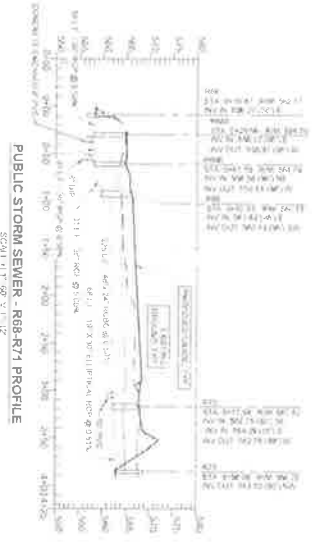
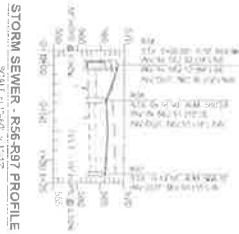
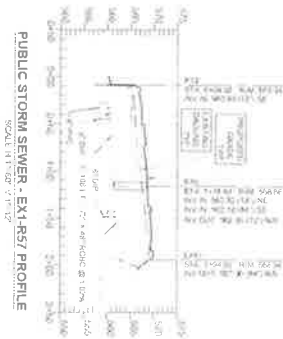
DATE	OCTOBER 01, 2021	DRAWN BY	TOT
PROJECT NO.	21-024	ENGINEER BY	MS



FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 061605000000 & 06100008500



REVISION	DATE	DESCRIPTION
1	10/01/21	1. INITIAL DESIGN AND CONSTRUCTION
2	10/01/21	2. REVISIONS TO CONSTRUCTION
3	10/01/21	3. REVISIONS TO CONSTRUCTION



C312

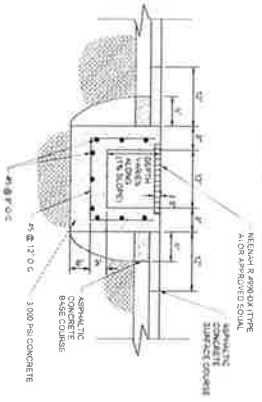
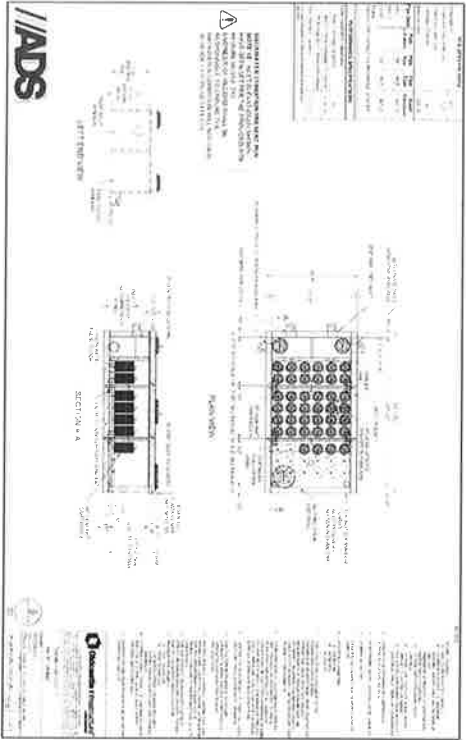
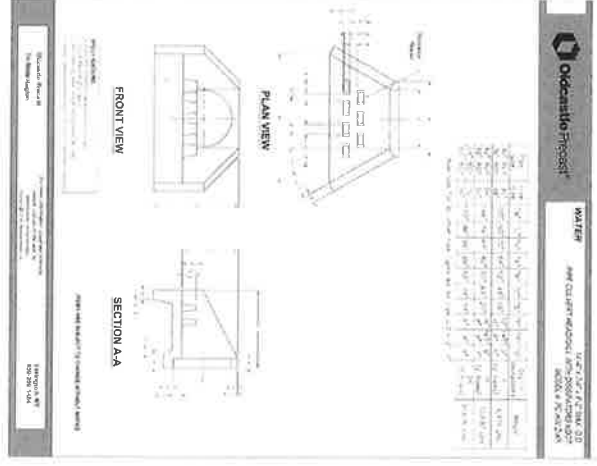
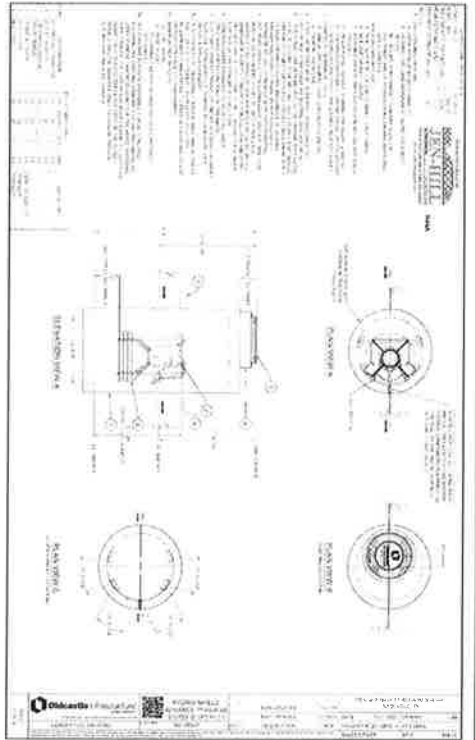
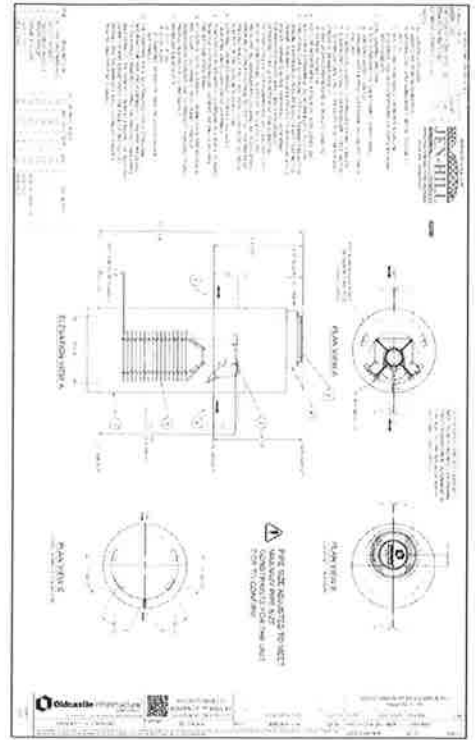
STORM PROFILES CONT.



FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-001
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 06160B900000 & 06100008500
CANNON COUNTY, TENNESSEE



REVISION	DATE	DESCRIPTION
1	10/26/2017	SP REVIEW FOR PRELIMINARY COMMENTS
2	10/26/2017	SP REVIEW FOR PRELIMINARY COMMENTS
3	10/26/2017	SP REVIEW FOR PRELIMINARY COMMENTS
4	10/26/2017	SP REVIEW FOR PRELIMINARY COMMENTS



17 CAST-IN-PLACE TRENCH DRAIN
SCALE: N.T.S.

GRADING & DRAINAGE DETAILS

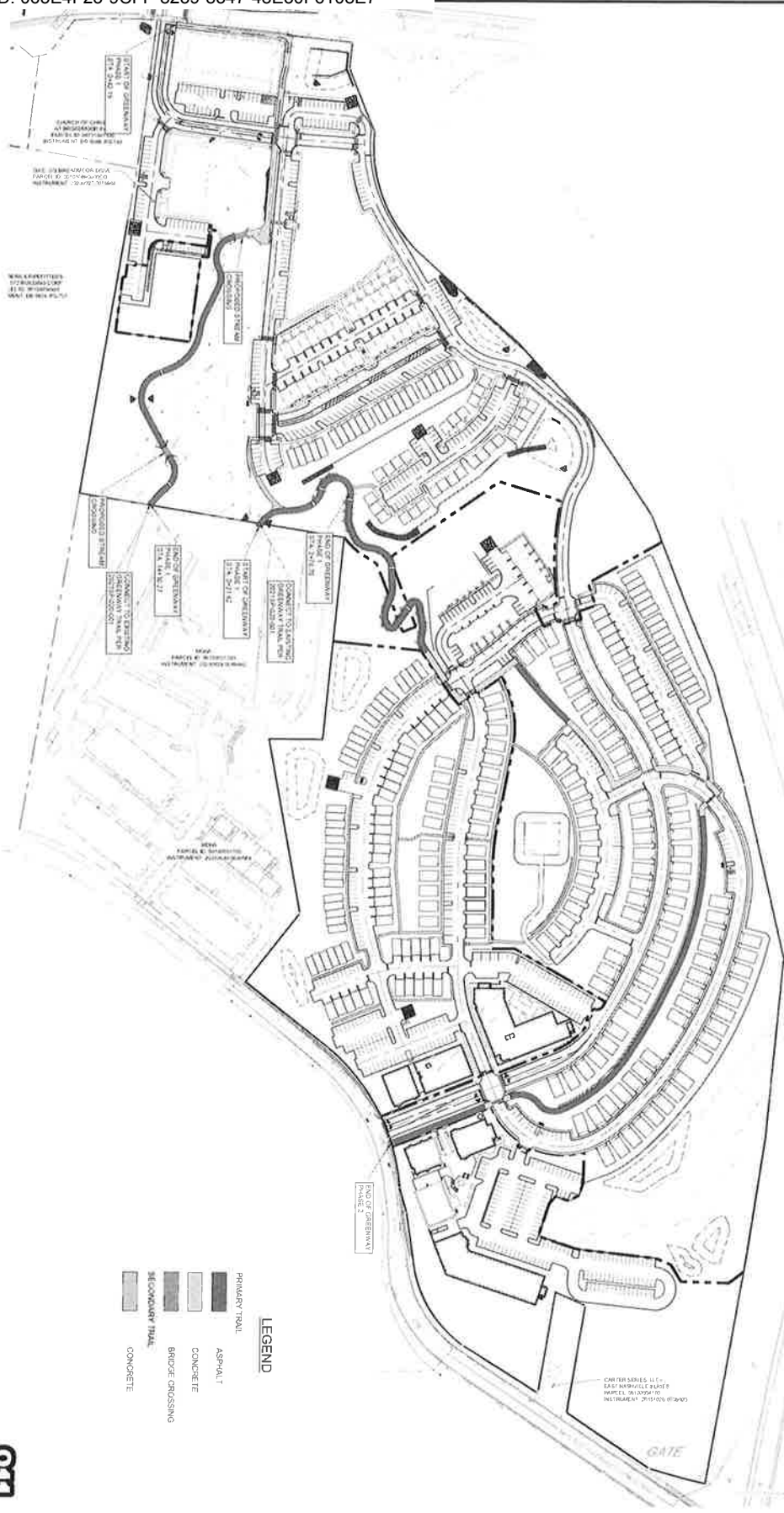
DATE:	OCTOBER 24, 2024	DRAWN BY:	T.O.T.
PROJECT NO.:	23-028	CHECKED BY:	KB



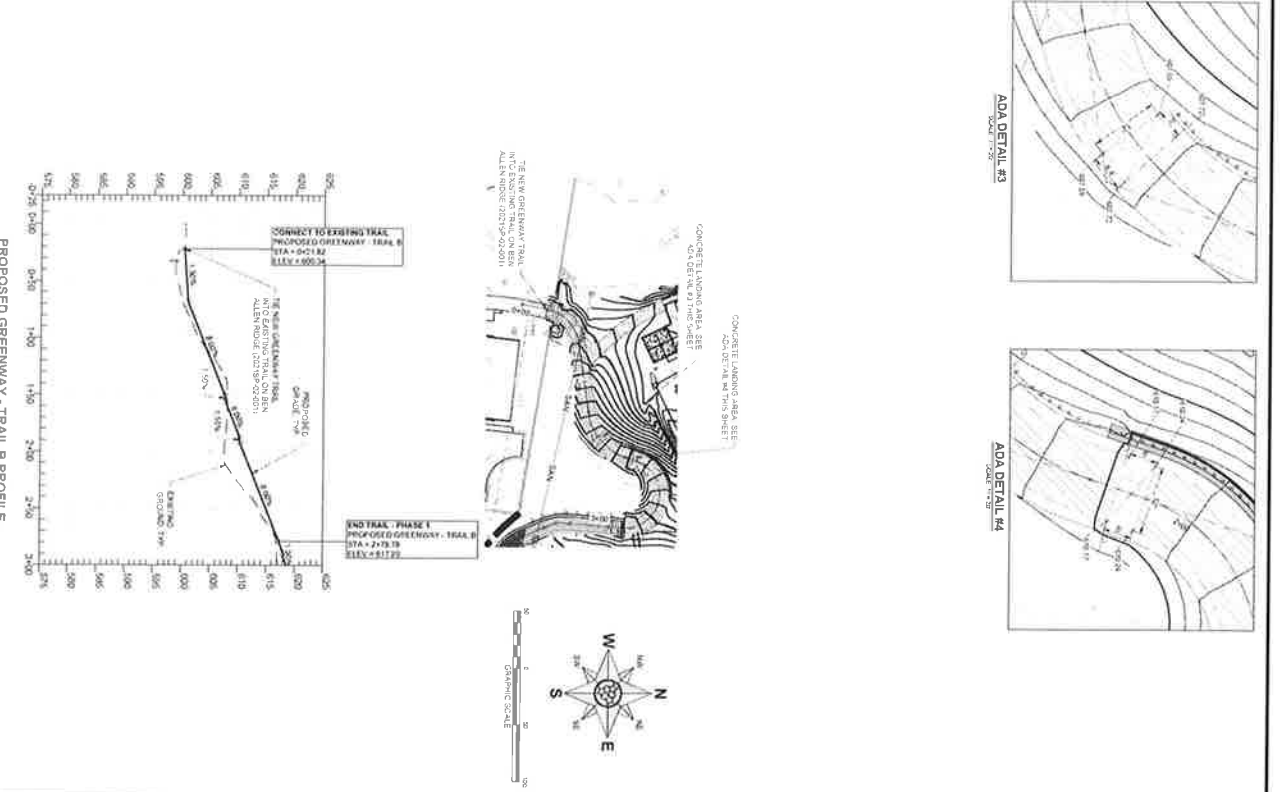
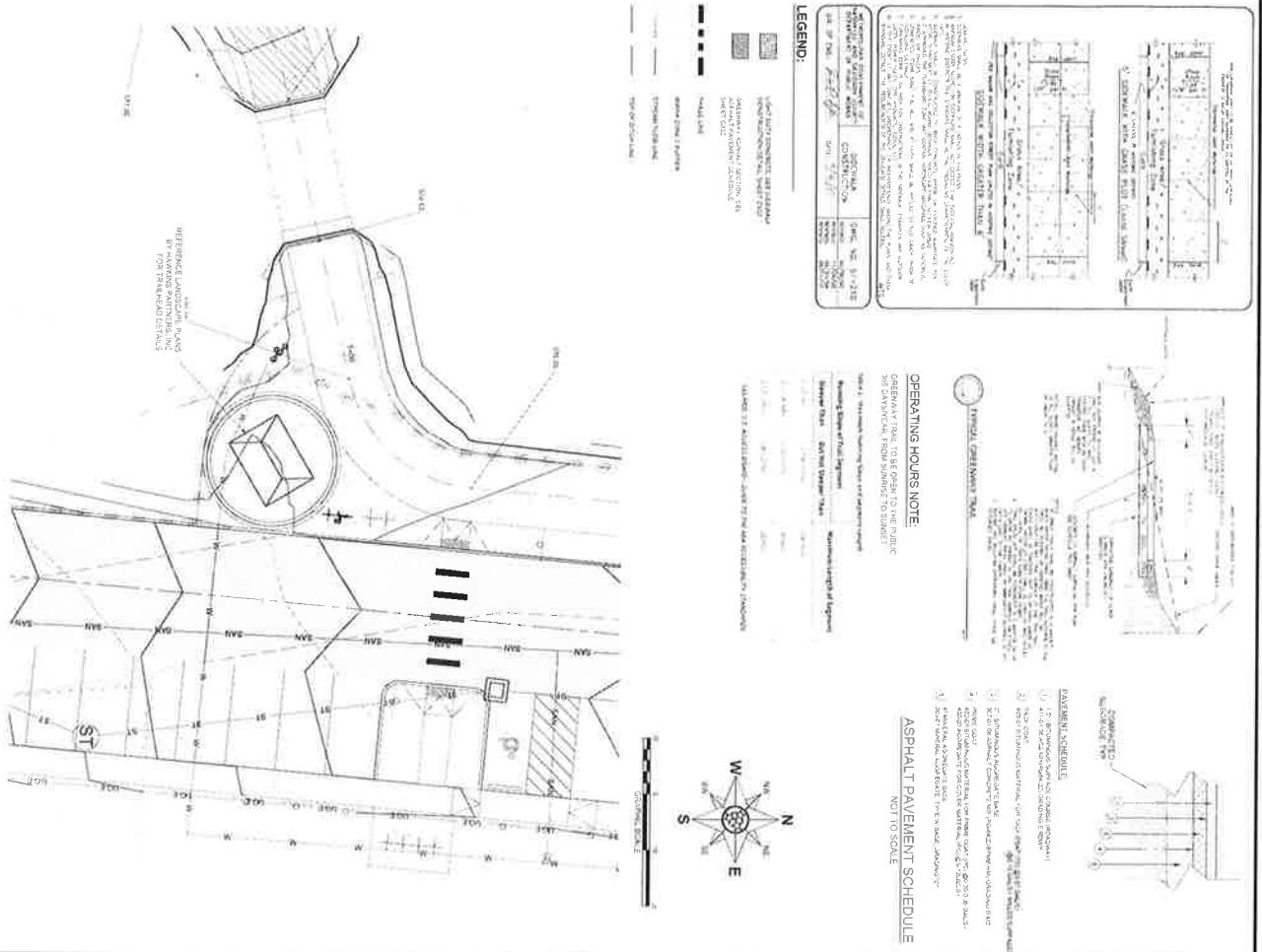
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-024-004
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 061608900000 & 06100008500
DAVIDSON COUNTY, TENNESSEE



REVISION	DATE	DESCRIPTION
1	08/20/23	SP NO. 001000 FOR METRIC COMMENTS
2	08/20/23	SP NO. 001000 FOR METRIC COMMENTS
3	08/20/23	SP NO. 001000 FOR METRIC COMMENTS

[illegible]

 Know what's below. Call before you dig.	OVERALL GREENWAY PLAN	 810 604-2543 GREENWOOD, IN 46034-2543 810-604-1037 / M2MUNICIPAL.COM								
C330	<table border="1"> <tr> <td>DATE:</td> <td>JUL 7, 2019</td> <td>DRAWN BY:</td> <td>T.O.T.</td> </tr> <tr> <td>PROJECT NO.:</td> <td>23 018</td> <td>CHECKED BY:</td> <td>MWB</td> </tr> </table>	DATE:	JUL 7, 2019	DRAWN BY:	T.O.T.	PROJECT NO.:	23 018	CHECKED BY:	MWB	 810 604-2543 GREENWOOD, IN 46034-2543 810-604-1037 / M2MUNICIPAL.COM
DATE:	JUL 7, 2019	DRAWN BY:	T.O.T.							
PROJECT NO.:	23 018	CHECKED BY:	MWB							



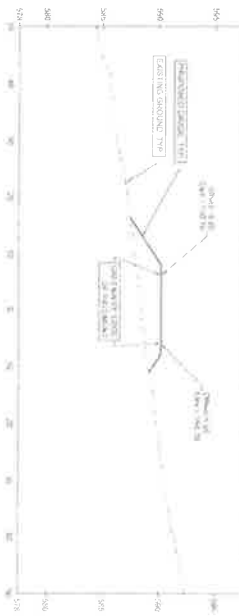
GREENWAY PLAN & PROFILE		M2 GROUP		FINAL SPECIFIC PLAN FOR OSAGE ARBOR AT BROADMOOR - PHASE 1		REVISION	
DATE:	OCTOBER 21, 2020	DRAWN BY:	T.D.F.	SP CASE NO.:	2017SP-034-004	1	OF THE PROJECT FOR THE CITY OF BROADMOOR
PROJECT NO.:	22-023	CHECKED BY:	MB	272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD		2	OF THE PROJECT FOR THE CITY OF BROADMOOR
				PARCEL ID: 061508900000 & 06100008500		3	OF THE PROJECT FOR THE CITY OF BROADMOOR
				NETWORK DESIGN TEAM		4	OF THE PROJECT FOR THE CITY OF BROADMOOR

C332

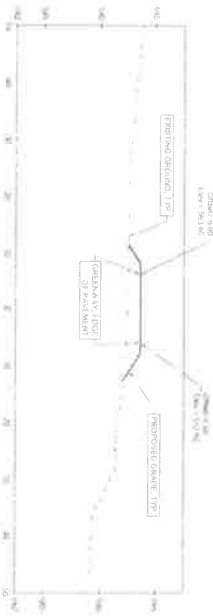
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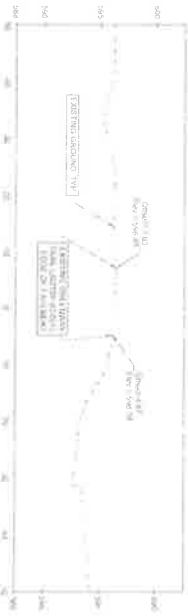
STA 1248, Proposed Greenway, Trail A
Scale 1" = 10' V, 1" = 5' H



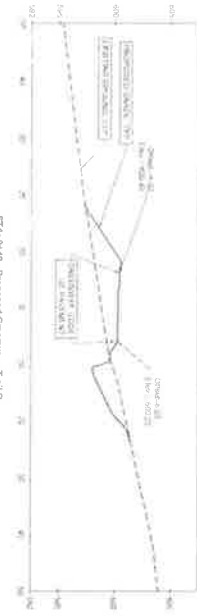
STA 1278, Proposed Greenway, Trail A
Scale 1" = 10' V, 1" = 5' H



STA 1348, Proposed Greenway, Trail A
Scale 1" = 10' V, 1" = 5' H



STA 1448, Proposed Greenway, Trail A
Scale 1" = 10' V, 1" = 5' H



STA 1448, Proposed Greenway, Trail B
Scale 1" = 10' V, 1" = 5' H



STA 1548, Proposed Greenway, Trail B
Scale 1" = 10' V, 1" = 5' H



STA 1648, Proposed Greenway, Trail B
Scale 1" = 10' V, 1" = 5' H



GREENWAY CROSS-SECTIONS

DATE	OCTOBER 18, 2017	DRAWN BY	10/17
PROJECT NO.	2232P	CHECKED BY	10/17



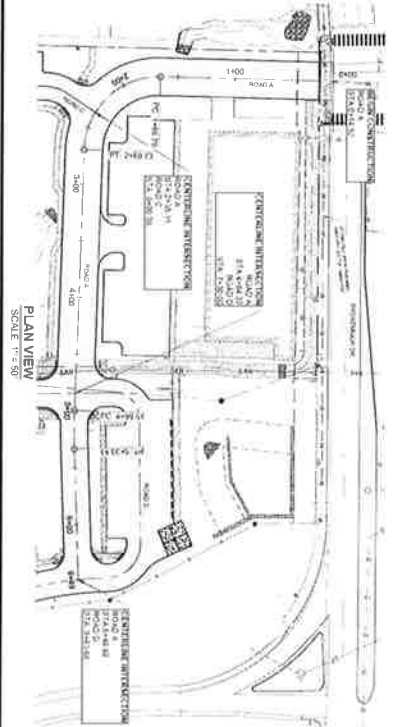
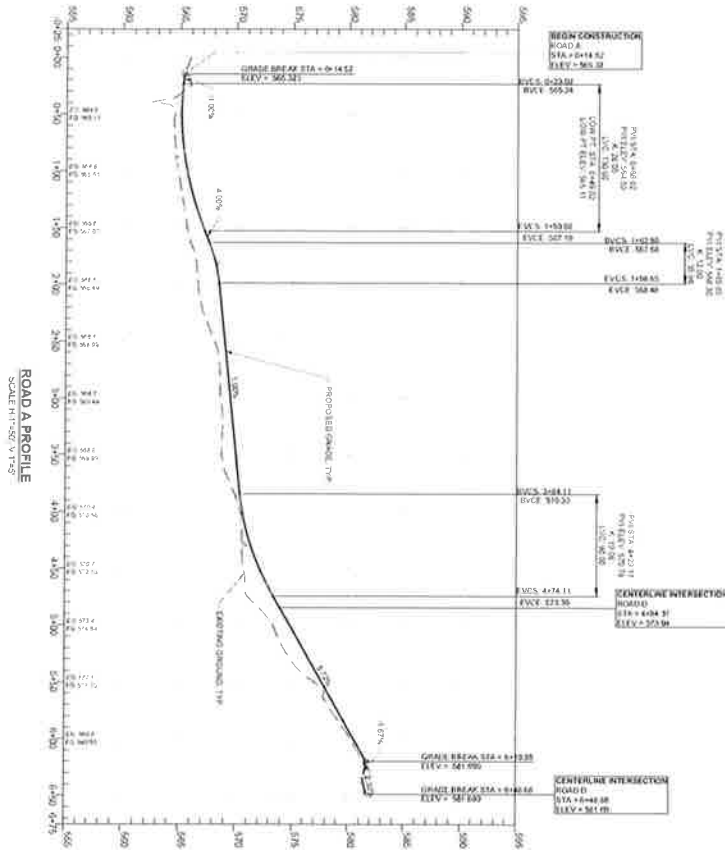
P.O. BOX 2841
RENTWOOD, TN 37084-2841
423.886.8887 FAX 423.886.8888

FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2017SP-024-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06160B000000 & 06100008500
NORTH ARBOR DEVELOPMENT



NO.	DATE	DESCRIPTION
1	10/17/17	1. INITIAL PLAN FOR PHASE 1
2	10/17/17	2. REVISIONS FOR PHASE 1
3	10/17/17	3. REVISIONS FOR PHASE 1
4	10/17/17	4. REVISIONS FOR PHASE 1
5	10/17/17	5. REVISIONS FOR PHASE 1
6	10/17/17	6. REVISIONS FOR PHASE 1
7	10/17/17	7. REVISIONS FOR PHASE 1
8	10/17/17	8. REVISIONS FOR PHASE 1
9	10/17/17	9. REVISIONS FOR PHASE 1
10	10/17/17	10. REVISIONS FOR PHASE 1

C334



REFERENCE:

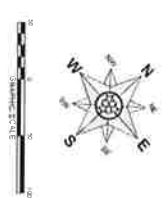
1. THE EXISTING ROADWAY IS 20' WIDE AT 11' CORNER POINTS. THE ROADWAY IS 20' WIDE AT 11' CORNER POINTS. THE ROADWAY IS 20' WIDE AT 11' CORNER POINTS. THE ROADWAY IS 20' WIDE AT 11' CORNER POINTS.

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DESIGN SPEED NOTE:

DESIGN SPEED = 35 MPH



C340	ROAD A PLAN & PROFILE				FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1 SP CASE NO.: 2017SP-034-004 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD PARCEL ID: 06150B900000 & 06100006500 SEE TYPICAL ROADWAY DIVISION: COUNTY, TENNESSEE		REVISION	DATE	DESCRIPTION
	DATE: OCTOBER 25, 2021						1	08/25/21	SP PRELIMINARY FOR METRO COMMENTS
	PROJECT NO.: 23-028						2	11/11/21	SP PRELIMINARY FOR METRO COMMENTS
	DRAWN BY: [Signature]						3	11/11/21	SP PRELIMINARY FOR METRO COMMENTS

REFERENCE:

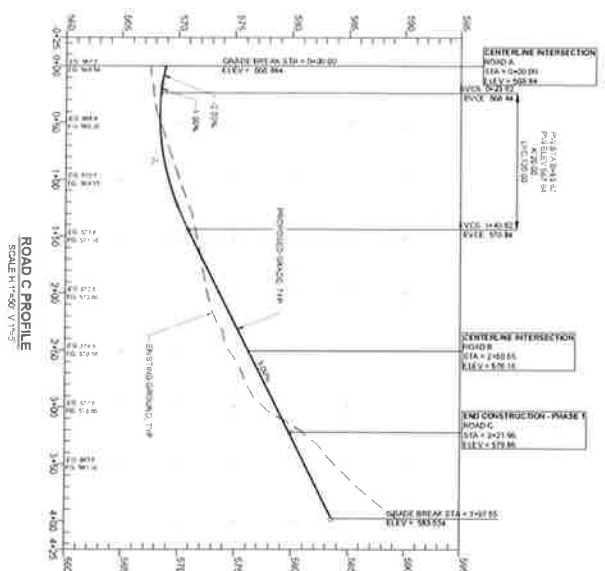
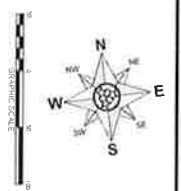
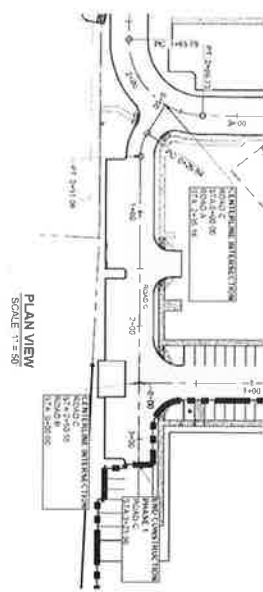
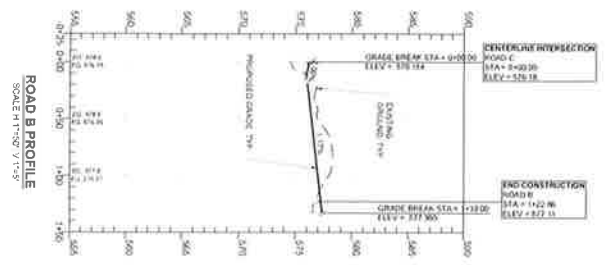
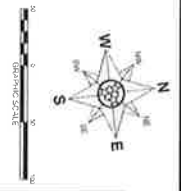
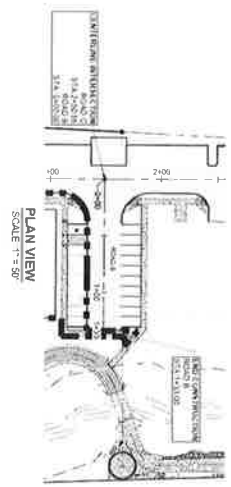
1. THE PROPERTY IS LOCATED IN THE CITY OF BROADMOOR, MISSOURI, AND IS SUBJECT TO THE CITY OF BROADMOOR, MISSOURI, ORDINANCE NO. 10-001, AS AMENDED, WHICH PROVIDES FOR THE REGULATION OF THE USE OF LAND AND THE CONSTRUCTION OF BUILDINGS AND STRUCTURES.

NOTE TO CONTRACTOR:

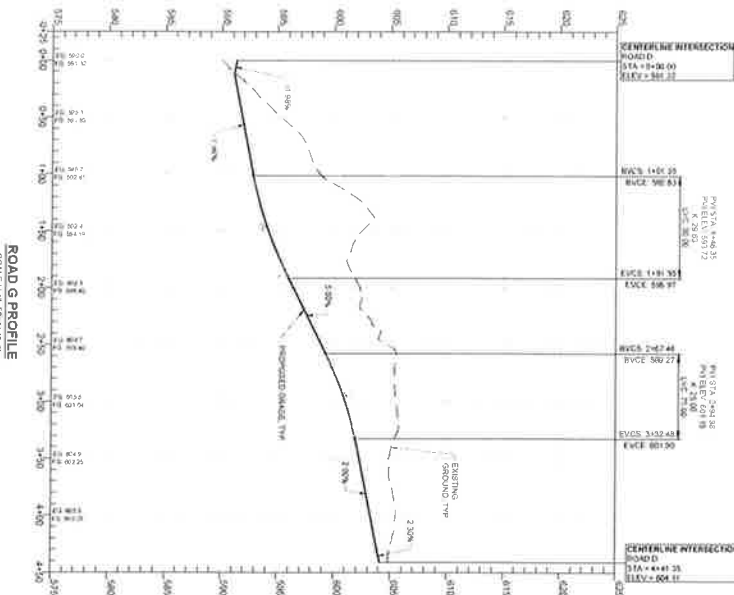
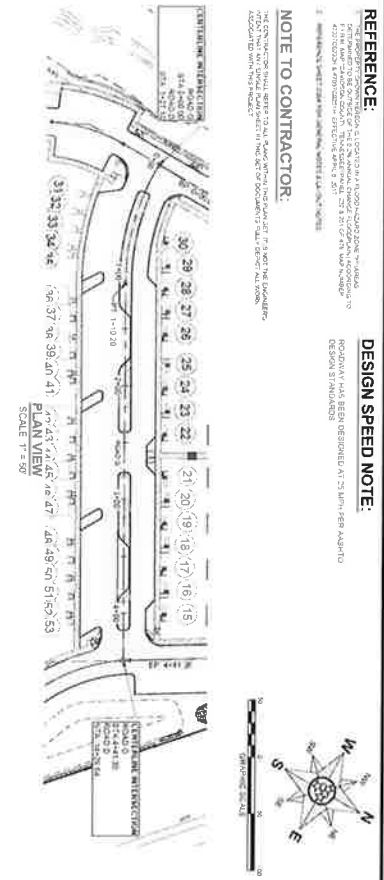
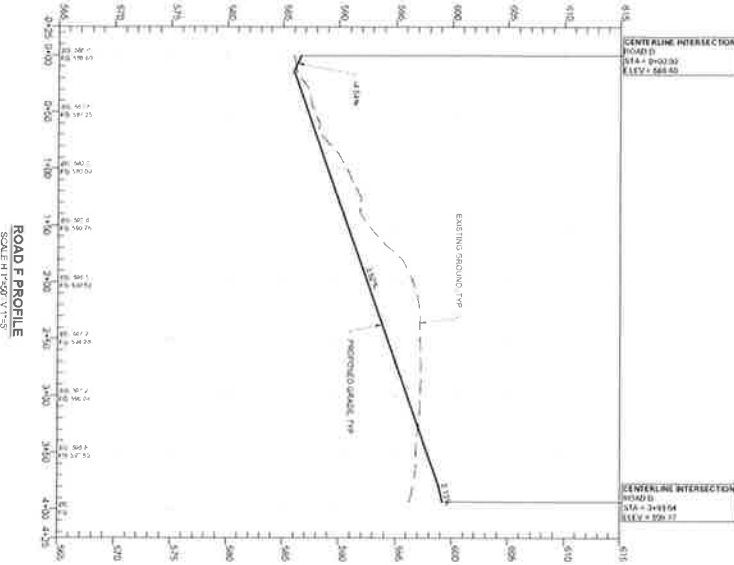
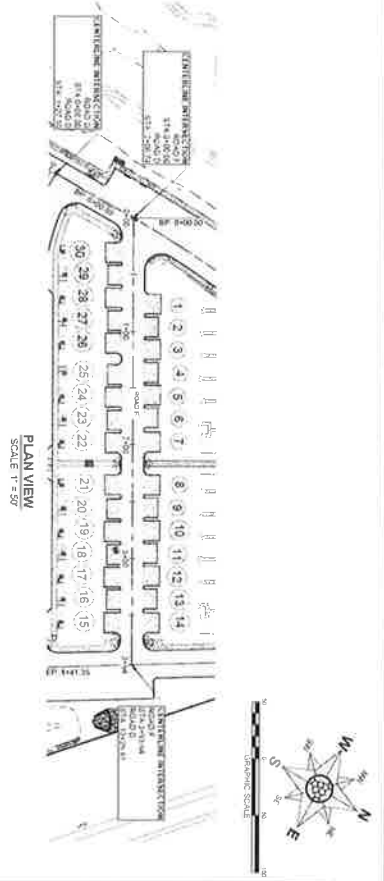
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BROADMOOR, MISSOURI, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION.

DESIGN SPEED NOTE:

DESIGN SPEED HAS BEEN DETERMINED AT 25 MPH PER MISSOURI DESIGN STANDARDS.



C341	ROAD B AND C PLAN & PROFILE		M2 GROUP	FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1 SP CASE NO.: 2017SP-024-004 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD PARCEL ID: 06150B9000000 & 06100008500 NO OTHER PERMITS REQUIRED REVISIONS: (DATE) (REASON)		REVISION # DATE DESCRIPTION	
	DATE: OCTOBER 21, 2023	DRAWN BY: T.G.T.				1 10/21/2023 SET FOR PERMITTING FOR BENTON COUNTY, MISSOURI	
	PROJECT NO.: 23-02	CHECKED BY: JDP				2 10/21/2023 SET FOR PERMITTING FOR BENTON COUNTY, MISSOURI	
						3 11/13/2023 SET FOR PERMITTING FOR BENTON COUNTY, MISSOURI	



REFERENCE:
DESIGNED BY: M2 GROUP, INC.
PROJECT NO.: 2017SP-024-004
DATE: 10/20/17
SCALE: 1" = 50'

DESIGN SPEED NOTE:
DESIGN SPEED: 35 MPH

NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.



C342

ROAD B AND C PLAN & PROFILE			
DATE:	OCTOBER 25, 2017	DRAWN BY:	T.D.T.
PROJECT NO.:	23-028	CHECKED BY:	MD



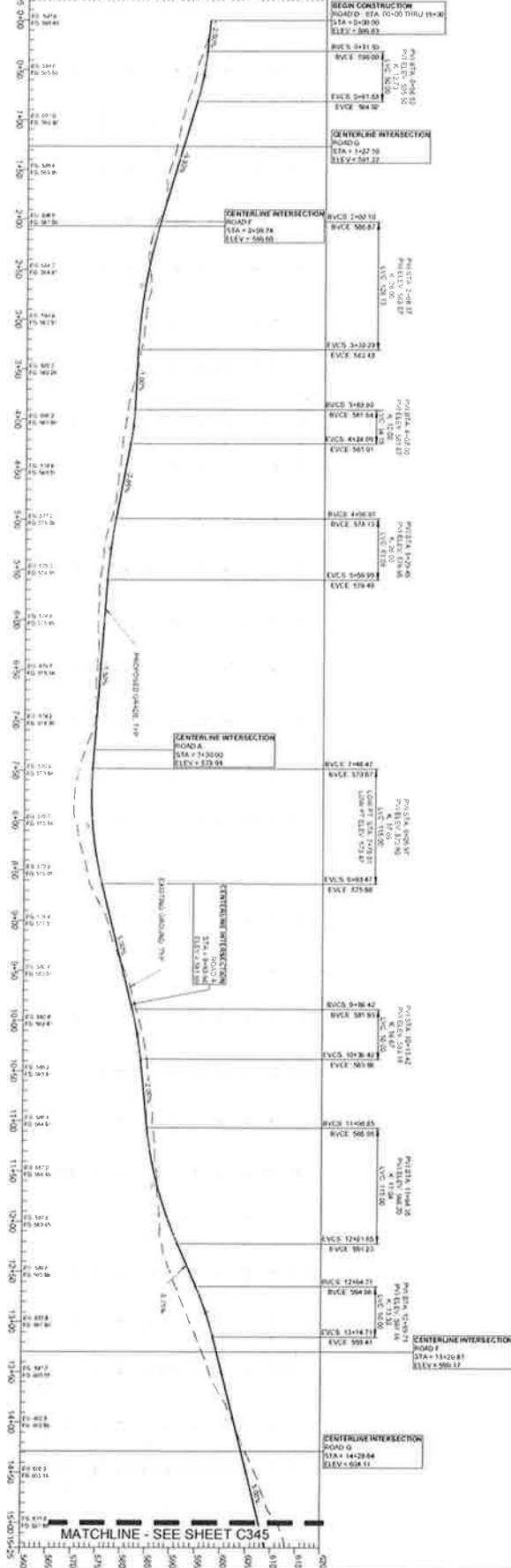
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-024-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B900000 & 06100008500
M2 GROUP, INC. 10/20/17



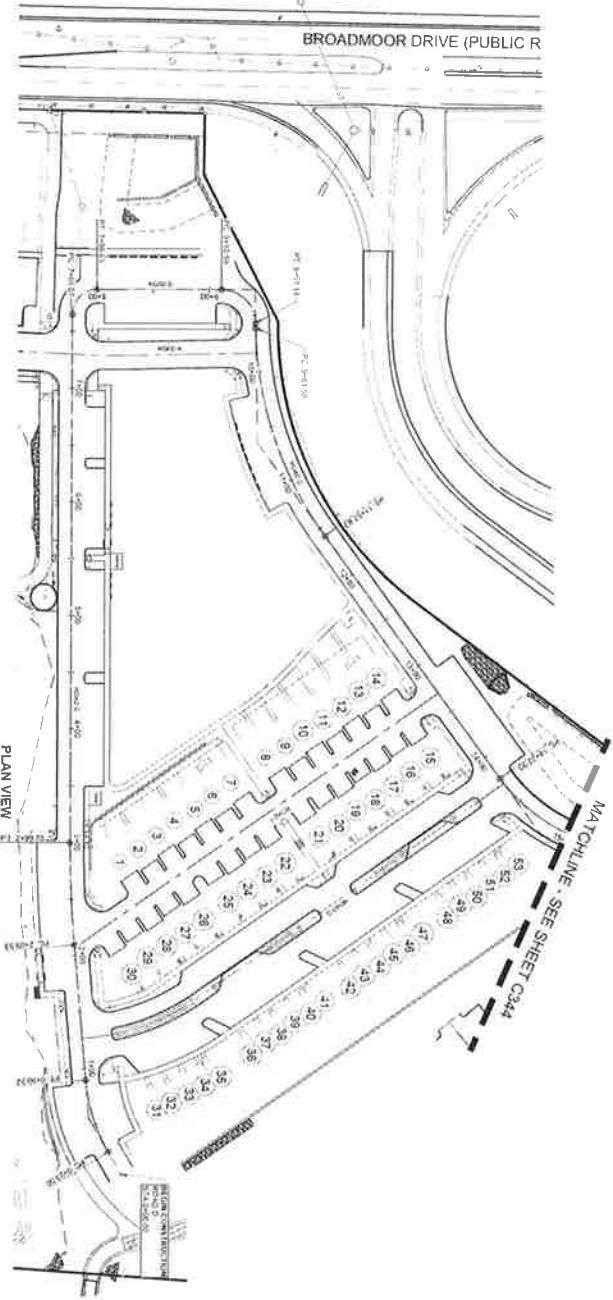
REVISION	DATE	DESCRIPTION
1	10/20/17	SP THE VERTICAL FOR THE PROPOSED CONSTRUCTION
2	10/20/17	SP THE VERTICAL FOR THE PROPOSED CONSTRUCTION
3	10/20/17	SP THE VERTICAL FOR THE PROPOSED CONSTRUCTION

ROAD D - STA. 0+000 THRU 15+000 PROFILE

SCALE: 1"=20'



Know what's below.
Call before you dig.



REFERENCE:

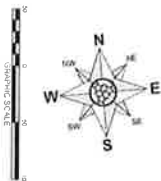
THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

NOTE TO CONTRACTOR:

THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

DESIGN SPEED NOTE:

DESIGN SPEED: 35 MPH



C343

ROAD D PLAN & PROFILE

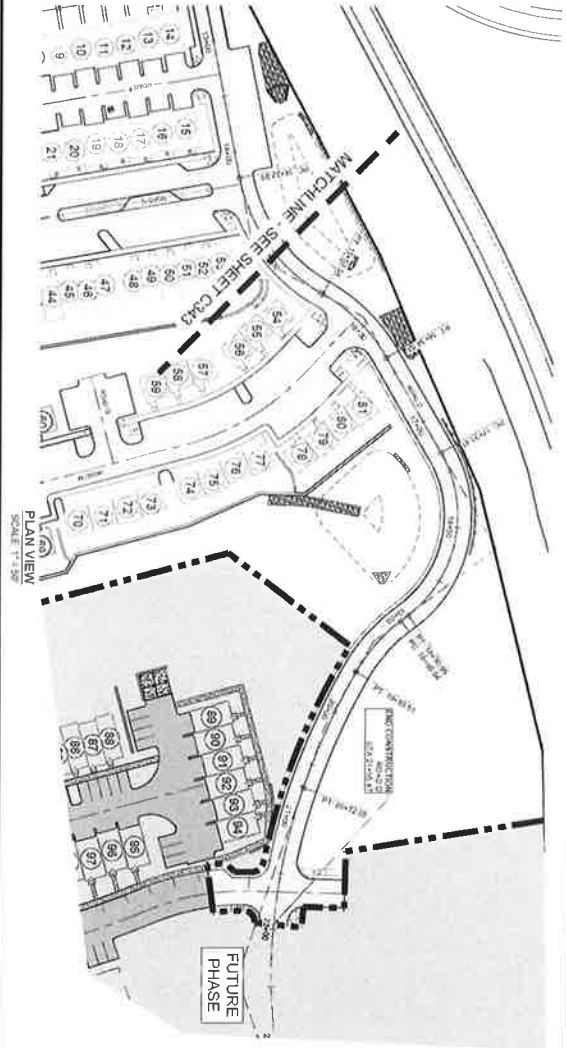
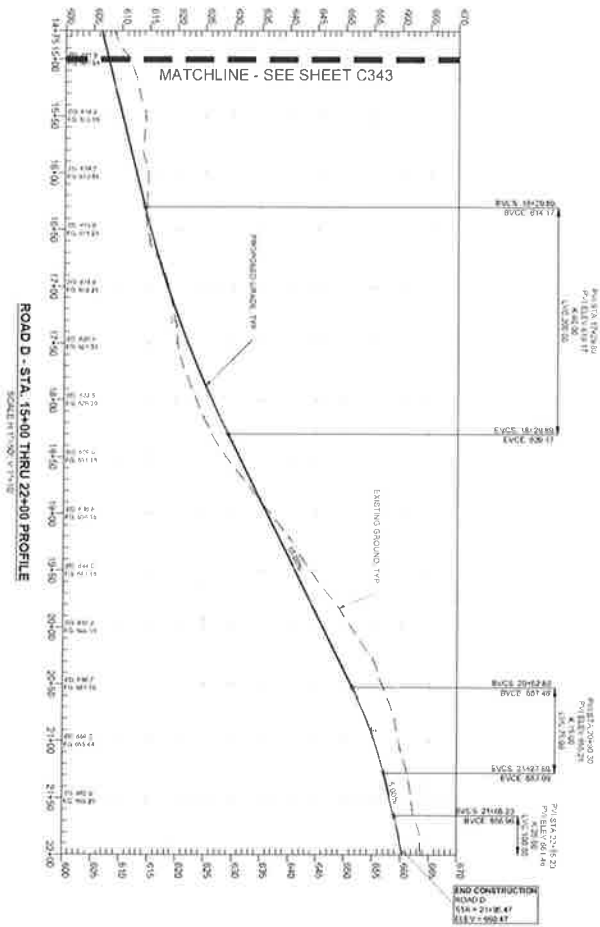
DATE	OCTOBER 21, 2021	DRAWN BY	1.0.7
PROJECT NO.	22-028	CHECKED BY	1.0.7



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 061506900000 & 06100005000



REVISION	DATE	DESCRIPTION
1	10/21/21	SP NO RECORDS FOR SETTING COMMENTS
2	10/21/21	SP NO RECORDS FOR SETTING COMMENTS
3	10/21/21	SP NO RECORDS FOR SETTING COMMENTS



REFERENCE:

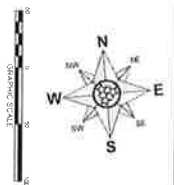
1. THE PROPERTY ADDRESS SHOWN IS LOCATED IN A ZONED RESIDENTIAL DISTRICT.
2. THE PROPERTY ADDRESS SHOWN IS LOCATED IN A ZONED RESIDENTIAL DISTRICT.
3. THE PROPERTY ADDRESS SHOWN IS LOCATED IN A ZONED RESIDENTIAL DISTRICT.
4. THE PROPERTY ADDRESS SHOWN IS LOCATED IN A ZONED RESIDENTIAL DISTRICT.
5. THE PROPERTY ADDRESS SHOWN IS LOCATED IN A ZONED RESIDENTIAL DISTRICT.

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DESIGN SPEED NOTE:

DESIGN SPEED HAS BEEN DETERMINED AT 25 MPH FOR ALL PORTIONS OF THE PROJECT.



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 0615089000000 & 06100008500
METROPOLITAN POLICE
OSAGE COUNTY, MISSOURI



ROAD D PLAN & PROFILE

DATE: OCTOBER 21, 2021 DRAWN BY: J.G.T.
PROJECT NO.: 23-028 CHECKED BY: J.B.

C344

Know what's below.
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C345

ROAD M AND Q PLAN & PROFILE

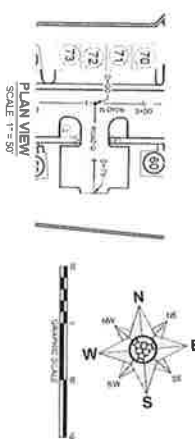
DATE:	OCTOBER 21, 2025	DRAWN BY:	T.O.T
PROJECT NO.:	23-028	CHECKED BY:	KD

M2
GROUP

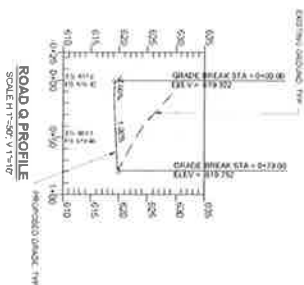
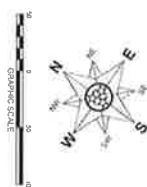
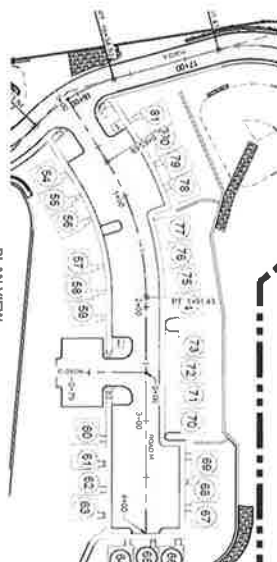
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1

8P CABE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 06160B90000CO & 06100008500

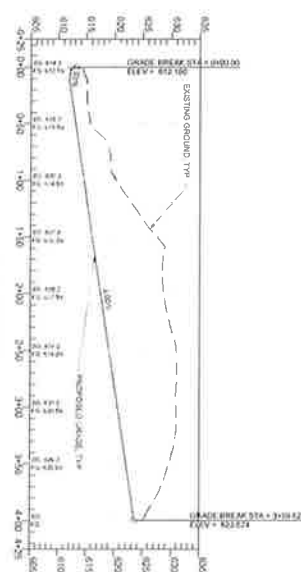
METROPOLITAN NASHVILLE
 6000 BELLAVILLE AVE. NASHVILLE, TN 37219



PLAN VIEW
SCALE: 1" = 50'



ROAD M PROFILE
SCALE H 1"=50', V 1"=10'



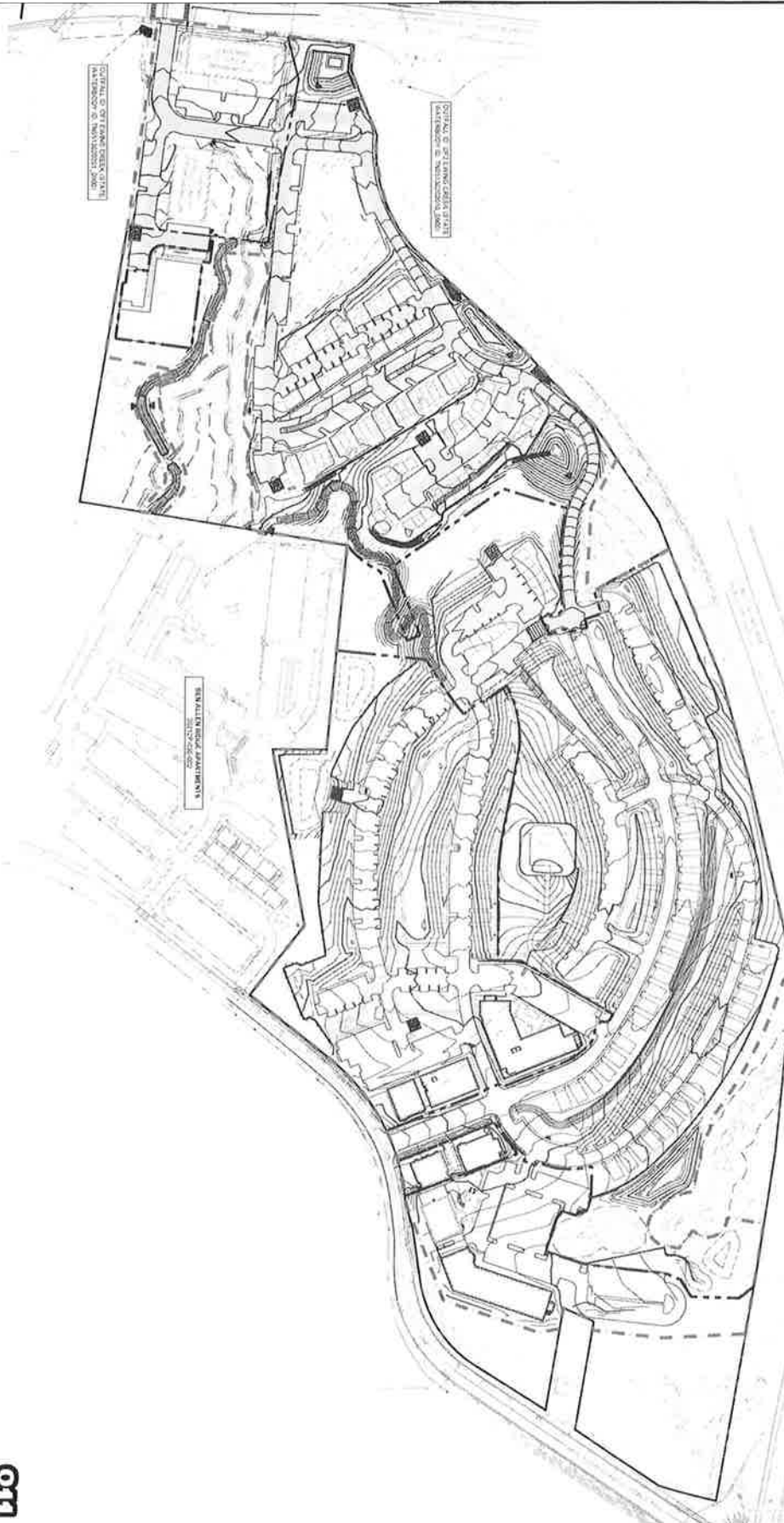
EPSC DATA TABLE	
TOTAL PROJECT AREA:	52,300 AC.
FO FALLOO:	48,814 AC.
PROJECT:	14,271 AC.
LANDS OF PERFORMANCE:	14,604 AC.
RECOVERING LAND:	

ENRAC OFFICE 1317 E. MAIN STREET • P.O. BOX 100020 • DENVER, CO 80202

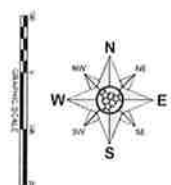
NOC PHASING NOTE:

CONCRETE IS PROPOSED FOR ENTIRE SITE. ASFA WORK SHALL ONLY BE PERFORMED IN PHASE 1 WITH ALL PROPOSED EROSION MEASURES INSTALLED AS SHOWN ON THE FOLLOWING SHEETS. NO WORK SHALL BE PERFORMED ON ANY EXISTING OR PROPOSED CONCRETE OR MAINTAINED OR UNMAINTAINED AND UNMAINTAINED TO BE AS A RESULT OF THIS WORK. ANY PAVEMENT, ROAD OR STOCKPILES AS NEEDED FOR PHASE 1 CONSTRUCTION SHALL BE CONSTRUCTED AND STABILIZED IN ACCORDANCE WITH THE REGULATIONS

ITEM KEY	SYMBOL	NOTE
		PROBES 1
		PROBES 2
		PROBES 3
		2014.100
		PROBES 100



For the purpose of this form, a "country of origin" is the country of birth of the individual. If the individual was born in the United States, the country of origin is the United States. If the individual was born in a foreign country, the country of origin is the foreign country. If the individual was born in a foreign country and is a naturalized citizen of the United States, the country of origin is the foreign country. If the individual was born in a foreign country and is a naturalized citizen of the United States, the country of origin is the foreign country. If the individual was born in a foreign country and is a naturalized citizen of the United States, the country of origin is the foreign country.



811
Know what's below.
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OVERALL EPSC PLAN

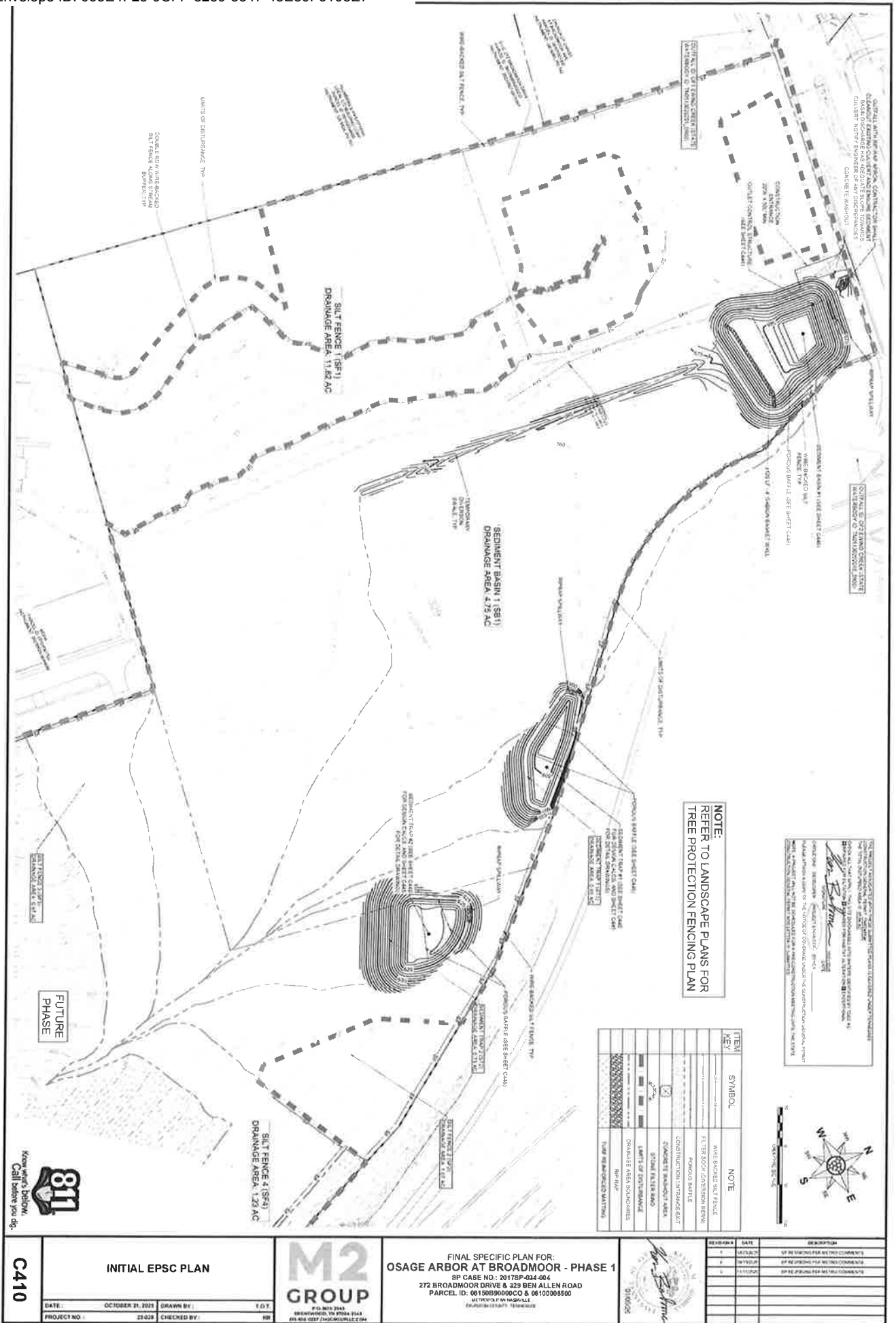
DATE :	OCTOBER 21, 2019	DRAWN BY :	E.O.Y.
PROJECT NO :	21-028	CHECKED BY :	RD

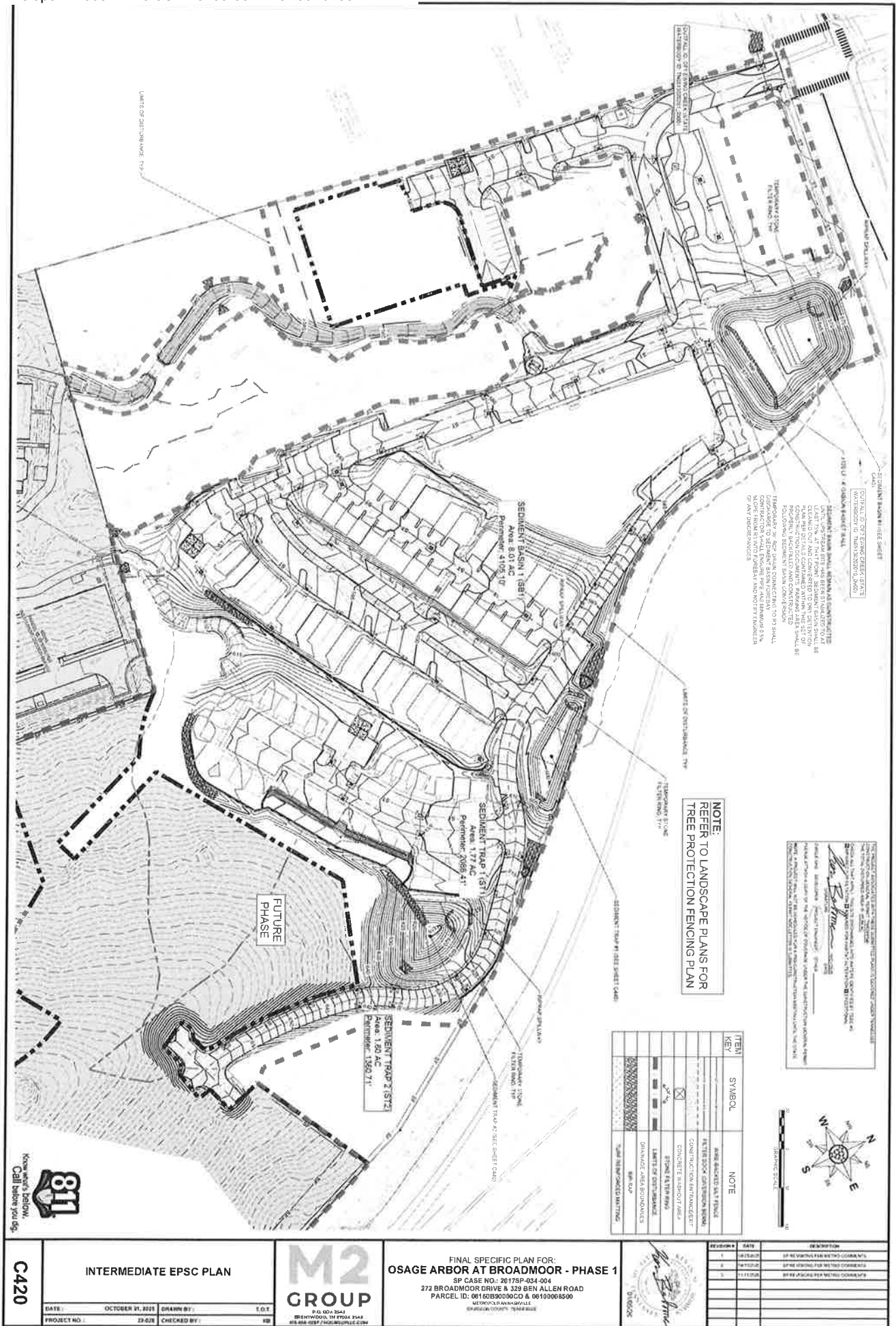
M2
GROUP
P.O. BOX 2543
BRENTWOOD, TN 37024-3543
615.666-0137 / 615.626.0016 / E.C.O.

FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-094
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150B900000CD & 06100008590
METROPOLITAN PARKVILLE
CLATSOP COUNTY, OREGON



REVISED #	DATE	DESCRIPTION
1	10-25-05	SP REPAIRS FOR WEARD CORNER 5/2
2	10-25-05	SP REPAIRS FOR WEARD CORNER 5/2
3	10-25-05	SP REPAIRS FOR WEARD CORNER 5/2





C420	INTERMEDIATE EPSC PLAN		M2 GROUP P.O. BOX 2541 BENTWOOD, IN 47004-0254 815-484-0887 / M2GROUPINC.COM	FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1 SP CASE NO.: 2017SP-034-004 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD PARCEL ID: 06160B900000 & 06100005500 METROPOLIS ANNAVILLE SEASIDE COUNTY, MISSOURI		REVISION # 1 2 3 4 5 6 7 8 9 10		DATE 10/26/2021 11/11/2021 11/11/2021 11/11/2021 11/11/2021 11/11/2021 11/11/2021 11/11/2021 11/11/2021 11/11/2021	DESCRIPTION SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004 SP NO. 2017SP-034-004
	DATE: OCTOBER 21, 2021 PROJECT NO.: 23-021			DRAWN BY: T.G.T. CHECKED BY: RB					

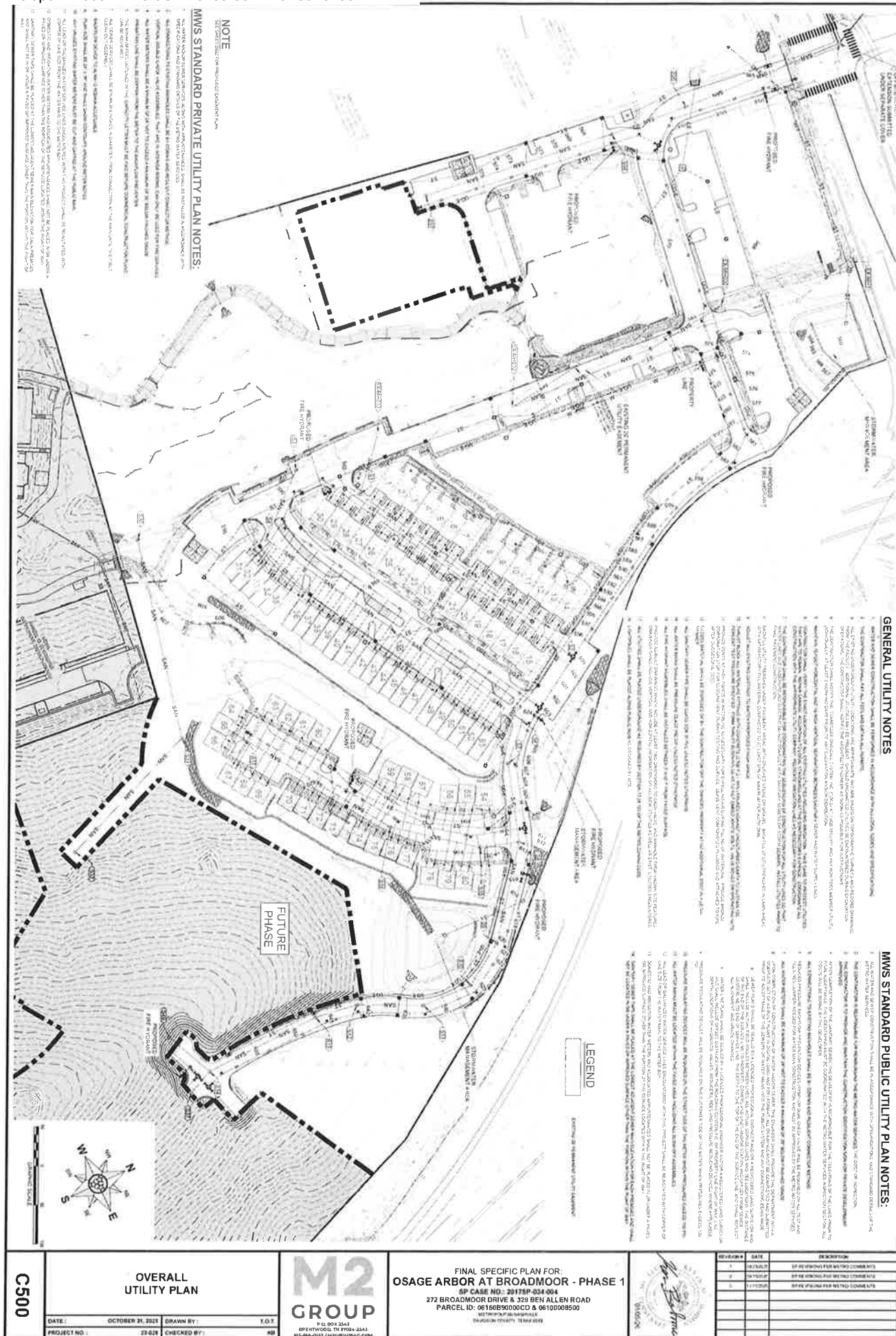
SEGMENT BASIN 1 - INITIAL		SEGMENT BASIN 1 - FINAL	
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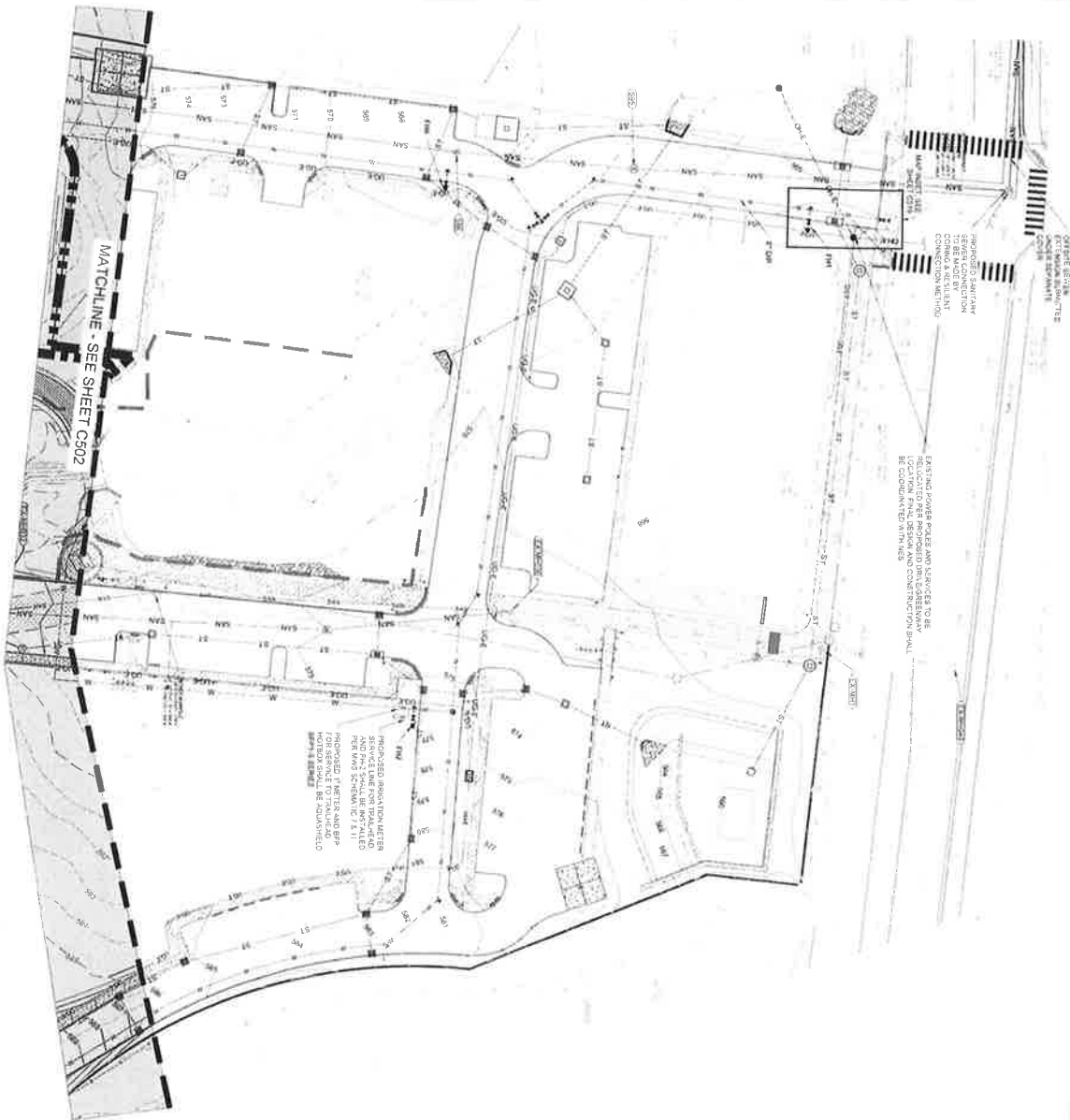
[illegible]

SEDIMENT TRAP - INITIAL		SEDIMENT TRAP - FINAL	
TIME OF COLLECTION	11/20/84 11:50	TIME OF COLLECTION	11/20/84 11:50
STATION	1004-2	STATION	1004-2
WIND DIRECTION	110	WIND DIRECTION	110
WIND SPEED	10	WIND SPEED	10
WAVE DIRECTION	110	WAVE DIRECTION	110
WAVE PERIOD	10	WAVE PERIOD	10
WAVE HEIGHT	10	WAVE HEIGHT	10
DESIGNED WET STORAGE (LIT)	2500	DESIGNED WET STORAGE (LIT)	2500
DESIGNED DRY STORAGE (LIT)	600	DESIGNED DRY STORAGE (LIT)	600
RESERVED TOTAL VOLUME (LIT)	3100	RESERVED TOTAL VOLUME (LIT)	3100
COLLECTING	CLARK	COLLECTING	CLARK
ADJUTANT	JOHN	ADJUTANT	JOHN
DATE	11/20/84	DATE	11/20/84
TIME	11:50	TIME	11:50
WIND	110	WIND	110
WAVE	110	WAVE	110
PERIOD	10	PERIOD	10
HEIGHT	10	HEIGHT	10
WAVE	110	WAVE	110
PERIOD	10	PERIOD	10
HEIGHT	10	HEIGHT	10
DESIGNED	2500	DESIGNED	2500
DESIGNED	600	DESIGNED	600
RESERVED	3100	RESERVED	3100
COLLECTING	CLARK	COLLECTING	CLARK
ADJUTANT	JOHN	ADJUTANT	JOHN
DATE	11/20/84	DATE	11/20/84
TIME	11:50	TIME	11:50
WIND	110	WIND	110
WAVE	110	WAVE	110
PERIOD	10	PERIOD	10
HEIGHT	10	HEIGHT	10
WAVE	110	WAVE	110
PERIOD	10	PERIOD	10
HEIGHT	10	HEIGHT	10
DESIGNED	2500	DESIGNED	2500
DESIGNED	600	DESIGNED	600
RESERVED	3100	RESERVED	3100

[illegible][illegible][illegible]

C446





EXISTING POWER POLES AND SERVICES TO BE
RELOCATED PER PROPOSED DRIVEWAY
CONSTRUCTION. ALL SERVICES SHALL
BE COORDINATED WITH RES.

PROPOSED INJECTION LETTER
AND PLS-2 SHALL BE INSTALLED
FOR WWS SCHEMATIC 1.1.1
FOR SEWER TO TANK AND SP
MOTION SHALL BE DISMISSED
PER THE SPECIFICATIONS

GENERAL UTILITY NOTES

1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER'S FIELD SURVEY. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
2. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
3. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
4. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
5. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
6. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
7. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
8. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
9. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
10. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.



MMS STANDARD PUBLIC UTILITY PLAN NOTES:

1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER'S FIELD SURVEY. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
2. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
3. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
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9. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
10. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.

MMS STANDARD PRIVATE UTILITY PLAN NOTES:

1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER'S FIELD SURVEY. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
2. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
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9. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.
10. THE DESIGNER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF UTILITIES NOT SHOWN ON THIS PLAN.

UTILITY PLAN

DATE: OCTOBER 24, 2021 DRAWN BY: TGT
PROJECT NO: 25028 CHECKED BY: JBT

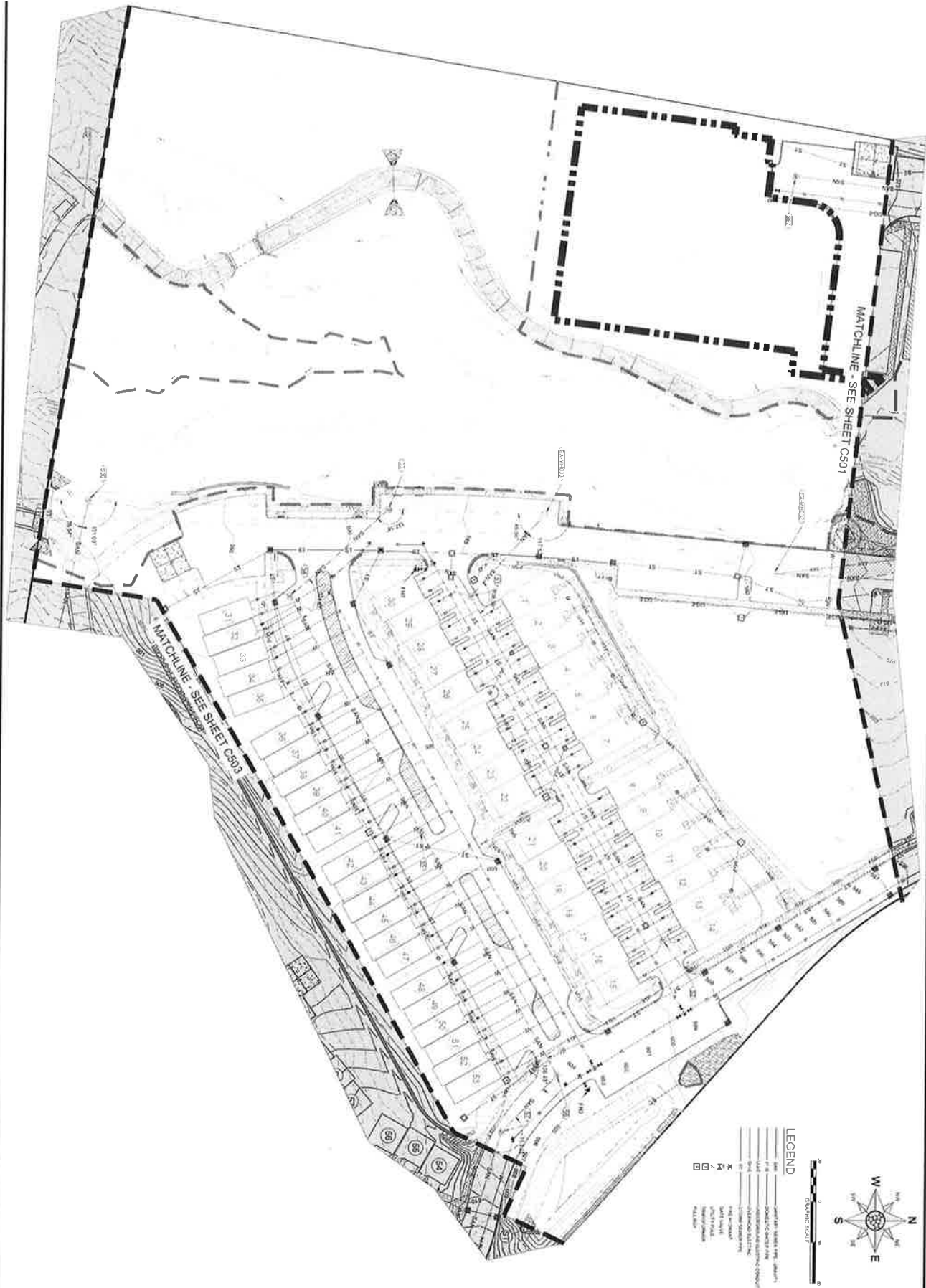


FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150B900000 & 06100008500
DAVID COUNTY, MISSOURI



REVISION	DATE	DESCRIPTION
1		BY THE ARCHITECT FOR REVIEW COMMENTS
2		BY THE ARCHITECT FOR REVIEW COMMENTS
3		BY THE ARCHITECT FOR REVIEW COMMENTS

C501



LEGEND

SYMBOL	DESCRIPTION
(Symbol)	1.00' TO 2.00' TO 3.00' TO 4.00' TO 5.00' TO 6.00' TO 7.00' TO 8.00' TO 9.00' TO 10.00' TO 11.00' TO 12.00' TO 13.00' TO 14.00' TO 15.00' TO 16.00' TO 17.00' TO 18.00' TO 19.00' TO 20.00' TO 21.00' TO 22.00' TO 23.00' TO 24.00' TO 25.00' TO 26.00' TO 27.00' TO 28.00' TO 29.00' TO 30.00' TO 31.00' TO 32.00' TO 33.00' TO 34.00' TO 35.00' TO 36.00' TO 37.00' TO 38.00' TO 39.00' TO 40.00' TO 41.00' TO 42.00' TO 43.00' TO 44.00' TO 45.00' TO 46.00' TO 47.00' TO 48.00' TO 49.00' TO 50.00' TO 51.00' TO 52.00' TO 53.00' TO 54.00' TO 55.00' TO 56.00' TO 57.00' TO 58.00' TO 59.00' TO 60.00' TO 61.00' TO 62.00' TO 63.00' TO 64.00' TO 65.00' TO 66.00' TO 67.00' TO 68.00' TO 69.00' TO 70.00' TO 71.00' TO 72.00' TO 73.00' TO 74.00' TO 75.00' TO 76.00' TO 77.00' TO 78.00' TO 79.00' TO 80.00' TO 81.00' TO 82.00' TO 83.00' TO 84.00' TO 85.00' TO 86.00' TO 87.00' TO 88.00' TO 89.00' TO 90.00' TO 91.00' TO 92.00' TO 93.00' TO 94.00' TO 95.00' TO 96.00' TO 97.00' TO 98.00' TO 99.00' TO 100.00'

GRAPHIC SCALE

0 10 20 30 40 50 60 70 80 90 100

COMPASS

N
W
E
S

C502	UTILITY PLAN			FINAL SPECIFIC PLAN FOR OSAGE ARBOR AT BROADMOOR - PHASE 1			REVISIONS	DATE	DESCRIPTION
	DATE: OCTOBER 31, 2019 DRAWN BY: J.O.T.			1	08/25/2019		1.00' TO 2.00' TO 3.00' TO 4.00' TO 5.00' TO 6.00' TO 7.00' TO 8.00' TO 9.00' TO 10.00' TO 11.00' TO 12.00' TO 13.00' TO 14.00' TO 15.00' TO 16.00' TO 17.00' TO 18.00' TO 19.00' TO 20.00' TO 21.00' TO 22.00' TO 23.00' TO 24.00' TO 25.00' TO 26.00' TO 27.00' TO 28.00' TO 29.00' TO 30.00' TO 31.00' TO 32.00' TO 33.00' TO 34.00' TO 35.00' TO 36.00' TO 37.00' TO 38.00' TO 39.00' TO 40.00' TO 41.00' TO 42.00' TO 43.00' TO 44.00' TO 45.00' TO 46.00' TO 47.00' TO 48.00' TO 49.00' TO 50.00' TO 51.00' TO 52.00' TO 53.00' TO 54.00' TO 55.00' TO 56.00' TO 57.00' TO 58.00' TO 59.00' TO 60.00' TO 61.00' TO 62.00' TO 63.00' TO 64.00' TO 65.00' TO 66.00' TO 67.00' TO 68.00' TO 69.00' TO 70.00' TO 71.00' TO 72.00' TO 73.00' TO 74.00' TO 75.00' TO 76.00' TO 77.00' TO 78.00' TO 79.00' TO 80.00' TO 81.00' TO 82.00' TO 83.00' TO 84.00' TO 85.00' TO 86.00' TO 87.00' TO 88.00' TO 89.00' TO 90.00' TO 91.00' TO 92.00' TO 93.00' TO 94.00' TO 95.00' TO 96.00' TO 97.00' TO 98.00' TO 99.00' TO 100.00'		
	PROJECT NO.: 23-028 CHECKED BY: KJB			2	09/10/2019		1.00' TO 2.00' TO 3.00' TO 4.00' TO 5.00' TO 6.00' TO 7.00' TO 8.00' TO 9.00' TO 10.00' TO 11.00' TO 12.00' TO 13.00' TO 14.00' TO 15.00' TO 16.00' TO 17.00' TO 18.00' TO 19.00' TO 20.00' TO 21.00' TO 22.00' TO 23.00' TO 24.00' TO 25.00' TO 26.00' TO 27.00' TO 28.00' TO 29.00' TO 30.00' TO 31.00' TO 32.00' TO 33.00' TO 34.00' TO 35.00' TO 36.00' TO 37.00' TO 38.00' TO 39.00' TO 40.00' TO 41.00' TO 42.00' TO 43.00' TO 44.00' TO 45.00' TO 46.00' TO 47.00' TO 48.00' TO 49.00' TO 50.00' TO 51.00' TO 52.00' TO 53.00' TO 54.00' TO 55.00' TO 56.00' TO 57.00' TO 58.00' TO 59.00' TO 60.00' TO 61.00' TO 62.00' TO 63.00' TO 64.00' TO 65.00' TO 66.00' TO 67.00' TO 68.00' TO 69.00' TO 70.00' TO 71.00' TO 72.00' TO 73.00' TO 74.00' TO 75.00' TO 76.00' TO 77.00' TO 78.00' TO 79.00' TO 80.00' TO 81.00' TO 82.00' TO 83.00' TO 84.00' TO 85.00' TO 86.00' TO 87.00' TO 88.00' TO 89.00' TO 90.00' TO 91.00' TO 92.00' TO 93.00' TO 94.00' TO 95.00' TO 96.00' TO 97.00' TO 98.00' TO 99.00' TO 100.00'		
				3	10/01/2019		1.00' TO 2.00' TO 3.00' TO 4.00' TO 5.00' TO 6.00' TO 7.00' TO 8.00' TO 9.00' TO 10.00' TO 11.00' TO 12.00' TO 13.00' TO 14.00' TO 15.00' TO 16.00' TO 17.00' TO 18.00' TO 19.00' TO 20.00' TO 21.00' TO 22.00' TO 23.00' TO 24.00' TO 25.00' TO 26.00' TO 27.00' TO 28.00' TO 29.00' TO 30.00' TO 31.00' TO 32.00' TO 33.00' TO 34.00' TO 35.00' TO 36.00' TO 37.00' TO 38.00' TO 39.00' TO 40.00' TO 41.00' TO 42.00' TO 43.00' TO 44.00' TO 45.00' TO 46.00' TO 47.00' TO 48.00' TO 49.00' TO 50.00' TO 51.00' TO 52.00' TO 53.00' TO 54.00' TO 55.00' TO 56.00' TO 57.00' TO 58.00' TO 59.00' TO 60.00' TO 61.00' TO 62.00' TO 63.00' TO 64.00' TO 65.00' TO 66.00' TO 67.00' TO 68.00' TO 69.00' TO 70.00' TO 71.00' TO 72.00' TO 73.00' TO 74.00' TO 75.00' TO 76.00' TO 77.00' TO 78.00' TO 79.00' TO 80.00' TO 81.00' TO 82.00' TO 83.00' TO 84.00' TO 85.00' TO 86.00' TO 87.00' TO 88.00' TO 89.00' TO 90.00' TO 91.00' TO 92.00' TO 93.00' TO 94.00' TO 95.00' TO 96.00' TO 97.00' TO 98.00' TO 99.00' TO 100.00'		

272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B900000 & 06100008500
METROPOLITAN MISSOURI
2019-2020 CITY OF ST. LOUIS

[illegible]

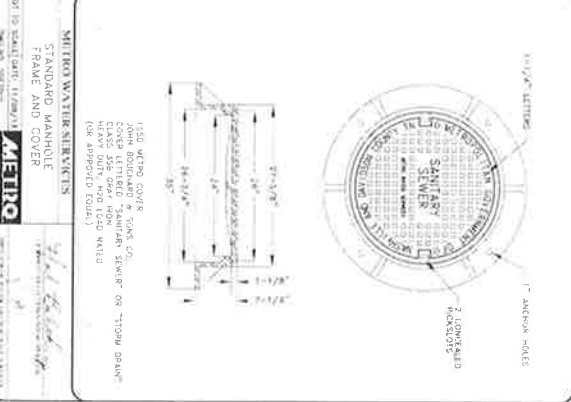
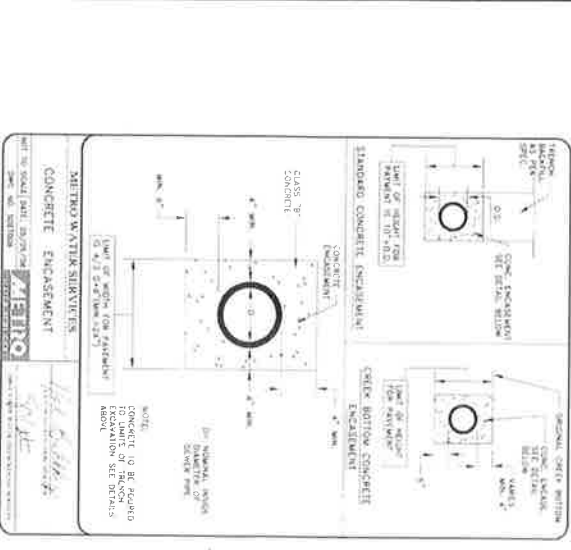
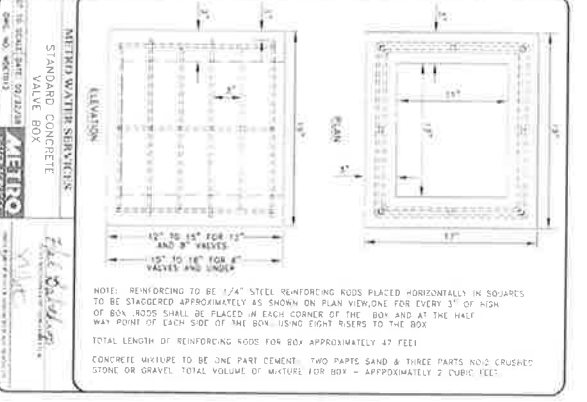
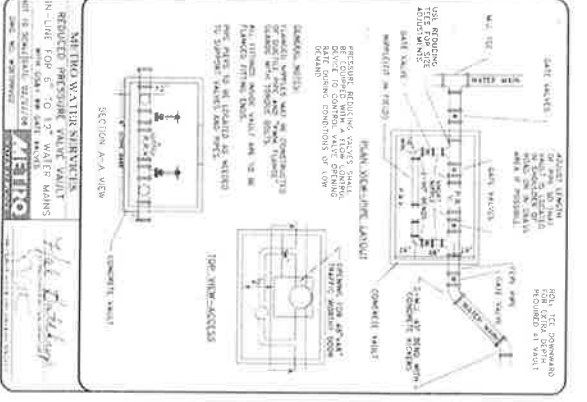
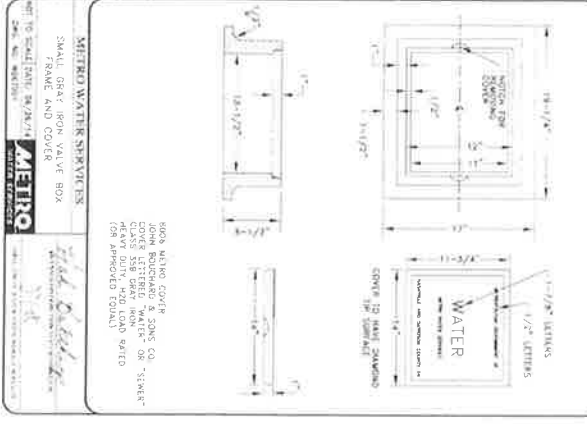
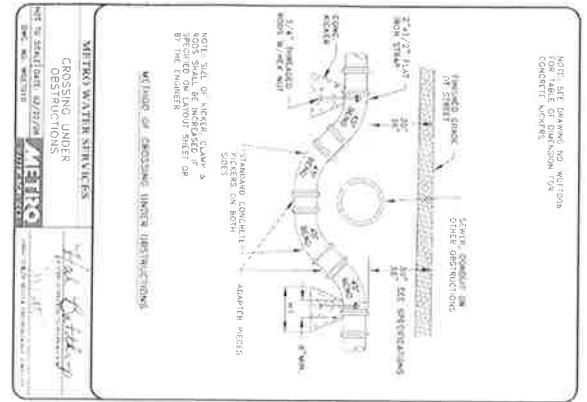


TABLE OF DIMENSIONS FOR CONCRETE KICKERS

BOX SIZE	18\"/>
----------	--------



C505

UTILITY DETAILS

DATE:	JULY 2021	DRAWN BY:	T.O.T.
PROJECT NO.:	27626	CHECKED BY:	MAN

M2 GROUP
10000 10000
10000 10000
10000 10000

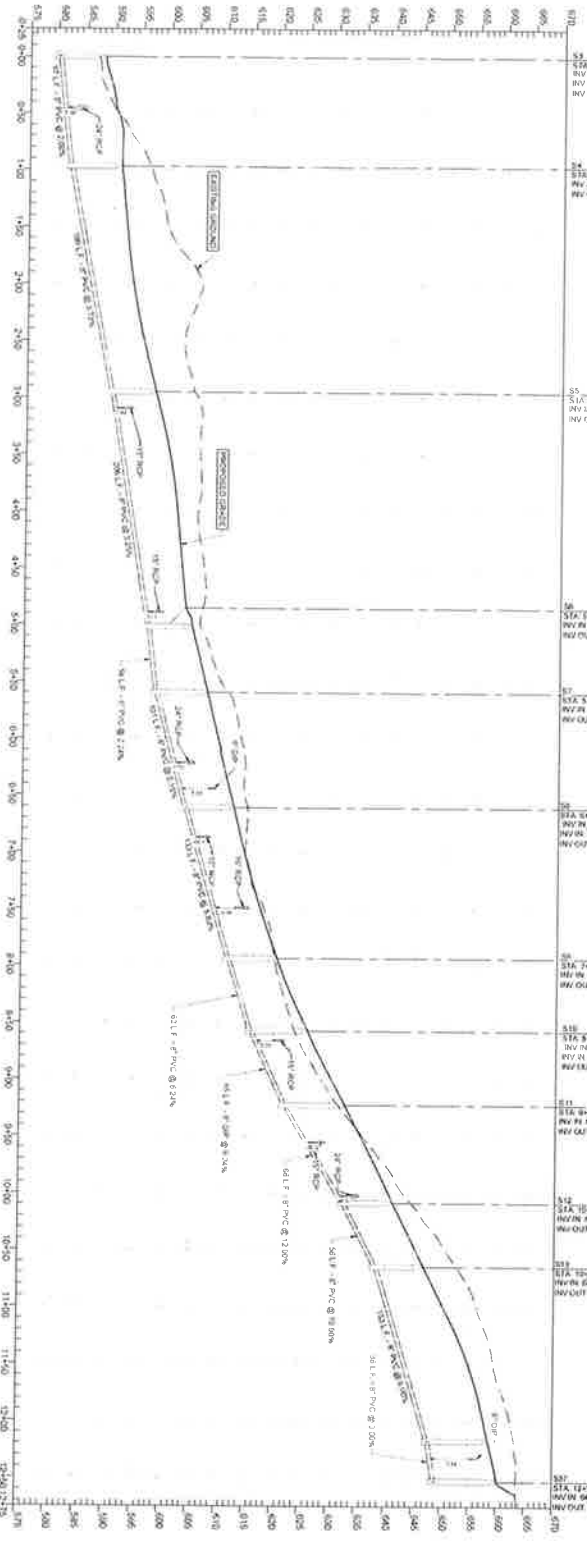
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-024-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 08150B900000 & 081000005500
METHUEN IN HARTFORD
GAVAN COUNTY, ILLINOIS

REVISION	DATE	DESCRIPTION
1	7/2/2021	UPPER PORTION FOR THE CONCRETE VAULT
2	7/2/2021	UPPER PORTION FOR THE CONCRETE VAULT
3	7/2/2021	UPPER PORTION FOR THE CONCRETE VAULT

PROPOSED SANITARY SEWER - LINE A PROFILE

SCALE: H=1"=50', V=1"=10'

Know what's below.
Call before you dig.

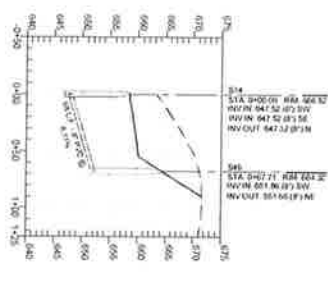
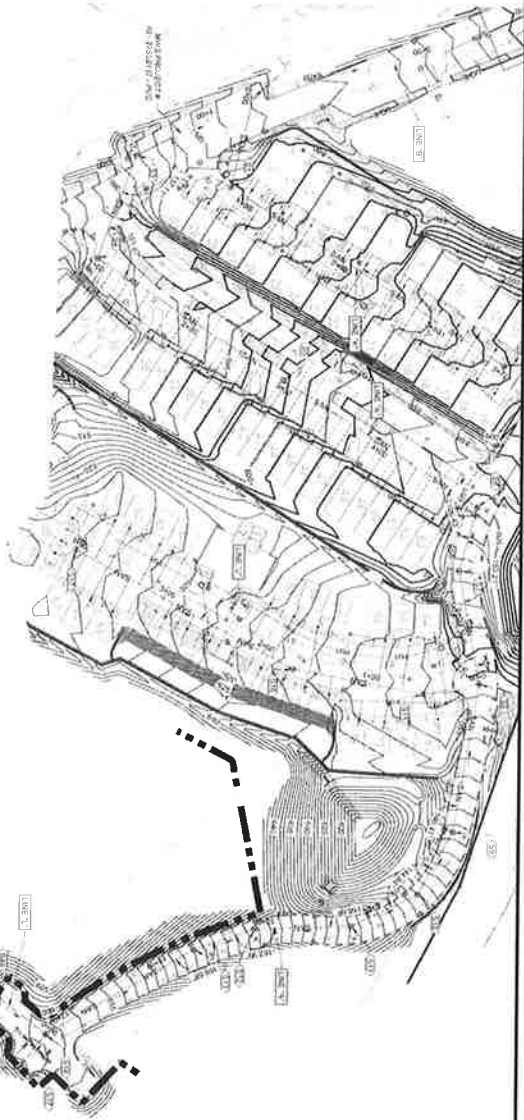


PROPOSED SANITARY SEWER - LINE A & L PLAN VIEW

SCALE: H=1"=50', V=1"=10'

PROPOSED SANITARY SEWER - LINE L PROFILE

SCALE: H=1"=50', V=1"=10'



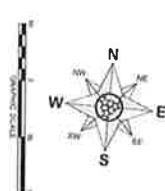
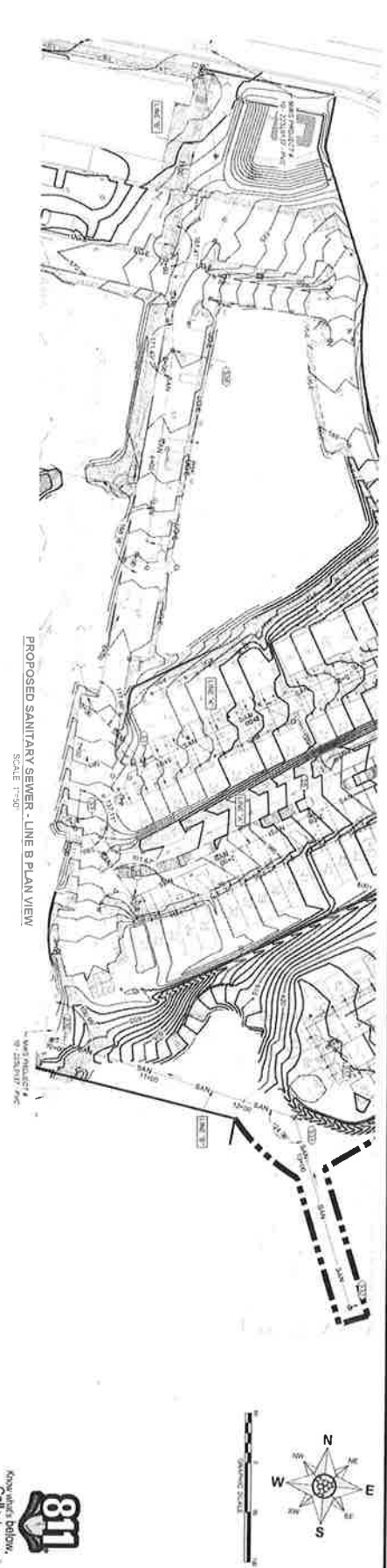
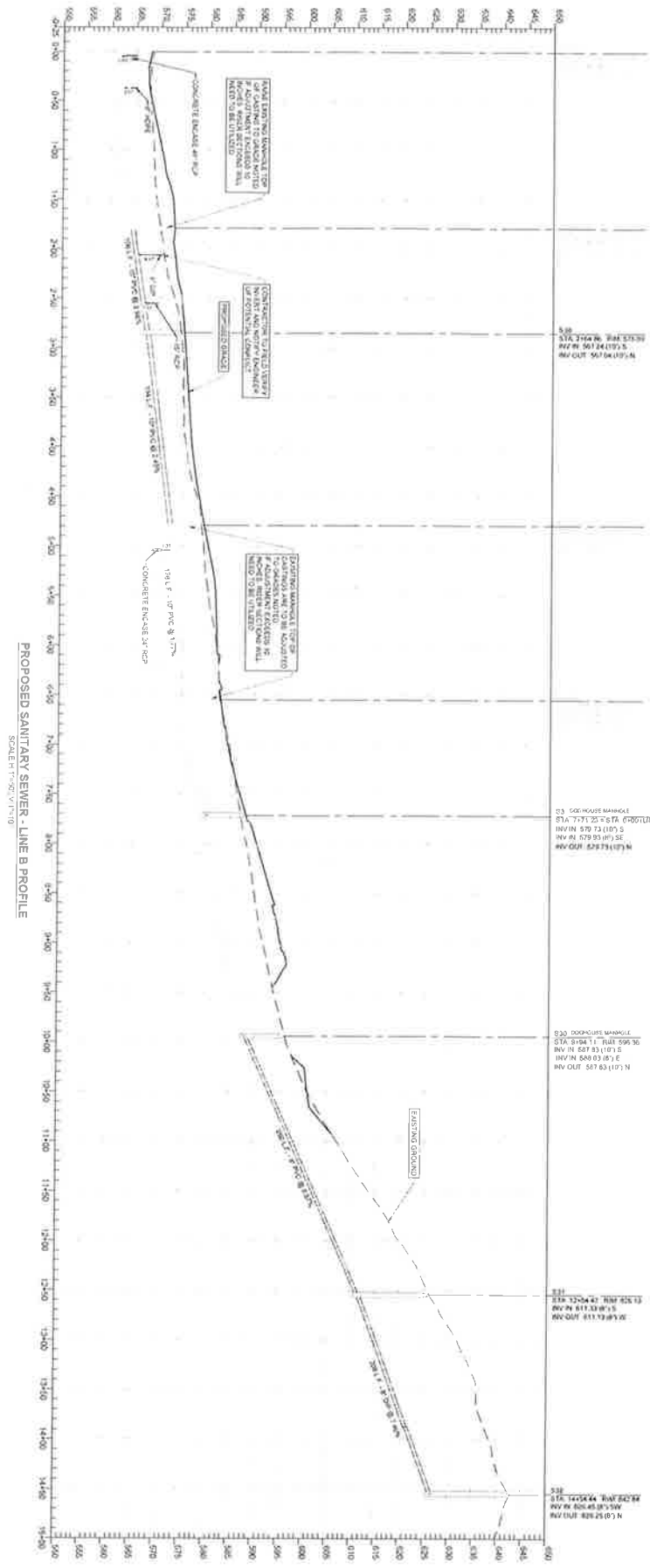
SANITARY SEWER PLAN & PROFILE			
DATE:	OCTOBER 21, 2023	DRAWN BY:	F.D.T.
PROJECT NO.:	23-026	CHECKED BY:	409



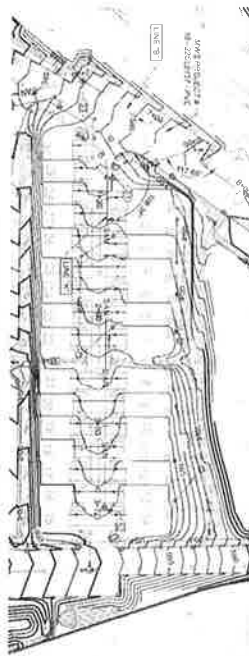
FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150B000000 & 06100008590
METROPOLITAN SHELBY COUNTY
SHELBY COUNTY, TENNESSEE



REVISION	DATE	DESCRIPTION
1	10/21/23	FOR PRELIMINARY REVIEW COMMENTS
2	10/21/23	FOR PRELIMINARY REVIEW COMMENTS
3	11/15/23	FOR PRELIMINARY REVIEW COMMENTS

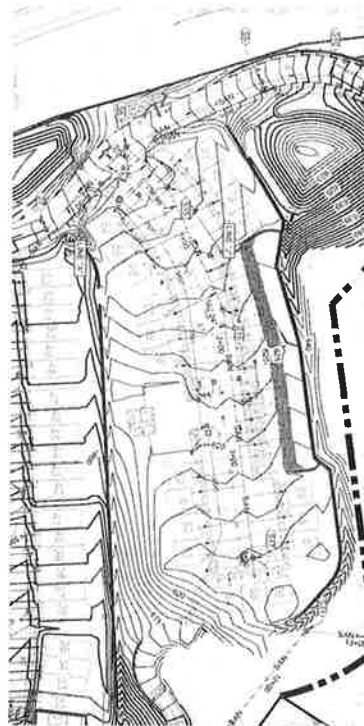


C511	SANITARY SEWER PLAN & PROFILE			M2 GROUP 15100 204th Ave Brentwood, TN 37027-2146 Phone: 615.871.1000 www.m2group.com	FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1 SP CASE NO.: 2017SP-024-004 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD PARCEL ID: 06150B000000 & 06100005500 METROPOLITAN WASHINGTON AREA SPECIAL DISTRICT, TEXAS 75080			REVISION	DATE	DESCRIPTION
	1	REVISION	SP 150-1000-0000000000							
	2	REVISION	SP 150-1000-0000000000							
	3	REVISION	SP 150-1000-0000000000							
DATE: OCTOBER 21, 2021 DRAWN BY: EQT										
PROJECT NO: 23-028 CHECKED BY: KR										



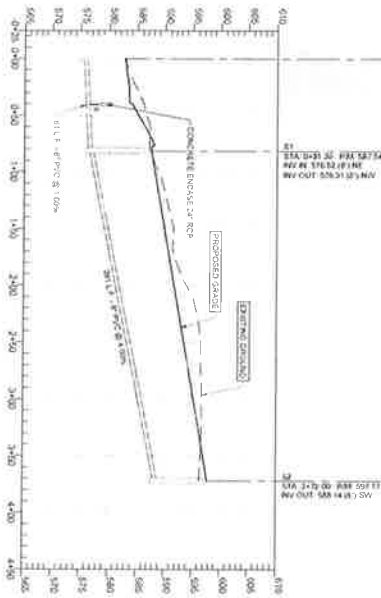
PROPOSED SANITARY SEWER - LINE K PLAN VIEW

SCALE 1"=50'



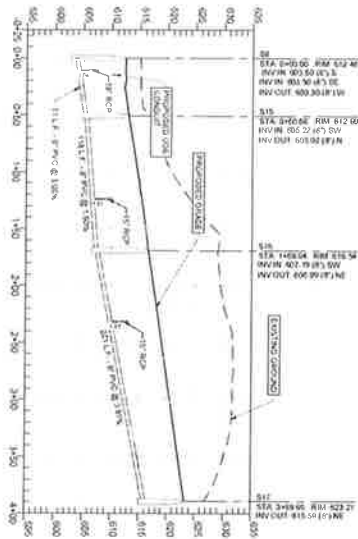
PROPOSED SANITARY SEWER - LINE J PLAN VIEW

SCALE 1"=50'



PROPOSED SANITARY SEWER - LINE K PROFILE

SCALE 1"=20' V, 1"=10' H



PROPOSED SANITARY SEWER - LINE J PROFILE

SCALE 1"=20' V, 1"=10' H



Know what's below,
Call before you dig.

**SANITARY SEWER
PLAN & PROFILE**

DATE: OCTOBER 21, 2023 DRAWN BY: E.G.T.
PROJECT NO: 23-029 CHECKED BY: J.R.

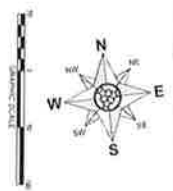
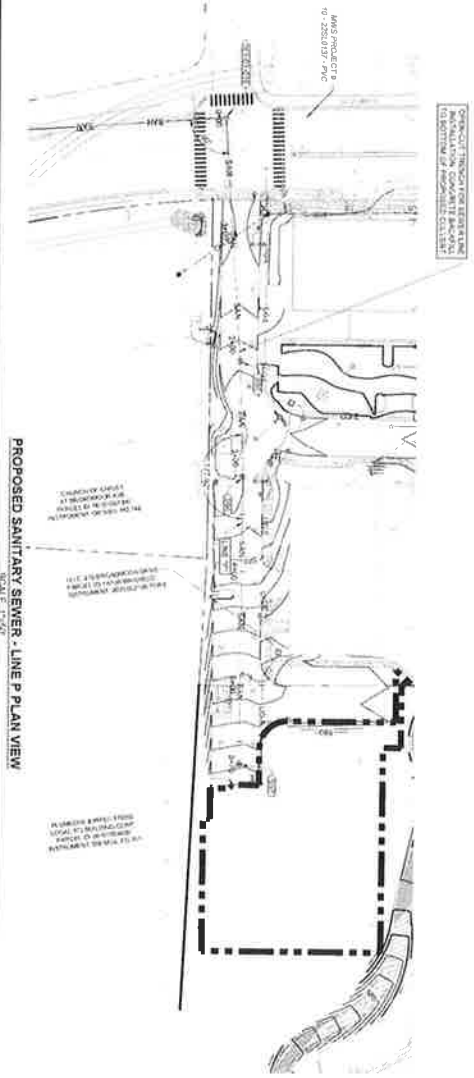
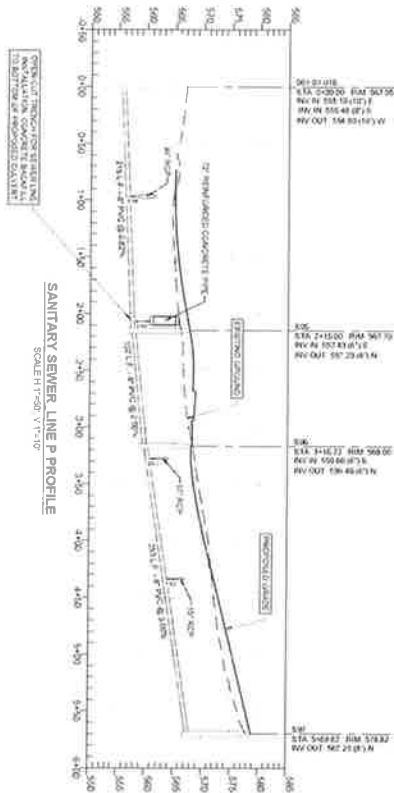


FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-024-004
272 BROADMOOR DRIVE & 323 BEN ALLIEN ROAD
PARCEL ID: 06150B9000000 & 06100008500
METROPOLITAN NASHVILLE
REPUBLICAN COUNTY, TENNESSEE



REVISION	DATE	DESCRIPTION
1	08/25/2023	SP PRELIMINARY FOR PRELIMINARY CONSTRUCTION
2	10/15/2023	SP PRELIMINARY FOR PRELIMINARY CONSTRUCTION
3	11/15/2023	SP PRELIMINARY FOR PRELIMINARY CONSTRUCTION

C512



Know what's below.
Call before you dig.

C513

**SANITARY SEWER
PLAN & PROFILE**

DATE:	OCTOBER 21, 2021	DRAWN BY:	E.O.T.
PROJECT NO.:	22-028	CHECKED BY:	MD

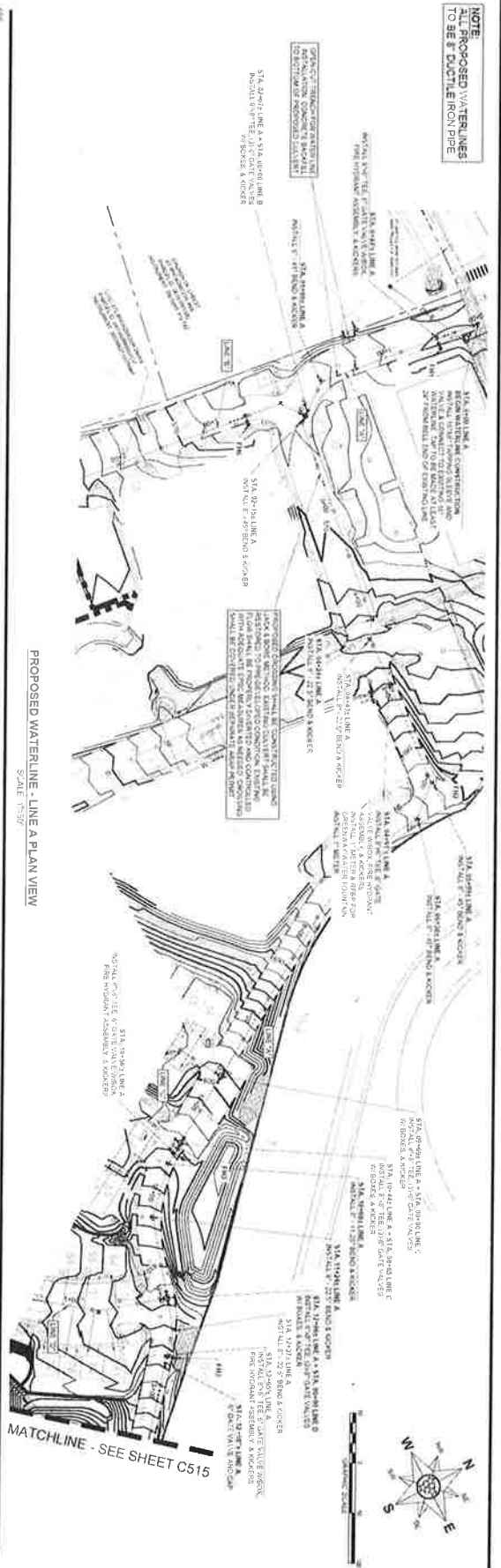


**FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1**

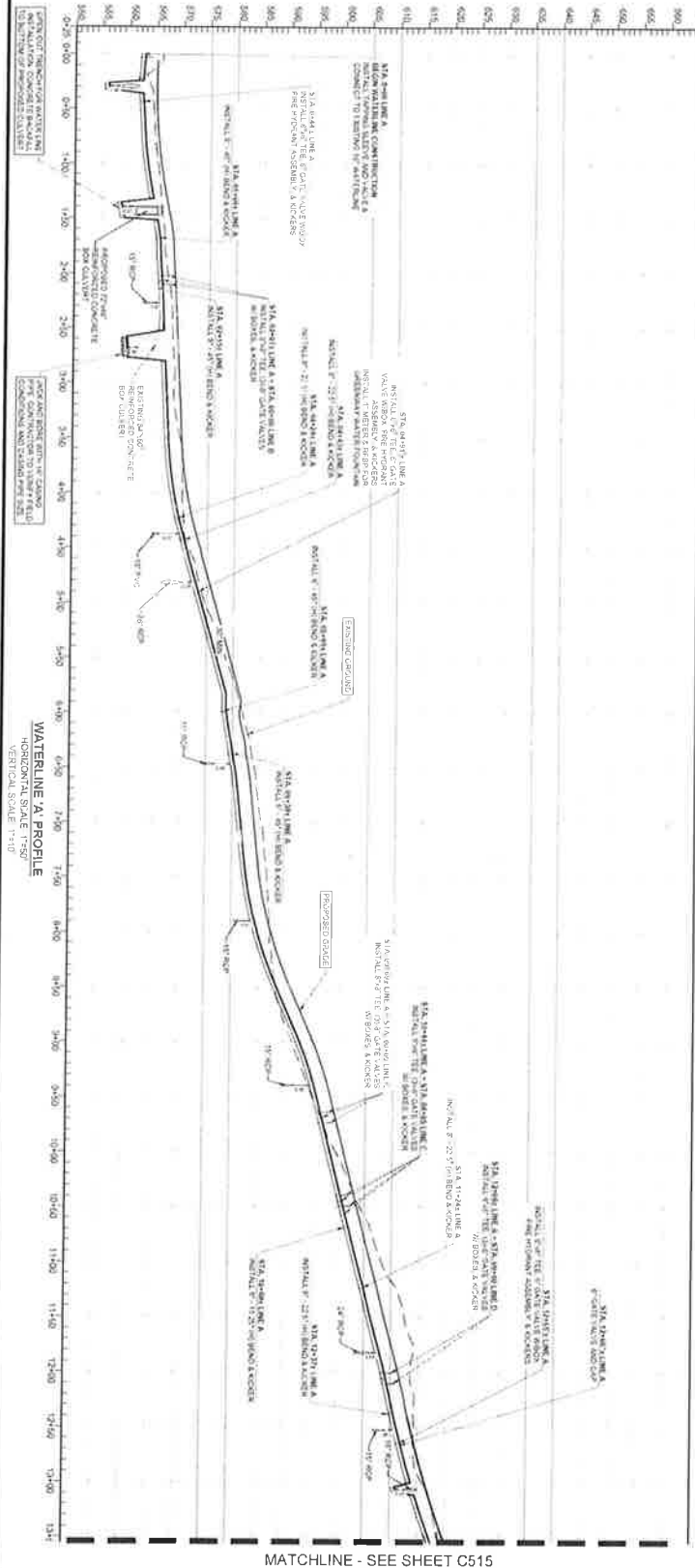
272 BROADMOOR DRIVE & 229 BEN ALLEN ROAD
PARCEL ID: 061608000000 & 061608000500
BENTON COUNTY, MISSOURI



REVISION	DATE	DESCRIPTION
1	10/21/21	SP PRELIMINARY FOR PRELIMINARY CONSTRUCTION
2	10/21/21	SP PRELIMINARY FOR PRELIMINARY CONSTRUCTION
3	10/21/21	SP PRELIMINARY FOR PRELIMINARY CONSTRUCTION



PROPOSED WATERLINE - LINE A PLAN VIEW
SCALE: 1\"/>



MATCHLINE - SEE SHEET C515



Know what's below.
Call before you dig.

WATERLINE PLAN & PROFILE -
LINE A

DATE: OCTOBER 21, 2025 DRAWN BY: E.C.T.
PROJECT NO.: 23-023 CHECKED BY: HP



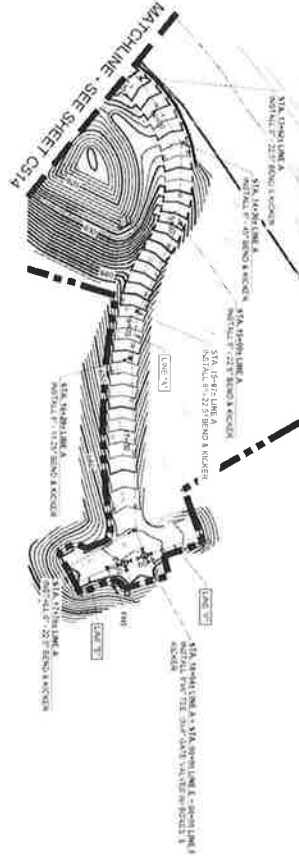
FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 061508000000 & 061000008500



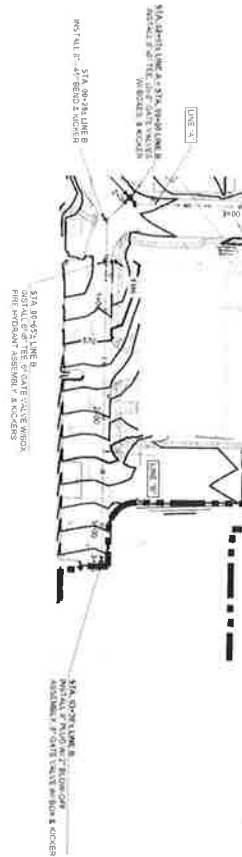
REVISION	DATE	DESCRIPTION
1	10/21/25	ISSUED FOR PERMIT
2	10/21/25	ISSUED FOR PERMIT
3	10/21/25	ISSUED FOR PERMIT
4	10/21/25	ISSUED FOR PERMIT
5	10/21/25	ISSUED FOR PERMIT
6	10/21/25	ISSUED FOR PERMIT
7	10/21/25	ISSUED FOR PERMIT
8	10/21/25	ISSUED FOR PERMIT
9	10/21/25	ISSUED FOR PERMIT
10	10/21/25	ISSUED FOR PERMIT

C514

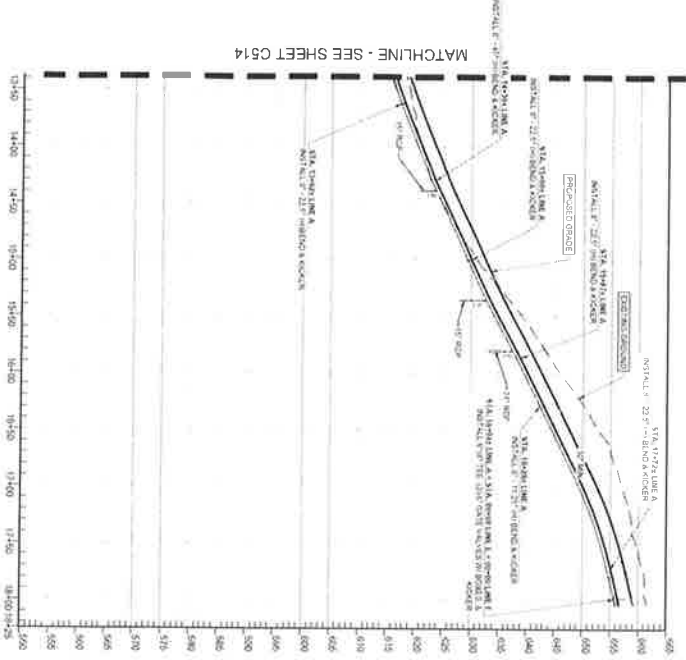
NOTE:
ALL PROPOSED WATERLINES
TO BE 8" DUCTILE IRON PIPE



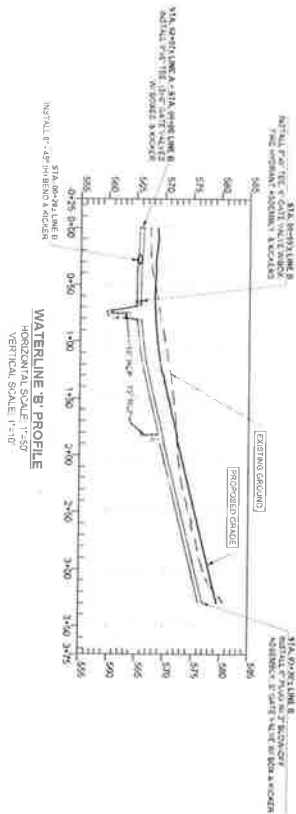
PROPOSED WATERLINE - LINE A PLAN VIEW
SCALE 1"=50'



PROPOSED WATERLINE - LINE B PLAN VIEW
SCALE 1"=50'



WATERLINE 'A' PROFILE CONT. -
HORIZONTAL SCALE 1"=50'
VERTICAL SCALE 1"=10'



WATERLINE 'B' PROFILE
HORIZONTAL SCALE 1"=50'
VERTICAL SCALE 1"=10'



C515

WATERLINE PLAN & PROFILE -
LINE A CONT. + LINE B

DATE: OCTOBER 31, 2021 DRAWN BY: E.D.T.
PROJECT NO.: 23-03 CHECKED BY: JBP



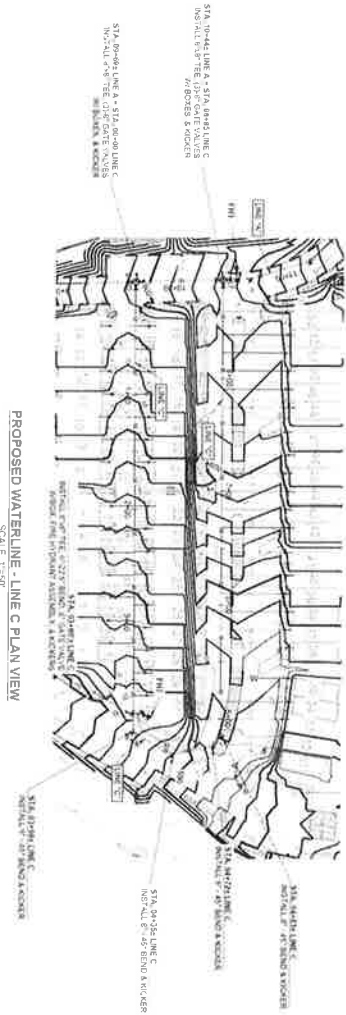
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1

8P CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 529 BEN ALLEN ROAD
PARCEL ID: 06150B000000 & 06100006500
METROPOLITAN ILLINOIS
(OFFICE OF THE CLERK, STATE OF ILL.)

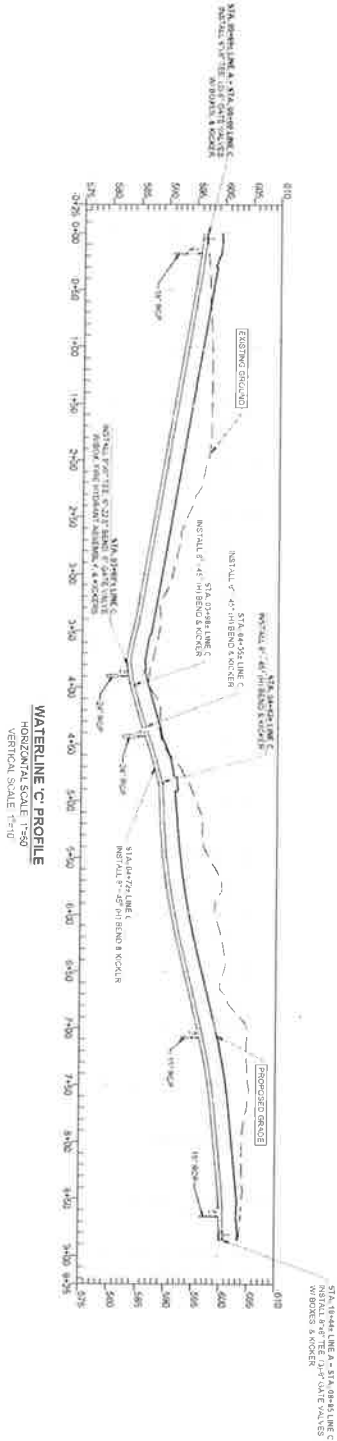


REVISION	DATE	DESCRIPTION
1	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
2	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
3	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
4	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
5	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
6	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
7	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
8	10/26/21	FOR PRELIMINARY REVIEW COMMENTS
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10	10/26/21	FOR PRELIMINARY REVIEW COMMENTS

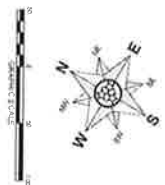
NOTE:
ALL PROPOSED WATER LINES
TO BE 8" DUCTILE IRON PIPE



PROPOSED WATERLINE - LINE C PLAN VIEW
SCALE 1"=50'



WATERLINE C PROFILE
HORIZONTAL SCALE 1"=50'
VERTICAL SCALE 1"=10'



C516

WATERLINE PLAN & PROFILE -
LINE C

DATE: OCTOBER 21, 2021 DRAWN BY: T.O.T.
PROJECT NO.: 23-028 CHECKED BY: KJR

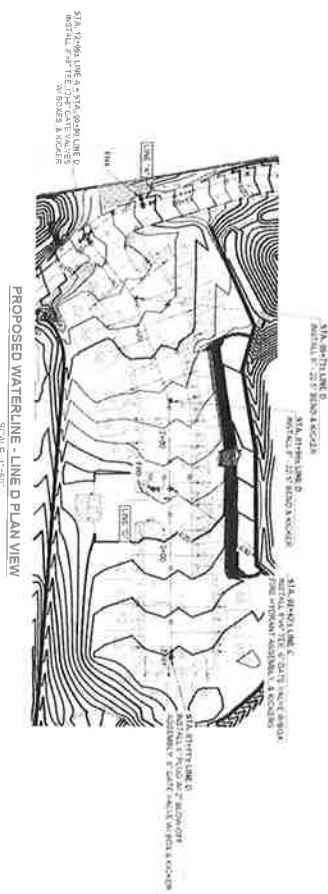


FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-004-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B9000000 & 06100000500
METROPOLITAN MANASSAS
MANASSAS COUNTY, VIRGINIA

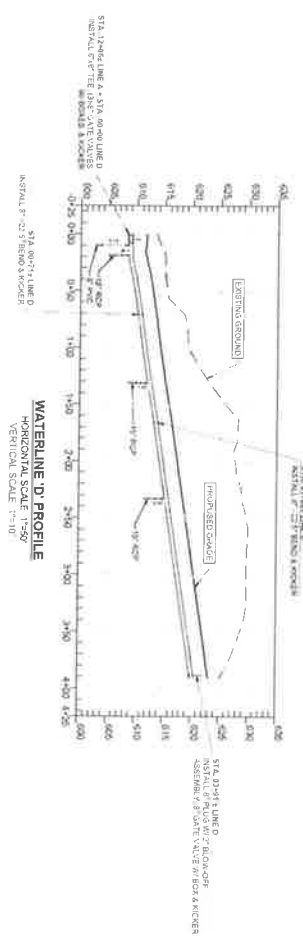


REVISION	DATE	DESCRIPTION
1	10/21/21	1.0 - INITIAL DESIGN
2	10/21/21	2.0 - REVISED FOR METRO COMMENTS
3	10/21/21	3.0 - REVISED FOR METRO COMMENTS

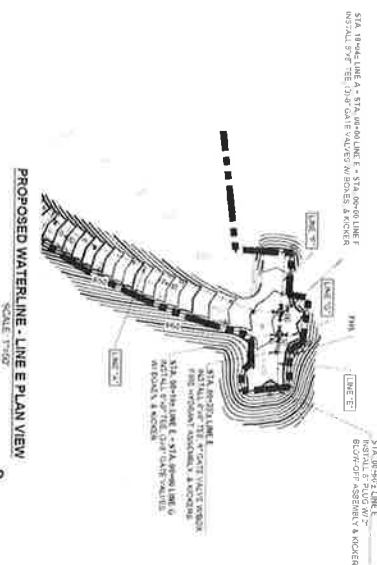
NOTE:
ALL PROPOSED WATERLINES
TO BE 8" DUCTILE IRON PIPE



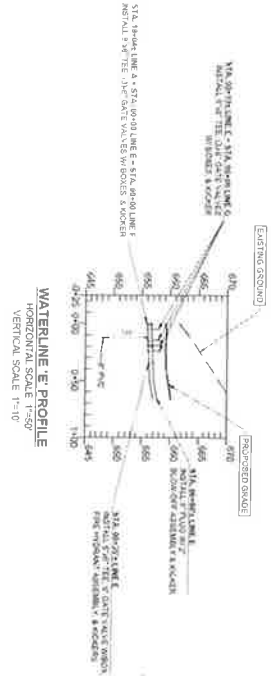
PROPOSED WATERLINE - LINE D PLAN VIEW
SCALE 1\"/>



WATERLINE D PROFILE
HORIZONTAL SCALE 1\"/>



PROPOSED WATERLINE - LINE E PLAN VIEW
SCALE 1\"/>

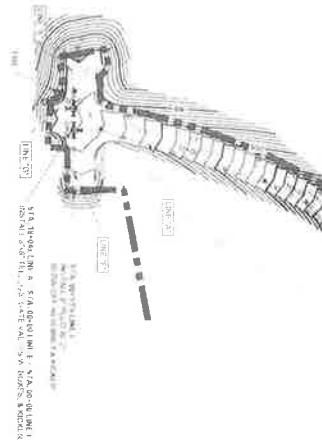


WATERLINE E PROFILE
HORIZONTAL SCALE 1\"/>



C517	WATERLINE PLAN & PROFILE - LINE D + E			 M2 GROUP 1010 N. 25th St. Mankato, MN 56001-2545 507.636.7877 / m2groupinc.com	FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1 SP CASE NO.: 2017SP-034-004 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD PARCEL ID: 061508000000 & 061000008500 METROPOLITAN WATERVILLE OSAGE COUNTY, ILLINOIS				<table><tr><th>REVISION</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>1</td><td>10/25/2017</td><td>FOR PRELIMINARY REVIEW AND COMMENTS</td></tr><tr><td>2</td><td>10/25/2017</td><td>FOR PRELIMINARY REVIEW AND COMMENTS</td></tr><tr><td>3</td><td>11/14/2017</td><td>FOR PRELIMINARY REVIEW AND COMMENTS</td></tr><tr><td>4</td><td>11/14/2017</td><td>FOR PRELIMINARY REVIEW AND COMMENTS</td></tr></table>			REVISION	DATE	DESCRIPTION	1	10/25/2017	FOR PRELIMINARY REVIEW AND COMMENTS	2	10/25/2017	FOR PRELIMINARY REVIEW AND COMMENTS	3	11/14/2017	FOR PRELIMINARY REVIEW AND COMMENTS	4	11/14/2017	FOR PRELIMINARY REVIEW AND COMMENTS
	REVISION	DATE	DESCRIPTION																							
	1	10/25/2017	FOR PRELIMINARY REVIEW AND COMMENTS																							
	2	10/25/2017	FOR PRELIMINARY REVIEW AND COMMENTS																							
	3	11/14/2017	FOR PRELIMINARY REVIEW AND COMMENTS																							
4	11/14/2017	FOR PRELIMINARY REVIEW AND COMMENTS																								
DATE: OCTOBER 21, 2021		DRAWN BY: T.O.Y.																								
PROJECT NO.: 23-028		CHECKED BY: MB																								

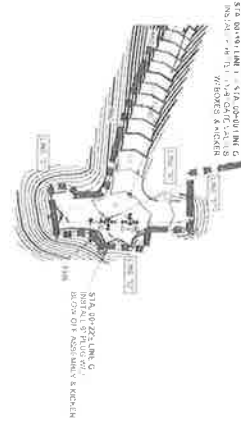
NOTE:
ALL PROPOSED WATERLINES
TO BE 8" DUCTILE IRON PIPE



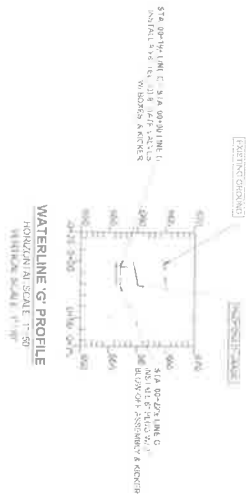
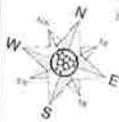
PROPOSED WATERLINE - LINE F PLAN VIEW
SCALE: 1" = 50'



WATERLINE F PROFILE
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 10'



PROPOSED WATERLINE - LINE G PLAN VIEW
SCALE: 1" = 50'



WATERLINE G PROFILE
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 10'



C518

WATERLINE PLAN & PROFILE -
LINE F + G

DATE:	OCTOBER 17, 2021	DRAWN BY:	Y.O.T.
PROJECT NO:	22-028	CHECKED BY:	KB



FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B9000000 & 06100008500
VERIFICATION IN PROGRESS
SUBMITTER: M2 GROUP, INC.



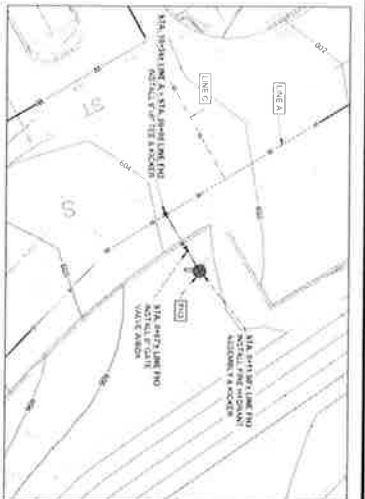
REVISION	DATE	DESCRIPTION
1	10/17/21	FINAL DESIGN FOR CONSTRUCTION
2	10/17/21	FOR REVIEW AND APPROVAL
3	10/17/21	FOR REVIEW AND APPROVAL



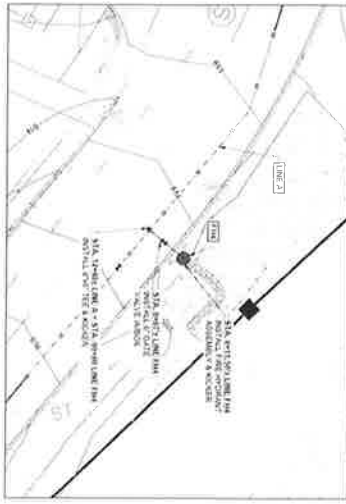
FH1 - MAP INSET
SCALE 1" = 10'



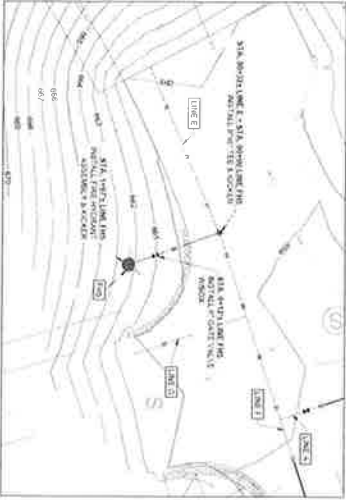
FH2 - MAP INSET
SCALE 1" = 10'



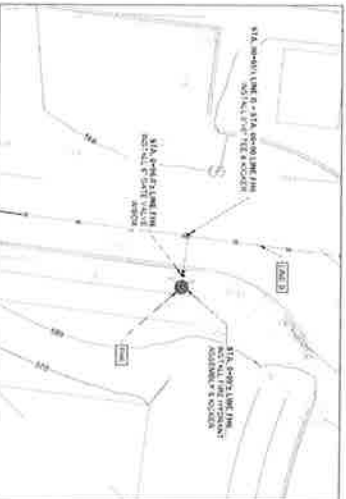
FH3 - MAP INSET
SCALE 1" = 10'



FH4 - MAP INSET
SCALE 1" = 10'



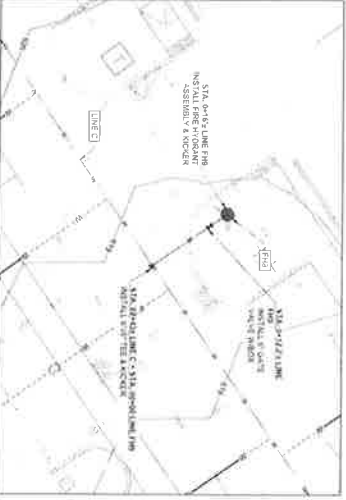
FH5 - MAP INSET
SCALE 1" = 10'



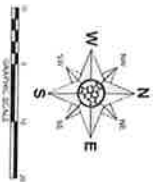
FH6 - MAP INSET
SCALE 1" = 10'



FH7 - MAP INSET
SCALE 1" = 10'



FH8 - MAP INSET
SCALE 1" = 10'



Know what's below.
Call before you dig.



C519

FIRE HYDRANT INSET PLAN

DATE: OCTOBER 31, 2021
PROJECT NO: 23-028
DRAWN BY: T.O.T.
CHECKED BY: KB



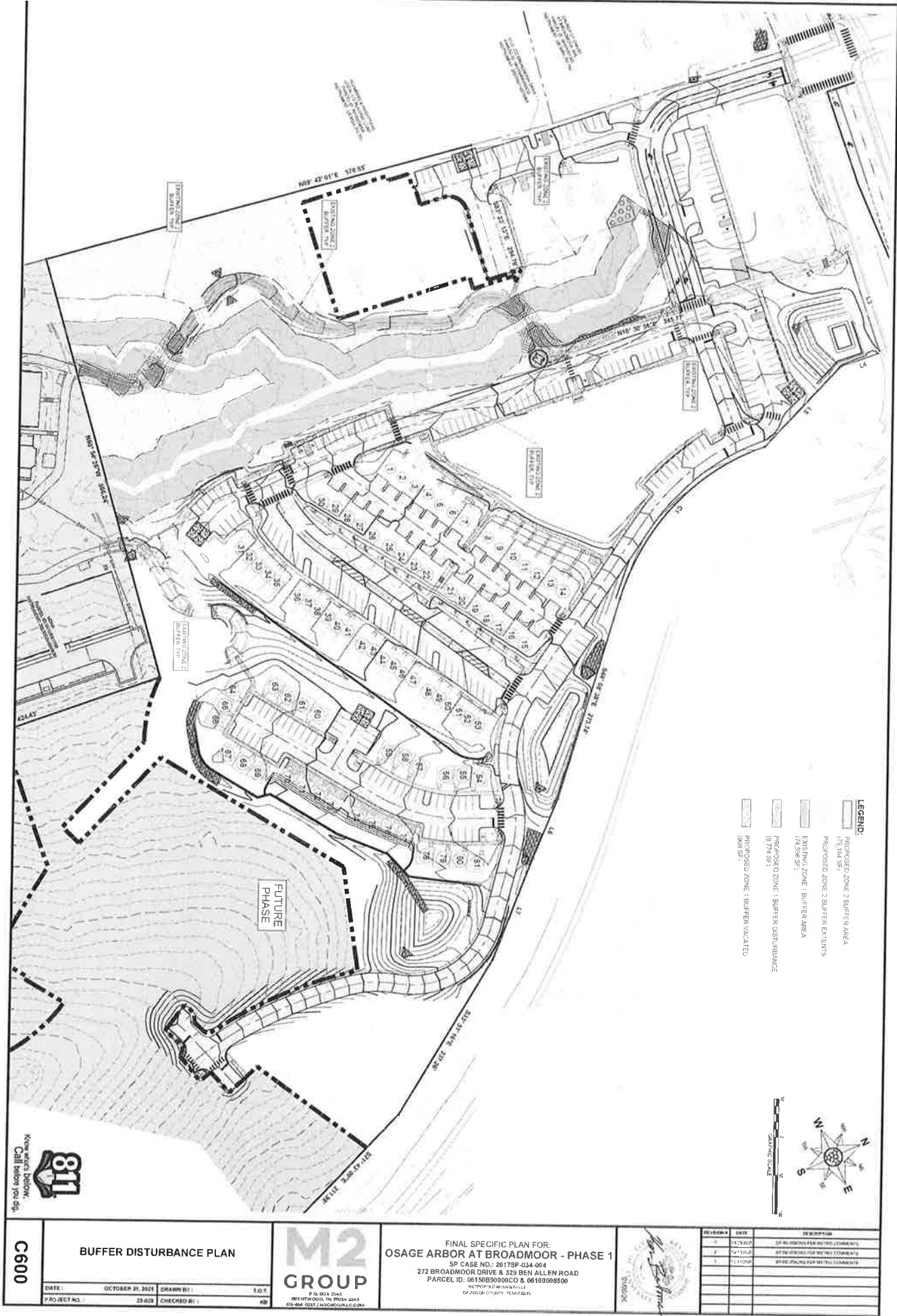
1111 801 2141
BENTWOOD IN 2024 2141
801 801 2141 2141 2141

FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO: 2017SP-034-004
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 08150B900000 & 08100008500
DIVISION COUNTY: PENNA. STATE



REVISION	DATE	DESCRIPTION
1	10/31/21	SP REVIEWED FOR SETTING COMMENTS
2	11/10/21	SP REVIEWED FOR SETTING COMMENTS
3	11/10/21	SP REVIEWED FOR SETTING COMMENTS
4	11/10/21	SP REVIEWED FOR SETTING COMMENTS
5	11/10/21	SP REVIEWED FOR SETTING COMMENTS
6	11/10/21	SP REVIEWED FOR SETTING COMMENTS
7	11/10/21	SP REVIEWED FOR SETTING COMMENTS
8	11/10/21	SP REVIEWED FOR SETTING COMMENTS
9	11/10/21	SP REVIEWED FOR SETTING COMMENTS
10	11/10/21	SP REVIEWED FOR SETTING COMMENTS



C600

BUFFER DISTURBANCE PLAN

DATE: OCTOBER 31, 2021 DRAWN BY: J.D.B.
PROJECT NO.: 23-028 CHECKED BY: K.B.

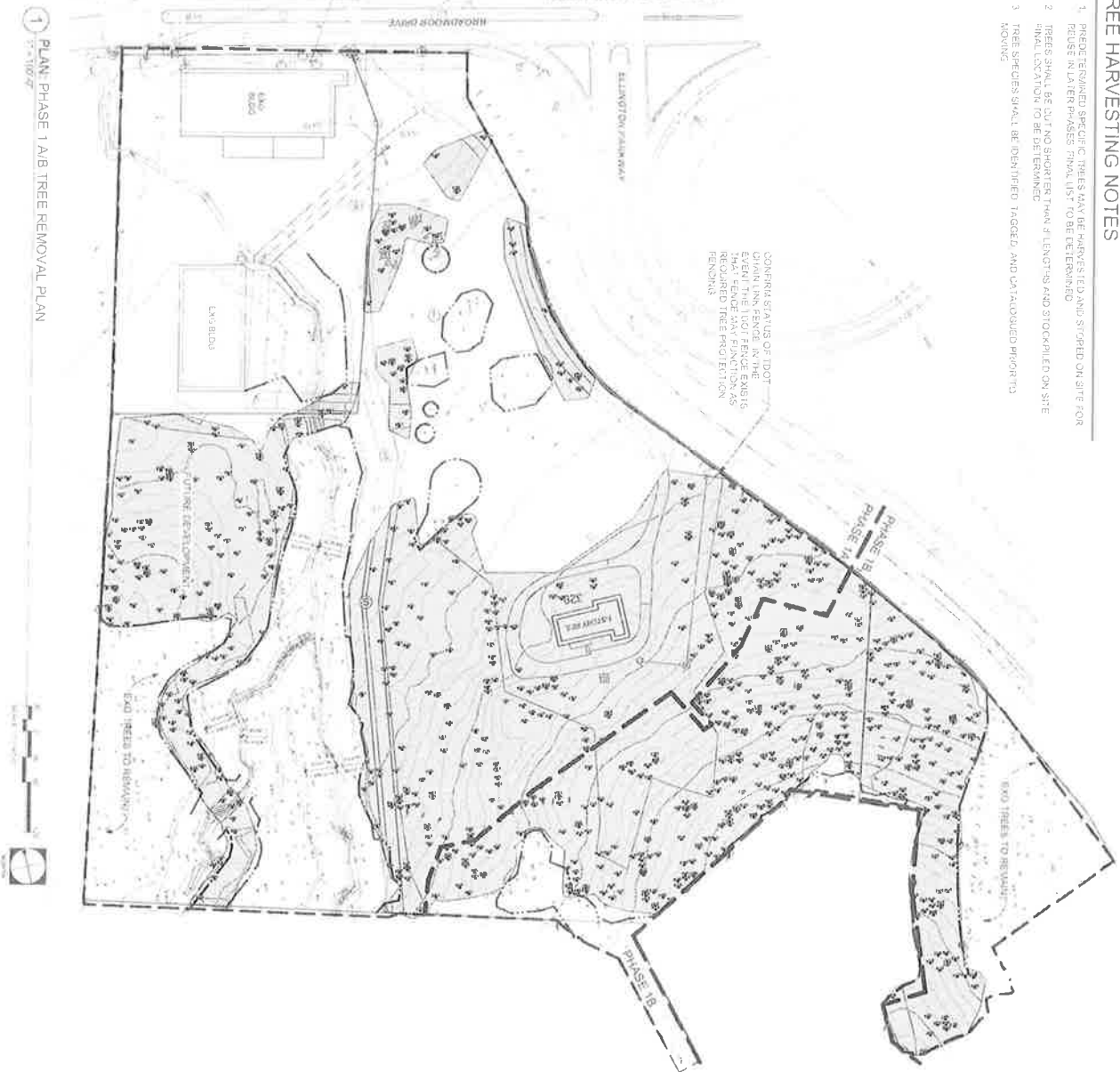


FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150B000000 & 06160B000500
METROPOLITAN GOVERNMENT OF LOS ANGELES



REVISION #	DATE	DESCRIPTION
1	10/31/2021	SP AND DISTURBANCE PLAN COMMENTS
2	11/01/2021	SP AND DISTURBANCE PLAN COMMENTS
3	11/01/2021	SP AND DISTURBANCE PLAN COMMENTS

1. PREDESIGNATED SPECIFIC TREES MAY BE HARVESTED AND STORED ON SITE FOR USE IN LATER PHASES (HOLD LIST) TO BE DETERMINED
2. TREES SHALL BE CUT NO SHORTER THAN 8' LENGTHS AND STOCKPILED ON SITE
3. FINAL LOCATION TO BE DETERMINED
4. TREE SKELENS SHALL BE IDENTIFIED, TAGGED, AND CATALOGUED PRIOR TO MOVING



PLAN: PHASE 1 A/B TREE REMOVAL PLAN

LEGEND:

- TREE REMOVAL AREA
REFER TO L0 01 FOR REMOVAL LIST

EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

TREE PROTECTION FENCING A
REFER TO L0.01 FOR DETAILS
REFER TO CIVIL DWGS FOR ALL SILT FENCING
AND OTHER DEMOLITION

TREE PROTECTION FENCING B

GENERAL NOTES

1. ALL TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY AND MUST COMPLY WITH METRO MUNICODE 17.28.08.D
2. THESE EXISTING TREES SHALL NOT BE DAMAGED. ANY DAMAGE CREATED DURING CONSTRUCTION SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE AND TO THE OWNER'S SATISFACTION.

TREE PROTECTION NOTES

- [illegible]

TREE REMOVAL PLAN

DATE:	NOVEMBER 16, 2005	DRAGON 01
PROJECT NO.:	21025	GUICHARD 01

FINAL SP - PHASE 1

OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B990000CO & 06103008500

Hawkins Partners, Inc.

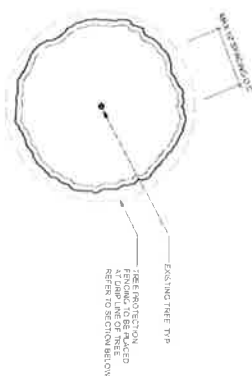
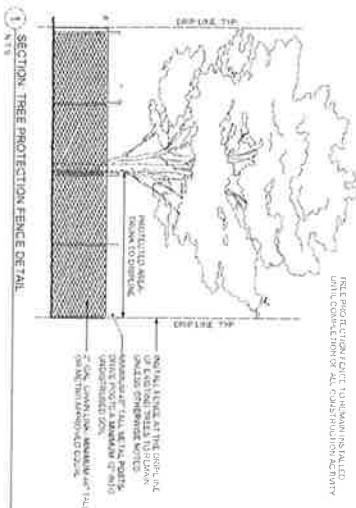
© 2004 Blackwell Publishing Ltd
Journal of Internal Medicine 255: 115–124

SP CASE NO.: 2017SP-034-004

00:00

*NOTE SPECIFIED TREES SHALL BE HARVESTED FOR FUTURE REUSE AROUND THE SITE

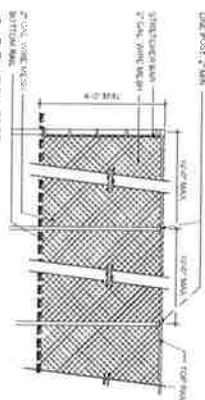
ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING."



2 ELEVATION: TREE PROTECTION FENCE DETAIL

ALL TICKETS TO REMAIN

- [illegible]

[illegible]

DATE:	NOVEMBER 11, 2025	DRAWN BY:
PROJECT NO.:	23-028	CHECKED BY:

OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B00000CO & 061000008500
METROPOLITAN NASHVILLE
GRIMESVILLE, TENNESSEE


Hawkins Partners, Inc.

110 COTT STREET, JAG. FIDORS
NASHVILLE, TN 37203
800-999-9999

11-11-25

[illegible]

1. CONCRETE PAVEMENT
REFER TO CIVIL DWG. 1018

2. SPECIALTY CONCRETE PAVEMENT
SPECIALTY CONC. PAVING TO MATCH
METRO GREENWAY STAIRCASES. REFER TO
L1.01

3. GREENWAY TRAIL
REFER TO CIVIL DRAWINGS

4. TRAILHEAD STRUCTURE
STRUCTURE TO MATCH METRO GREENWAY
STAIRCASES. REFER TO L1.01

5. LITTER RECEPTACLE
PROVIDE (1) PER TRAILHEAD
REFER TO L1.01B

6. BIKE RACK
REFER TO L1.01B

7. BIKE REPAIR STATION
REFER TO L1.01B

8. PET WASTE STATION
PROVIDE (1) PER TRAILHEAD AND
AT LEAST (1) PER EVERY 1/4 MILE
REFER TO L1.01B

9. DRINKING FOUNTAIN
REFER TO L1.01B AND CIVIL DWG. 1018
WATER SOURCE

10. BENCH
PROVIDE (1) PER TRAILHEAD
REFER TO L1.01B

1. NATIVE LAWN

2. EXISTING LANDSCAPE PLANTING
TO REMAIN UNDISTURBED

3. BUFFER MITIGATION REMAINING
CANOPY COVERAGE

4. ALL LANDSCAPE TO BE IRRIGATED WITH
EFFICIENCY. PROVIDE TOTAL SP. 5.586
FOR IRRIGATION SYSTEM. PROVIDE
SEED AND STRAW MULCH. IRRIGATORS
AND OTHERWISE NOTED AND AS NOTED IN THE LANDSCAPE
THIS DOCUMENTATION IS RESPECTIVE TO PHASE 1A/B
ONLY. FUTURE PHASES TO BE SUBMITTED AT A LATER
DATE

7. FOR GREENWAY LIGHTING REFER TO LIGHTING DWGS.

1. LIGHTING FOR STREETS AND THROUGHOUT THE
DEVELOPMENT WILL UTILIZE LIGHTING MEETING THE
INTENSITY TECHNIQUES APPROVED BY PLANNING
STAFF

2. GREENWAY FIXTURES TO MEET THE GREENWAY
STANDARDS. PROVIDE DOWNS FOR ALL GREENWAY TRAIL AND
LIGHTING BRIDGES SIDEWALK, ROADWAY LAYOUT
UTILITIES, SITE GRADING, DRAINAGE, ETC.

3. ALL LANDSCAPE TO BE IRRIGATED WITH
EFFICIENCY. PROVIDE TOTAL SP. 5.586
FOR IRRIGATION SYSTEM. PROVIDE
SEED AND STRAW MULCH. IRRIGATORS
AND OTHERWISE NOTED AND AS NOTED IN THE LANDSCAPE
THIS DOCUMENTATION IS RESPECTIVE TO PHASE 1A/B
ONLY. FUTURE PHASES TO BE SUBMITTED AT A LATER
DATE

7. FOR GREENWAY LIGHTING REFER TO LIGHTING DWGS.

1. CANOPY TREE
REFER TO L1.02

2. UNDERSTORY TREE
REFER TO L1.02

3. BIG GREEN TREE
REFER TO L1.02

1. NATIVE LAWN

2. EXISTING LANDSCAPE PLANTING
TO REMAIN UNDISTURBED

3. BUFFER MITIGATION REMAINING
CANOPY COVERAGE

4. ALL LANDSCAPE TO BE IRRIGATED WITH
EFFICIENCY. PROVIDE TOTAL SP. 5.586
FOR IRRIGATION SYSTEM. PROVIDE
SEED AND STRAW MULCH. IRRIGATORS
AND OTHERWISE NOTED AND AS NOTED IN THE LANDSCAPE
THIS DOCUMENTATION IS RESPECTIVE TO PHASE 1A/B
ONLY. FUTURE PHASES TO BE SUBMITTED AT A LATER
DATE

7. FOR GREENWAY LIGHTING REFER TO LIGHTING DWGS.

1. CANOPY TREE
REFER TO L1.02

2. UNDERSTORY TREE
REFER TO L1.02

3. BIG GREEN TREE
REFER TO L1.02

1. NATIVE LAWN

2. EXISTING LANDSCAPE PLANTING
TO REMAIN UNDISTURBED

3. BUFFER MITIGATION REMAINING
CANOPY COVERAGE

4. ALL LANDSCAPE TO BE IRRIGATED WITH
EFFICIENCY. PROVIDE TOTAL SP. 5.586
FOR IRRIGATION SYSTEM. PROVIDE
SEED AND STRAW MULCH. IRRIGATORS
AND OTHERWISE NOTED AND AS NOTED IN THE LANDSCAPE
THIS DOCUMENTATION IS RESPECTIVE TO PHASE 1A/B
ONLY. FUTURE PHASES TO BE SUBMITTED AT A LATER
DATE

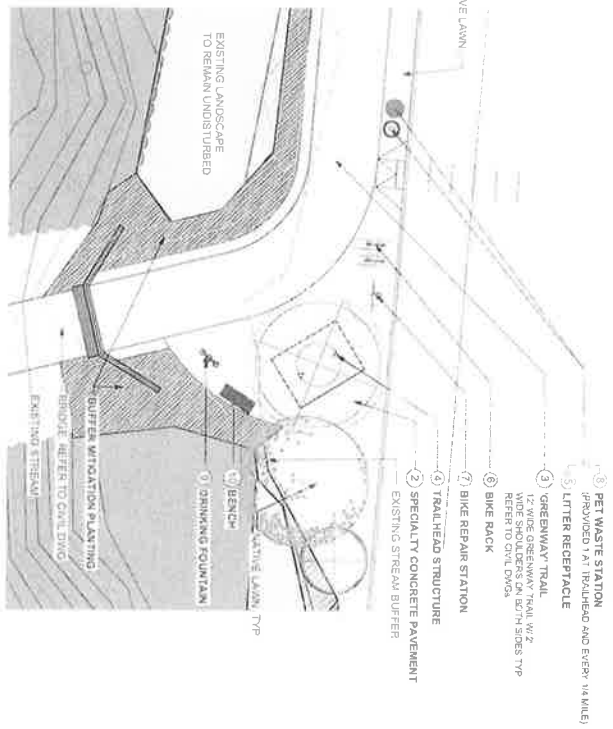
7. FOR GREENWAY LIGHTING REFER TO LIGHTING DWGS.

LEGEND (GREENWAY TRAILHEAD)

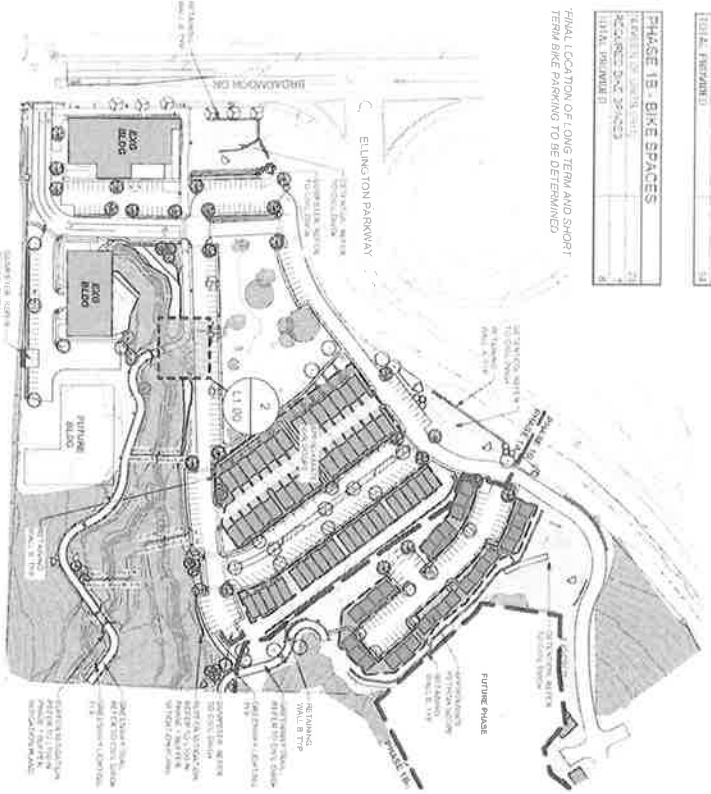
LANDSCAPE, REFER TO L1.02

NOTES

2. PHASE 1A GREENWAY AMENITY



1. PLAN PHASE 1A/B GREENWAY AMENITIES



PHASE 1A - BIKE SPACES

1. BIKE RACK	1
2. BIKE REPAIR STATION	1
3. PET WASTE STATION	1
4. DRINKING FOUNTAIN	1
5. BENCH	1

PHASE 1B - BIKE SPACES

1. BIKE RACK	1
2. BIKE REPAIR STATION	1
3. PET WASTE STATION	1
4. DRINKING FOUNTAIN	1
5. BENCH	1

FINAL LOCATION OF LONG TERM AND SHORT TERM BIKE PARKING TO BE DETERMINED

SP CASE NO.: 2017SP-034-004

MATERIAL PLAN		DATE: NOVEMBER 14, 2017		DRAWN BY: [Signature]		CHECKED BY: [Signature]	
L1.00		DATE: NOVEMBER 14, 2017		DRAWN BY: [Signature]		CHECKED BY: [Signature]	

OSAGE ARBOR AT BROADMOOR - PHASE 1

270 BROADMOOR DRIVE & 825 N. ALLEN ROAD

PARCEL ID: 061506900000 & 061506900001

NEPTUNIAN PARKVILLE

DAVENPORT COUNTY, IOWA 50547

1700 NORTH STREET, SUITE 100

DES MOINES, IOWA 50319

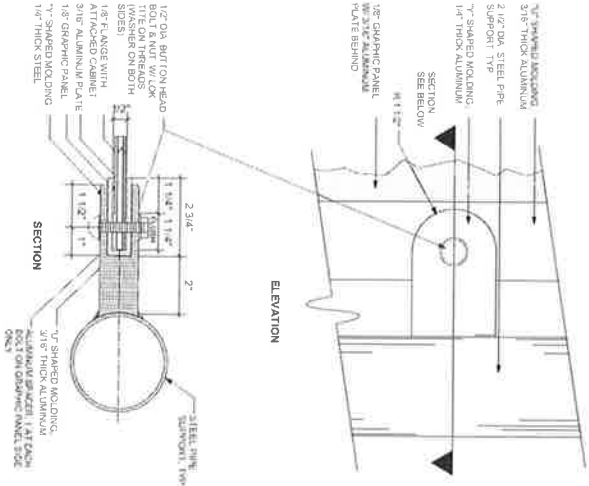
PHONE: 515.281.1111

WWW.HAWKINS-PORTER.COM

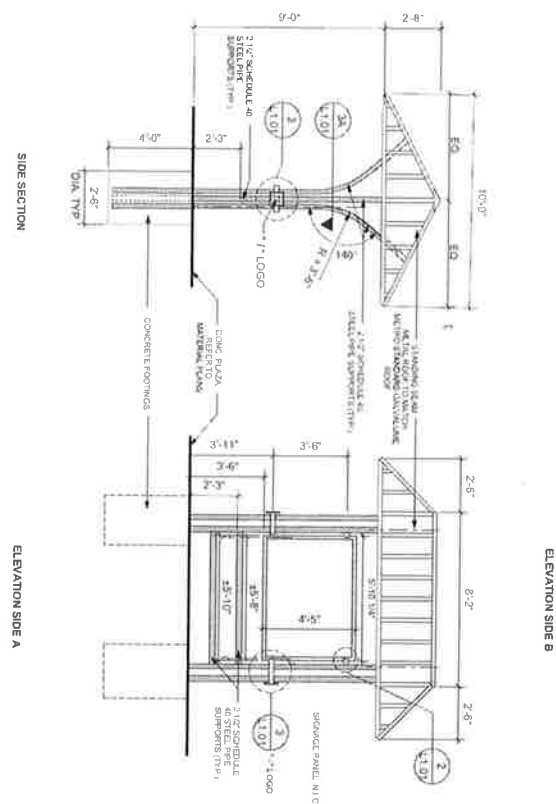
4 PET WASTE STATION



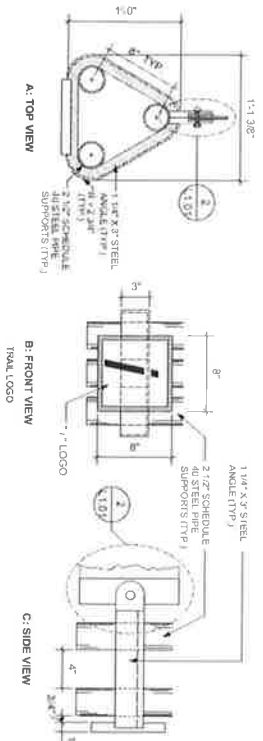
2 SECTION/ELEVATION: PANEL FRAMEWORK



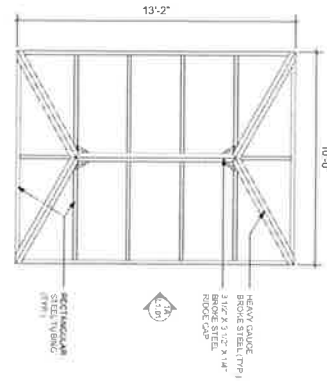
1 TYPICAL TRAILHEAD STRUCTURE



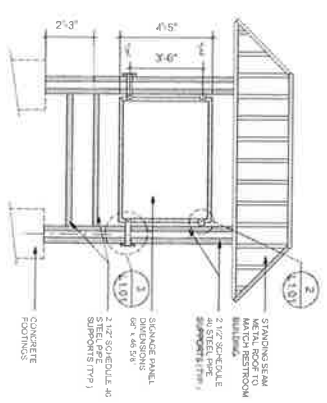
3 ELEVATION: TRAILHEAD DETAILS



ROOF FRAMING PLAN



ELEVATION SIDE B



- NOTE:
1. THE ENCLOSED SITE FURNITURE ELEMENTS ARE BASED ON THE METRO GREENWAY STANDARD SPECIFICATIONS. COLOR SHALL BE THE METRO GREENWAY GREEN, RAL 6005.
 2. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE PROVIDED BY THE METRO GREENWAY.
 3. ALL MATERIALS SHALL BE PROVIDED BY THE METRO GREENWAY.
 4. ALL MATERIALS SHALL BE PROVIDED BY THE METRO GREENWAY.
 5. PROVIDE EXTERIOR PAINT COLOR MODULARS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 6. PROVIDE EXTERIOR PAINT COLOR MODULARS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 7. GRAPHIC PANELS FOR TRAILHEAD TO BE DESIGNED, PRODUCED, AND INSTALLED BY DEVELOPER, DESIGN AND MATERIAL, TO BE APPROVED BY METRO PARKS GREENWAY.
 8. ADDITIONAL WAITING SIGNAGE ALONG THE TRAIL TO BE DETERMINED AND AS DIRECTED BY METRO PARKS GREENWAY.
 9. ALL MATERIALS SHALL BE PROVIDED BY THE METRO GREENWAY.

SP CASE NO.: 2017SP-034-004

HARDSCAPE DETAILS

DATE:	NOVEMBER 11, 2015	DRAWN BY:	
PROJECT NO.:	21-428	CHECKED BY:	



FINAL SP - PHASE 1
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE, SUITE 200, KANSAS CITY, MO 64105
PARCEL ID: 08150800000000 & 08150800000000

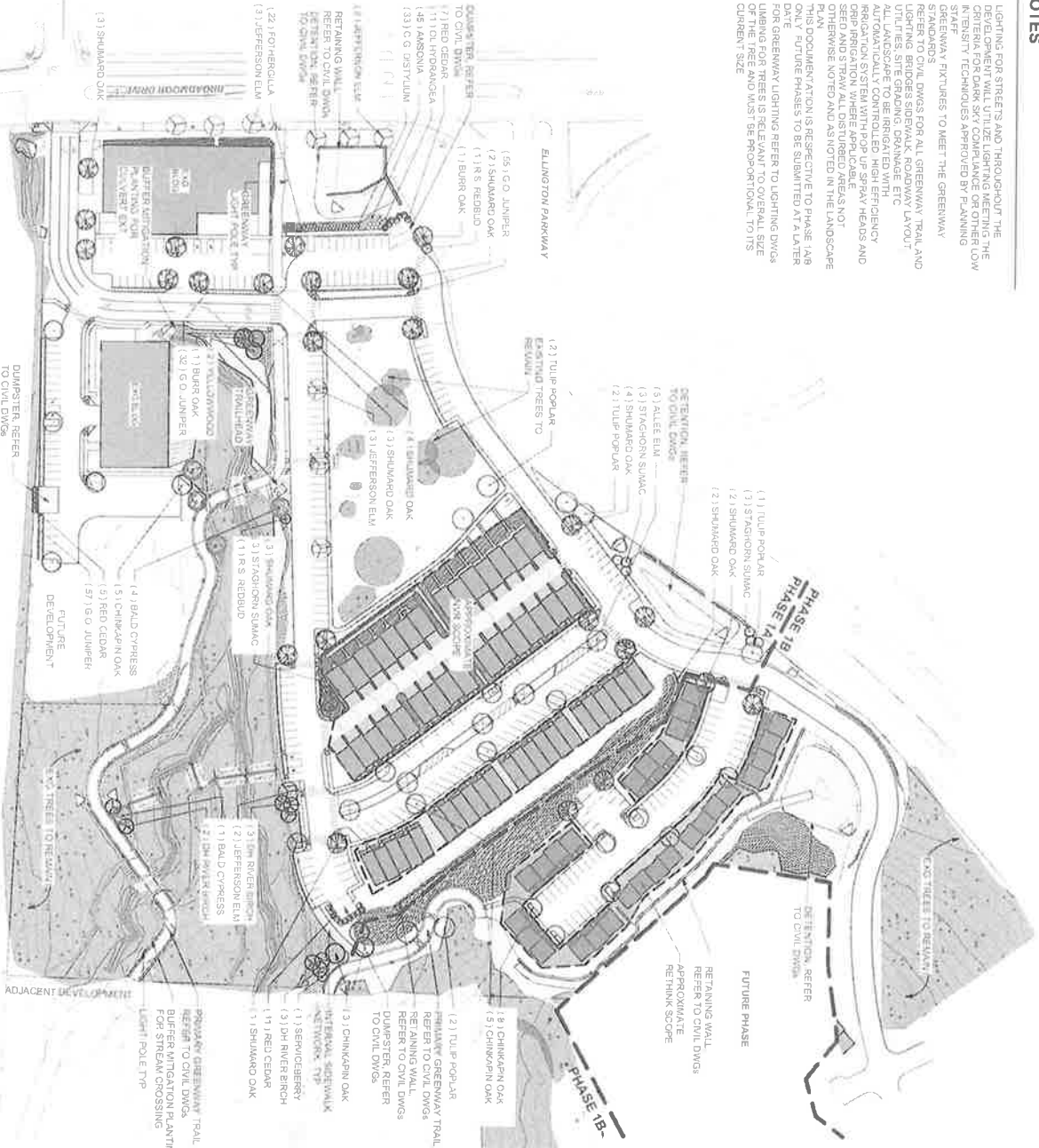


REVISION	DATE	DESCRIPTION

NOTES

1. LIGHTING FOR STREETS AND THROUGHOUT THE DEVELOPMENT WILL UTILIZE LIGHTING MEETING THE MINIMUM ILLUMINANCE REQUIREMENTS FOR THE STREET LIGHTING TECHNIQUES APPROVED BY PLANNING STAFF.
2. GREENWAY FEATURES TO MEET THE GREENWAY STANDARDS.
3. PROVIDE SLOPED DOWNS FOR ALL GREENWAY TRAIL AND UTILITIES. SITE GRADING, DRAINAGE, ETC.
4. ALL LANDSCAPE TO BE IRRIGATED WITH AN ADVANCED CONTROLLABLE HIGH EFFICIENCY IRRIGATION SYSTEM. IRRIGATION HEADS AND SEED AND STRAW ALL DISTURBED AREAS NOT OTHERWISE NOTED AND AS NOTED IN THE LANDSCAPE THIS DOCUMENTATION IS RESPECTIVE TO PHASE 1A & 1B DATE.
5. FOR GREENWAY LIGHTING REFER TO LIGHTING DWGS.
6. LIGHTING FOR TREES IS RELEVANT TO OVERALL SITE DESIGN AND MUST BE PROPORTIONAL TO ITS CURRENT SIZE.

1 PLAN: PHASE 1 AB LANDSCAPE PLAN



LEGEND

- REFORESTATION AREA
REFER TO BUFFER MITIGATION PLANS
- MEADOW MIX #1
REFER TO BUFFER MITIGATION PLANS
- MEADOW MIX #2
REFER TO BUFFER MITIGATION PLANS
- NATIVE LAWN
- PLANTING AREA
- FOUNDATION PLANTING (BY OTHERS)
- FOUNDATION PLANTING SHALL INCLUDE A COMBINATION OF SHRUBS, PERENNIALS, GRASSES, AND GROUNDCOVERS.
- LANDSCAPE WILL CONSIST OF A COMBINATION OF NATIVE OR ADAPTIVE PLANT MATERIAL CONDUCTIVE TO THE FOUNDATION PLANTING AND STREET/PARKING TREES WILL BE COMPLETED BY RESPECTIVE DEVELOPERS
- EXISTING TREES TO REMAIN
- EXISTING LANDSCAPE TO REMAIN UNDISTURBED

SP CASE NO.: 2017SP-034-004

L1.02

LANDSCAPE PLAN

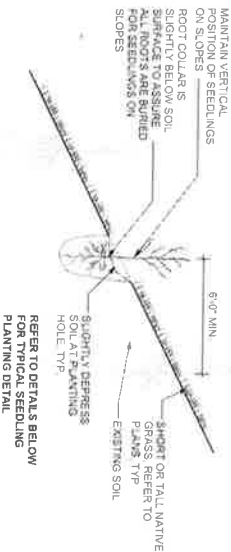
DATE: NOVEMBER 11, 2025
PROJECT NO: 23-029
DRAWN BY: [blank]
CHECKED BY: [blank]



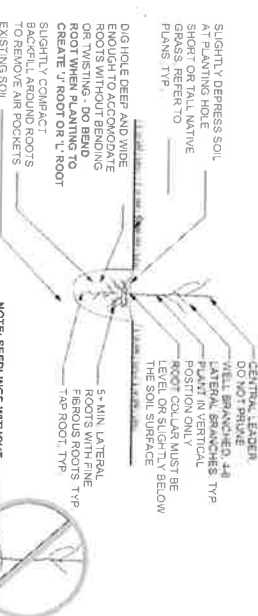
FINAL SP - PHASE 1
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 229 BEN ALLEN ROAD
PARCEL ID: 05158900000 & 06100000000
METROPOLITAN NASHVILLE
DAVENPORT COUNTY, TENNESSEE



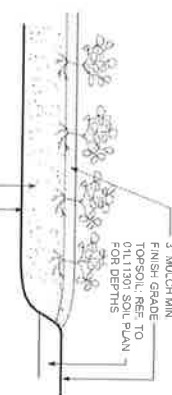
1. PLAN: SPACING CHART



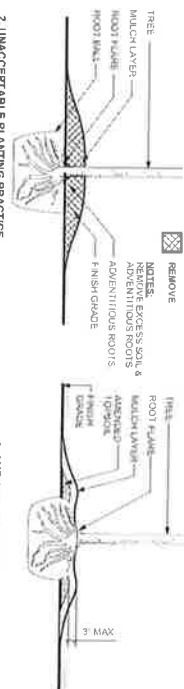
5 SECTION: TYPICAL DECIDUOUS SEEDLING PLANTING



3 SECTION: GROUND COVER / PERENNIAL BED
NTS



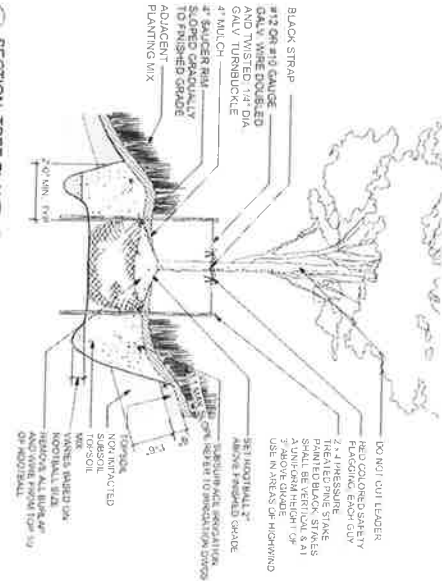
3. AMENDED ROOTBALL, INSTALLED WITH
ROOTFLARE @ CORRECT HEIGHT



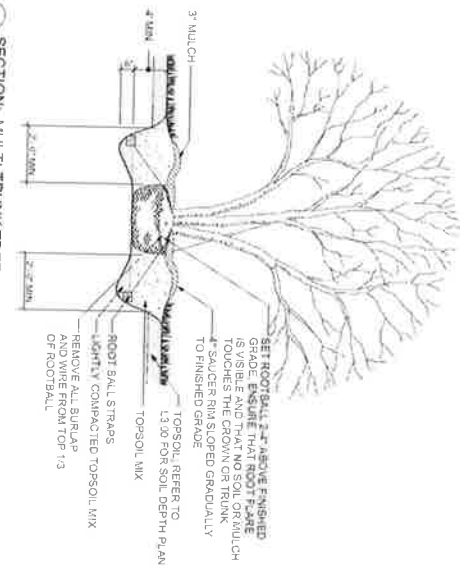
✓ ACCEPTABLE

[illegible]

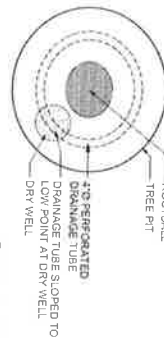
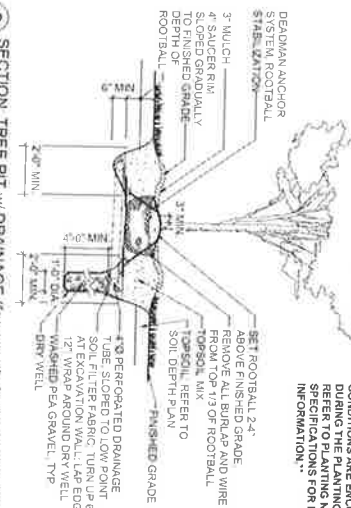
6 SECTION: TREE PLANTING ON SLOPE 3:1



4 SECTION: MULTI-TRUNK TREE

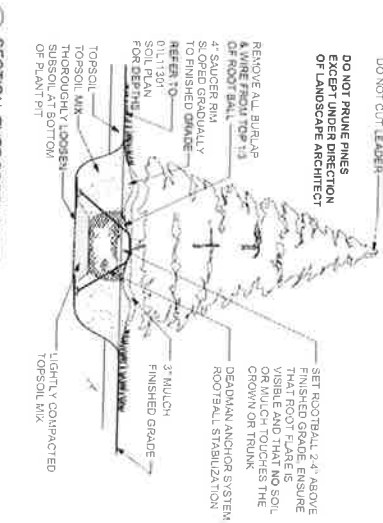


2 SECTION: TREE PIT w/ DRAINAGE (for poor drainage conditions)

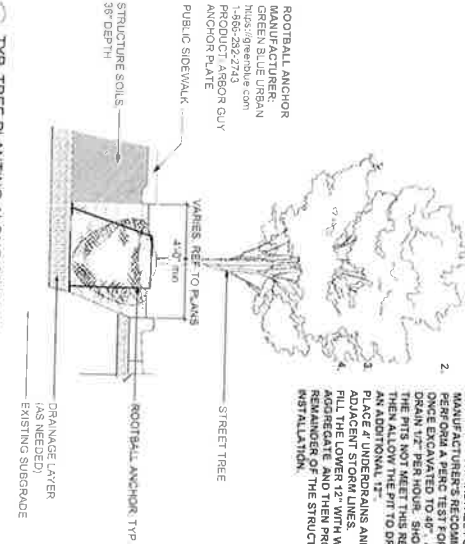


THIS DETAIL IS PROVIDED IN THE EVENT THAT POOR DRAINAGE CONDITIONS ARE ENCOUNTERED DURING THE PLANTING PHASE. REFER TO PLANTING NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.

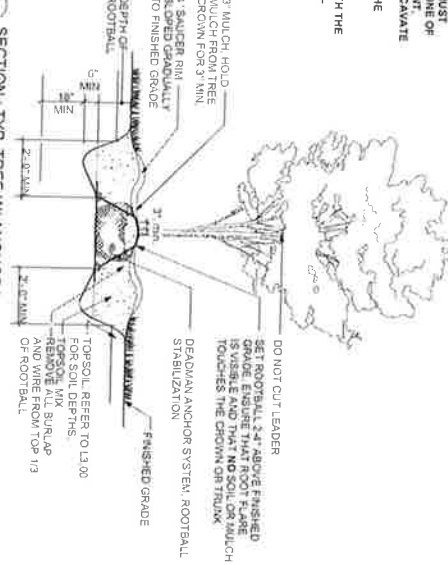
5 SECTION: EVERGREEN TREE



3 TYP. TREE PLANTING ALONG STREET



1 SECTION: TYP. TREE w/ ANCHORS



FINAL SP - PHASE 1
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 06150830000000 & 06100000500

REVISION	DATE	DESCRIPTION

DATE: NOVEMBER 11, 2021
PROJECT NO.: 23028
DRAWN BY:
CHECKED BY:



SP CASE NO.: 2017SP-034-004

L1.05

LANDSCAPE DETAILS

FREDDIE O'CONNELL, MAYOR

METROPOLITAN BOARD OF PARKS AND RECREATION

Centennial Park Office
Park Plaza at Oman Street
Nashville, TN 37201



(615) 862-8400
Fax (615) 862-8414
www.nashville.gov/parks

Monique Horton Odom, Director

May 5, 2026

Mr. David Diaz-Barriga
Planner, Greenways & Open Space
Metro Board of Parks and Recreation
P.O. Box 196340
Nashville, TN 37219-6340

Dear Mr. Diaz-Barriga:

The Metropolitan Board of Parks and Recreation, at its meeting held on Tuesday, May 5, 2026, approved staff's request for a dedicated Conservation Greenway Easement on property at 329 BEN ALLEN RD. NASHVILLE, TN. 37207, (Map and Parcel 06100008500), as part of the Broadmoor-Ben Allen Greenway Connector. This greenway easement will conserve 0.38 acres of open space and provide for future expansion of the Broadmoor-Ben Allen Greenway Connector. The easement dedication was a condition of the Planning Commission's approval of the final site plan for Osage Arbor at Broadmoor Phase I, 2017SP-034-004. Council District 5.

Sincerely,

Monique Horton Odom, Director
and Secretary to the Board

"It is the mission of Metro Parks and Recreation to sustainably and equitably provide everyone in Nashville with an inviting network of parks and greenways that offer health, wellness and quality of life through recreation, conservation and community"



FOR ADA ACCOMMODATIONS, PLEASE CONTACT 615-862-8400
WE ARE AN EQUAL OPPORTUNITY EMPLOYER



EXHIBIT A1
GREENWAY CONSERVATION EASEMENT "A"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Commencing at a mag nail (found) in the southerly right-of-way line of Broadmoor Drive, said mag nail also being in the northeasterly corner of the O.I.C. 272 Broadmoor Drive property, Instrument No. 20230927-0075964 (RODCT), having a Tennessee State Plane coordinate value of North: 691,529.62 US feet, East: 1,747,233.37 US feet (NAD83, 2011);

Thence, with 272 Broadmoor, South 14° 07' 12" East 21.33 feet, to the True Point of Beginning;

Thence, severing Ben Allen Land Partners, the following two (2) calls:

- 1) South 83° 44' 20" East 5.83 feet;
- 2) South 06° 25' 07" West 15.57 feet, to the northeasterly line of said O.I.C. 272 Broadmoor Drive property;

Thence, with 272 Broadmoor, North 14° 07' 12" West 16.61 feet, to the Point of Beginning, containing in all 0.001 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit - P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



EXHIBIT A2
GREENWAY CONSERVATION EASEMENT "B"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Beginning at an iron rebar (set) in the southeasterly corner of the O.I.C. 272 Broadmoor Drive property, Instrument No. 20230927-0075964 (RODCT), having a Tennessee State Plane coordinate value of North: 691,102.58 US feet, East: 1,747,192.17 US feet (NAD83, 2011);

Thence, with 272 Broadmoor, North 10° 30' 56" East 88.76 feet;

Thence, severing Ben Allen Land Partners, the following sixteen (16) calls:

- 1) South 04° 57' 54" West 52.30 feet;
- 2) South 84° 49' 50" East 2.99 feet;
- 3) South 05° 10' 45" West 50.75 feet;
- 4) North 84° 38' 08" West 12.70 feet;
- 5) With a curve to the right, having a radius of 37.16 feet, an arc length of 32.61 feet, and a chord bearing North 57° 51' 06" West 31.57 feet;
- 6) South 77° 11' 10" West 39.21 feet;
- 7) With a curve to the left, having a radius of 37.00 feet, an arc length of 67.30 feet, and a chord bearing South 25° 04' 35" West 58.40 feet;
- 8) With a curve to the right, having a radius of 53.00 feet, an arc length of 48.68 feet, and a chord bearing South 00° 43' 13" East 46.99 feet;
- 9) South 25° 35' 34" West 67.56 feet;
- 10) With a curve to the left, having a radius of 92.00 feet, an arc length of 29.27 feet, and a chord bearing South 16° 28' 47" West 29.14 feet;
- 11) With a curve to the right, having a radius of 108.00 feet, an arc length of 114.82 feet, and a chord bearing South 37° 49' 21" West 109.49 feet;
- 12) South 68° 16' 42" West 34.83 feet;
- 13) With a curve to the left, having a radius of 42.00 feet, an arc length of 71.36 feet, and a chord bearing South 19° 36' 24" West 63.08 feet;
- 14) South 29° 03' 55" East 131.35 feet;
- 15) With a curve to the right, having a radius of 43.00 feet, an arc length of 54.30 feet, and a chord bearing South 07° 06' 48" West 50.77 feet;
- 16) South 43° 17' 32" West 58.41 feet, to the northerly line of the MDHA property, Instrument No. QC-20230629-0049688 (RODCT);

Thence, with MDHA, North 80° 54' 26" West 19.34 feet;

Thence, severing Ben Allen Land Partners, the following forty-four (44) calls:

- 1) North 43° 17' 32" East 40.30 feet;
- 2) North 46° 42' 28" West 5.00 feet;
- 3) North 43° 17' 32" East 5.00 feet;
- 4) South 46° 42' 28" East 5.00 feet;
- 5) North 43° 17' 32" East 23.98 feet;
- 6) With a curve to the left, having a radius of 27.00 feet, an arc length of 34.10 feet, and a chord bearing North 07° 06' 48" East 31.88 feet;
- 7) North 29° 03' 55" West 2.84 feet;

- 8) South 60° 56' 05" West 5.00 feet;
- 9) North 29° 03' 55" West 5.00 feet;
- 10) North 60° 56' 05" East 5.00 feet;
- 11) North 29° 03' 55" West 63.97 feet;
- 12) South 60° 56' 05" West 5.00 feet;
- 13) North 29° 03' 55" West 5.00 feet;
- 14) North 60° 56' 05" East 5.00 feet;
- 15) North 29° 03' 55" West 54.54 feet;
- 16) With a curve to the right, having a radius of 58.00 feet, an arc length of 14.17 feet, and a chord bearing North 22° 03' 58" West 14.14 feet;
- 17) South 77° 24' 14" West 5.00 feet;
- 18) North 12° 35' 46" West 5.00 feet;
- 19) North 77° 24' 14" East 5.00 feet;
- 20) With a curve to the right, having a radius of 58.00 feet, an arc length of 78.69 feet, and a chord bearing North 28° 44' 21" East 72.79 feet;
- 21) North 21° 43' 18" West 5.00 feet;
- 22) North 68° 16' 42" East 5.00 feet;
- 23) South 21° 43' 18" East 5.00 feet;
- 24) North 68° 16' 42" East 30.51 feet;
- 25) With a curve to the left, having a radius of 92.00 feet, an arc length of 41.27 feet, and a chord bearing North 55° 25' 39" East 40.92 feet;
- 26) North 48° 58' 50" West 5.00 feet;
- 27) North 41° 01' 10" East 5.00 feet;
- 28) South 48° 58' 50" East 5.00 feet;
- 29) With a curve to the left, having a radius of 92.00 feet, an arc length of 51.54 feet, and a chord bearing North 23° 24' 52" East 50.86 feet;
- 30) With a curve to the right, having a radius of 108.00 feet, an arc length of 20.76 feet, and a chord bearing North 12° 52' 25" East 20.73 feet;
- 31) North 70° 17' 34" West 5.00 feet;
- 32) North 19° 42' 26" East 5.00 feet;
- 33) South 70° 17' 34" East 5.00 feet;
- 34) With a curve to the right, having a radius of 108.00 feet, an arc length of 8.59 feet, and a chord bearing North 23° 18' 47" East 8.59 feet;
- 35) North 25° 35' 34" East 67.56 feet;
- 36) North 68° 40' 30" West 5.00 feet;
- 37) North 21° 19' 30" East 5.00 feet;
- 38) South 68° 40' 30" East 5.03 feet;
- 39) With a curve to the left, having a radius of 37.00 feet, an arc length of 28.98 feet, and a chord bearing North 04° 35' 41" West 28.25 feet;
- 40) With a curve to the right, having a radius of 53.00 feet, an arc length of 43.31 feet, and a chord bearing North 03° 37' 20" West 42.12 feet;
- 41) North 67° 30' 26" West 5.01 feet;
- 42) North 22° 29' 34" East 5.00 feet;
- 43) South 67° 30' 26" East 5.01 feet;
- 44) With a curve to the right, having a radius of 53.00 feet, an arc length of 45.30 feet, and a chord bearing North 49° 40' 52" East 43.93 feet;

Thence, with 272 Broadmoor Drive, South 83° 23' 13" East 74.28 feet, to the Point of Beginning, containing in all 0.29 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit - P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



EXHIBIT A3
GREENWAY CONSERVATION EASEMENT "C"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Commencing at an iron rebar (found) in the northeasterly corner of the MDHA property, Instrument No. QC-20230629-0049688 (RODCT), having a Tennessee State Plane coordinate value of North: 690,476.76 US feet, East: 1,747,360.99 US feet (NAD83, 2011);

Thence, with MDHA, the following two (2) calls:

- 1) North 80° 54' 26" West 171.63 feet;
- 2) North 80° 54' 26" West 16.27 feet, to the True Point of Beginning;

Thence, severing Ben Allen Land Partners, the following twenty-seven (27) calls:

- 1) With a curve to the right, having a radius of 43.00 feet, an arc length of 48.02 feet, and a chord bearing North 49° 22' 47" East 45.56 feet;
- 2) Thence, North 81° 22' 07" East 61.38 feet;
- 3) With a curve to the left, having a radius of 42.00 feet, an arc length of 45.76 feet, and a chord bearing North 50° 09' 11" East 43.53 feet;
- 4) Thence, North 18° 56' 14" East 10.51 feet;
- 5) With a curve to the right, having a radius of 38.00 feet, an arc length of 109.69 feet, and a chord bearing South 78° 22' 11" East 75.38 feet;
- 6) Thence, North 85° 40' 36" West 16.00 feet;
- 7) With a curve to the left, having a radius of 22.00 feet, an arc length of 12.32 feet, and a chord bearing North 11° 42' 58" West 12.16 feet;
- 8) Thence, South 55° 43' 10" West 5.00 feet;
- 9) Thence, North 34° 16' 50" West 5.00 feet;
- 10) Thence, North 55° 43' 10" East 5.00 feet;
- 11) With a curve to the left, having a radius of 22.00 feet, an arc length of 46.18 feet, and a chord bearing South 79° 03' 57" West 38.15 feet;
- 12) Thence, South 18° 56' 14" West 10.51 feet;
- 13) With a curve to the right, having a radius of 58.00 feet, an arc length of 1.09 feet, and a chord bearing South 19° 28' 34" West 1.09 feet;
- 14) Thence, South 67° 30' 52" East 5.00 feet;
- 15) Thence, South 22° 29' 08" West 5.00 feet;
- 16) Thence, North 67° 30' 52" West 5.00 feet;
- 17) With a curve to the right, having a radius of 58.00 feet, an arc length of 57.11 feet, and a chord bearing South 53° 09' 44" West 54.83 feet;
- 18) Thence, South 81° 22' 07" West 8.60 feet;
- 19) Thence, South 08° 37' 53" East 5.00 feet;
- 20) Thence, South 81° 22' 07" West 5.00 feet;
- 21) Thence, North 08° 37' 53" West 5.00 feet;

- 22) Thence, South 81° 22' 07" West 47.78 feet;
- 23) With a curve to the left, having a radius of 27.00 feet, an arc length of 11.98 feet, and a chord bearing South 68° 39' 40" West 11.88 feet;
- 24) Thence, South 39° 21' 33" East 5.00 feet;
- 25) Thence, South 50° 38' 27" West 5.00 feet;
- 26) Thence, North 39° 21' 33" West 5.00 feet;
- 27) With a curve to the left, having a radius of 27.00 feet, an arc length of 10.81 feet, and a chord bearing South 33° 51' 15" West 10.74 feet, to the Point of Beginning, containing in all 0.09 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit - P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.



EXHIBIT A4
GREENWAY CONSERVATION EASEMENT "D"
P/O PARCEL: 06100008500
DAVIDSON COUNTY, TENNESSEE

Located in the 5th Civil District of Davidson County, Tennessee, being a portion of the Ben Allen Land Partners, LLC property, as referenced in Instrument No. QC-20240216-0010966, of the Register's Office for Davidson County, Tennessee (RODCT), and being more particularly described as follows:

Commencing at an iron rebar (set) in the southeasterly corner of the O.I.C. 272 Broadmoor Drive property, Instrument No. 20230927-0075964 (RODCT), having a Tennessee State Plane coordinate value of North: 691,102.58 US feet, East: 1,747,192.17 US feet (NAD83, 2011);

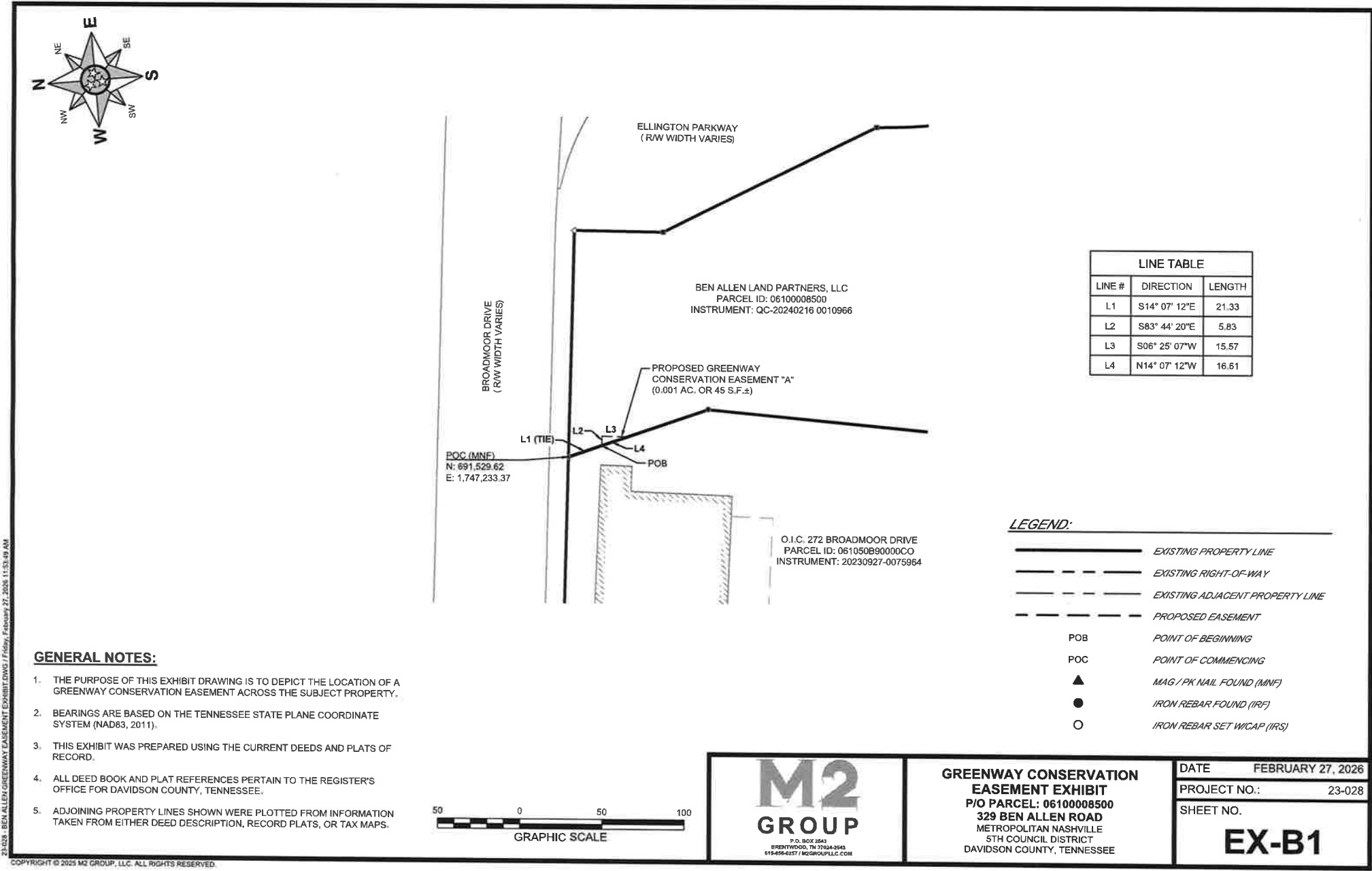
Thence, with 272 Broadmoor, the following two (2) calls:

- 1) North 10° 30' 56" East 105.63 feet, to the True Point of Beginning;
- 2) North 10° 30' 56" East 5.02 feet;

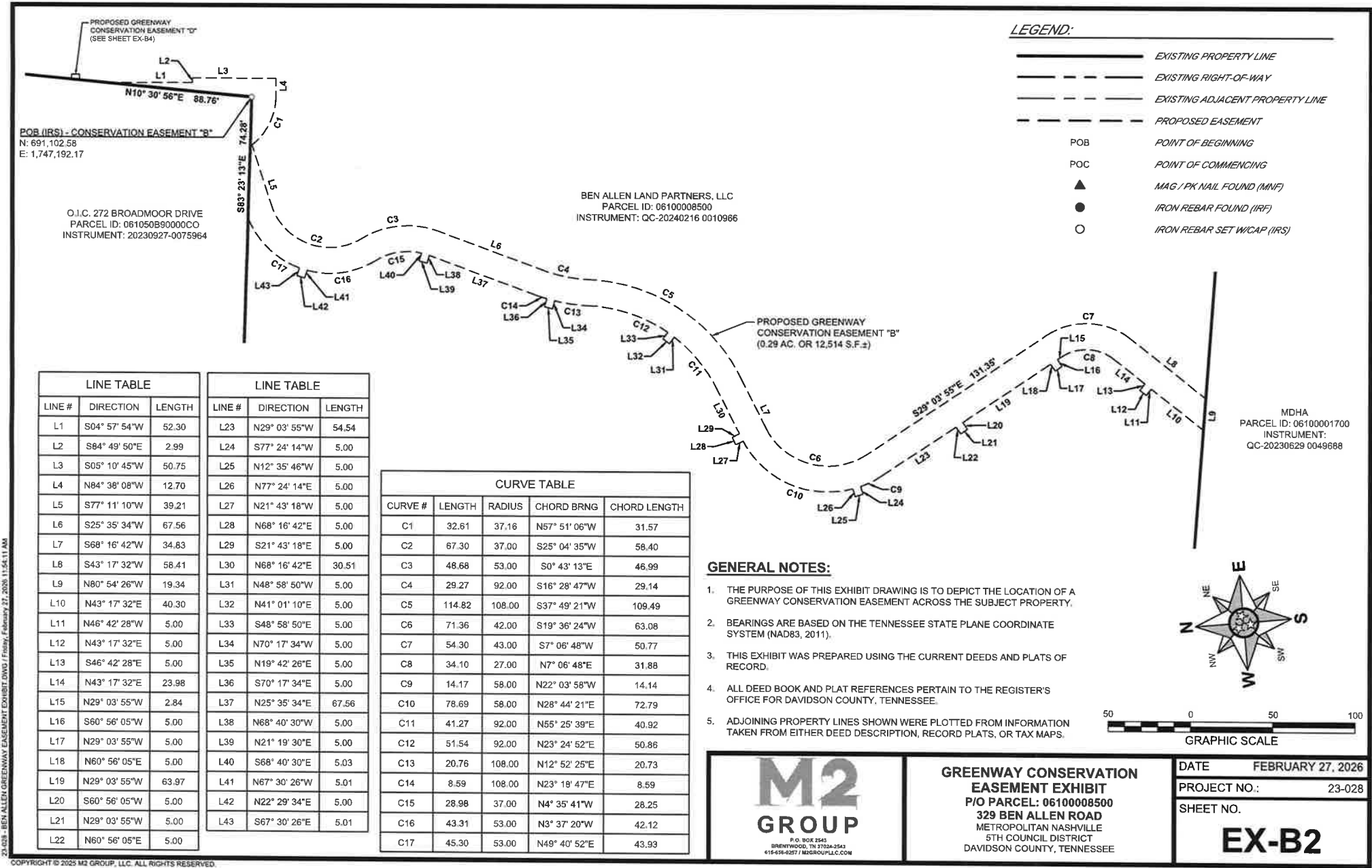
Thence, severing Ben Allen Land Partners, the following three (3) calls:

- 1) South 85° 02' 06" East 2.88 feet;
- 2) South 04° 57' 54" West 5.00 feet;
- 3) North 85° 02' 06" West 3.37 feet, to the Point of Beginning, containing in all 0.0004 acres, more or less.

The description provided hereon was prepared by Stephen Vander Horst, TN RLS 3041, and is derived from an exhibit drawing by M2 Group, LLC entitled "Greenway Conservation Easement Exhibit – P/O Parcel: 06100008500", dated February 27, 2026, which is an integral part of this description and hereby incorporated by reference.

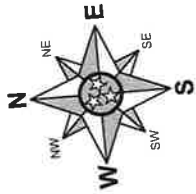


23-028 - BEN ALLEN GREENWAY EASEMENT EXHIBIT DWG / Friday, February 27, 2026 11:53:49 AM



23-028 - BEN ALLEN GREENWAY EASEMENT EXHIBIT DWG / Friday, February 27, 2026 11:54:11 AM

20-028 - BEN ALLEN GREENWAY EASEMENT EXHIBIT DWG / Friday, February 27, 2026 11:54:40 AM



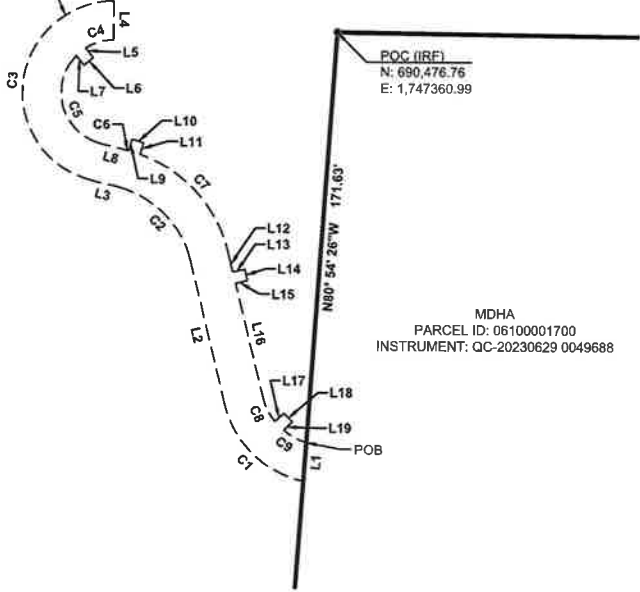
PROPOSED GREENWAY
CONSERVATION EASEMENT "C"
(0.09 AC. OR 4,115 S.F.±)

BEN ALLEN LAND PARTNERS, LLC
PARCEL ID: 06100008500
INSTRUMENT: QC-20240216 0010966

POC (IRF)
N: 690,476.76
E: 1,747,360.99

MDHA
PARCEL ID: 06100001700
INSTRUMENT: QC-20230629 0049688

POB



CURVE TABLE

CURVE #	LENGTH	RADIUS	CHORD BRNG	CHORD LENGTH
C1	48.02	43.00	N49° 22' 47"E	45.56
C2	45.76	42.00	N50° 09' 11"E	43.53
C3	109.69	38.00	S78° 22' 11"E	75.38
C4	12.32	22.00	N11° 42' 58"W	12.16
C5	46.18	22.00	S79° 03' 57"W	38.15
C6	1.09	58.00	S19° 28' 34"W	1.09
C7	57.11	58.00	S53° 09' 44"W	54.83
C8	11.98	27.00	S68° 39' 40"W	11.88
C9	10.81	27.00	S33° 51' 15"W	10.74

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N80° 54' 26"W	16.27
L2	N81° 22' 07"E	61.38
L3	N18° 56' 14"E	10.51
L4	N85° 40' 36"W	16.00
L5	S55° 43' 10"W	5.00
L6	N34° 16' 50"W	5.00
L7	N55° 43' 10"E	5.00
L8	S18° 56' 14"W	10.51
L9	S67° 30' 52"E	5.00
L10	S22° 29' 08"W	5.00

LINE TABLE

LINE #	DIRECTION	LENGTH
L11	N67° 30' 52"W	5.00
L12	S81° 22' 07"W	8.60
L13	S08° 37' 53"E	5.00
L14	S81° 22' 07"W	5.00
L15	N08° 37' 53"W	5.00
L16	S81° 22' 07"W	47.78
L17	S39° 21' 33"E	5.00
L18	S50° 38' 27"W	5.00
L19	N39° 21' 33"W	5.00

LEGEND:

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING ADJACENT PROPERTY LINE
	PROPOSED EASEMENT
	POINT OF BEGINNING
	POINT OF COMMENCING
	MAG / PK NAIL FOUND (MNF)
	IRON REBAR FOUND (IRF)
	IRON REBAR SET W/CAP (IRS)

GENERAL NOTES:

- THE PURPOSE OF THIS EXHIBIT DRAWING IS TO DEPICT THE LOCATION OF A GREENWAY CONSERVATION EASEMENT ACROSS THE SUBJECT PROPERTY.
- BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
- THIS EXHIBIT WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
- ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
- ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.

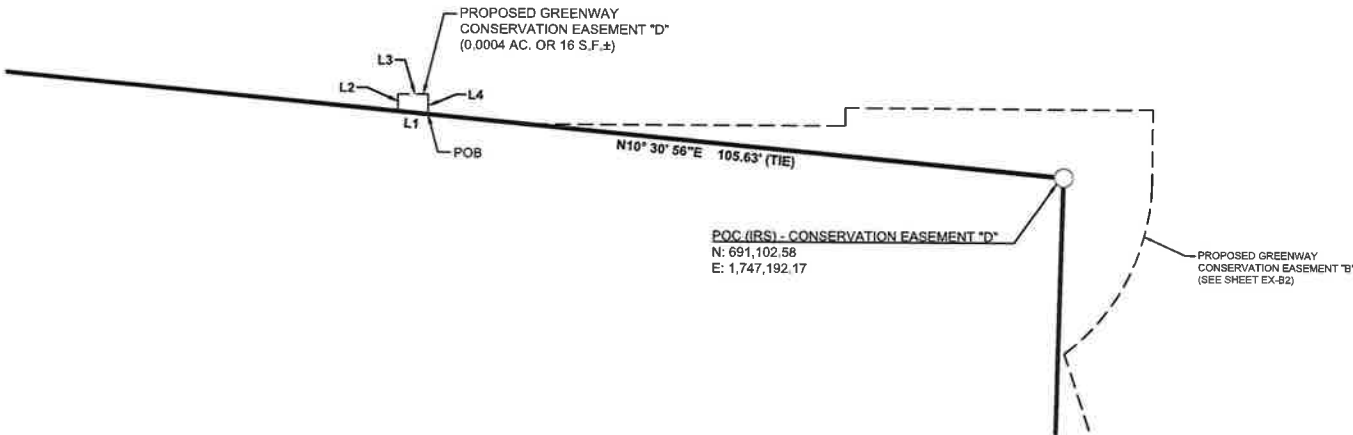


**GREENWAY CONSERVATION
EASEMENT EXHIBIT**
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE

DATE	FEBRUARY 27, 2026
PROJECT NO.:	23-028
SHEET NO.	EX-B3

LEGEND:

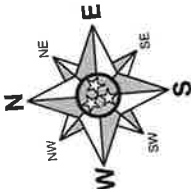
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING ADJACENT PROPERTY LINE
- PROPOSED EASEMENT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- MAG / PK NAIL FOUND (MNF)
- IRON REBAR FOUND (IRF)
- IRON REBAR SET W/CAP (IRS)



GENERAL NOTES:

- THE PURPOSE OF THIS EXHIBIT DRAWING IS TO DEPICT THE LOCATION OF A GREENWAY CONSERVATION EASEMENT ACROSS THE SUBJECT PROPERTY.
- BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
- THIS EXHIBIT WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
- ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
- ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N10° 30' 56"E	5.02
L2	S85° 02' 06"E	2.88
L3	S04° 57' 54"W	5.00
L4	N85° 02' 06"W	3.37



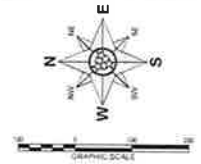
P.O. BOX 2543
BENTLEYWOOD, TN 37024-2543
615-438-6287 / M2GROUP,LLC.COM

GREENWAY CONSERVATION EASEMENT EXHIBIT
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE

DATE FEBRUARY 27, 2026
PROJECT NO.: 23-028
SHEET NO.
EX-B4

23-028 - BEN ALLEN GREENWAY EASEMENT EXHIBIT.DWG / PLOTTER: February 27, 2026 11:54:58 AM

	Prüfung 1
	Prüfung 2
	Prüfung 3



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-004-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B900000 & 0610009500
METROPOLITAN AREA OFFICE

M2 GROUP
P.O. BOX 3343
MILWAUKEE, WI 53103-2343
414.586.2007 / WWW.M2GROUP.COM

OVERALL LAYOUT & PHASING PLAN

DATE :	05 OCTOBER 2023	DRAWN BY :	T.O.T
PROJECT NO :	2308	CHECKED BY :	NR

LOT SIZE: 20'
MOZART 20' X 36' TOWNHOME
REAR GARAGE = 98 UNITS

LOT SIZE: 24'
MCPHERSON STAND ALONE
DETACHED END UNITS ONLY
24' X 40' FOUNDATIONS
FRONT GARAGE = 76 UNITS

LOT SIZE: 22'
MENDELSSOHN DETACHED
END UNITS ONLY
22' X 40' FOUNDATIONS
REAR GARAGE = 32 UNITS
NO GARAGE = 11 UNITS

LOT SIZE: 16'
CLARENDON 16' X 40'
FOUNDATIONS
NO GARAGE = 83 UNITS

LOT SIZE: 22.5'
21' X 21' FOUNDATIONS
FRONT GARAGE = 8 UNITS
NO GARAGE = 20 UNITS

TOTAL SURFACE PARKING:
799 SPACES

KEY NOTES:

1. MAX. KIOSK
2. DUMPSTER ENCLOSURE
3. RETAINING WALL
4. GREENWAY - ASPHALT
5. STORMWATER MANAGEMENT AREA
6. STOP BAR
7. SECONDARY TRAIL
8. GREENWAY - CONCRETE



Know what's below.
Call before you dig.

C001

EASEMENT PLAN

C002

DATE: JANUARY 2008

BY: [Signature]

DATE: JANUARY 2008

BY: [Signature]

FINAL SPECIFIC PLAN FOR:

OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO. 207TSF-004-0004

272 BROADMOOR AVENUE, ALLEN ROAD

PARCEL ID: 001508050000 & 001508050001

and interests therein, together with

all other interests therein, together with



M2 GROUP

REGISTERED IN THE PUBLIC RECORDS OF THE STATE OF TEXAS

DATE: JANUARY 2008

BY: [Signature]

DATE: JANUARY 2008

BY: [Signature]

DATE: JANUARY 2008

BY: [Signature]

DATE: JANUARY 2008

BY: [Signature]

DEMOLITION NOTES

- [illegible]

GENERAL UTILITY NOTES (METRO NASHVILLE)

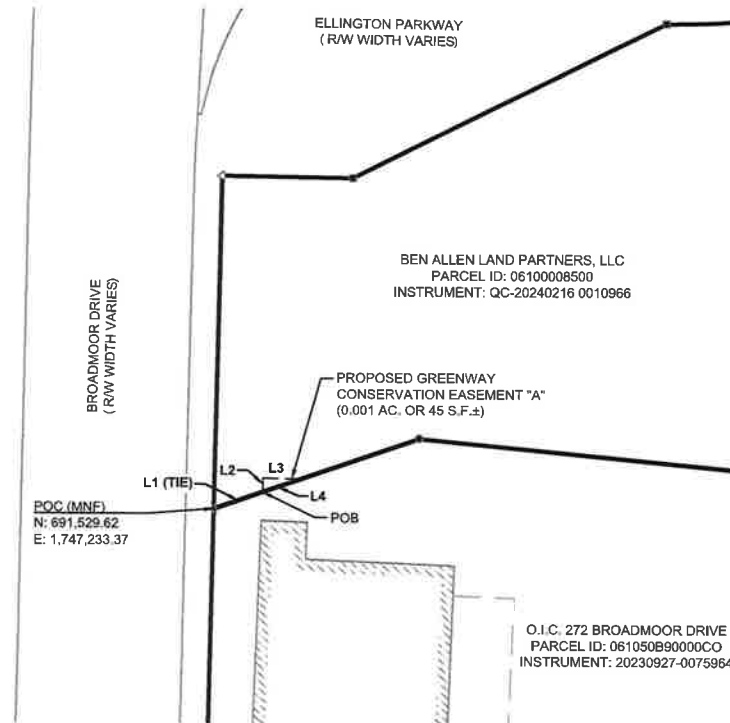
GRADING, DRAINAGE AND EROSION CONTROL NOTES

16. TO THE APPLICANT'S KNOWLEDGE, THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT, AND THE APPLICANT HAS NOT BEEN CONVICTED OF A CRIME INVOLVING MORAL TURPITUDE OR A CRIME INVOLVING THE VIOLATION OF A FEDERAL LAWS OR REGULATIONS.

STORMWATER POLLUTION PREVENTION NOTES

- 11/1/7625

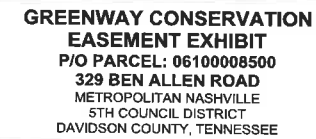
C004	GENERAL NOTES		M2 GROUP		FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1 272 BROADMOOR DRIVE & 138 BEN ALLEN ROAD PARCEL ID: 0671009000000 & 061000100500 10/16/2020 11/16/2020	
	DATE: 10/16/2020 PROJECT NO: 272B DRAWN BY: JABER CHECKED BY: JABER	OCTOBER 16, 2020 10:11 AM	10/16/2020 10:11 AM	10/16/2020 10:11 AM	10/16/2020 10:11 AM	10/16/2020 10:11 AM



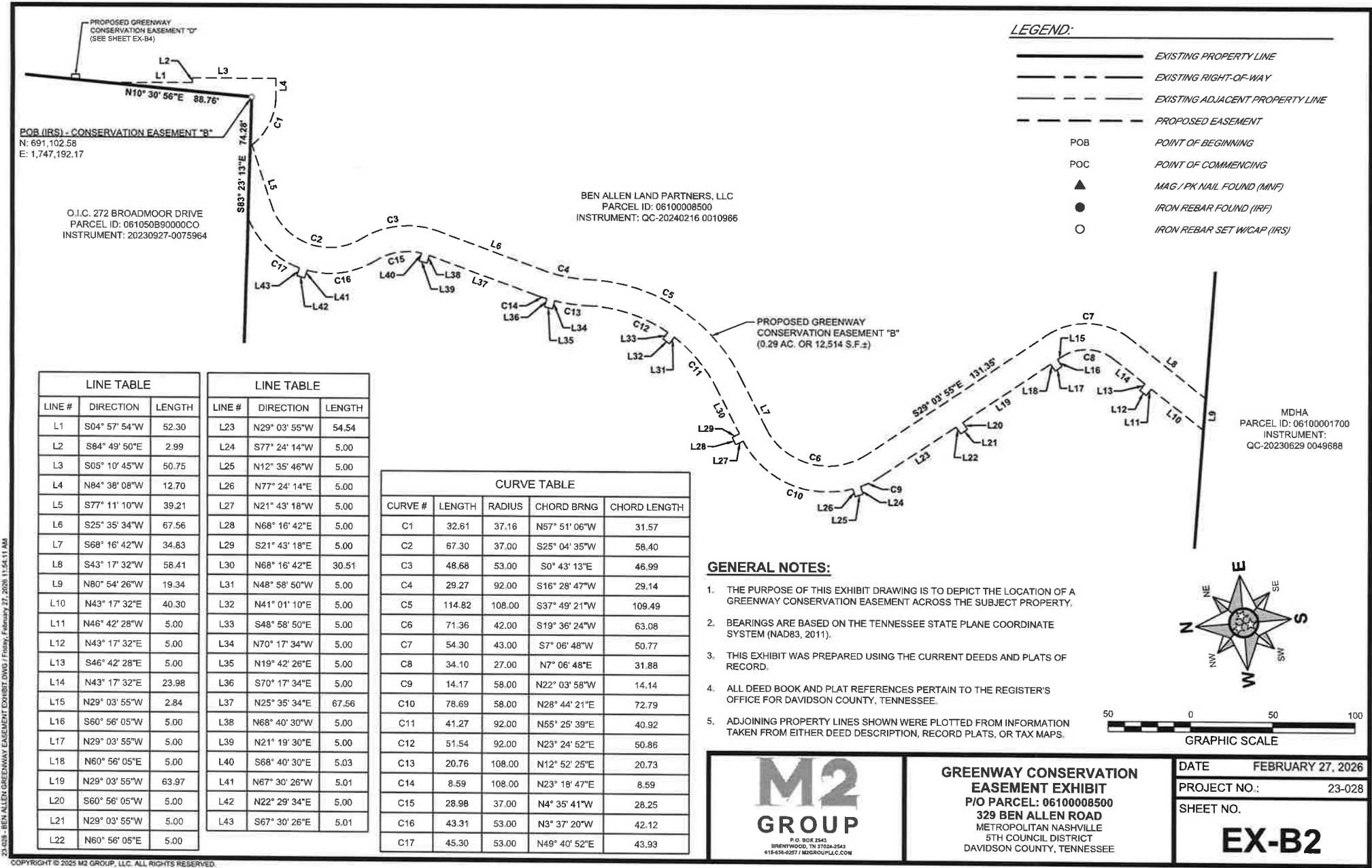
LEGEND:

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING ADJACENT PROPERTY LINE
	PROPOSED EASEMENT
POB	POINT OF BEGINNING
POC	POINT OF COMMENCING
	MAG / PK NAIL FOUND (MNF)
	IRON REBAR FOUND (IRF)
	IRON REBAR SET W/CAP (IRS)

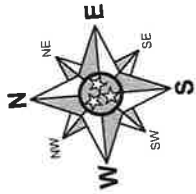
1. THE PURPOSE OF THIS EXHIBIT DRAWING IS TO DEPICT THE LOCATION OF A GREENWAY CONSERVATION EASEMENT ACROSS THE SUBJECT PROPERTY.
2. BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
3. THIS EXHIBIT WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
4. ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
5. ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.



DATE	FEBRUARY 27, 2026
PROJECT NO.:	23-028
SHEET NO.	
EX-B1	



20-028 - BEN ALLEN GREENWAY EASEMENT EXHIBIT DWG / Friday, February 27, 2026 11:54:40 AM



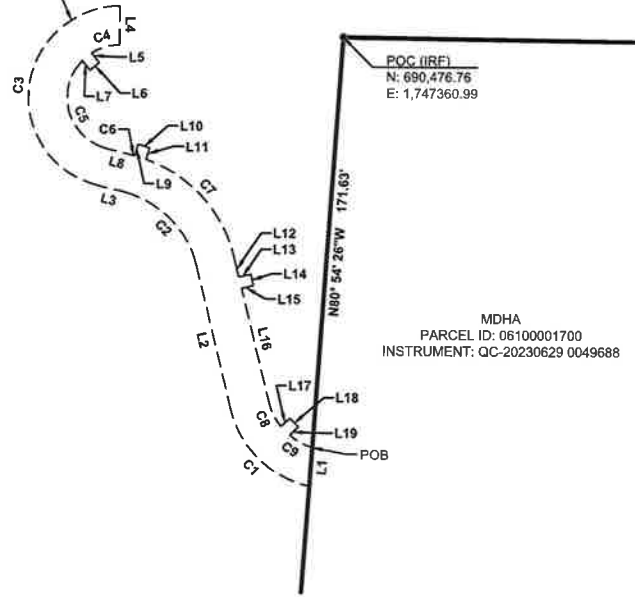
PROPOSED GREENWAY
CONSERVATION EASEMENT "C"
(0.09 AC. OR 4,115 S.F.±)

BEN ALLEN LAND PARTNERS, LLC
PARCEL ID: 06100008500
INSTRUMENT: QC-20240216 0010966

POC (IRF)
N: 690,476.76
E: 1,747,360.99

MDHA
PARCEL ID: 06100001700
INSTRUMENT: QC-20230629 0049688

POB



CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BRNG	CHORD LENGTH
C1	48.02	43.00	N49° 22' 47"E	45.56
C2	45.76	42.00	N50° 09' 11"E	43.53
C3	109.69	38.00	S78° 22' 11"E	75.38
C4	12.32	22.00	N11° 42' 58"W	12.16
C5	46.18	22.00	S79° 03' 57"W	38.15
C6	1.09	58.00	S19° 28' 34"W	1.09
C7	57.11	58.00	S53° 09' 44"W	54.83
C8	11.98	27.00	S68° 39' 40"W	11.88
C9	10.81	27.00	S33° 51' 15"W	10.74

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N80° 54' 26"W	16.27
L2	N81° 22' 07"E	61.38
L3	N18° 56' 14"E	10.51
L4	N85° 40' 36"W	16.00
L5	S55° 43' 10"W	5.00
L6	N34° 16' 50"W	5.00
L7	N55° 43' 10"E	5.00
L8	S18° 56' 14"W	10.51
L9	S67° 30' 52"E	5.00
L10	S22° 29' 08"W	5.00

LINE TABLE		
LINE #	DIRECTION	LENGTH
L11	N67° 30' 52"W	5.00
L12	S81° 22' 07"W	8.60
L13	S08° 37' 53"E	5.00
L14	S81° 22' 07"W	5.00
L15	N08° 37' 53"W	5.00
L16	S81° 22' 07"W	47.78
L17	S39° 21' 33"E	5.00
L18	S50° 38' 27"W	5.00
L19	N39° 21' 33"W	5.00

LEGEND:

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING ADJACENT PROPERTY LINE
	PROPOSED EASEMENT
	POINT OF BEGINNING
	POINT OF COMMENCING
	MAG / PK NAIL FOUND (MNF)
	IRON REBAR FOUND (IRF)
	IRON REBAR SET W/CAP (IRS)

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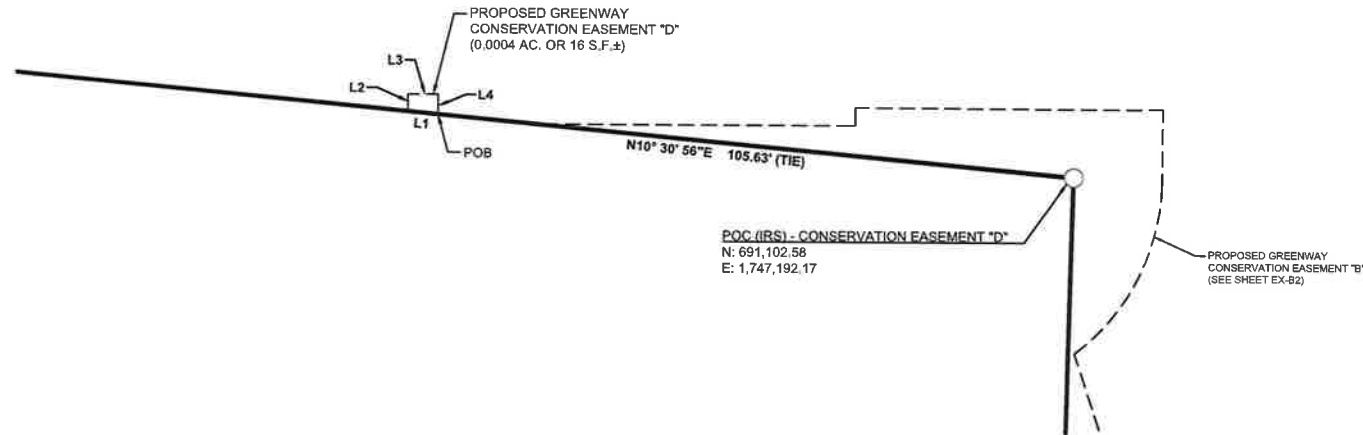


**GREENWAY CONSERVATION
EASEMENT EXHIBIT**
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE

DATE **FEBRUARY 27, 2026**
PROJECT NO.: **23-028**
SHEET NO.
EX-B3

LEGEND:

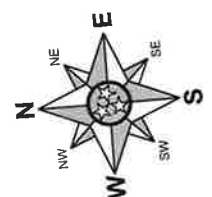
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING ADJACENT PROPERTY LINE
- PROPOSED EASEMENT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- MAG / PK NAIL FOUND (MNF)
- IRON REBAR FOUND (IRF)
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L4	N85° 02' 06"W	3.37



M2
GROUP

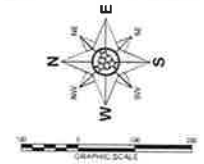
P.O. BOX 2543
BRENTWOOD, TN 37024-2543
615-438-6287 / M2GROUP,LLC.COM

GREENWAY CONSERVATION
EASEMENT EXHIBIT
P/O PARCEL: 06100008500
329 BEN ALLEN ROAD
METROPOLITAN NASHVILLE
5TH COUNCIL DISTRICT
DAVIDSON COUNTY, TENNESSEE

DATE	FEBRUARY 27, 2026
PROJECT NO.:	23-028
SHEET NO.	EX-B4

23-028 - BEN ALLEN GREENWAY EASEMENT EXHIBIT.DWG / PLOTTER: February 27, 2026 11:54:58 AM

	Prüfung 1
	Prüfung 2
	Prüfung 3

[illegible]

01/06/26

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2379 SP-004-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 08150B90000CQ & 0810008500
METROPOLITAN SERVICE

M2 GROUP
P.O. BOX 2343
NIGHTWOOD, VA 21094-2343
410-456-0047 / FAX 410-456-0048

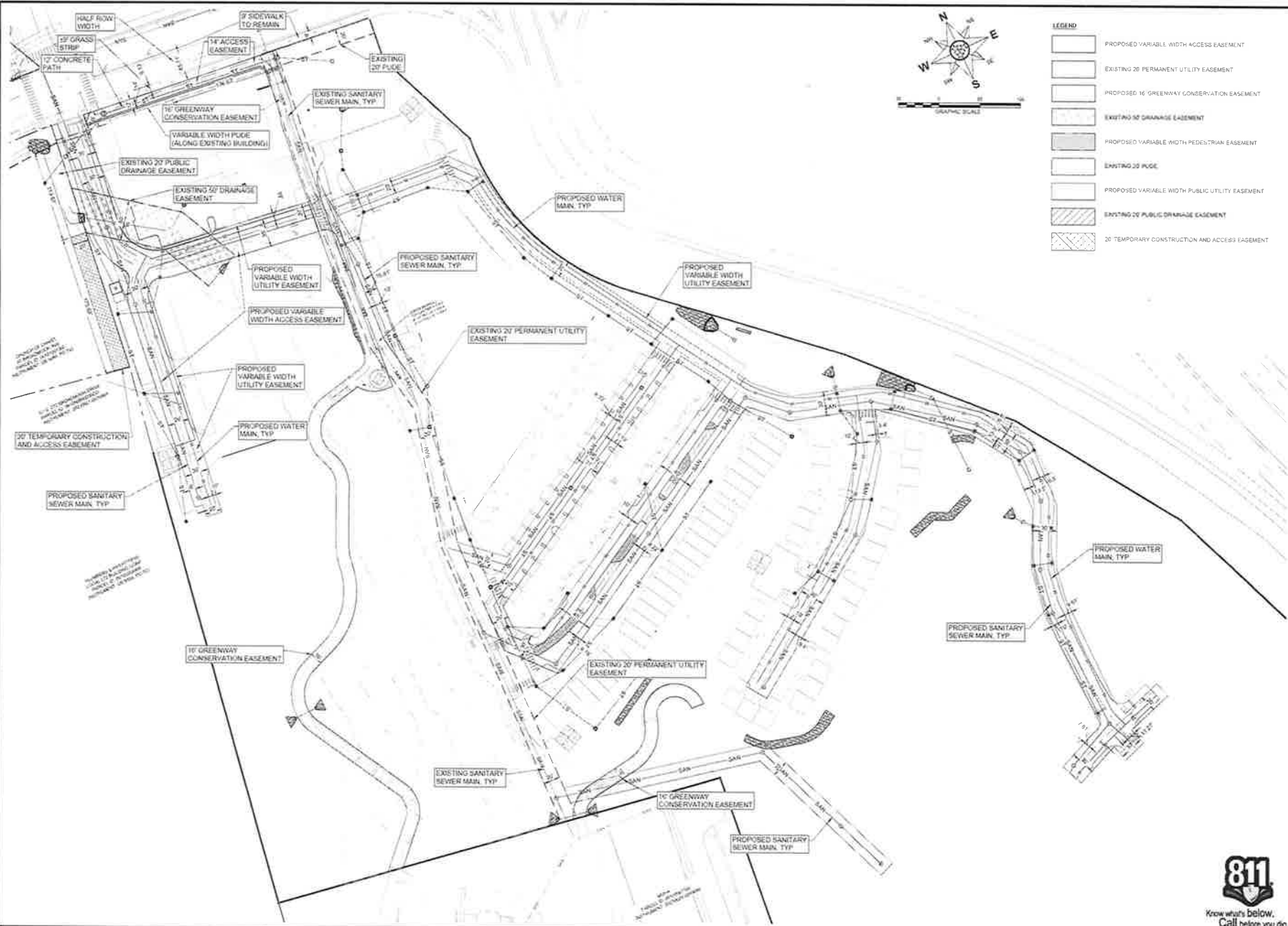
OVERALL LAYOUT & PHASING PLAN

NO	2102	CHECKED BY	AS MARIANO	T.O.T
PROJECT NO		DATE	OCTOBER 24 2021	

C001



Know what's below.
Call before you dig.



- LEGEND
- PROPOSED VARIABLE WIDTH ACCESS EASEMENT
 - EXISTING 20 PERMANENT UTILITY EASEMENT
 - PROPOSED 16' GREENWAY CONSERVATION EASEMENT
 - EXISTING 30 DRAINAGE EASEMENT
 - PROPOSED VARIABLE WIDTH PEDESTRIAN EASEMENT
 - EXISTING 20 P.U.E.
 - PROPOSED VARIABLE WIDTH PUBLIC UTILITY EASEMENT
 - EXISTING 20 PUBLIC DRAINAGE EASEMENT
 - 20' TEMPORARY CONSTRUCTION AND ACCESS EASEMENT

DATE	01/05/20
BY	
CHECKED BY	
DATE	
BY	
CHECKED BY	
DATE	
BY	
CHECKED BY	
DATE	
BY	
CHECKED BY	



FINAL PREPARED PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 061588000000 & 061000000000
BROADMOOR, NEW YORK 12110



EASEMENT PLAN	
DATE	JANUARY, 2020
PROJECT NO.	21020
DRAWN BY	LOI
CHECKED BY	



C002

DEMOLITION NOTES

- [illegible]

GENERAL UTILITY NOTES (METRO NASHVILLE)

- [illegible]

GRADING, DRAINAGE AND EROSION CONTROL NOTES

- [illegible]

STORMWATER POLLUTION PREVENTION NOTES

- [illegible]

Ker. Bahman

11% 1.762%

FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B9000CO & 06100008500

BRITISH AIRWAYS
 1-800-4-AIRWAYS

with other plants.

1

100

10

12.4

0110

EVA

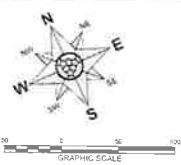
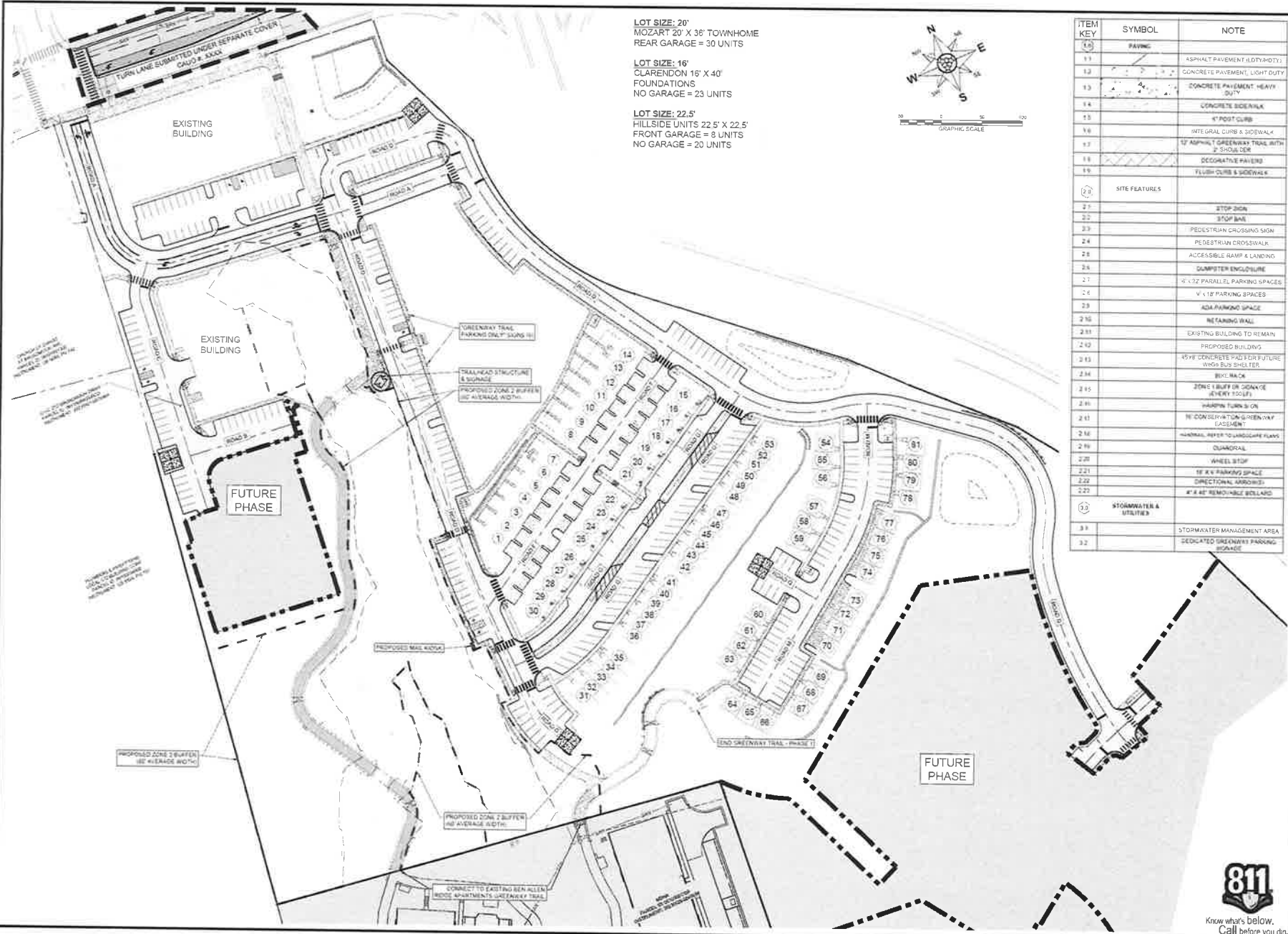
1

1

GENERAL NOTES

C004





ITEM KEY	SYMBOL	NOTE
1.0		PAVING
1.1		ASPHALT PAVEMENT (HOT/NOT)
1.2		CONCRETE PAVEMENT, LIGHT DUTY
1.3		CONCRETE PAVEMENT, HEAVY DUTY
1.4		CONCRETE SIDEWALK
1.5		4" POST CURB
1.6		INTEGRAL CURB & SIDEWALK
1.7		12" ASPHALT GREENWAY TRAIL WITH 2" SHOULDER
1.8		DECORATIVE PAVING
1.9		FLUSH CURB & SIDEWALK
2.0		SITE FEATURES
2.1		STOP SIGN
2.2		STOP BAR
2.3		PEDESTRIAN CROSSWALK SIGN
2.4		PEDESTRIAN CROSSWALK
2.5		ACCESSIBLE RAMP & LANDING
2.6		DUMPSTER ENCLOSURE
2.7		8' X 12' PARALLEL PARKING SPACES
2.8		4' X 12' PARALLEL PARKING SPACES
2.9		ADA PARKING SPACE
2.10		RETAINING WALL
2.11		EXISTING BUILDING TO REMAIN
2.12		PROPOSED BUILDING
2.13		45° CONCRETE PAD FOR FUTURE WING BUS SHELTER
2.14		BYC MARK
2.15		ZONE 1 BUFFER OR ZONE 2 BUFFER (SEE TOOLS)
2.16		SHARPEN TURN SIGN
2.17		RE-CONSERVATION GREENWAY EASEMENT
2.18		WHEEL STOP
2.19		QUADRANT
2.20		WHEEL STOP
2.21		16' X 6' PARKING SPACE
2.22		DIRECTIONAL ARROWING
2.23		8' X 40' REMOVABLE BOLLARD
3.0		STORMWATER & UTILITIES
3.1		STORMWATER MANAGEMENT AREA
3.2		DEDICATED GREENWAY PARKING SIGNAGE

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
80 CAGE NO. 2011782
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL ID: 0651000000000 & 0651000000000
OSAGE COUNTY, ILLINOIS

M2 GROUP
P.O. BOX 244
OSAGE COUNTY, ILLINOIS 62450

OVERALL ROADWAY & SIGNAGE PLAN

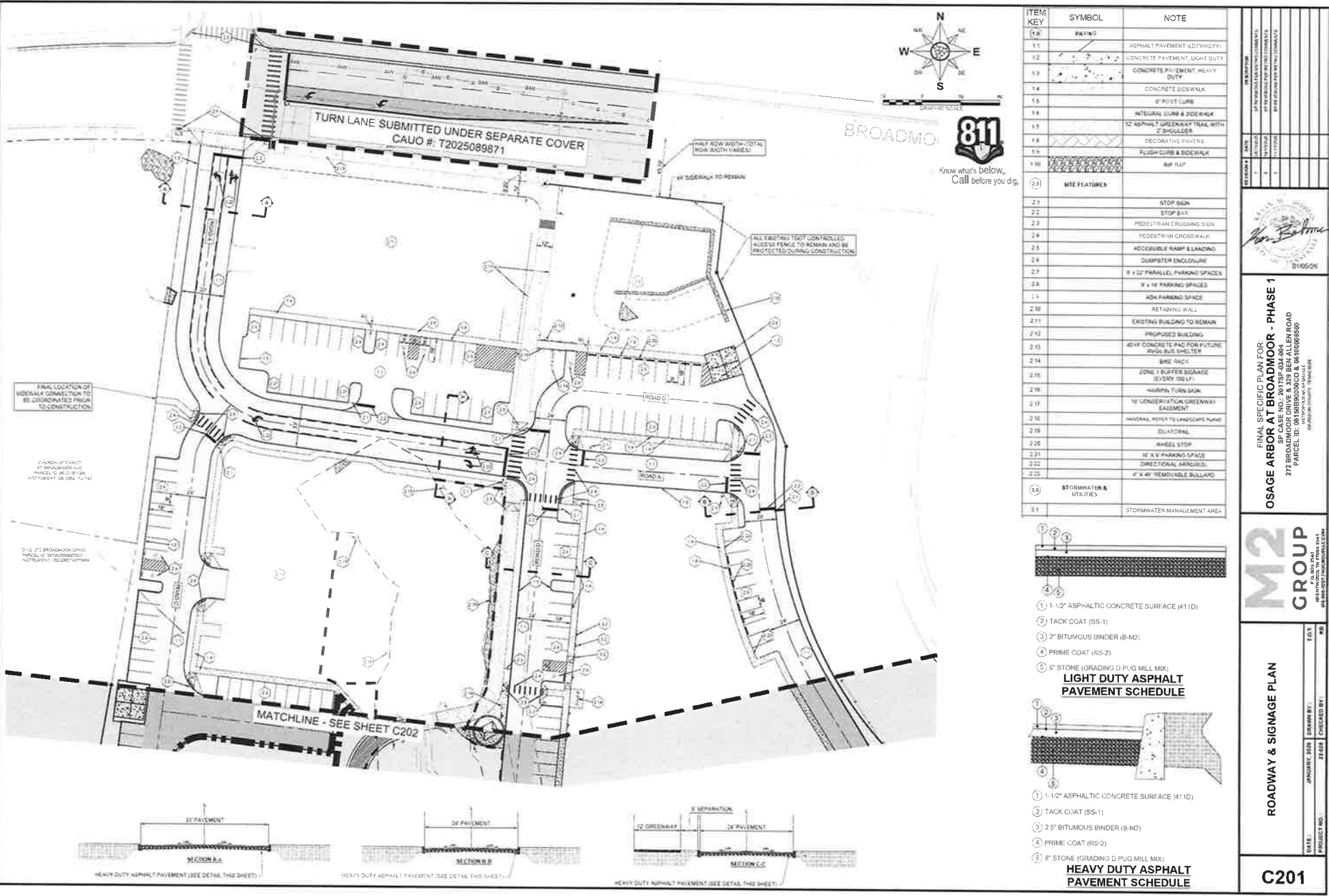
DATE: OCTOBER 11, 2024
PROJECT NO.: 28028

DRAWN BY: [Signature]
CHECKED BY: [Signature]

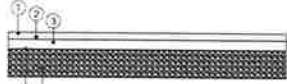
T.O.C.

811
Know what's below.
Call before you dig.

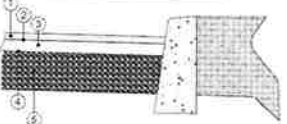
C200



ITEM KEY	SYMBOL	NOTE
1.0		EXISTING
1.1		ASPHALT PAVEMENT (411D)
1.2		CONCRETE PAVEMENT, LIGHT DUTY
1.3		CONCRETE PAVEMENT, HEAVY DUTY
1.4		CONCRETE SIDEWALK
1.5		8" ROST CURB
1.6		INTEGRAL CURB & SIDEWALK
1.7		12" ASPHALT GREENWAY TRAIL WITH 2" SIDEWALK
1.8		DECORATIVE PAVERS
1.9		FLUSH CURB & SIDEWALK
1.10		8" RAP
2.0		MITE FEATURES
2.1		STOP SIGN
2.2		STOP BAR
2.3		PEDESTRIAN CROSSING SIGN
2.4		PEDESTRIAN CROSSWALK
2.5		RECEIVABLE RAMP & LANDING
2.6		DUMPSTER ENCLOSURE
2.7		8' x 12' PARALLEL PARKING SPACES
2.8		8' x 16' PARKING SPACES
2.9		ADA PARKING SPACE
2.10		RETAINING WALL
2.11		EXISTING BUILDING TO REMAIN
2.12		PROPOSED BUILDING
2.13		40' x 40' CONCRETE PAD FOR FUTURE VEHICLE BUS SHELTER
2.14		BIKE RACK
2.15		ZONE 1 BURIED SIGNAGE (EVERY 100 LF)
2.16		HAWKIN TURN SIGN
2.17		12' CONSERVATION GREENWAY EASEMENT
2.18		WINDING, REFER TO LANDSCAPE PLAN
2.19		QUADRANT
2.20		WHEEL STOP
2.21		16' x 5' PARKING SPACE
2.22		DIRECTIONAL ARROWS
2.23		4' x 4' REMOVABLE BULLARD
3.0		STORMWATER & UTILITIES
3.1		STORMWATER MANAGEMENT AREA



- 1-1/2" ASPHALTIC CONCRETE SURFACE (411D)
 - TACK COAT (SS-1)
 - 2" BITUMINOUS BINDER (B-M2)
 - PRIME COAT (RS-2)
 - 8" STONE (GRADING D PUG MILL MIX)
- LIGHT DUTY ASPHALT PAVEMENT SCHEDULE**



- 1-1/2" ASPHALTIC CONCRETE SURFACE (411D)
 - TACK COAT (SS-1)
 - 2" BITUMINOUS BINDER (B-M2)
 - PRIME COAT (RS-2)
 - 8" STONE (GRADING D PUG MILL MIX)
- HEAVY DUTY ASPHALT PAVEMENT SCHEDULE**

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-044-044
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 0610080000 & 0610080000
Project No. 17-001-0001

M2 GROUP
272 BROADMOOR DRIVE
PARCEL ID: 0610080000
INSTRUMENT: 0610080000

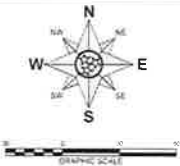
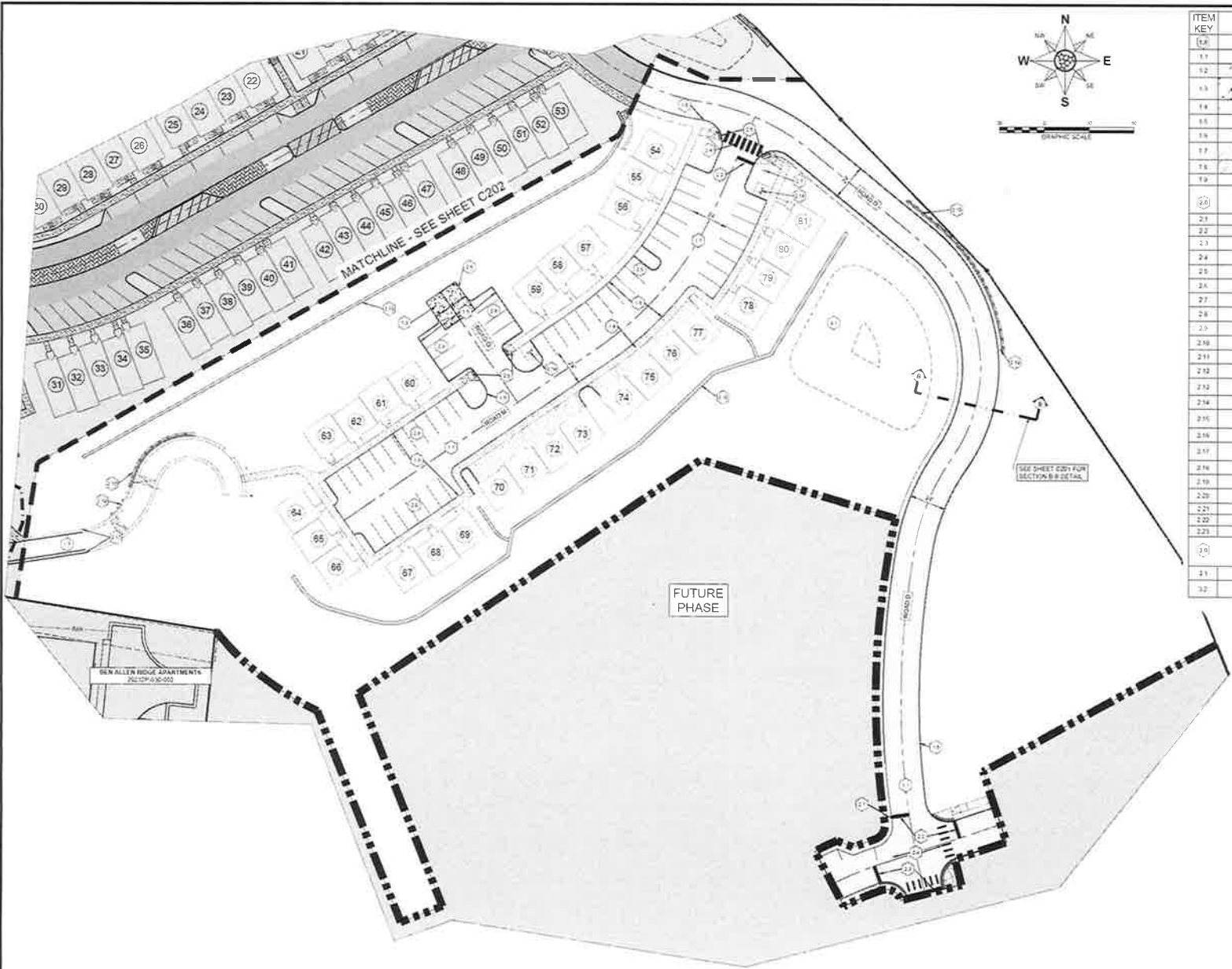
ROADWAY & SIGNAGE PLAN

C201

DATE: JANUARY 2018
PROJECT NO.: 17-001-0001

DRAWN BY: J.E.G.
CHECKED BY: J.E.G.

TEXT: J.E.G.
NO: J.E.G.



ITEM KEY	SYMBOL	NOTE
1.1	PAVING	ASPHALT PAVEMENT (LOT/IN/OTY)
1.2		CONCRETE PAVEMENT LIGHT DUTY
1.3		CONCRETE PAVEMENT HEAVY DUTY
1.4		CONCRETE SIDEWALK
1.5		8" PORT CURB
1.6		INTEGRAL CURB & SIDEWALK
1.7		12" ASPHALT GREENWAY TRAIL WITH 2" SHOULDER
1.8		DECORATIVE PAVERS
1.9		FLUSH CURB & SIDEWALK
2.0		NOTE FEATURES
2.1		STOP SIGN
2.2		STOP BAR
2.3		PEDESTRIAN CROSSING SIGN
2.4		PEDESTRIAN CROSSWALK
2.5		ACCESSIBLE RAMP & LANDING
2.6		DUMPSTER ENCLOSURE
2.7		8' x 20' PARALLEL PARKING SPACES
2.8		8' x 12' PARKING SPACES
2.9		ADA PARKING SPACE
2.10		RETAINING WALL
2.11		EXISTING BUILDING TO REMAIN
2.12		PROPOSED BUILDING
2.13		40'x6' CONCRETE PAD FOR FUTURE WING BUS SHELTER
2.14		BIKE RACK
2.15		ZONE 1 BUFFER ZONAGE (EX-EMP FOOTC)
2.16		HARPIN TURN SIGN
2.17		11' CONSERVATION GREENWAY ELEMENT
2.18		HANDRAIL REFER TO LANDSCAPE PLAN
2.19		GUARDSTOP
2.20		WHEEL STOP
2.21		16' x 8' PARKING SPACE
2.22		DIRECTIONAL ARROW(S)
2.23		4' x 8' REMOVABLE BOLLARD
3.0		STORMWATER & UTILITIES
3.1		STORMWATER MANAGEMENT AREA
3.2		DEDICATED GREENWAY PARKING SIGNAGE

OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 320 BEN ALLEN ROAD
PARCEL ID: 081585800000 & 0810006500
MAYOR CITY: TULSA

811
Know what's below.
Call before you dig.

ROADWAY & SIGNAGE PLAN
DATE: OCTOBER 11, 2023
DRAWN BY: J.L.B.
PROJECT NO.: 23-039
CHECKED BY: J.L.B.

C203

C210

C210

THE OWNERS REPRESENTATIVE SHALL MEET OR EXCEED COMPACTORY REQUIREMENTS SPECIFIED IN THE SPECIFICATIONS PUBLISHED BY METRO NASHVILLE

ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT MANUAL AS AUTHORIZED BY ORDINANCE NO. 28460 AND ANY APPLICABLE METRO CODE PROVISIONS AND BE APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

- [illegible]

MEASUREMENTS THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 24 HOURS BEFORE THE DATE OF ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE UTILITY INFORMATION TO REBRAIN. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED UTILITIES ACCORDING TO LOCAL DECREE. AT THE CONTRACTOR'S RISK/RELIANCE.

THE UTILITY CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ALL SITE CONDITIONS INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING CONSTRUCTION. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.

MATERIALS NOT SUITABLE FOR OR REUSE SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH THE REQUIREMENTS OF METRO NASHVILLE AND AS DIRECTED BY THE ENGINEER FOR THE PROJECT.

20. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT OSHA PROVISIONS AND THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION, ISSUED BY THE ASO OF AMERICA, INCORPORATED, AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR
22. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE THROUGHOUT THE SITE DURING ALL PHASES OF CONSTRUCTION
23. CONTRACTOR IS TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED FROM THE CITY OF METRO WASHINGTON PRIOR TO GRADING

3. TREE PROTECTION AREAS/TREES TO BE PRESERVED NOT SHOWN ON THIS PLAN. SEE SHEET LEAD FOR DETAILS.

3. TREE PROTECTION AREAS/TREES TO BE PRESERVED NOT SHOWN ON THIS PLAN. SEE SHEET LEAD FOR DETAILS.

[illegible]


 Hon. *Frederick*
 1911

OSAGE ARBOR AT BROADMOOR - PHASE 1
FINAL SPECIFIC PLAN FOR:
SP CASE NO.: 2017SP-024-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B9000CD & 06100003500
UTHER CLARK & ASSOCIATES
REGISTERED PROFESSIONAL LAND SURVEYOR

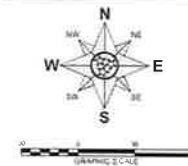
M2 GROUP
P.O. BOX 2144
MURFREESBORO, TN 37132-2144

DATE	OCTOBER 21, 2024	SHAWON BELL	1.007
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C300



Know what's below.
Call before you dig.



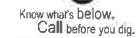
1) ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT MANUAL AS AUTHORIZED BY ORDINANCE NO. 76-640 AND ANY APPLICABLE WETRO CODE PROVISIONS AND BE APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

2) IN THE EVENT THAT THE MICROPOLE EXTENDED DETENTION POND DRAINS PREMATURELY DUE TO A FISSURE OR INFILTRATION, THE CONTRACTOR IS TO INSTALL A CLAY OR ARTIFICIAL LINER. PHOTOGRAPHIC EVIDENCE (ONE (1) MONTH) BETWEEN PHOTOGRAPHS TYP. SHOWING WATER VOLUME RETENTION WILL BE REQUIRED FOR AS-BUILTS.

MWS AS-BUILT NOTE:

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL VOLUME 1 SECTION 3.9 AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT

- 1 A CERTIFICATION LETTER FROM A TN REGISTERED PE, STATING THAT THE SITE HAS BEEN
2 INSPECTED AND THAT THE STORMWATER MANAGEMENT SYSTEM AND STORMWATER
3 CONTROL MEASURES (BOTH STRUCTURAL AND NON-STRUCTURAL) ARE COMPLETE AND
4 FUNCTIONAL IN ACCORDANCE WITH THE PLANS APPROVED BY MMS.
- 5 6 HYDROLOGIC AND HYDRAULIC CALCULATIONS FOR AS-BUILT CONDITIONS, AS REQUIRED.
- 7 8 AS-BUILT DRAWINGS SHOWING FINAL TOPOGRAPHIC FEATURES OF ALL THESE FACILITIES.
9 THIS SHALL INCLUDE INVERT ELEVATIONS OF OUTLET CONTROL STRUCTURES.
- 10 9 ANY DEVIATIONS FROM THE APPROVED PLANS SHALL BE NOTED ON AS-BUILT DRAWINGS
11 SUBMITTED.
- 12 10 COPY OF AS-BUILT PLAN CAD FILE ON A CD AND SHOULD BE REGISTERED TO THE TN STATE
13 PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM 1983 (NAD83). DATA SHOULD BE
14 PLACED IN SEPARATE FOLDERS AND SHOULD BE LABELLED/MARKED FOR EASY
15 IDENTIFICATION.
- 16 11 CUT AND FILL BALANCE CERTIFICATION FOR TOPOGRAPHY AND SINKHOLE ALTERATIONS.
- 17 12 WATER QUALITY BUFFERS SHALL BE SURVEYED AND INCLUDED WITH THE AS-BUILT
18 SUBMITTAL.
- 19 13 ANY PUBLIC (TO BECOME THE RESPONSIBILITY OF MCTO) TO MAINTAIN STORMWATER
20 INFRASTRUCTURE SHALL BE VIDEO-INSPECTED TO VERIFY PROPER INSTALLATION WITH
21 THE VIDEO RECORDINGS AND ANY ASSOCIATED INSPECTION REPORT SUBMITTED AS PART
22 OF AS-BUILT RECORDING.
- 23 14 ADDITIONAL TESTING MAY BE REQUIRED, AS/IF WARRANTED BY VIDEO INSPECTION.



01.05.26

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD
PARCEL NO.: 001503000000 & 00100008000

M2 GROUP
P.O. BOX 2543
BRIGHTWOOD, TN 37624 2543

GRADING & DRAINAGE PLAN

DATE:	OCTOBER 21, 2023	DRAWN BY:	T.O.T
PROJECT NO:	23-029	CHECKED BY:	RAB

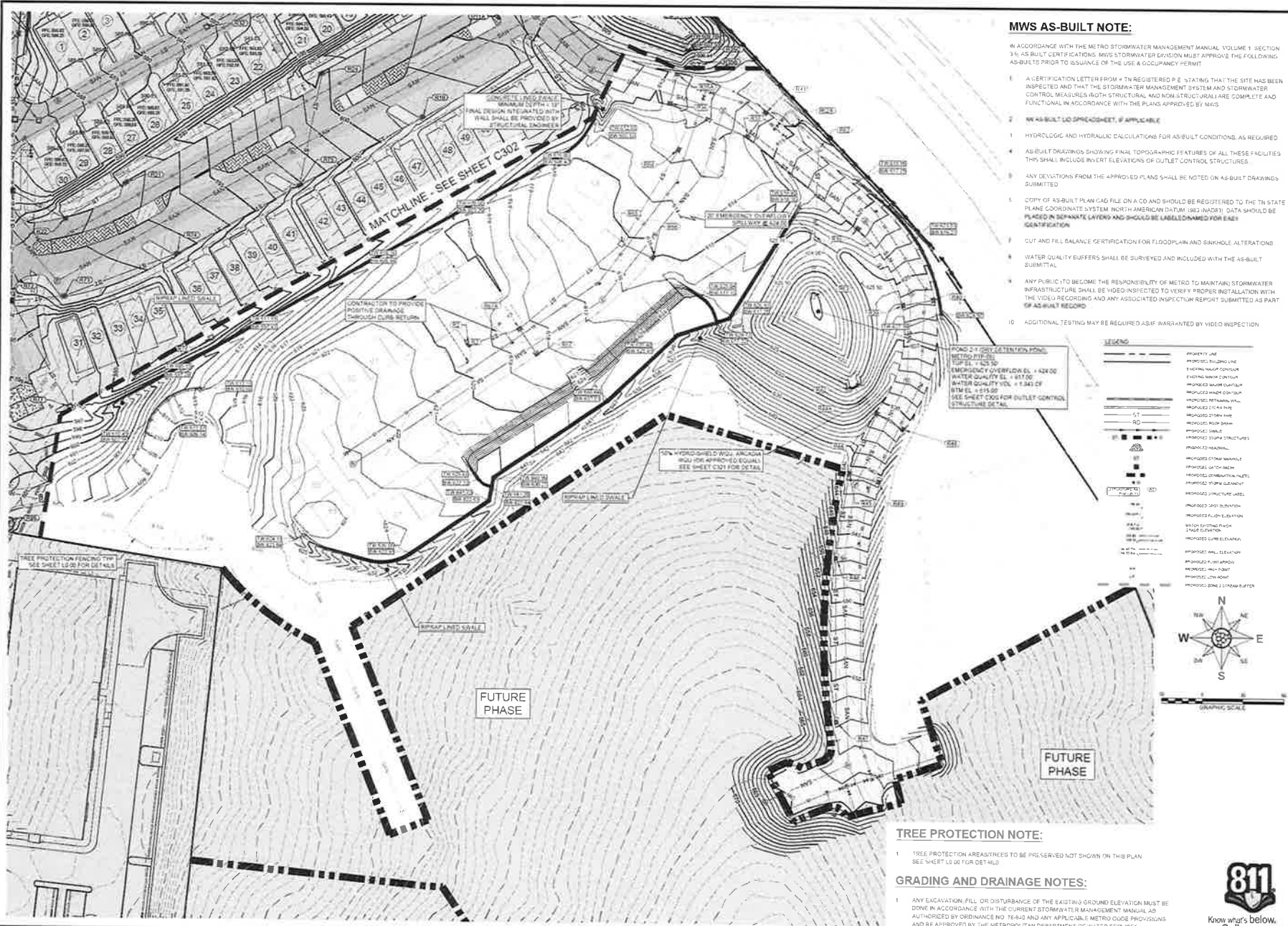
C301

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-004-004
2732 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 061500B000000000 & 061000008500

M2 GROUP
P.O. BOX 2143

GRADING & DRAINAGE PLAN

C302

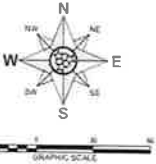


MWS AS-BUILT NOTE:

- IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.4, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILT PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:
1. A CERTIFICATION LETTER FROM A TN REGISTERED P.E. STATING THAT THE SITE HAS BEEN INSPECTED AND THAT THE STORMWATER MANAGEMENT SYSTEM AND STORMWATER CONTROL MEASURES (BOTH STRUCTURAL AND NON-STRUCTURAL) ARE COMPLETE AND FUNCTIONAL IN ACCORDANCE WITH THE PLANS APPROVED BY MWS.
 2. AN AS-BUILT LID SPREADSHEET, IF APPLICABLE.
 3. HYDROLOGIC AND HYDRAULIC CALCULATIONS FOR AS-BUILT CONDITIONS, AS REQUIRED.
 4. AS-BUILT DRAWINGS SHOWING FINAL TOPOGRAPHIC FEATURES OF ALL THESE FACILITIES. THIS SHALL INCLUDE INVERT ELEVATIONS OF OUTLET CONTROL STRUCTURES.
 5. ANY DEVIATIONS FROM THE APPROVED PLANS SHALL BE NOTED ON AS-BUILT DRAWINGS SUBMITTED.
 6. COPY OF AS-BUILT PLAN CAD FILE ON A CD AND SHOULD BE SUBMITTED TO THE TN STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM (NAD83) DATA SHOULD BE PLACED IN SEPARATE LAYERS AND SHOULD BE LABELED **AS-BUILT DATA FOR EASY IDENTIFICATION**.
 7. CUT AND FILL BALANCE CERTIFICATION FOR FLOODPLAIN AND SINKHOLE ALTERATIONS.
 8. WATER QUALITY BUFFERS SHALL BE SURVEYED AND INCLUDED WITH THE AS-BUILT SUBMITTAL.
 9. ANY PUBLIC TO BECOME THE RESPONSIBILITY OF METRO TO MAINTAIN STORMWATER INFRASTRUCTURE SHALL BE VIDEO INSPECTED TO VERIFY PROPER INSTALLATION WITH THE VIDEO RECORDING AND ANY ASSOCIATED INSPECTION REPORT SUBMITTED AS PART OF AS-BUILT RECORD.
 10. ADDITIONAL TESTING MAY BE REQUIRED ASIR WARRANTED BY VIDEO INSPECTION.

POUND 24 (100) CATCHMENT POND
METRO PTP EL.
TOP EL. + 428.00
EMERGENCY OVERFLOW EL. + 428.00
WATER QUALITY EL. + 437.00
WATER QUALITY VOL. + 1.5 MG OF
BTM EL. + 415.00
SEE SHEET C303 FOR OUTLET CONTROL
STRUCTURE DETAIL.

- LEGEND**
- PROPERTY LINE
 - PROPOSED BUILDING LINE
 - EXISTING MAJOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED STORM LINE
 - PROPOSED STORM HOLE
 - PROPOSED DRAINAGE
 - PROPOSED STORM STRUCTURES
 - PROPOSED HEADWALL
 - PROPOSED STORM MANHOLE
 - PROPOSED GUTTER
 - PROPOSED STORMWATER TUNNEL
 - PROPOSED STORM CULVERT
 - PROPOSED STRUCTURE LABEL
 - PROPOSED SPOT ELEVATION
 - PROPOSED FLOOD ELEVATION
 - WATER EXISTING POND
 - PROPOSED CULVERT ELEVATION
 - PROPOSED CULVERT ELEVATION
 - PROPOSED WELL ELEVATION
 - PROPOSED FLOW ARROW
 - PROPOSED HIGH POINT
 - PROPOSED LOW POINT
 - PROPOSED DRAINAGE



TREE PROTECTION NOTE:

1. TREE PROTECTION AREAS/TREES TO BE PRESERVED NOT SHOWN ON THIS PLAN. SEE SHEET C303 FOR DETAILS.

GRADING AND DRAINAGE NOTES:

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT MANUAL, AS AUTHORIZED BY ORDINANCE NO. 78-4-2 AND ANY APPLICABLE METRO CODE PROVISIONS AND BE APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

REVISION	DATE	DESCRIPTION
1	10/20/2018	FINAL DESIGN
2	10/20/2018	FINAL DESIGN
3	10/20/2018	FINAL DESIGN
4	10/20/2018	FINAL DESIGN
5	10/20/2018	FINAL DESIGN
6	10/20/2018	FINAL DESIGN
7	10/20/2018	FINAL DESIGN
8	10/20/2018	FINAL DESIGN
9	10/20/2018	FINAL DESIGN
10	10/20/2018	FINAL DESIGN

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 061808390000 & 061808390001
PROJECT NO.: 17-0000000000

GRADING & DRAINAGE PLAN

811
Call before you dig.

C303

DATE:	PROJECT NO.:	DESIGNER:	CHECKED BY:
10/20/2018	17-0000000000	17-0000000000	17-0000000000



TDOT NOTES:

- GRADING AND DRAINAGE NOTES:**

- LEGEND**
- PROTEIN 1
PROTEIN 2
PROTEIN 3
PROTEIN 4
PROTEIN 5
PROTEIN 6
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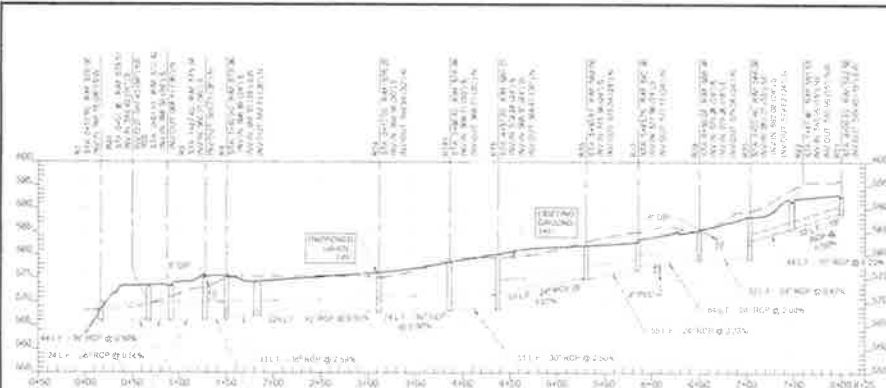
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
 SP CASE NO.: 2017SP-031-004
 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
 PARCEL ID: 06150595000C0 & 061000009500

M2 GROUP
P.O. BOX 2043
BIRMINGHAM, TN 37614-2043

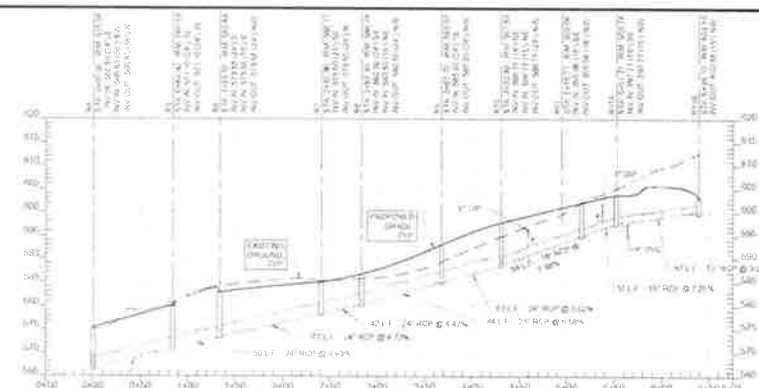
TxDOT DRAINAGE PLAN

DATE:	OCTOBER 21, 2025	DRAWN BY:
PROJECT NO.	11-028	CHECKED BY:

C304



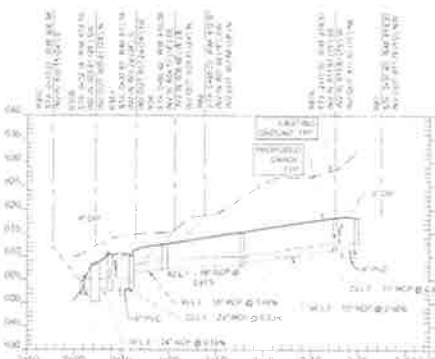
STORM SEWER - R1-R22 PROFILE
SCALE 1"=50' V=1"=12'



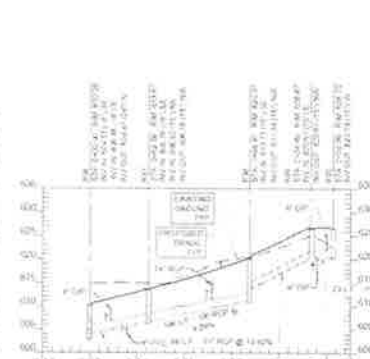
STORM SEWER - R4-R11B PROFILE
SCALE 1"=50' V=1"=12'



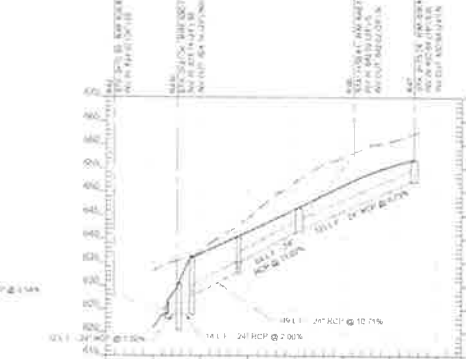
STORM SEWER - R18-R33 PROFILE
SCALE 1"=50' V=1"=12'



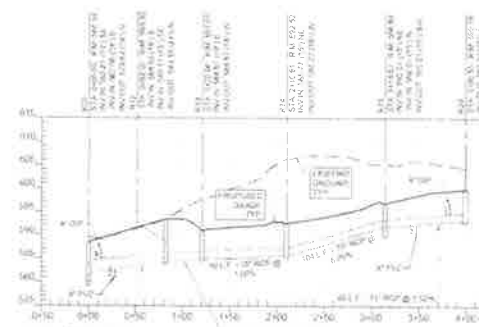
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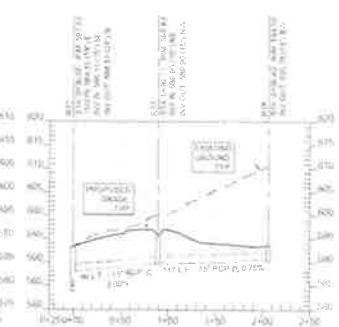
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SCALE 1"=50' V=1"=12'



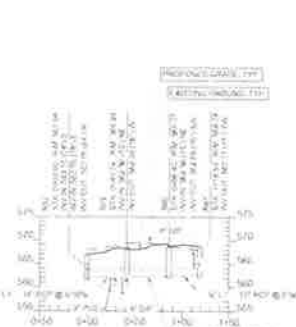
STORM SEWER - R42-R47 PROFILE
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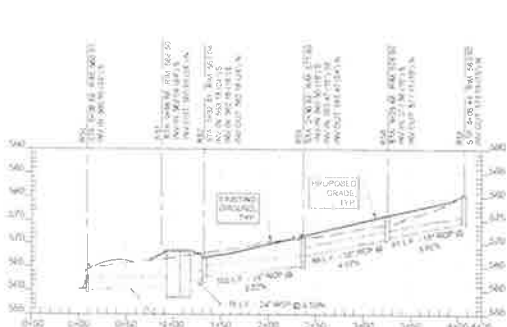
STORM SEWER - R20-R24 PROFILE
SCALE 1"=50' V=1"=12'



STORM SEWER - R72-R78 PROFILE
SCALE 1"=50' V=1"=12'



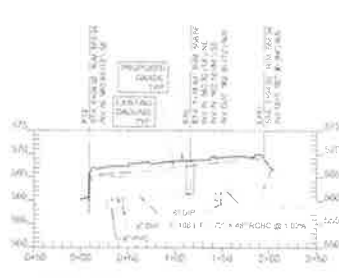
STORM SEWER - R52-R81 PROFILE
SCALE 1"=50' V=1"=12'



STORM SEWER - R50-R55 PROFILE
SCALE 1"=50' V=1"=12'



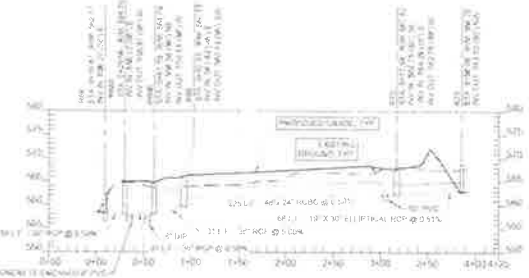
FINAL SPECIFIC PLAN FOR OSAGE ARBOR AT BROADMOOR - PHASE 1 272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD PARCEL ID: 0616050000 & 0610008500	
M2 GROUP	
DATE: OCTOBER 11, 2021 PROJECT NO.: 21-001 DRAWN BY: JLM CHECKED BY: JLM	
STORM PROFILES	
C311	



PUBLIC STORM SEWER - EX1-R57 PROFILE
SCALE: H 1"=60' V 1"=12'



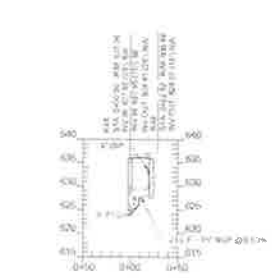
STORM SEWER - R56-R57 PROFILE
SCALE: H 1"=60' V 1"=12'



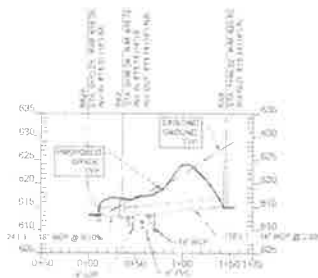
PUBLIC STORM SEWER - R68-R71 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R45-R49 PROFILE
SCALE: H 1"=60' V 1"=12'



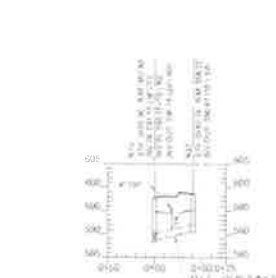
STORM SEWER - R44-R48 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R62A-R63 PROFILE
SCALE: H 1"=60' V 1"=12'



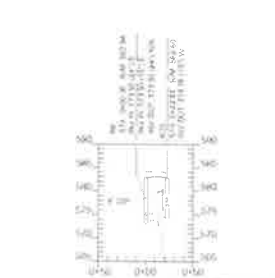
STORM SEWER - R65-R66 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R10-R27 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R8-R26 PROFILE
SCALE: H 1"=60' V 1"=12'



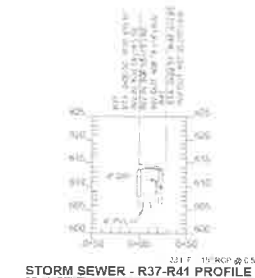
STORM SEWER - R6-R25 PROFILE
SCALE: H 1"=60' V 1"=12'



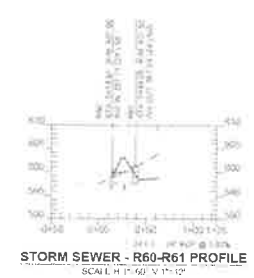
STORM SEWER - R13-R29 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R15-R30 PROFILE
SCALE: H 1"=60' V 1"=12'



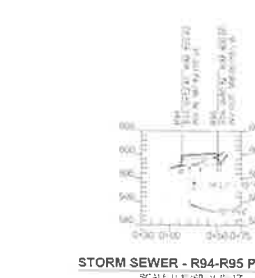
STORM SEWER - R37-R41 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R60-R61 PROFILE
SCALE: H 1"=60' V 1"=12'



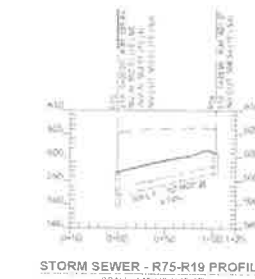
STORM SEWER - R53-R85 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R94-R95 PROFILE
SCALE: H 1"=60' V 1"=12'



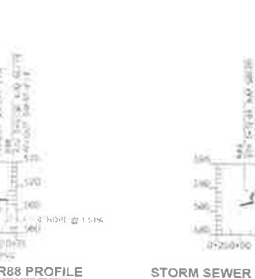
STORM SEWER - R67A-R2 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R75-R19 PROFILE
SCALE: H 1"=60' V 1"=12'



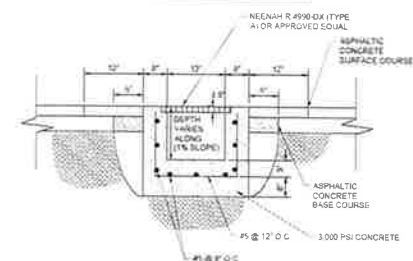
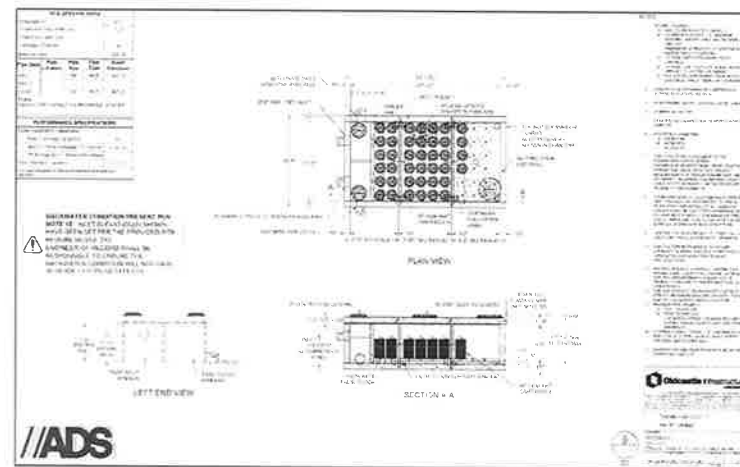
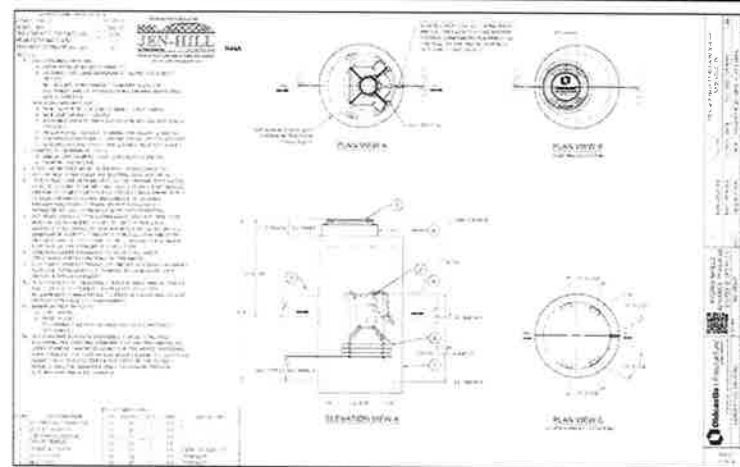
STORM SEWER - R70-R88 PROFILE
SCALE: H 1"=60' V 1"=12'



STORM SEWER - R89-R90 PROFILE
SCALE: H 1"=60' V 1"=12'

FINAL SPECIFIC PLAN FOR OSAGE ARBOR AT BROADMOOR - PHASE 1 272 BROADMOOR DRIVE & 325 BEN ALLEN ROAD PARCEL ID: 06150900000 & 06100000000 C-252-2-01-10-01	
M2 GROUP 1000 N. 10TH ST. SUITE 100 MINNEAPOLIS, MN 55412 TEL: 612.338.8800 FAX: 612.338.8801 WWW.M2GROUP.COM	
STORM PROFILES CONT.	
DATE: OCTOBER 12, 2016 PROJECT NO: 16-001	DRAWN BY: J. H. H. (JHH) CHECKED BY: J. H. H. (JHH)
C312	





17 **CAST-IN-PLACE TRENCH DRAIN**
SCALE: N.T.S.

[illegible]

01/05/20

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-004-004
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 08150950060CO & 08100008500
METROPOLITAN NASHVILLE
DAVISON COUNTY, TENNESSEE

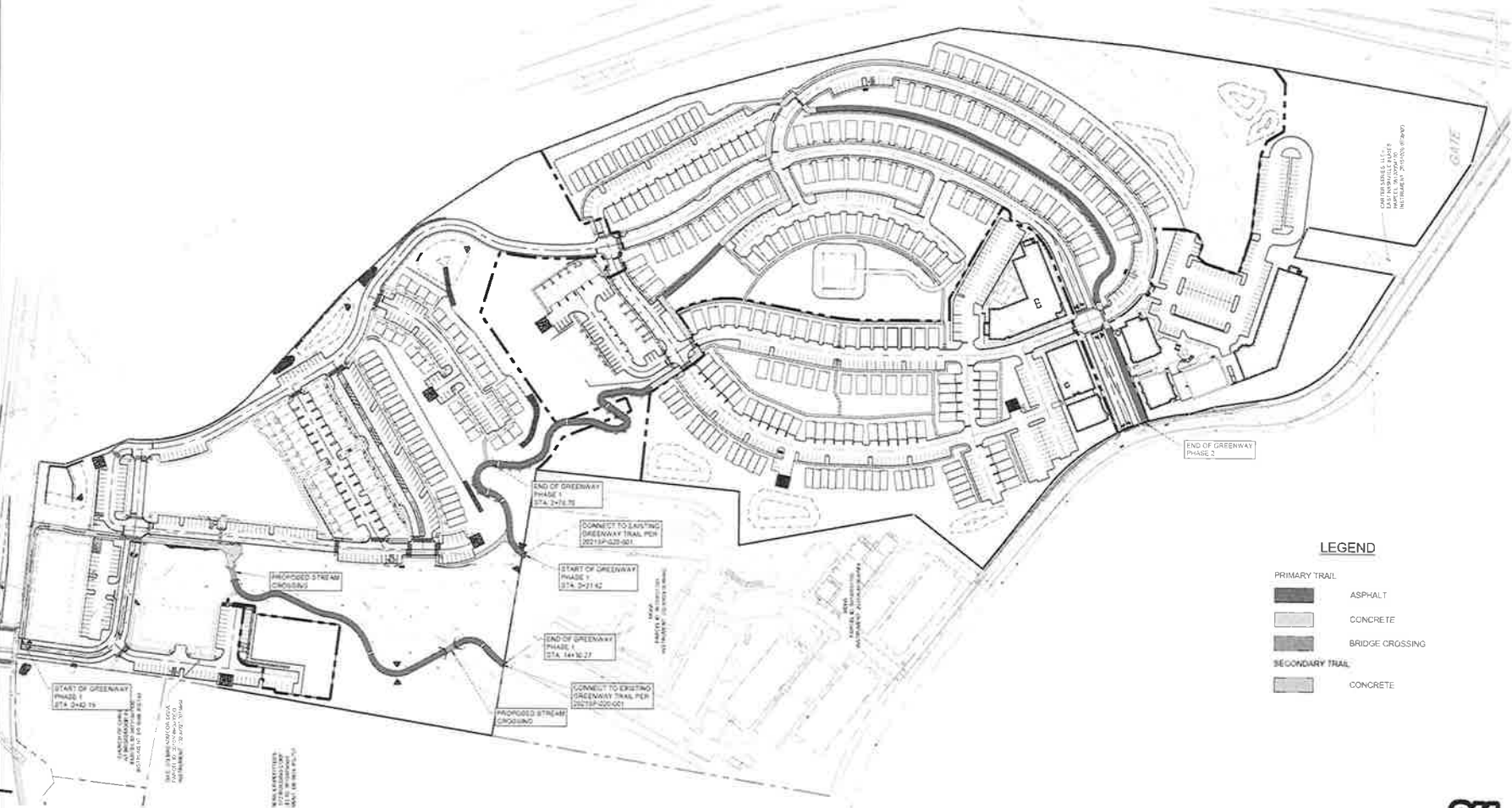
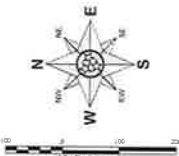
M2 GROUP
01 603 3343
www.m2group.com
info@m2group.com

GRADING & DRAINAGE DETAILS

DATE:	OCTOBER 21, 2025	DRAWN BY:	E.O.T.
PROJECT NO.:	23-028	CHECKED BY:	KOB

C321

- GREENWAY NOTE:**
- 1. GREENWAY TRAIL TO BE OPEN TO THE PUBLIC 365 DAYS/YEAR FROM SUNRISE TO SUNSET
 - 2. MAINTENANCE INCLUDES ALL GREENWAY SURFACES, ADA COMPLIANCE, ALL ASSOCIATED STRUCTURES INCLUDING BRIDGES, SIGNAGE, TRAIL-HEADS, BICYCLE STORAGE, SITE FURNITURE, SHOULDERS, LIGHTING AND RELATED LANDSCAPING
 - 3. PHASE 1 GREENWAY TRAIL SHALL BE CONSTRUCTED, INSPECTED AND ACCEPTED PRIOR TO USE AND OCCUPANCY OF THE ISSUANCE OF A USE AND OCCUPANCY PERMIT
 - 4. THE CONSERVATION EASEMENT AGREEMENT FOR THE PHASE 1 GREENWAY MUST BE RECORDED WITH THE DAVIDSON COUNTY REGISTER OF DEEDS OFFICE PRIOR TO ANY USE AND OCCUPANCY ON ISSUANCE OF THE FIRST USE AND OCCUPANCY LETTER IN PHASE 1
 - 5. TREES TO BE LIMBED AND MAINTAINED TO ENSURE SIGHT LINES ARE NOT BLOCKED. SEE SHEET C-337.
 - 6. METRO WATER SERVICES WILL REPAIR OR REPLACE GRASS, ASPHALT, OR CONCRETE (NON-DECORATIVE) THAT IS DAMAGED BECAUSE OF MAINTENANCE, REPAIR OR REPLACEMENT ACTIVITIES WITHIN THE SEWER EASEMENT



- LEGEND**
- PRIMARY TRAIL**
- ASPHALT
 - CONCRETE
 - BRIDGE CROSSING
- SECONDARY TRAIL**
- CONCRETE



REVISION	DATE	DESCRIPTION
1	2/1/2021	SP 2021SP-020-001 (CONCRETE)
2	2/1/2021	SP 2021SP-020-001 (CONCRETE)
3	2/1/2021	SP 2021SP-020-001 (CONCRETE)
4	2/1/2021	SP 2021SP-020-001 (CONCRETE)

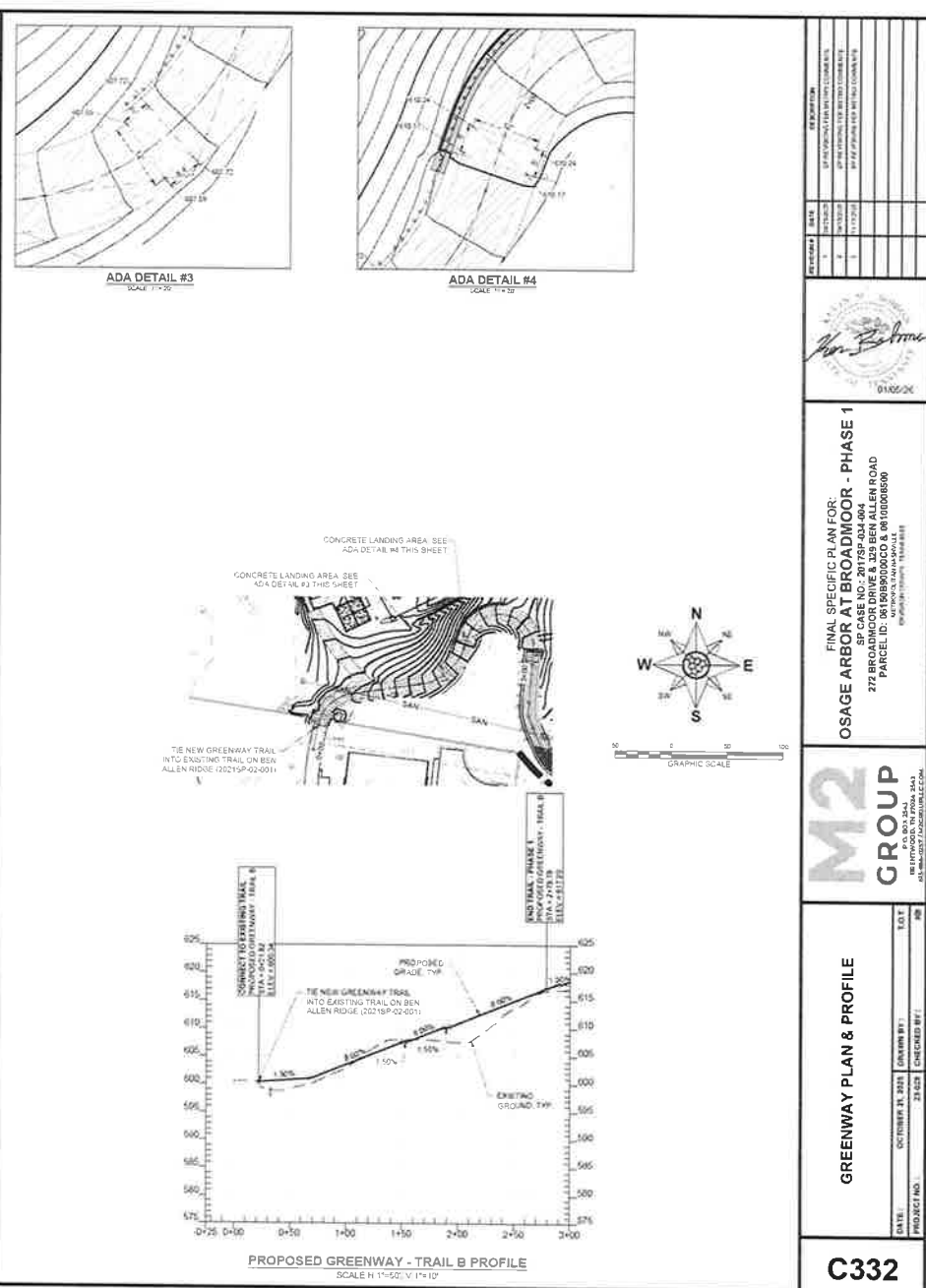
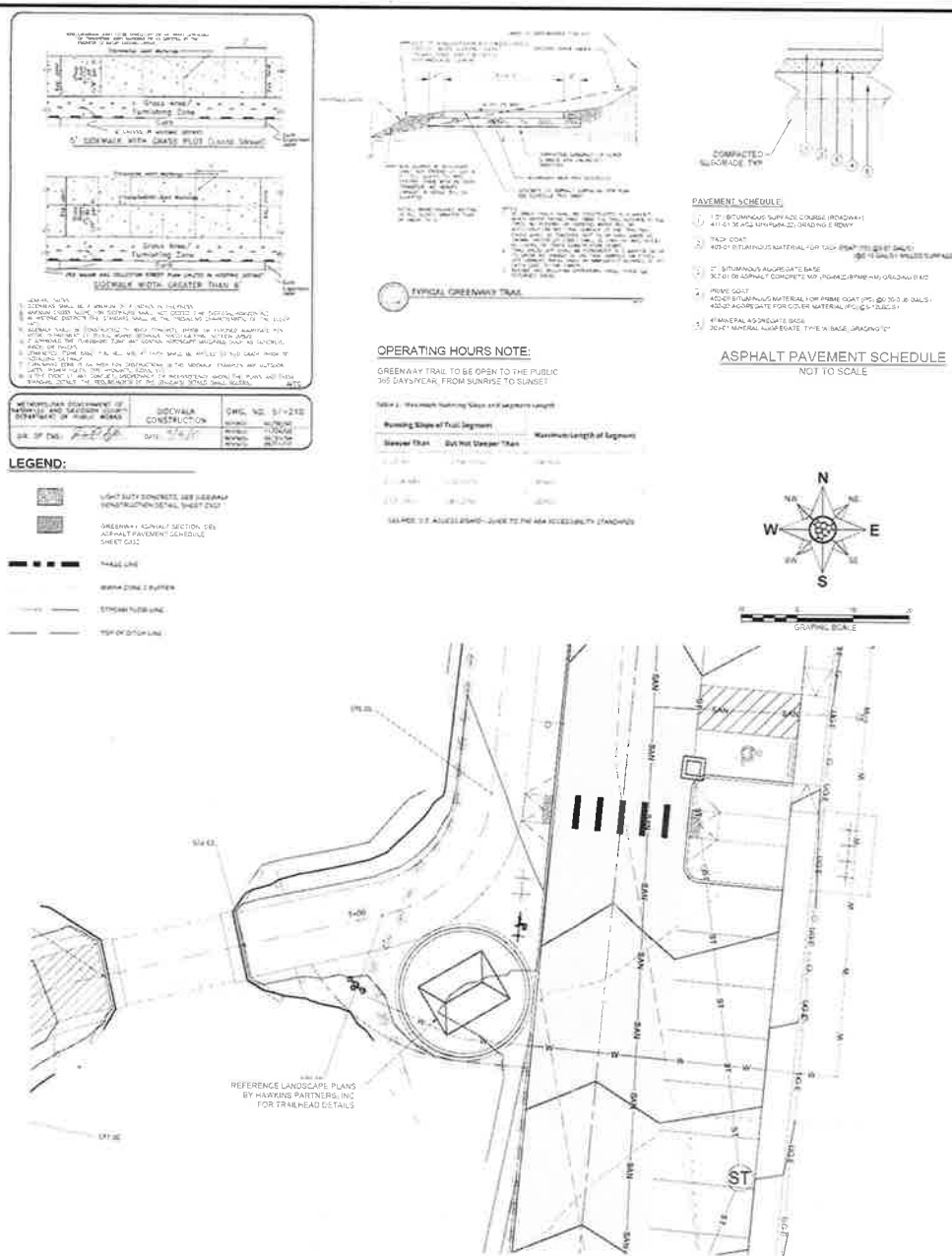


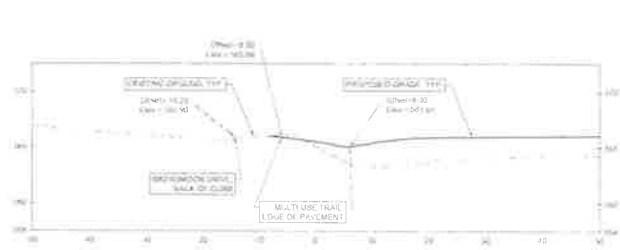
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2021SP-020-001
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061008090000 & 061008090000
DAVIDSON COUNTY, TENNESSEE



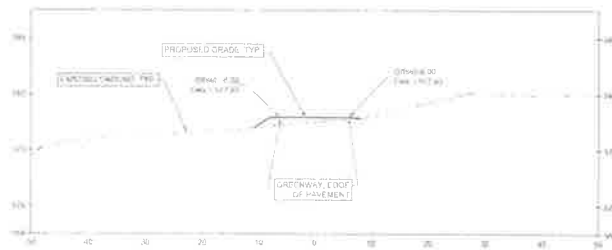
OVERALL GREENWAY PLAN			
DATE:	JULY 2021	DRAWN BY:	T.O.T.
PROJECT NO.	2021	CHECKED BY:	M.W.S.

C330

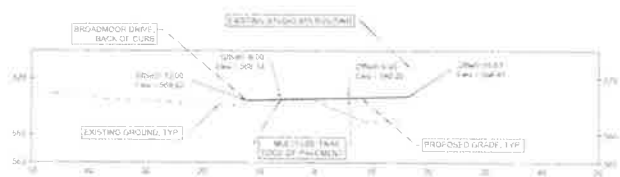




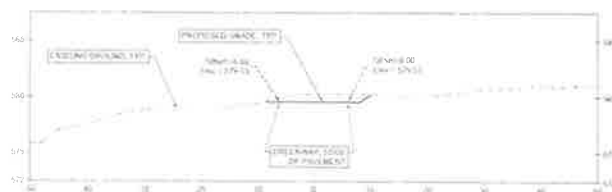
STA: 0+50 - MULTI-USE TRAIL - Trail A
SCALE: 1" = 10' V: 1" = 5'



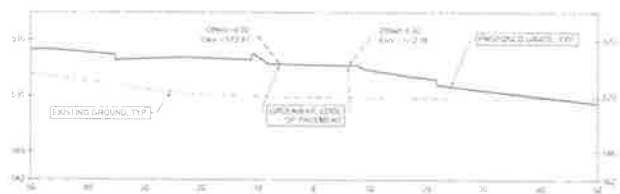
STA: 8+50 - Proposed Greenway - Trail A
SCALE: 1" = 10' V: 1" = 5'



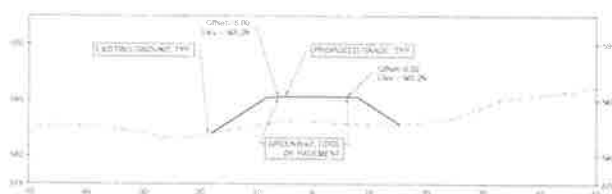
STA: 2+50 - MULTI-USE TRAIL - Trail A
SCALE: 1" = 10' V: 1" = 5'



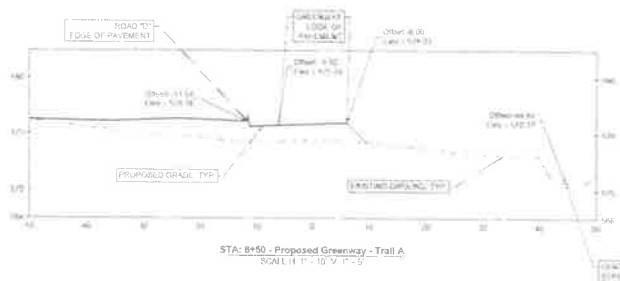
STA: 9+22 - Proposed Greenway - Trail A
SCALE: 1" = 10' V: 1" = 5'



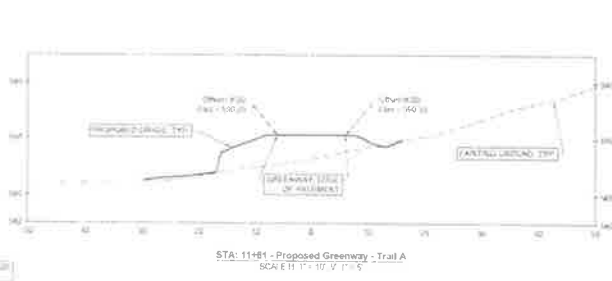
STA: 4+50 - Proposed Greenway - Trail A
SCALE: 1" = 10' V: 1" = 5'



STA: 10+50 - Proposed Greenway - Trail A
SCALE: 1" = 10' V: 1" = 5'



STA: 6+50 - Proposed Greenway - Trail A
SCALE: 1" = 10' V: 1" = 5'



STA: 11+61 - Proposed Greenway - Trail A
SCALE: 1" = 10' V: 1" = 5'



NO.	DATE	BY	CHKD.	DESCRIPTION
1	10/10/2018	W. J. BROWN	W. J. BROWN	W. J. BROWN
2	10/10/2018	W. J. BROWN	W. J. BROWN	W. J. BROWN
3	10/10/2018	W. J. BROWN	W. J. BROWN	W. J. BROWN



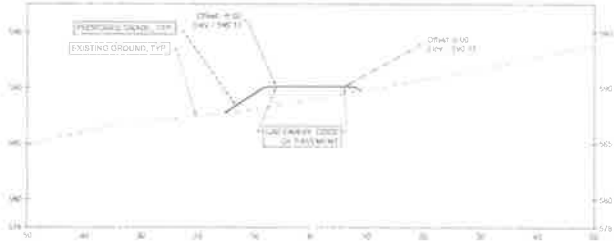
FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO. 2018-2344-004
272 BROADMOOR DRIVE & 273 BEN ALLEN ROAD
PARCEL ID: 0615080600 & 0610009590



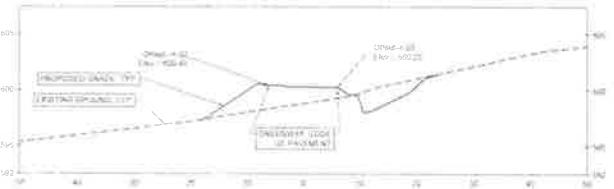
GREENWAY CROSS-SECTIONS



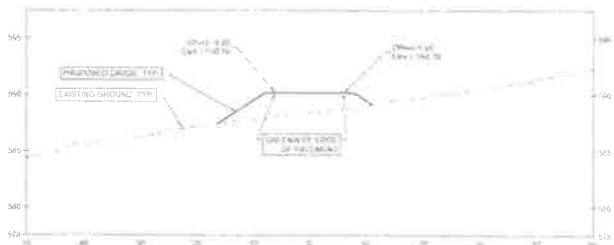
C333



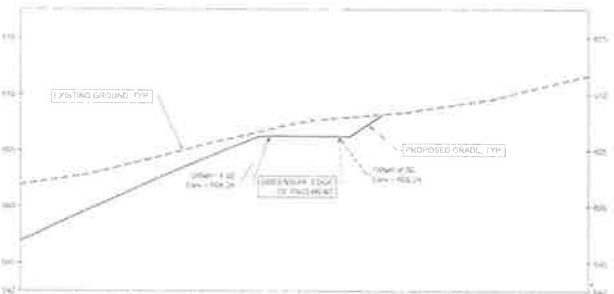
STA: 12+50 - Proposed Greenway - Trail A
SCALE: H 1" = 10' V 1" = 5'



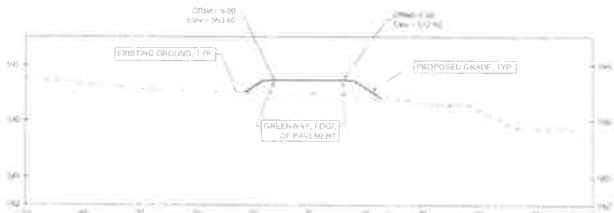
STA: 0+43 - Proposed Greenway - Trail B
SCALE: H 1" = 10' V 1" = 5'



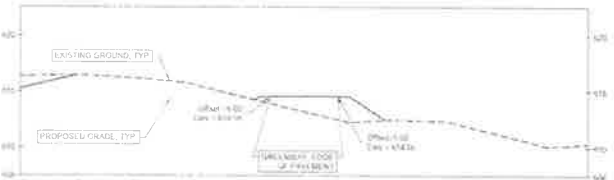
STA: 12+79 - Proposed Greenway - Trail A
SCALE: H 1" = 10' V 1" = 5'



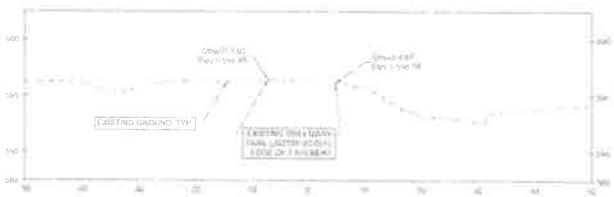
STA: 1+34 - Proposed Greenway - Trail B
SCALE: H 1" = 10' V 1" = 5'



STA: 13+86 - Proposed Greenway - Trail A
SCALE: H 1" = 10' V 1" = 5'



STA: 2+46 - Proposed Greenway - Trail B
SCALE: H 1" = 10' V 1" = 5'



STA: 14+59 - Proposed Greenway - Trail A
SCALE: H 1" = 10' V 1" = 5'



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	10/20/2021	W. J. BROWN	
2	REVISED FOR COMMENTS	11/10/2021	W. J. BROWN	
3	REVISED FOR COMMENTS	11/10/2021	W. J. BROWN	
4	REVISED FOR COMMENTS	11/10/2021	W. J. BROWN	
5	REVISED FOR COMMENTS	11/10/2021	W. J. BROWN	



FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO. 201789-004-004
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061608000000 & 061000000000
W. J. BROWN, P.E.
W. J. BROWN & ASSOCIATES, INC.
1000 N. W. 10TH AVE., SUITE 100
MIAMI, FL 33136

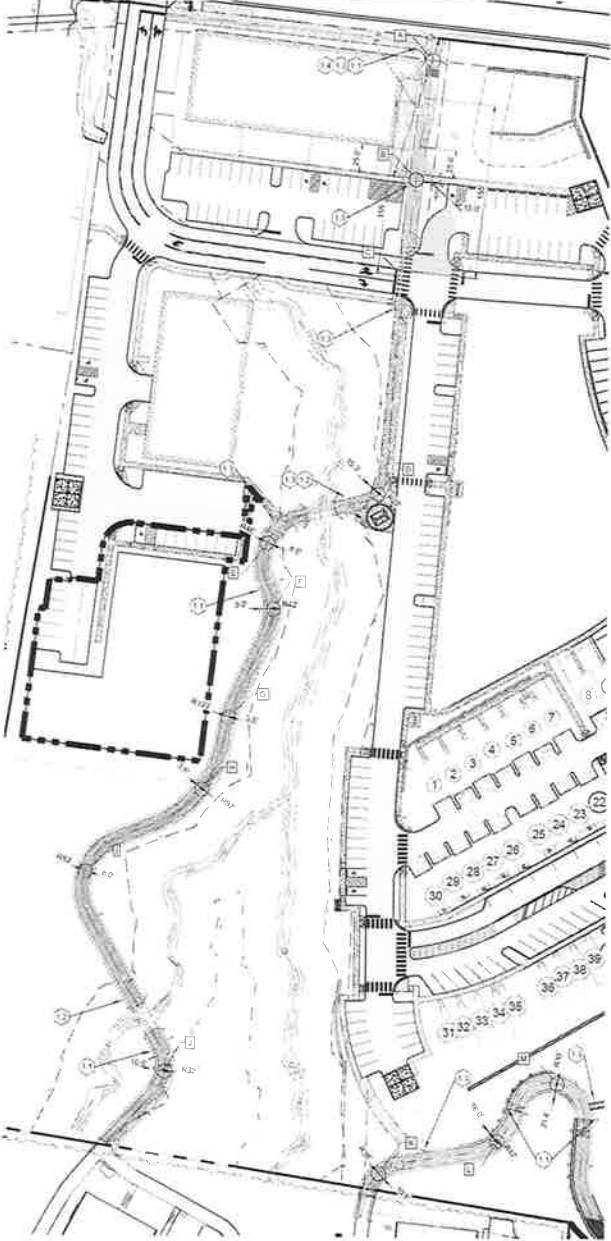


GREENWAY CROSS-SECTIONS		SHEET	
DATE:	10/20/2021	DRAWN BY:	W. J. BROWN
PROJECT NO.:	201789-004-004	CHECKED BY:	W. J. BROWN

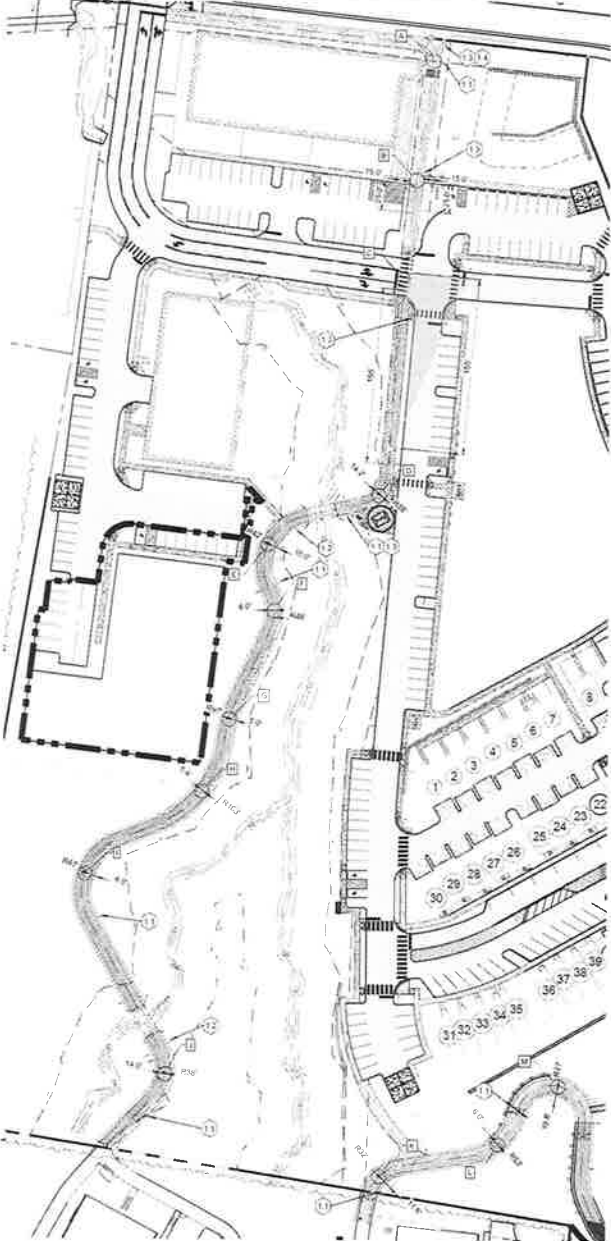


C334

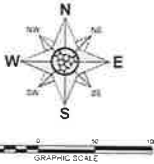
SOUTHBOUND BICYCLE SIGHT DISTANCE



NORTHBOUND BICYCLE SIGHT DISTANCE



ITEM KEY	SYMBOL	NOTE
1.1	WISAGE	
1.2		BLIND TURN SIGN
1.3		SLIPPERY TRAIL SIGN
1.4		SHARED PATHWAY SIGN



GREENWAYS SIGNAGE



1.1 BLIND TURN* 1.2 SLIPPERY TRAIL* 1.3 SHARED PATHWAY*



1.4 ARROW*

*NOTE: ALL SIGNAGE DETAILS SUCH AS MATERIALS, LOCATIONS, FONTS, COLORS, ETC. TO BE APPROVED BY METRO NASHVILLE GREENWAYS. IMAGES ABOVE ARE TO BE USED AS A REFERENCE. COORDINATE WITH GREENWAYS STAFF PRIOR TO MANUFACTURING OF ALL GREENWAY RELATED SIGNS.

GREENWAYS SIGHT DISTANCES

Point	Vehicle (mph)	1 (ft/s)	Grade (%)	SB HSD (ft)	SB HSD (ft)	SB Stopping Sight Distance (ft)	SB Stopping Sight Distance (ft)
		Reaction Time or Clearance	(±2.5%)	Horizontal Sight Offset	Vertical Sight Offset		
A	10	2.5	0.00	10.0	0.0	10.0	10.0
B	10	2.5	0.00	10.0	0.0	10.0	10.0
C	10	2.5	0.00	10.0	0.0	10.0	10.0
D	10	2.5	0.00	10.0	0.0	10.0	10.0
E	10	2.5	0.00	10.0	0.0	10.0	10.0
F	10	2.5	0.00	10.0	0.0	10.0	10.0
G	10	2.5	0.00	10.0	0.0	10.0	10.0
H	10	2.5	0.00	10.0	0.0	10.0	10.0
I	10	2.5	0.00	10.0	0.0	10.0	10.0
J	10	2.5	0.00	10.0	0.0	10.0	10.0
K	10	2.5	0.00	10.0	0.0	10.0	10.0
L	10	2.5	0.00	10.0	0.0	10.0	10.0
M	10	2.5	0.00	10.0	0.0	10.0	10.0
N	10	2.5	0.00	10.0	0.0	10.0	10.0
O	10	2.5	0.00	10.0	0.0	10.0	10.0
P	10	2.5	0.00	10.0	0.0	10.0	10.0
Q	10	2.5	0.00	10.0	0.0	10.0	10.0
R	10	2.5	0.00	10.0	0.0	10.0	10.0
S	10	2.5	0.00	10.0	0.0	10.0	10.0
T	10	2.5	0.00	10.0	0.0	10.0	10.0
U	10	2.5	0.00	10.0	0.0	10.0	10.0
V	10	2.5	0.00	10.0	0.0	10.0	10.0
W	10	2.5	0.00	10.0	0.0	10.0	10.0
X	10	2.5	0.00	10.0	0.0	10.0	10.0
Y	10	2.5	0.00	10.0	0.0	10.0	10.0
Z	10	2.5	0.00	10.0	0.0	10.0	10.0

NOTE: INTERSECTION 'A' REQUIRES STOP CONTROL DUE TO VERTICAL OBSTRUCTION FROM EXISTING STRUCTURE. DESIGN SPEED FOR GREENWAY IS 15 MPH. POSTED SPEED TO BE SET AT 10 MPH DUE TO STOPPING SIGHT DISTANCE AND HORIZONTAL SIGHT OFFSET ALONG TRAIL.

MAINTENANCE NOTE: TREES TO BE LIMBED AND MAINTAINED SO SIGHT LINES ARE NOT BLOCKED.



FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2817SP-004-004
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: W01858500000 & 09100008500
FRASER COUNTY, TENNESSEE

M2 GROUP

GREENWAY VISIBILITY & SIGNAGE PLAN

DATE: OCTOBER 01, 2023
PROJECT NO: 23-001
DRAWN BY: [Signature]
CHECKED BY: [Signature]

C335

REFERENCE:

1. THE PROPERTY SHOWN HEREON IS LOCATED IN A FLOOD HAZARD ZONE ("F") AREA DETERMINED TO BE OUTSIDE OF THE 2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FIRM MAP 15010002N, TENNESSEE PANEL 2013, PT. 2 OF 4. MAP NUMBER 15010002N-15010002N IN EFFECTIVE APRIL 3, 2011.

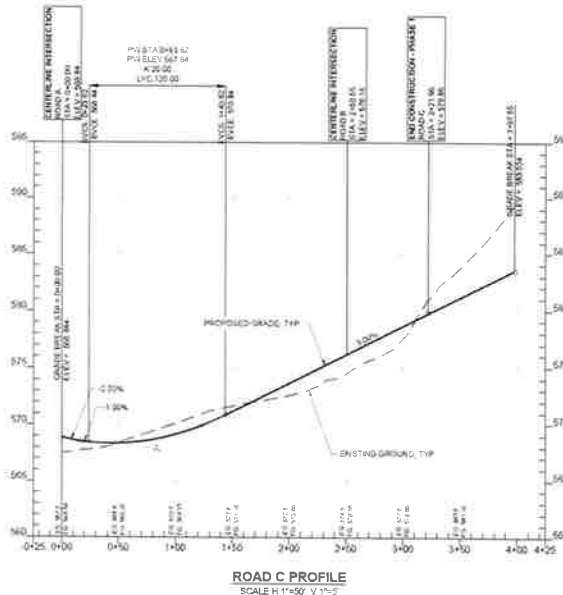
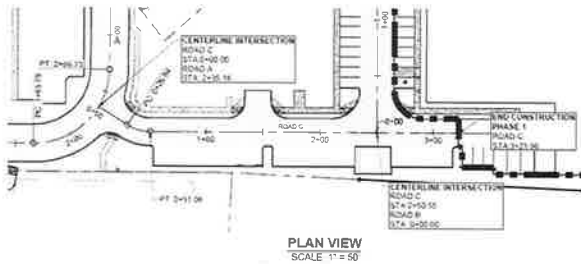
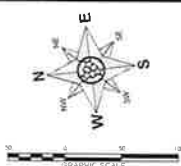
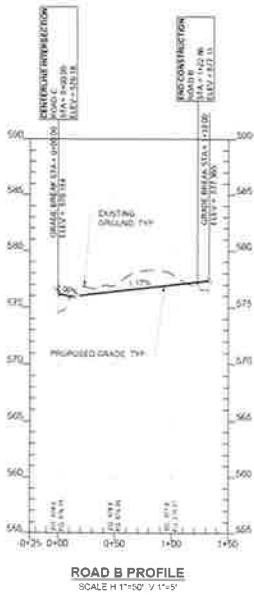
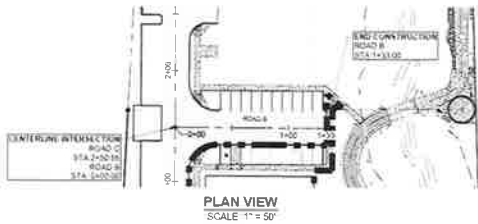
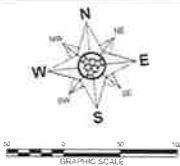
2. REFERENCE SHEET C24-RFP JARVISVILLE 6/14/19 FOR NOTES.

NOTE TO CONTRACTOR:

THE QUANTITY SHOWN REFERS TO THE PLANS SET. IT IS NOT THE ENGINEER'S INTENT THAT YOU SHOULD PLAN SETS IN THIS SET OF DOCUMENTS. ONLY SETS OF ALL WORK INDICATED WITH THIS PROJECT.

DESIGN SPEED NOTE:

ROADWAY HAS BEEN DESIGNED AT 25 MPH PER AASHTO DESIGN STANDARDS.



OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 081508300000 & 0810008050

M2 GROUP
ARCHITECTS
272 BROADMOOR DRIVE
OSAGE ARBOR, MO 64059

ROAD B AND C
PLAN & PROFILE

DATE: OCTOBER 23, 2024
PROJECT NO.: 23-02

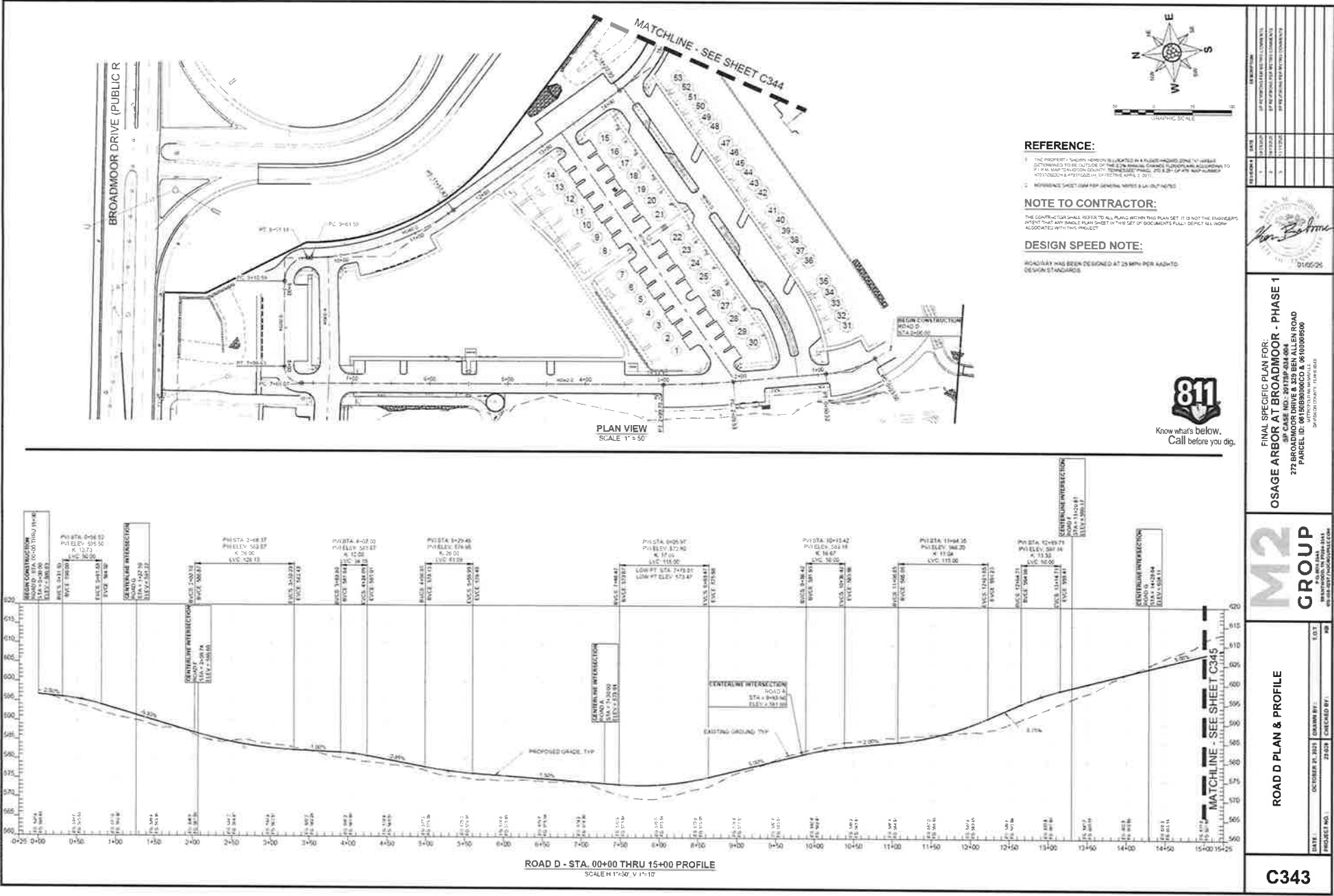
DESIGNED BY: [Signature]
CHECKED BY: [Signature]

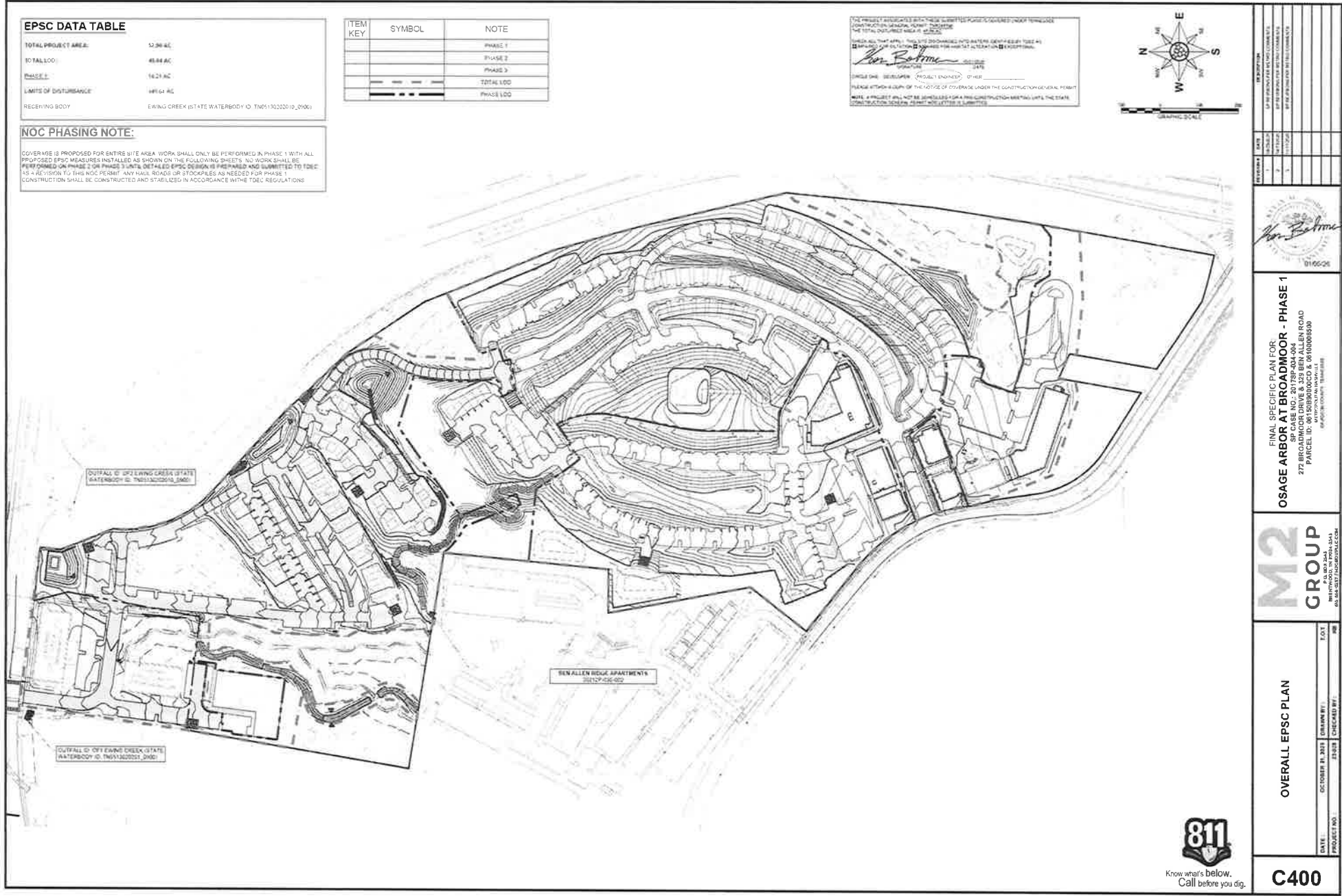
811
Know what's below.
Call before you dig.

C341



Know what's below.
Call before you dig.







[illegible]

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO. 2017SP-024-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B00100CD & 06100D08500
SP/Author: J. Crayton / T. Hest 6/2017

M2 GROUP
P.O. BOX 3543
MILWAUKEE, WI 53204-3543
414-444-0858 / info@m2mfg.com

FINAL EPSC PLAN

DATE:	OCTOBER 24, 2023	DRAWN BY:	E.O.T.
PROJECT NO.:	23-079	CHECKED BY:	PR

C430

SEDIMENT BASIN 1 - INITIAL

DESIGN AREA (AC)	4.75
RUNOFF COEFFICIENT (C)	0.75
TIME OF CONCENTRATION (MIN)	5
RAINFALL INTENSITY - 2 YEAR (IN/HR)	4.75
RAINFALL INTENSITY - 1 YEAR (IN/HR)	3.75
2 YEAR FLOW (CFS)	1187.0 CFS
1 YEAR FLOW (CFS)	924.0 CFS
REQUIRED SURFACE AREA (AC)	4570
REQUIRED WET STORAGE (CU)	4611
REQUIRED DRY STORAGE (CU)	4611
REQUIRED TOTAL VOLUME (CU)	17222
DESIGNED SURFACE AREA (AC)	13572
DESIGNED WET STORAGE (CU)	14736
DESIGNED DRY STORAGE ELEV.	586
DESIGNED DRY STORAGE ELEV.	586
DESIGNED DRY STORAGE ELEV.	569.2
REQUIRED FOREBAY VOLUME	2151
DESIGNED FOREBAY VOLUME	7245
DESIGNED TOTAL VOLUME (CU)	92423

STAGE STORAGE

ELEV. (FT)	AREA (AC)	CUMULATIVE VOLUME (CU)	CUMULATIVE VOLUME (CU)
BOTTOM ELEVATION	567	1548	0
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548

SEDIMENT TRAP 1 - INITIAL

DESIGN AREA (AC)	0.75
RUNOFF COEFFICIENT (C)	0.75
TIME OF CONCENTRATION (MIN)	5
RAINFALL INTENSITY - 2 YEAR (IN/HR)	4.75
RAINFALL INTENSITY - 1 YEAR (IN/HR)	3.75
2 YEAR FLOW (CFS)	590.0 CFS
1 YEAR FLOW (CFS)	461.0 CFS
REQUIRED SURFACE AREA (AC)	354
REQUIRED WET STORAGE (CU)	740
REQUIRED DRY STORAGE (CU)	740
REQUIRED TOTAL VOLUME (CU)	3141 WET + DRY
DESIGNED SURFACE AREA (AC)	4944
DESIGNED WET STORAGE (CU)	5843
DESIGNED WET STORAGE ELEV.	600.43
DESIGNED DRY STORAGE (CU)	5844
DESIGNED DRY STORAGE ELEV.	602.25
DESIGNED TOTAL VOLUME (CU)	15822

STAGE STORAGE

ELEV. (FT)	AREA (AC)	CUMULATIVE VOLUME (CU)	CUMULATIVE VOLUME (CU)
BOTTOM ELEVATION	594.00	0	0
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548

SEDIMENT TRAP 2 - INITIAL

DESIGN AREA (AC)	0.75
RUNOFF COEFFICIENT (C)	0.75
TIME OF CONCENTRATION (MIN)	5
RAINFALL INTENSITY - 2 YEAR (IN/HR)	4.75
RAINFALL INTENSITY - 1 YEAR (IN/HR)	3.75
2 YEAR FLOW (CFS)	590.0 CFS
1 YEAR FLOW (CFS)	461.0 CFS
REQUIRED SURFACE AREA (AC)	354
REQUIRED WET STORAGE (CU)	740
REQUIRED DRY STORAGE (CU)	740
REQUIRED TOTAL VOLUME (CU)	3141 WET + DRY
DESIGNED SURFACE AREA (AC)	4944
DESIGNED WET STORAGE (CU)	5843
DESIGNED WET STORAGE ELEV.	623.00
DESIGNED DRY STORAGE (CU)	5844
DESIGNED DRY STORAGE ELEV.	624.80
DESIGNED TOTAL VOLUME (CU)	22708

STAGE STORAGE

ELEV. (FT)	AREA (AC)	CUMULATIVE VOLUME (CU)	CUMULATIVE VOLUME (CU)
BOTTOM ELEVATION	621.00	0	0
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221

SEDIMENT BASIN 1 - INTERMEDIATE

DESIGN AREA (AC)	4.75
RUNOFF COEFFICIENT (C)	0.75
TIME OF CONCENTRATION (MIN)	5
RAINFALL INTENSITY - 2 YEAR (IN/HR)	4.75
RAINFALL INTENSITY - 1 YEAR (IN/HR)	3.75
2 YEAR FLOW (CFS)	1187.0 CFS
1 YEAR FLOW (CFS)	924.0 CFS
REQUIRED SURFACE AREA (AC)	13572
REQUIRED WET STORAGE (CU)	14736
REQUIRED DRY STORAGE (CU)	14736
REQUIRED TOTAL VOLUME (CU)	33264
DESIGNED SURFACE AREA (AC)	13572
DESIGNED WET STORAGE (CU)	14736
DESIGNED WET STORAGE ELEV.	586
DESIGNED DRY STORAGE ELEV.	586
DESIGNED DRY STORAGE ELEV.	569.2
REQUIRED FOREBAY VOLUME	9425
DESIGNED FOREBAY VOLUME	7245
DESIGNED TOTAL VOLUME (CU)	92423

STAGE STORAGE

ELEV. (FT)	AREA (AC)	CUMULATIVE VOLUME (CU)	CUMULATIVE VOLUME (CU)
BOTTOM ELEVATION	567	1548	0
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548
WET STORAGE ELEVATION (569.43)	567	1548	1548

SEDIMENT TRAP 1 - INTERMEDIATE

DESIGN AREA (AC)	0.75
RUNOFF COEFFICIENT (C)	0.75
TIME OF CONCENTRATION (MIN)	5
RAINFALL INTENSITY - 2 YEAR (IN/HR)	4.75
RAINFALL INTENSITY - 1 YEAR (IN/HR)	3.75
2 YEAR FLOW (CFS)	590.0 CFS
1 YEAR FLOW (CFS)	461.0 CFS
REQUIRED SURFACE AREA (AC)	354
REQUIRED WET STORAGE (CU)	740
REQUIRED DRY STORAGE (CU)	740
REQUIRED TOTAL VOLUME (CU)	3141 WET + DRY
DESIGNED SURFACE AREA (AC)	4944
DESIGNED WET STORAGE (CU)	5843
DESIGNED WET STORAGE ELEV.	600.43
DESIGNED DRY STORAGE (CU)	5844
DESIGNED DRY STORAGE ELEV.	602.25
DESIGNED TOTAL VOLUME (CU)	15822

STAGE STORAGE

ELEV. (FT)	AREA (AC)	CUMULATIVE VOLUME (CU)	CUMULATIVE VOLUME (CU)
BOTTOM ELEVATION	594.00	0	0
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548
WET STORAGE ELEVATION (600.43)	594.00	1548	1548

SEDIMENT TRAP 2 - INTERMEDIATE

DESIGN AREA (AC)	0.75
RUNOFF COEFFICIENT (C)	0.75
TIME OF CONCENTRATION (MIN)	5
RAINFALL INTENSITY - 2 YEAR (IN/HR)	4.75
RAINFALL INTENSITY - 1 YEAR (IN/HR)	3.75
2 YEAR FLOW (CFS)	590.0 CFS
1 YEAR FLOW (CFS)	461.0 CFS
REQUIRED SURFACE AREA (AC)	354
REQUIRED WET STORAGE (CU)	740
REQUIRED DRY STORAGE (CU)	740
REQUIRED TOTAL VOLUME (CU)	3141 WET + DRY
DESIGNED SURFACE AREA (AC)	4944
DESIGNED WET STORAGE (CU)	5843
DESIGNED WET STORAGE ELEV.	623.00
DESIGNED DRY STORAGE (CU)	5844
DESIGNED DRY STORAGE ELEV.	624.80
DESIGNED TOTAL VOLUME (CU)	22708

STAGE STORAGE

ELEV. (FT)	AREA (AC)	CUMULATIVE VOLUME (CU)	CUMULATIVE VOLUME (CU)
BOTTOM ELEVATION	621.00	0	0
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221
WET STORAGE ELEVATION (623.00)	621.00	2221	2221

DATE	10/1/2024
PROJECT NO.	272 BROOKWOOD ROAD
PARCEL NO.	08100000000000000000
OWNER	OSAGE ARBOR AT BROADMOOR
DESIGNER	EPSC
CHECKED BY	
APPROVED BY	

OSAGE ARBOR AT BROADMOOR - PHASE 1
 272 BROOKWOOD ROAD
 PARCEL NO. 08100000000000000000

FINAL SPECIFIC PLAN FOR
 OSAGE ARBOR AT BROADMOOR - PHASE 1
 SP CASE NO. 201789-004-004
 272 BROOKWOOD ROAD
 PARCEL NO. 08100000000000000000

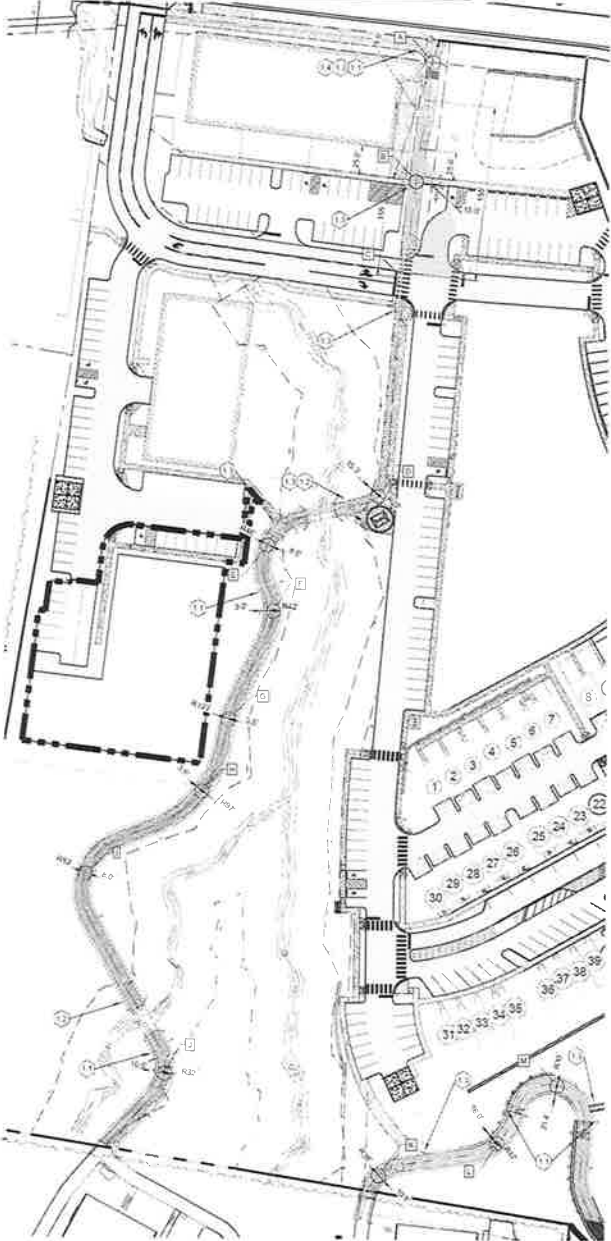
M2 GROUP
 10000 N. 10TH AVE. SUITE 100
 DENVER, CO 80231

EPSC CALCULATIONS
 DATE: 10/1/2024
 PROJECT NO.: 272 BROOKWOOD ROAD
 PARCEL NO.: 08100000000000000000

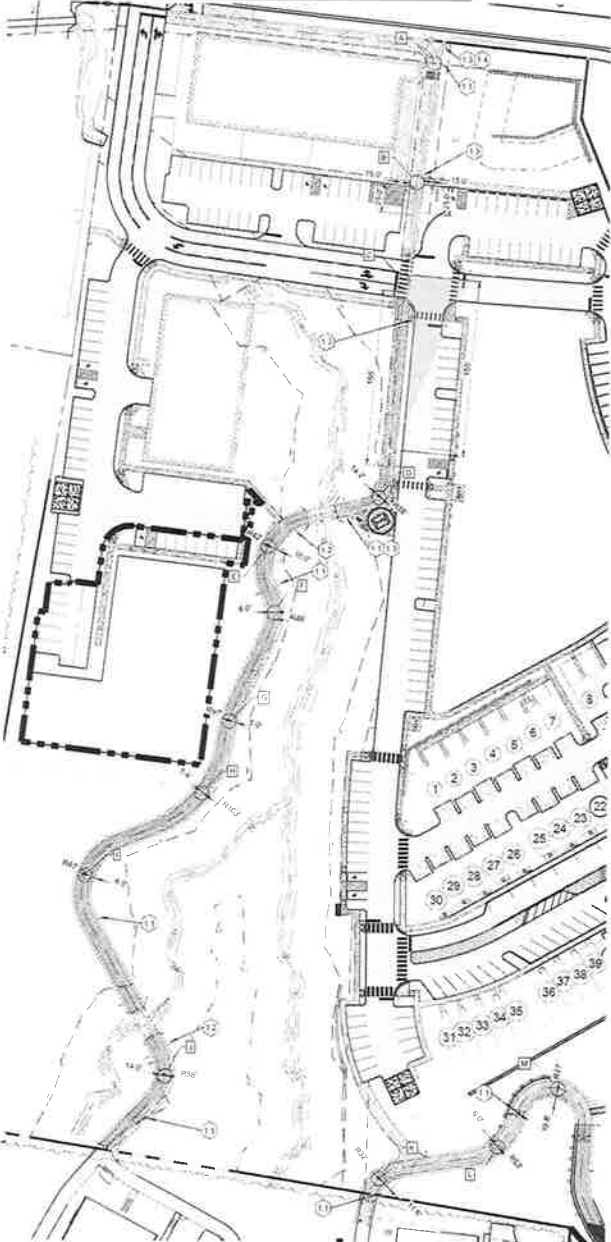
C440



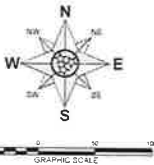
SOUTHBOUND BICYCLE SIGHT DISTANCE



NORTHBOUND BICYCLE SIGHT DISTANCE



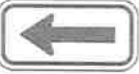
ITEM KEY	SYMBOL	NOTE
1.1	WISAGE	
1.2		BLIND TURN SIGN
1.3		SLIPPERY TRAIL SIGN
1.4		SHARED PATHWAY SIGN



GREENWAYS SIGNAGE



1.1 BLIND TURN* 1.2 SLIPPERY TRAIL* 1.3 SHARED PATHWAY*



1.4 ARROW*

*NOTE: ALL SIGNAGE DETAILS SUCH AS MATERIALS, LOCATIONS, FONTS, COLORS, ETC. TO BE APPROVED BY METRO NASHVILLE GREENWAYS. IMAGES ABOVE ARE TO BE USED AS A REFERENCE. COORDINATE WITH GREENWAYS STAFF PRIOR TO MANUFACTURING OF ALL GREENWAY RELATED SIGNS.

GREENWAYS SIGHT DISTANCES

Point	Vehicle (mph)	1 (ft/s) Reaction Time (±2.5%)	Grade (%)	SB HSD (ft) Horizontal Distance (ft)	SB HSD (ft) Vertical Distance (ft)	SB Stopping Distance (ft)	SB Stopping Distance (ft)
1	10	2.5	0.00	10.0	10.0	25	25
2	15	3.5	0.00	15.0	15.0	35	35
3	20	4.5	0.00	20.0	20.0	45	45
4	25	5.5	0.00	25.0	25.0	55	55
5	30	6.5	0.00	30.0	30.0	65	65
6	35	7.5	0.00	35.0	35.0	75	75
7	40	8.5	0.00	40.0	40.0	85	85
8	45	9.5	0.00	45.0	45.0	95	95
9	50	10.5	0.00	50.0	50.0	105	105
10	55	11.5	0.00	55.0	55.0	115	115
11	60	12.5	0.00	60.0	60.0	125	125
12	65	13.5	0.00	65.0	65.0	135	135
13	70	14.5	0.00	70.0	70.0	145	145
14	75	15.5	0.00	75.0	75.0	155	155
15	80	16.5	0.00	80.0	80.0	165	165
16	85	17.5	0.00	85.0	85.0	175	175
17	90	18.5	0.00	90.0	90.0	185	185
18	95	19.5	0.00	95.0	95.0	195	195
19	100	20.5	0.00	100.0	100.0	205	205

NOTE: INTERSECTION 'A' REQUIRES STOP CONTROL DUE TO VERTICAL OBSTRUCTION FROM EXISTING STRUCTURE. DESIGN SPEED FOR GREENWAY IS 15 MPH. POSTED SPEED TO BE SET AT 10 MPH DUE TO STOPPING SIGHT DISTANCE AND HORIZONTAL SIGHT OFFSET ALONG TRAIL.

MAINTENANCE NOTE: TREES TO BE LIMBED AND MAINTAINED SO SIGHT LINES ARE NOT BLOCKED.



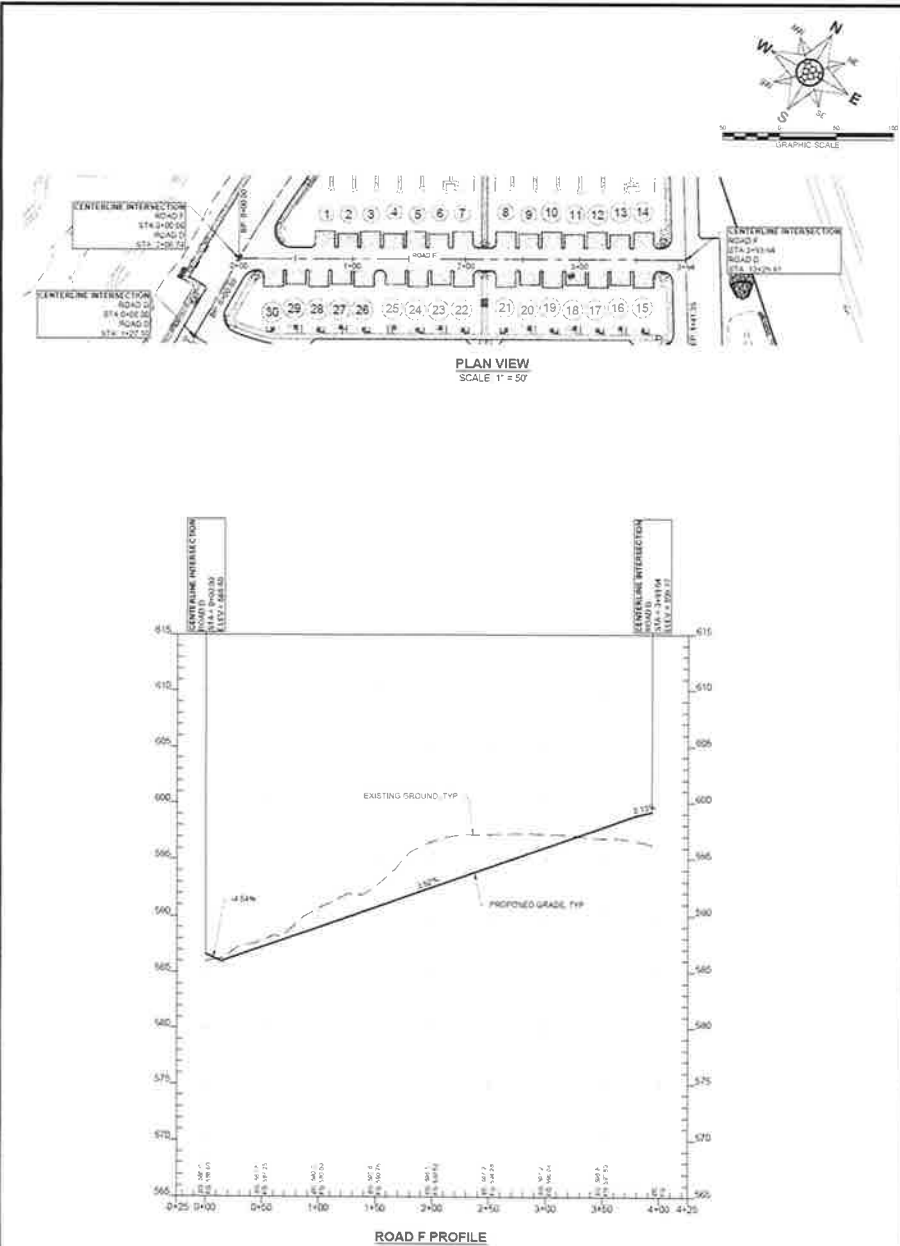
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO: 2817SP-004-004
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: W01858500000 & 0910000850
F04000100000 - TRAIL/BIKE

M2 GROUP

GREENWAY VISIBILITY & SIGNAGE PLAN

DATE: OCTOBER 01, 2023
PROJECT NO: 23-001
DRAWN BY: [Signature]
CHECKED BY: [Signature]

C335



REFERENCE:

THE PROJECT SITE LOCATION IS LOCATED IN A FLOOD-HAZARD ZONE "X" AREAS
DETERMINED TO BE OUTSIDE OF THE 2-D ANNUAL CHANCE FLOODPLAIN ACCORDING TO
F11000 RMC "DRAINAGE STUDY" TRANSMISSIONAL 2019 01 OF KTA MAP NUMBER
41207022001 & 41207022011 EFFECTIVE APRIL 9, 2017

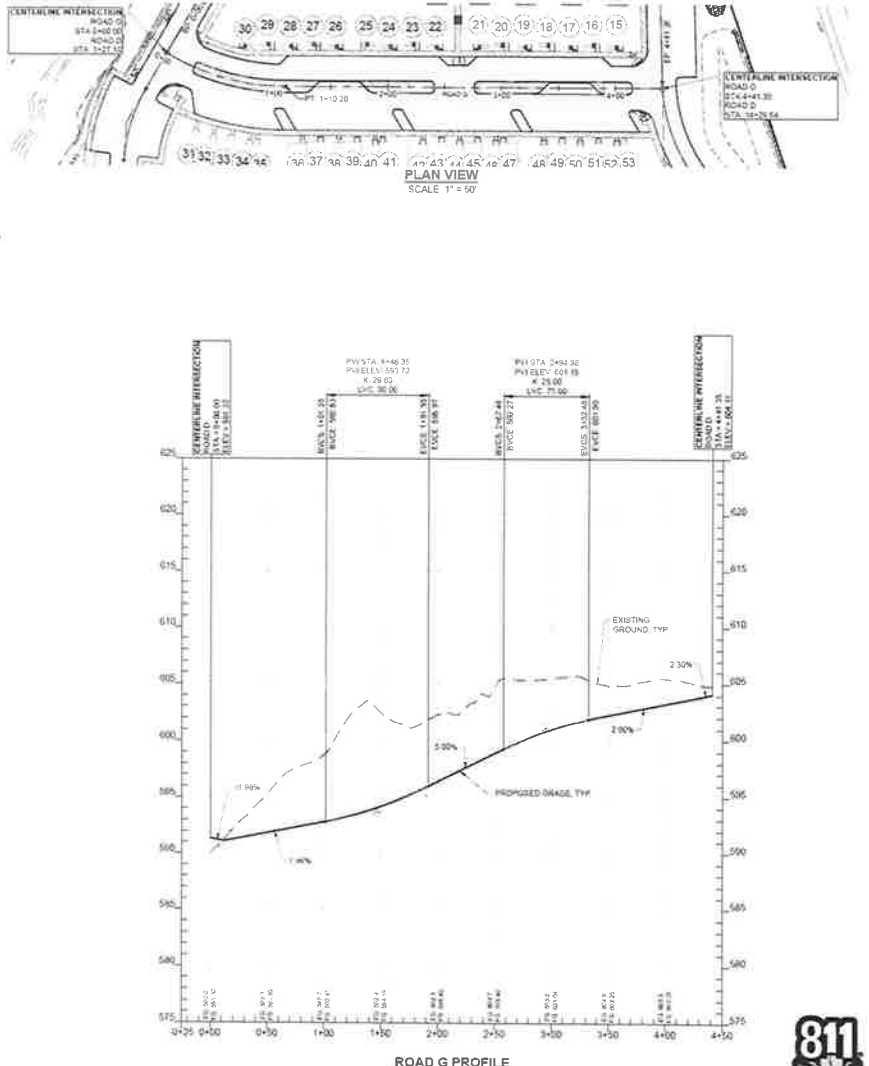
REFERENCE SHEET 0204 FOR GENERAL NOTES & L&I-OUT NOTES

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER'S
RESPONSIBILITY TO VERIFY THE ACCURACY OF THE DATA PROVIDED. THE CONTRACTOR SHALL
ASSOCIATED WITH THIS PROJECT.

DESIGN SPEED NOTE:

ROADWAY HAS BEEN DESIGNED AT 25 MPH PER AASHTO
DESIGN STANDARDS



FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 225 BEN ALLEN ROAD
PARCEL ID: 061508060000 & 06100806000
DAVISON COUNTY, MINNESOTA

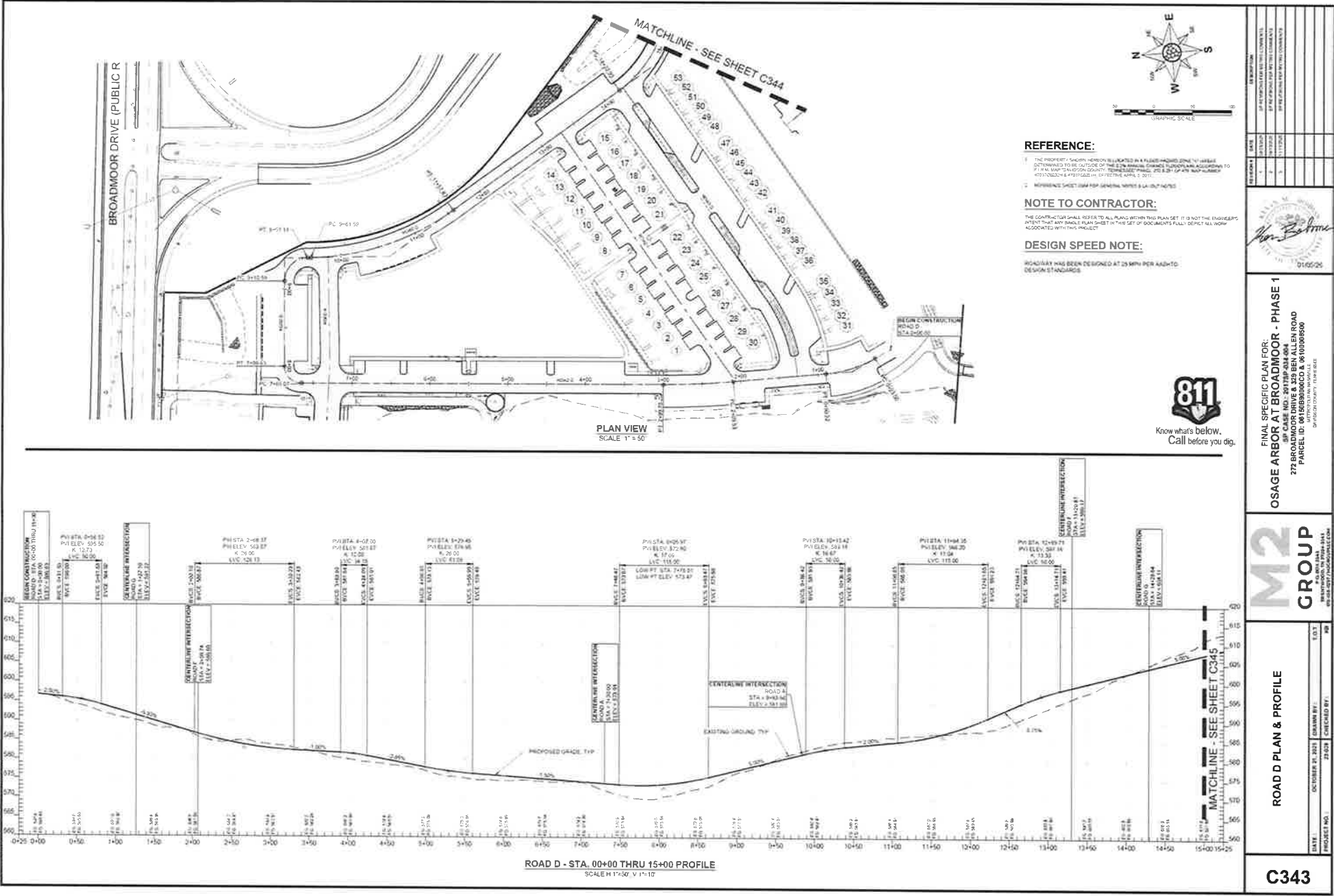


**ROAD B AND C
PLAN & PROFILE**

C342



DATE:	DECEMBER 31, 2024	DRAWN BY:	LOI
PROJECT NO.:	23-026	CHECKED BY:	MR



SEDIMENT BASIN - INTERMEDIATE			
DESIGNED FLOOD FLOW	8.07		
DESIGNED COEFFICIENT OF FILL	1.0		
TIME OF CONCENTRATION (HRS)	4.75		
ADJUSTED FLOOD FLOW	4.75		
DESIGNED FLOOD FLOW	8.07		
DESIGNED FLOOD FLOW	8.07	$C_1 = 1.0$	
DESIGNED FLOOD FLOW	8.07	$C_2 = 1.0$	
REQUIRED SURFACE AREA (AC)	13064		
REQUIRED SETBACK STORAGE (AC)	14460		
REQUIRED DETENTION STORAGE (AC)	14460		
REQUIRED TOTAL VOLUME (CU YD)	76960		
DESIGNED SURFACE AREA (AC)	13372		
DESIGNED SETBACK STORAGE (AC)	14726		
DESIGNED DETENTION STORAGE (AC)	14726		
DESIGNED TOTAL VOLUME (CU YD)	33326		
DESIGNED DETENTION STORAGE (AC)	360.0		
REQUIRED POOLABLE VOLUME (CU YD)	7245		
DESIGNED POOLABLE VOLUME (CU YD)	92423		
STAGE STORAGE			
	DESIGN FLOOD FLOW	CUMULATIVE VOLUME (CU YD)	CUMULATIVE VOLUME (CU YD)
STAGE (FEET)	5.00	1648	
	5.00	2064	1648
	5.00	3036	4100
	5.00	4760	6164
	5.00	5954	7618
	5.00	5913	8423
	5.00	11714	8423
	5.00	14611	8763
	5.00	24712	9463
	5.00	30360	9463
	5.00	37266	9463

SEDIMENT TRAP 1 - INTERMEDIATE		STAGE STORAGE	
DESIGNED SURFACE AREA (a)	1.75	CUMULATIVE VOLUME (c)	
DESIGNED WET STORAGE (a) x (b)	2.05	CUMULATIVE VOLUME (c) x (d)	
DESIGNED DRY STORAGE (a) x (c)	1.50		
REQUIRED SURFACE AREA (a)	1.75		
REQUIRED WET STORAGE (a) x (b)	2.05		
REQUIRED DRY STORAGE (a) x (c)	1.50		
DESIGNED SURFACE AREA (a)	4344		
DESIGNED WET STORAGE (a) x (b)	2643		
DESIGNED DRY STORAGE (a) x (c)	1850		
REQUIRED SURFACE AREA (a)	4344		
REQUIRED WET STORAGE (a) x (b)	2643		
REQUIRED DRY STORAGE (a) x (c)	1850		
DESIGNED SURFACE AREA (a)	4344		
DESIGNED WET STORAGE (a) x (b)	2643		
DESIGNED DRY STORAGE (a) x (c)	1850		

[illegible]

Run number	Date	DETAILED DATA
1.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
2.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
3.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
4.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
5.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
6.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
7.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
8.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
9.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)
10.	10/10/00	30.00 g (10.00 g) (10.00 g) (10.00 g) (10.00 g)



FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-024-094
272 BROADMOOR DRIVE & 325 BEN ALLAN ROAD
PARCEL ID: 061505900000 & 0610008500
METROPOLITAN MANASSA

M2 GROUP
P.O. BOX 2543
BENTLEYVILLE, TN 37014-2543
615.661.0057 / info@m2group.com

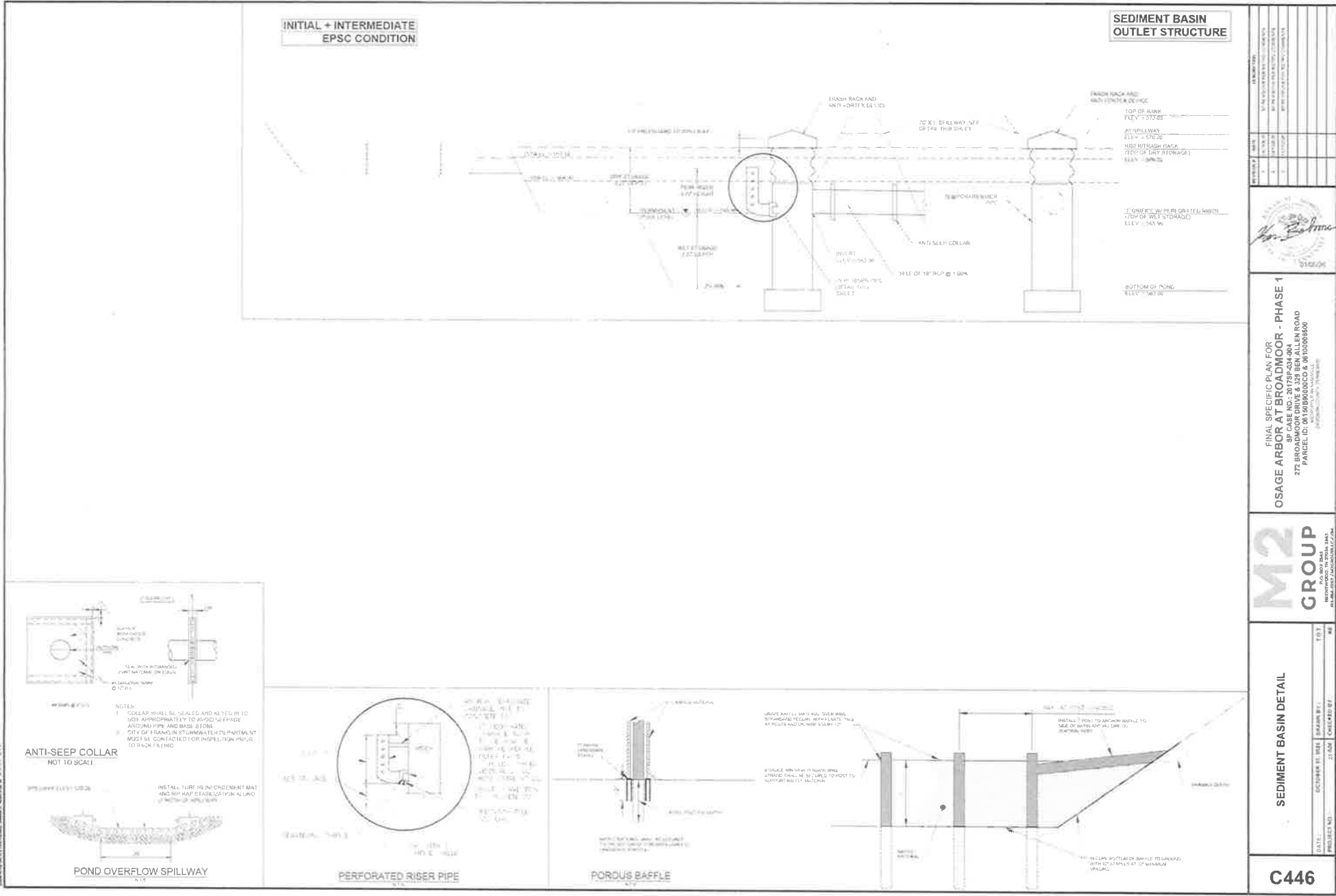
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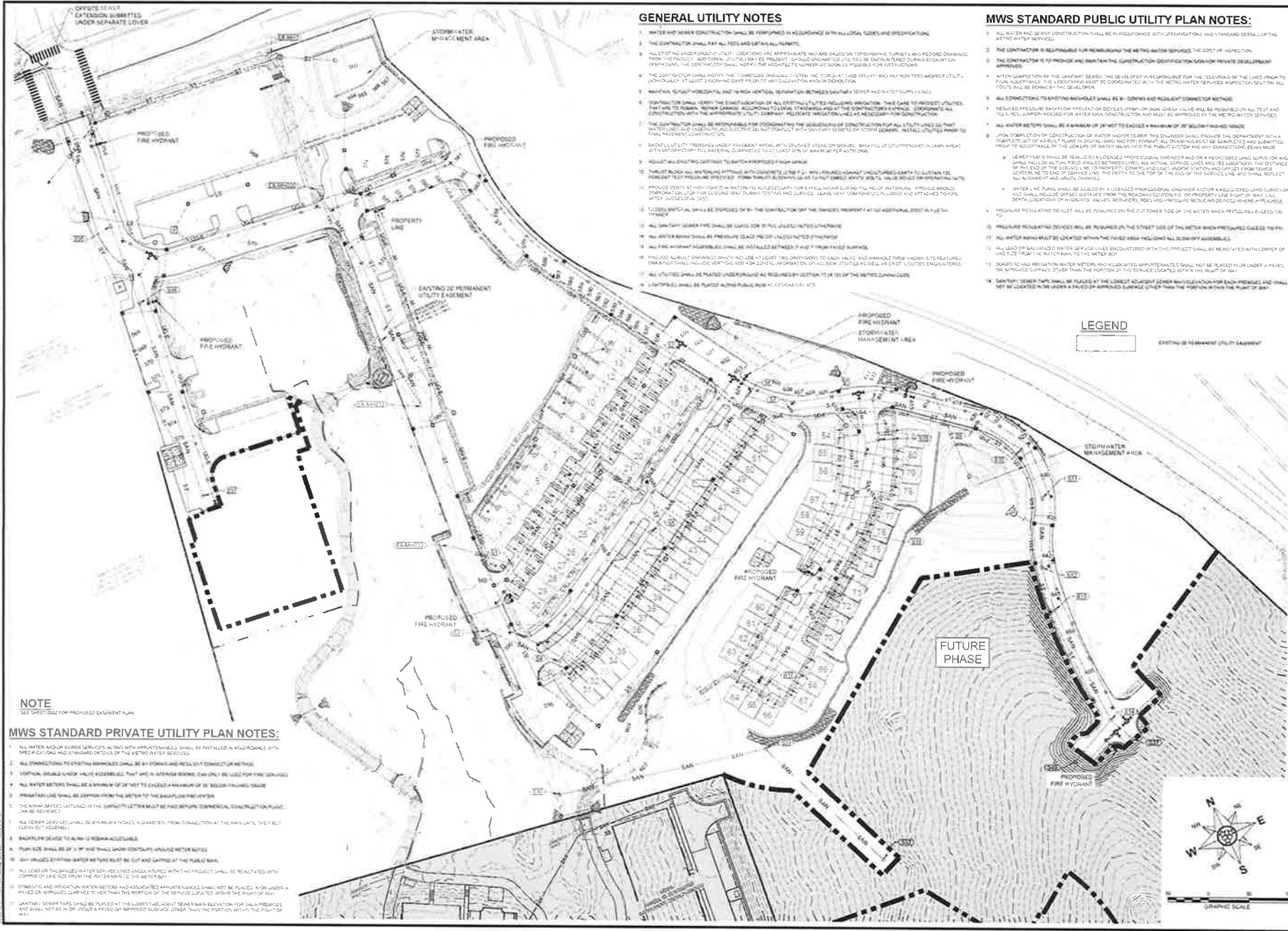
C440



TREE PROTECTION

C445





GENERAL UTILITY NOTES

- 1. WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND CATCH BASINS.
- 3. ALL UTILITIES AND CONSTRUCTION SHALL BE LOCATED IN ACCORDANCE WITH THE RECORD DRAWINGS AND RECORD DRAWINGS FROM THE FACILITY. ADDITIONAL UTILITIES MAY BE PRESENT. LOCATIONS OF UTILITIES SHALL BE DETERMINED BY FIELD SURVEY.
- 4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 12. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 14. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 15. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 16. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 17. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 18. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 19. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.
- 20. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND CATCH BASINS.

MWS STANDARD PUBLIC UTILITY PLAN NOTES:

- 1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 18. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.
- 20. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE DOOR OF INSPECTION.

LEGEND

EXISTING OR PERMANENT UTILITY EASEMENT

DATE: OCTOBER 14, 2021
PROJECT NO.: 21021

CHECKED BY: [Signature]

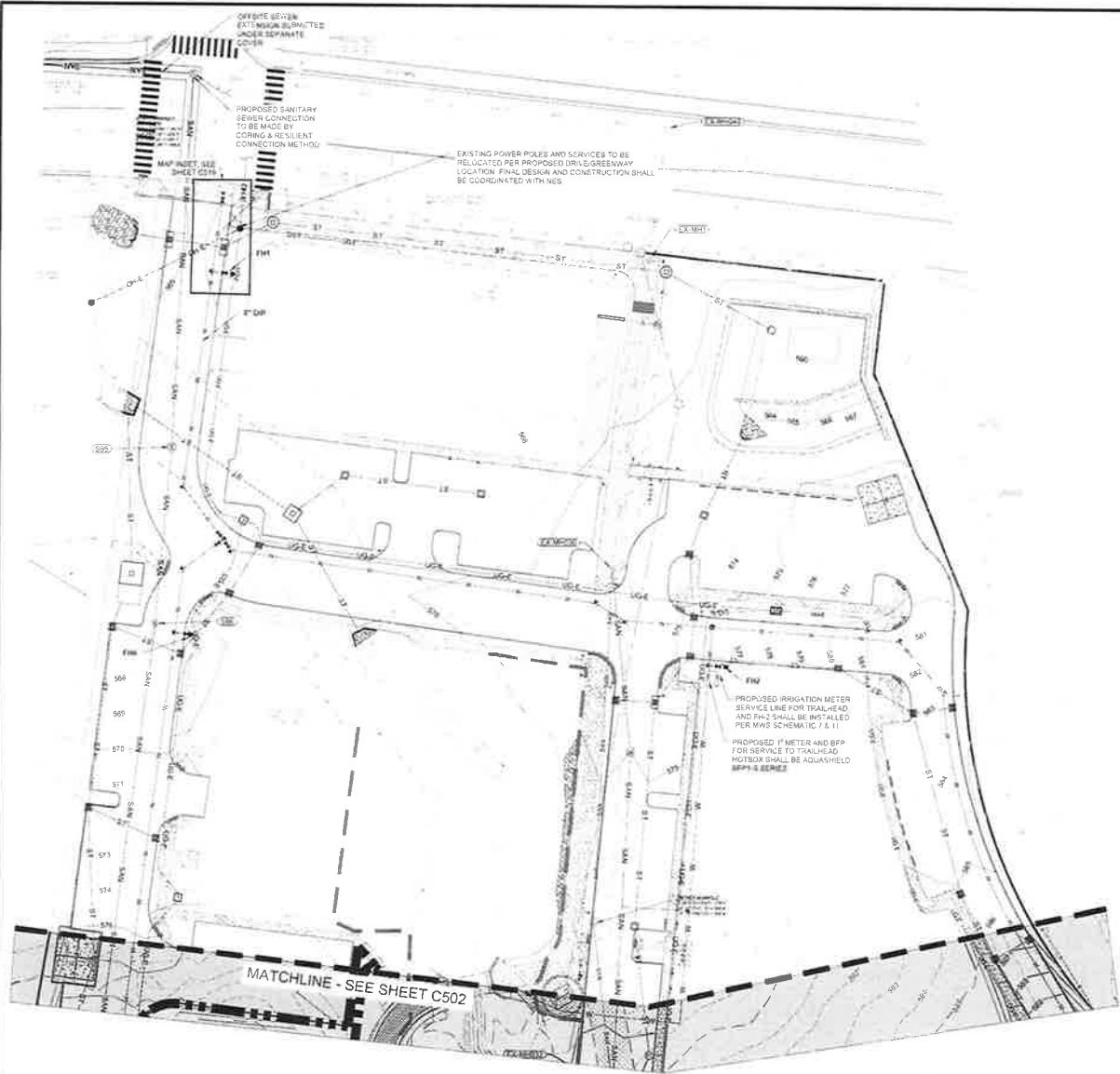
SCALE: 1"=40'

OVERALL UTILITY PLAN

C500

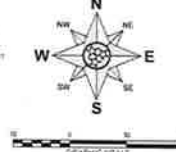
FINAL SPECIFIC PLAN FOR: OSAGE ARBOR AT BROADMOOR - PHASE 1
PROJECT NO.: 21021
277 BROADMOOR DRIVE, SUITE 100
PARCEL ID: 061800000000.0000000000
MWS STANDARD PUBLIC UTILITY PLAN NOTES: 10/14/2021

M2 GROUP
277 BROADMOOR DRIVE, SUITE 100
PARCEL ID: 061800000000.0000000000
MWS STANDARD PUBLIC UTILITY PLAN NOTES: 10/14/2021



LEGEND

- SANITARY SEWER PIPE - QUALITY
- CONCRETE WATER PIPE
- UNDERGROUND ELECTRIC CONDUIT
- OVERHEAD ELECTRIC
- POWER TRANSFORMER
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- TRANSFORMER
- FIRE PUMP



GENERAL UTILITY NOTES

1. WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL FOLLOW ALL RULES AND ORDINANCES.
3. ALL EXISTING UNDERGROUND UTILITIES LOCATIONS ARE APPROXIMATE AND BASED ON TOPOGRAPHIC SURVEY RECORD DRAWINGS FROM THE FACILITY. ADDITIONAL UTILITIES MAY BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND LOCATING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS AT LEAST 48 HOURS BEFORE ANY EXCAVATION OR CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS AT LEAST 48 HOURS BEFORE ANY EXCAVATION OR CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SECURITY OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SECURITY OF EXISTING UTILITIES.
6. BACKFILL UTILITY TRENCHES UNDER PAVED AREAS WITH CRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 95% OF MAXIMUM RELATIVE DENSITY.
7. MAINTAIN ALL EXISTING DRIVEWAYS TO MATCH PROPOSED DRIVEWAY.
8. THROAT BLOCKS AT WATERLINE FITTINGS WITH CONCRETE (200 P.S.I.) REQUIRED AGAINST UNDESIRABLE EARTH TO SUSTAIN 100 PERCENT TEST PRESSURE SPECIFIED. THROAT BLOCKS TO BE USED ON ALL VALVES, JUNCTION BOXES OR OPERATING UNITS.
9. PROVIDE VENTS AT HIGH POINTS IN WATERLINE AS NECESSARY FOR EXPELLING AIR DURING FILLING OF WATERLINE. PROVIDE BRIDGE VALVE OVERFLOW STOP FOR EXPELLING VENT DURING TESTING AND SURVEIL. LEAVE VENT COMPONENTS PLUGGED AND ATTACHED TO PIPE AFTER SUCCESSFUL TEST.
10. EXISTING MATERIALS SHALL BE REMOVED BY THE CONTRACTOR OFF THE OWNER'S PROPERTY AT AN ACCEPTABLE COST FOR REMOVAL AND DISPOSAL.
11. ALL SANITARY SEWER PIPE SHALL BE CLASSIFIED BY THE CONTRACTOR'S NOTES TO THE SPECIFICATIONS.
12. ALL WATER MAINS SHALL BE PRESSURE CLASSIFIED BY THE CONTRACTOR'S NOTES TO THE SPECIFICATIONS.
13. ALL FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED BETWEEN 7 AND 7' FROM PAVED CURBLINE.
14. PROVIDE AS-BUILT DRAWINGS WHICH INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM A KNOWN FEATURE. DIMENSIONS SHALL INCLUDE ELEVATION, ELEVATION AND HORIZONTAL INFORMATION ON ALL VALVES AND MANHOLES. UTILITIES ENCOUNTERED.
15. ALL UTILITIES SHALL BE PLACED UNDERGROUND AS REQUIRED BY SECTION 10.1.1.1 OF THE MWS STANDARD CODE.
16. UTILITIES SHALL BE PLACED UNDERGROUND AS REQUIRED BY SECTION 10.1.1.1 OF THE MWS STANDARD CODE.

MWS STANDARD PUBLIC UTILITY PLAN NOTES:

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE METRO WATER SERVICES THE BEST OF ADEQUACY.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION DETAIL FOR PAVEMENT DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TIE-IN OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE TIE-IN SHALL BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL TIE-IN POINTS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTION METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RBP) OF DUAL CHECK VALVES WILL BE REQUIRED ON ALL TEST AND FILL LINES. LAYOUT REQUIRED FOR AFTER METER CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
7. ALL WATER SERVICE SHALL BE A MINIMUM OF 3/4\"/>

MWS STANDARD PRIVATE UTILITY PLAN NOTES:

1. ALL WATER AND SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
2. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTION METHOD.
3. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES THAT ARE IN INTERIOR POOLS CAN ONLY BE USED FOR FIRE SERVICES.
4. THE WATER METER SHALL BE A MINIMUM OF 3/4\"/>
5. THE METER SHALL BE LOCATED UNDER THE METER BOX. THE METER SHALL BE LOCATED UNDER THE METER BOX.
6. THE METER SHALL BE LOCATED UNDER THE METER BOX. THE METER SHALL BE LOCATED UNDER THE METER BOX.
7. ALL SEWER SERVICES SHALL BE MINIMUM 12\"/>
8. BACKFLOW PREVENTION DEVICES (RBP) OF DUAL CHECK VALVES WILL BE REQUIRED ON ALL TEST AND FILL LINES. LAYOUT REQUIRED FOR AFTER METER CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
9. ALL VALUED EXISTING WATER METERS MUST BE 3/4\"/>
10. ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE PENETRATED WITH COPPER OF LINE SIZE FROM THE WATER MAIN TO THE METER BOX.
11. DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT-OF-WAY.
12. SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT-OF-WAY.

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000
DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

DATE: 10/20/2021
DRAWN BY: JES
PROJECT NO: 272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD
PARCEL ID: 061500900000 & 061000000000

UTILITY PLAN

DATE: OCTOBER 19, 2013 **DRAWN BY:** J.E.D.

PREPARED BY: M.A. **CHECKED BY:** M.A.

DESIGNED BY: M.A. **DATE:** OCTOBER 19, 2013

M2 GROUP

A COMMERCIAL GROUP
INCORPORATED IN TEXAS

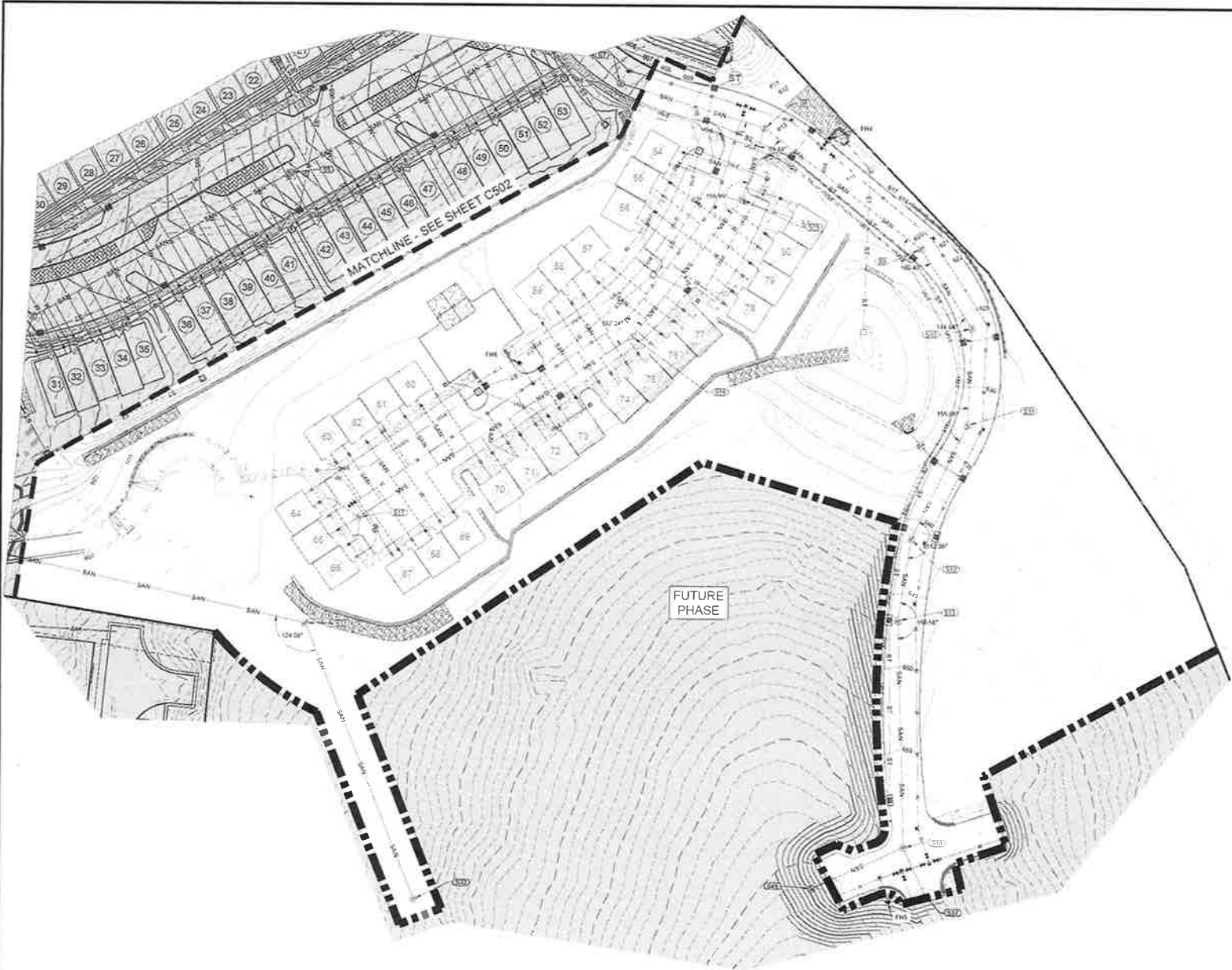
FINAL SPECIFIC PLAN FOR:

OSAGE ARBOR AT BROADMOOR - PHASE 1

SP CASE NO.: 2793P-034-004

2793 BROADMOOR DRIVE, SEEN ALLEN ROAD

PARCEL ID: 041109, 041110, 041111, 041112, 041113, 041114, 041115, 041116, 041117, 041118, 041119, 041120, 041121, 041122, 041123, 041124, 041125, 041126, 041127, 041128, 041129, 041130, 041131, 041132, 041133, 041134, 041135, 041136, 041137, 041138, 041139, 041140, 041141, 041142, 041143, 041144, 041145, 041146, 041147, 041148, 041149, 041150, 041151, 041152, 041153, 041154, 041155, 041156, 041157, 041158, 041159, 041160, 041161, 041162, 041163, 041164, 041165, 041166, 041167, 041168, 041169, 041170, 041171, 041172, 041173, 041174, 041175, 041176, 041177, 041178, 041179, 041180, 041181, 041182, 041183, 041184, 041185, 041186, 041187, 041188, 041189, 041190, 041191, 041192, 041193, 041194, 041195, 041196, 041197, 041198, 041199, 041200, 041201, 041202, 041203, 041204, 041205, 041206, 041207, 041208, 041209, 041210, 041211, 041212, 041213, 041214, 041215, 041216, 041217, 041218, 041219, 041220, 041221, 041222, 041223, 041224, 041225, 041226, 041227, 041228, 041229, 041230, 041231, 041232, 041233, 041234, 041235, 041236, 041237, 041238, 041239, 041240, 041241, 041242, 041243, 041244, 041245, 041246, 041247, 041248, 041249, 041250, 041251, 041252, 041253, 041254, 041255, 041256, 041257, 041258, 041259, 041260, 041261, 041262, 041263, 041264, 041265, 041266, 041267, 041268, 041269, 041270, 041271, 041272, 041273, 041274, 041275, 041276, 041277, 041278, 041279, 041280, 041281, 041282, 041283, 041284, 041285, 041286, 041287, 041288, 041289, 041290, 041291, 041292, 041293, 041294, 041295, 041296, 041297, 041298, 041299, 041300, 041301, 041302, 041303, 041304, 041305, 041306, 041307, 041308, 041309, 041310, 041311, 041312, 041313, 041314, 041315, 041316, 041317, 041318, 041319, 041320, 041321, 041322, 041323, 041324, 041325, 041326, 041327, 041328, 041329, 041330, 041331, 041332, 041333, 041334, 041335, 041336, 041337, 041338, 041339, 041340, 041341, 041342, 041343, 041344, 041345, 041346, 041347, 041348, 041349, 041350, 041351, 041352, 041353, 041354, 041355, 041356, 041357, 041358, 041359, 041360, 041361, 041362, 041363, 041364, 041365, 041366, 041367, 041368, 041369, 041370, 041371, 041372, 041373, 041374, 041375, 041376, 041377, 041378, 041379, 041380, 041381, 041382, 041383, 041384, 041385, 041386, 041387, 041388, 041389, 041390, 041391, 041392, 041393, 041394, 041395, 041396, 041397, 041398, 041399, 041400, 041401, 041402, 041403, 041404, 041405, 041406, 041407, 041408, 041409, 041410, 041411, 041412, 041413, 041414, 041415, 041416, 041417, 041418, 041419, 041420, 041421, 041422, 041423, 041424, 041425, 041426, 041427, 041428, 041429, 041430, 041431, 041432, 041433, 041434, 041435, 041436, 041437, 041438, 041439, 041440, 041441, 041442, 041443, 041444, 041445, 041446, 041447, 041448, 041449, 041450, 041451, 041452, 041453, 041454, 041455, 041456, 041457, 041458, 041459, 041460, 041461, 041462, 041463, 041464, 041465, 041466, 041467, 041468, 041469, 041470, 041471, 041472, 041473, 041474, 041475, 041476, 041477, 041478, 041479, 041480, 041481, 041482, 041483, 041484, 041485, 041486, 041487, 041488, 041489, 041490, 041491, 041492, 041493, 041494, 041495, 041496, 041497, 041498, 041499, 041500, 041501, 041502, 041503, 041504, 041505, 041506, 041507, 041508, 041509, 041510, 041511, 041512, 041513, 041514, 041515, 041516, 041517, 041518, 041519, 041520, 041521, 041522, 041523, 041524, 041525, 041526, 041527, 041528, 041529, 041530, 041531, 041532, 041533, 041534, 041535, 041536, 041537, 041538, 041539, 041540, 041541, 041542, 041543, 041544, 041545, 041546, 041547, 041548, 041549, 041550, 041551, 041552, 041553, 041554, 041555, 041556, 041557, 041558, 041559, 041560, 041561, 041562, 041563, 041564, 041565, 041566, 041567, 041568, 041569, 041570, 041571



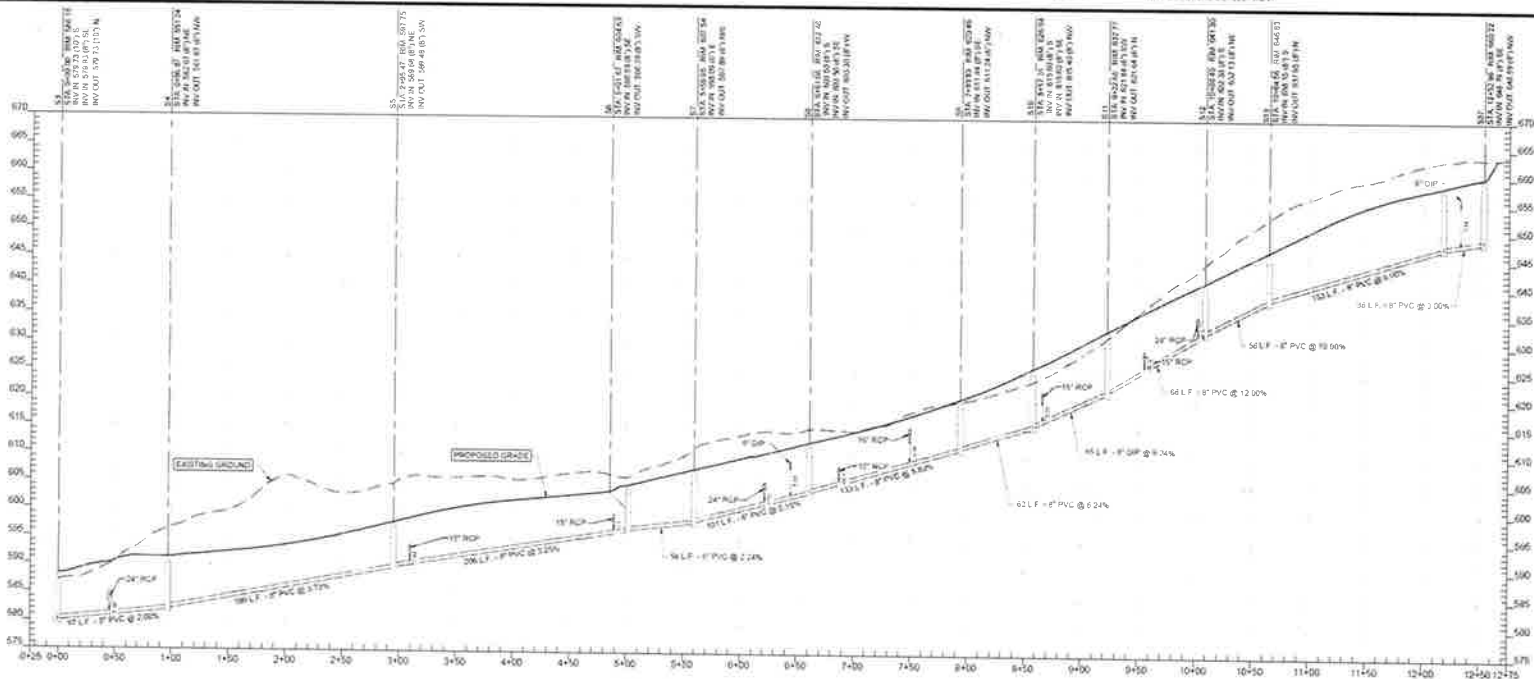
LEGEND

- SAN — SANITARY SEWER PIPE - 12" DIA.
- ST — STORM SEWER PIPE - 18" DIA.
- W — WATER PIPE - 12" DIA.
- G — GAS PIPE - 12" DIA.
- E — ELECTRIC PIPE - 12" DIA.
- M — MANHOLE
- V — VALVE
- H — HYDRANT
- T — TRANSFORMER
- L — LIGHT
- S — SIGN
- F — FENCE
- B — BUILDING
- C — CURB
- D — DRIVE
- P — PARKING
- R — ROAD
- T — TRAIL
- S — STREET
- L — LAWN
- G — GRASS
- T — TREE
- S — SHrub
- F — FLOW
- S — SURFACE
- T — TOP
- B — BOTTOM
- L — LEFT
- R — RIGHT
- F — FRONT
- B — BACK
- S — SIDE
- E — END
- M — MIDDLE
- C — CENTER
- O — OUT
- I — IN
- U — UP
- D — DOWN
- L — LONG
- S — SHORT
- W — WIDE
- N — NARROW
- H — HIGH
- L — LOW
- T — TALL
- S — SHORT
- F — FAST
- S — SLOW
- L — LIGHT
- H — HEAVY
- S — SOFT
- H — HARD
- W — WARM
- C — COLD
- D — DRY
- W — WET
- S — SUNNY
- C — CLOUDY
- F — FOGGY
- W — WINDY
- C — CALM
- H — HOT
- C — COOL
- W — WARM
- C — COLD
- D — DRY
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- S — SUNNY
- C — CLOUDY
- F — FOGGY
- W — WINDY
- C — CALM
- H — HOT
- C — COOL

DATE: OCTOBER 24, 2023		DRAWN BY: [Signature]		T.O.T.	
PROJECT NO. 27220		CHECKED BY: [Signature]		APP.	
UTILITY PLAN					
M2 GROUP					
272 BROADMOOR DRIVE & 323 BEN ALLEN ROAD					
PARCEL ID: 061508300000 & 051000000000					
OSAGE ARBOR AT BROADMOOR - PHASE 1					
FINAL SPECIFIC PLAN FOR					
CADDIS COUNTY, MISSOURI					
[Signature]					
[Stamp]					



C510

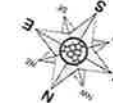


C510

DATE:	OCTOBER 31, 2025	DRAWN BY:	T.O.T
PROJECT NO.:	23-029	CHECKED BY:	PP

**SANITARY SEWER
PLAN & PROFILE**

C512

[illegible]

01/05/20

FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1

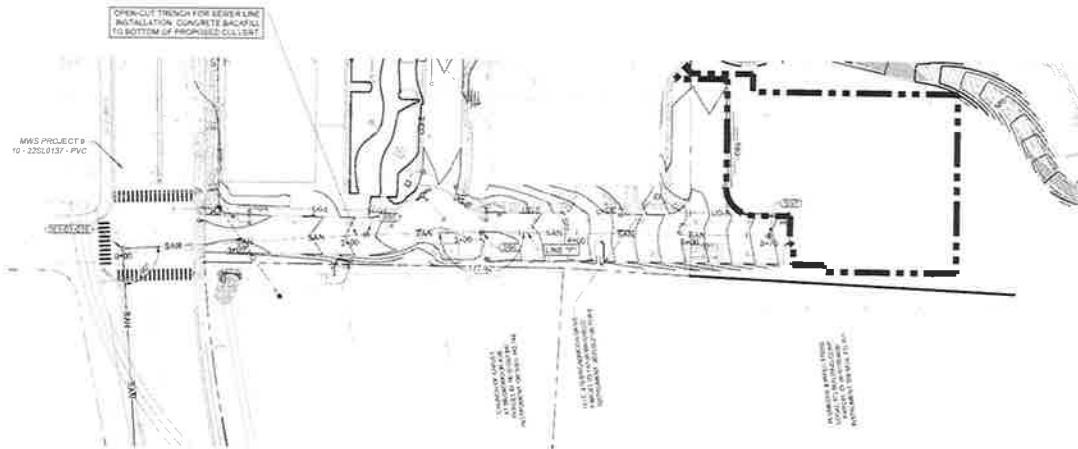
SP CASE NO: 2017SP-034-004
72 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B90000CO & 06100008500

METROPOLITAN NA SPC/STP

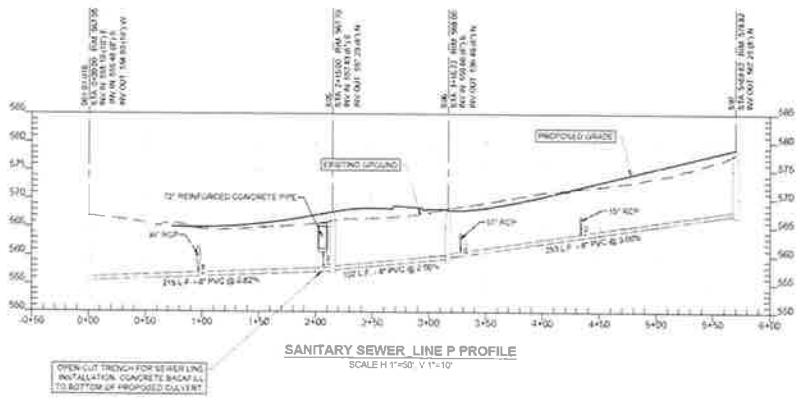
M2 GROUP
P.O. BOX 2343
BIRMINGHAM, TN 37604-2343

**SANITARY SEWER
PLAN & PROFILE**

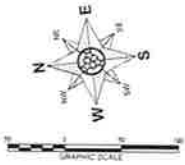
DATE: OCTOBER 26, 2025	DRAWN BY:	E.O.
PROJECT NO:	CHECKED BY:	KOS



PROPOSED SANITARY SEWER - LINE P PLAN VIEW
SCALE 1"=50'

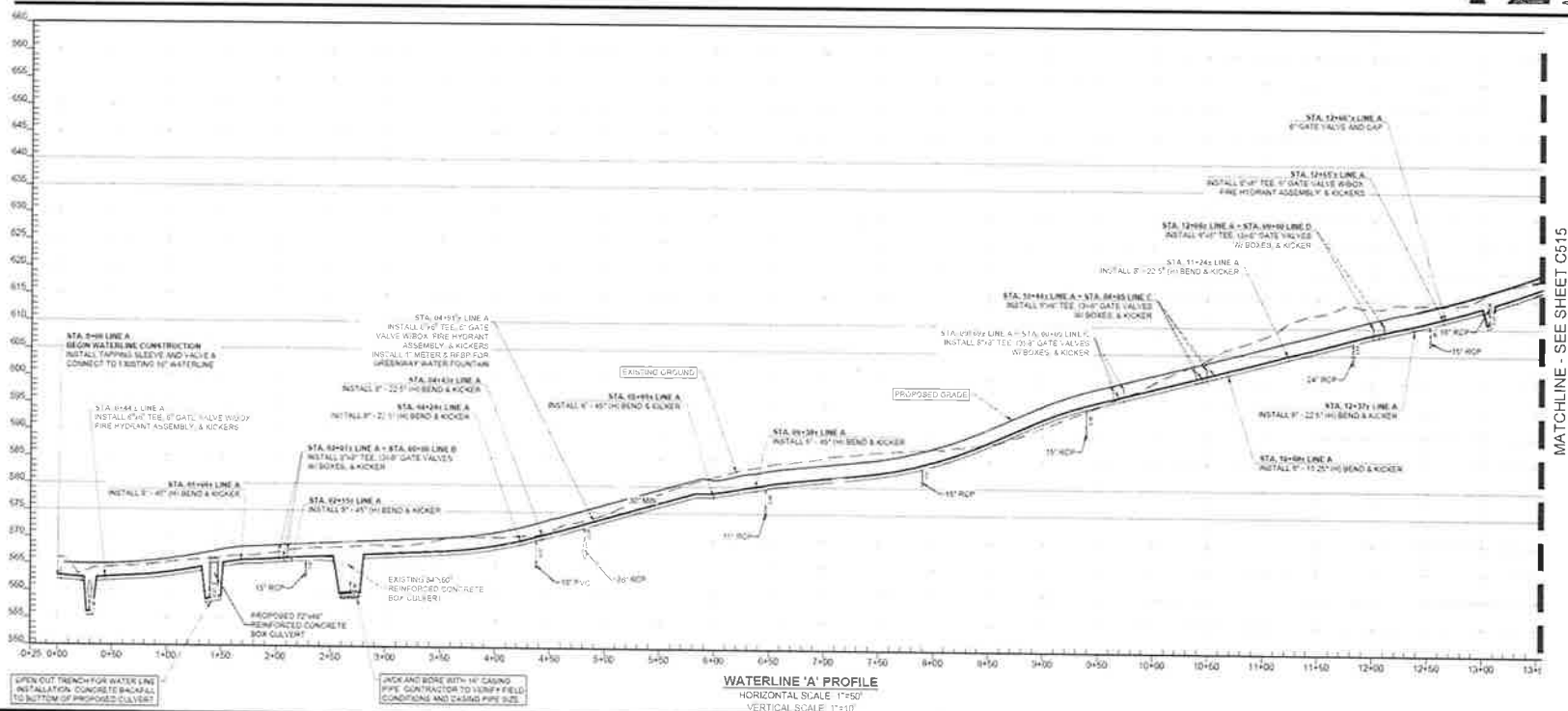
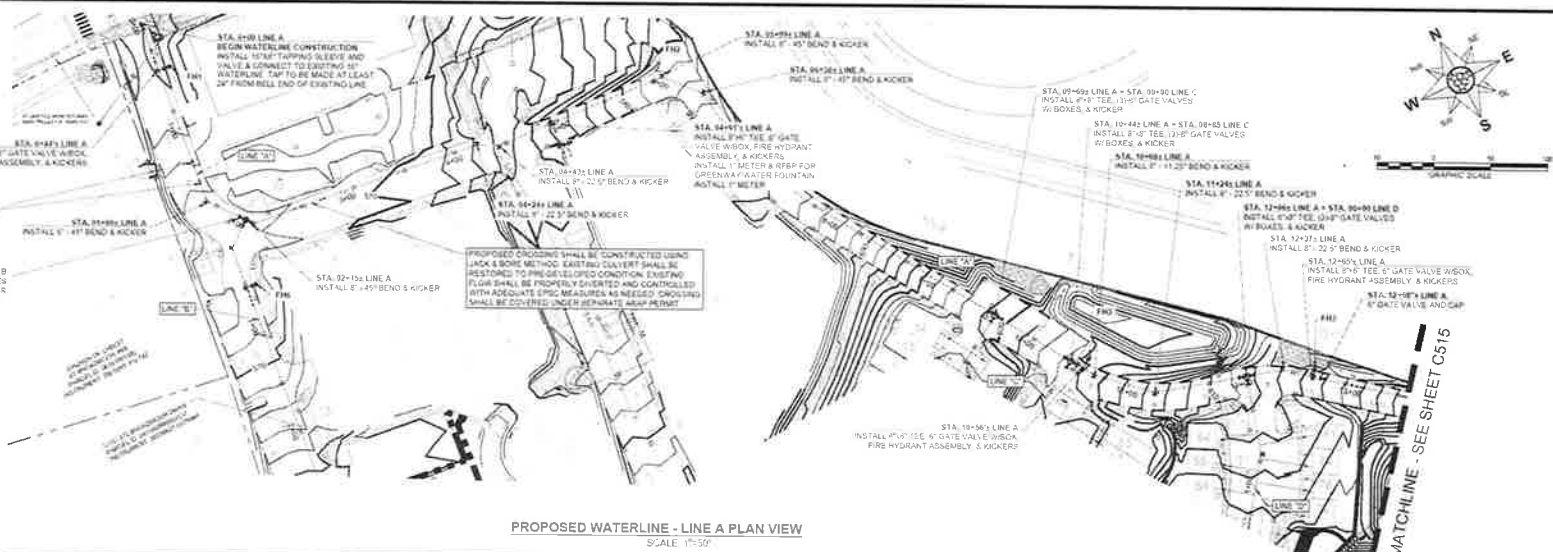


SANITARY SEWER LINE P PROFILE
SCALE 1"=50' V 1"=10'



DATE: 10/27/21		DRAWN BY: JLB		CHECKED BY: JLB	
PROJECT NO.: 22-028		CITY: COLUMBIA		COUNTY: CLATSOP	
SANITARY SEWER PLAN & PROFILE					
M2 GROUP					
FINAL SPECIFIC PLAN FOR OSAGE ARBOR AT BROADMOOR - PHASE 1					
272 BROADMOOR DRIVE & 223 BEN ALLEN ROAD					
PARCEL ID: 001608800000 & 001608000000					
CLATSOP COUNTY, OREGON					
DATE: 10/27/21					
DRAWN BY: JLB					
CHECKED BY: JLB					
C513					





Know what's below.
Call before you dig.

WATERLINE PLAN & PROFILE
LINE A

C514

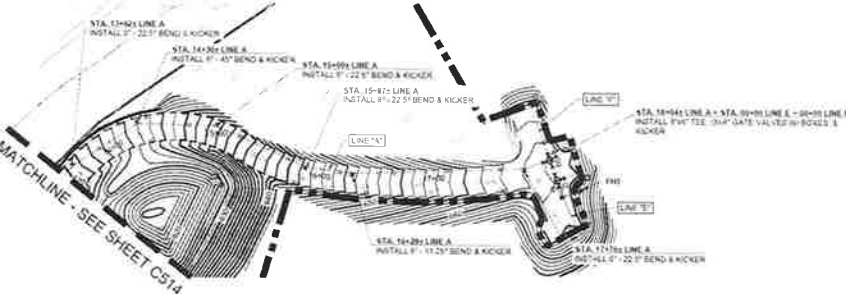
FINAL SPECIFIC PLAN FOR:
LOSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-034-004

M2 GROUP
P.O. BOX 2143
MILWAUKEE, WI 53224-2143

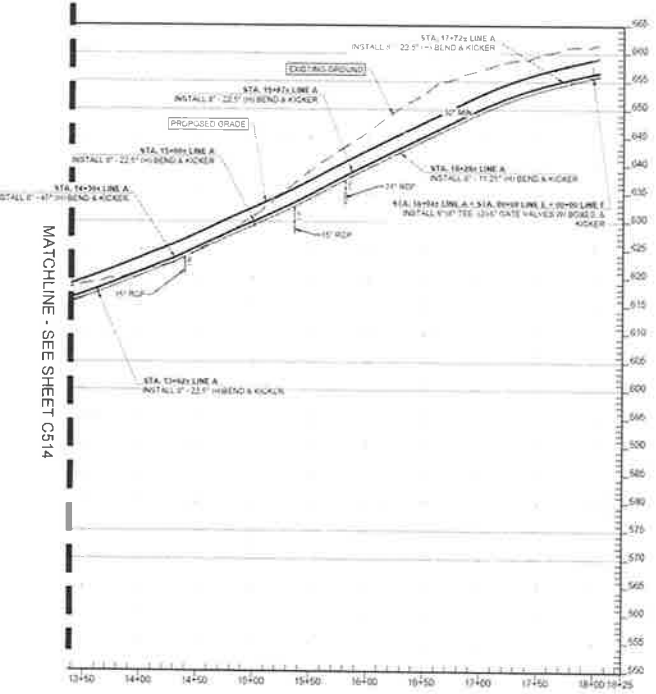
DATE:	OCTOBER 29, 2025	DRAWN BY:	
PROJECT NO.:	15-028	CHECKED BY:	

DATE: _____

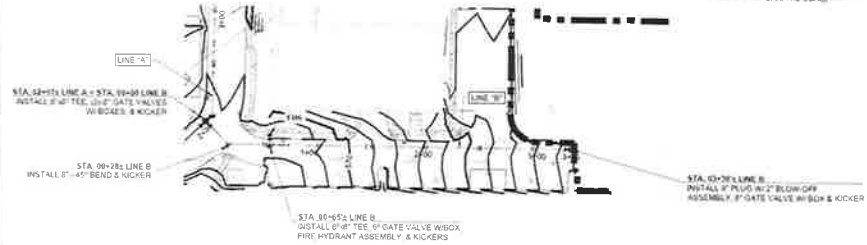
NOTE:
ALL PROPOSED WATERLINES
TO BE 8" DUCTILE IRON PIPE



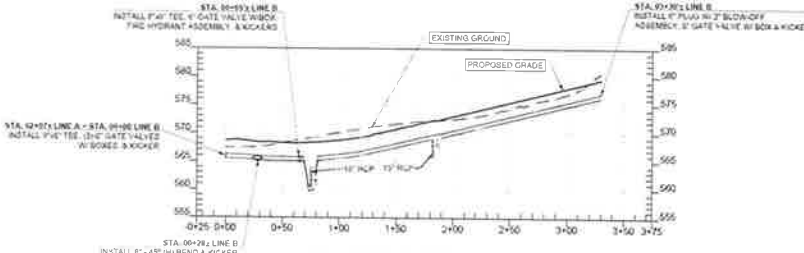
PROPOSED WATERLINE - LINE A PLAN VIEW
SCALE: 1"=50'



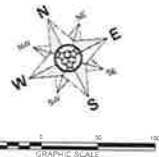
WATERLINE 'A' PROFILE CONT...
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'



PROPOSED WATERLINE - LINE B PLAN VIEW
SCALE: 1"=50'



WATERLINE 'B' PROFILE
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'



NO.	DATE	DESCRIPTION
1	10/20/2018	ISSUED FOR PERMIT
2	10/20/2018	ISSUED FOR PERMIT
3	10/20/2018	ISSUED FOR PERMIT
4	10/20/2018	ISSUED FOR PERMIT
5	10/20/2018	ISSUED FOR PERMIT
6	10/20/2018	ISSUED FOR PERMIT
7	10/20/2018	ISSUED FOR PERMIT
8	10/20/2018	ISSUED FOR PERMIT
9	10/20/2018	ISSUED FOR PERMIT
10	10/20/2018	ISSUED FOR PERMIT



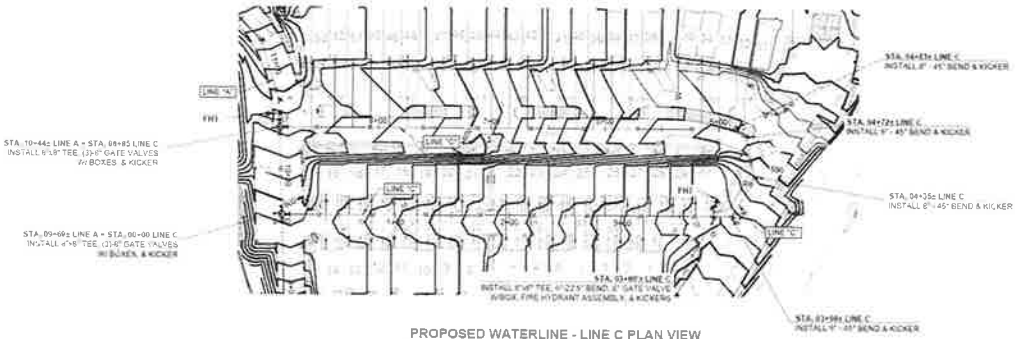
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 125 BEN ALLEN ROAD
PARCEL ID: 061508000000 & 061000000000
OSAGE ARBOR AT BROADMOOR - PHASE 1



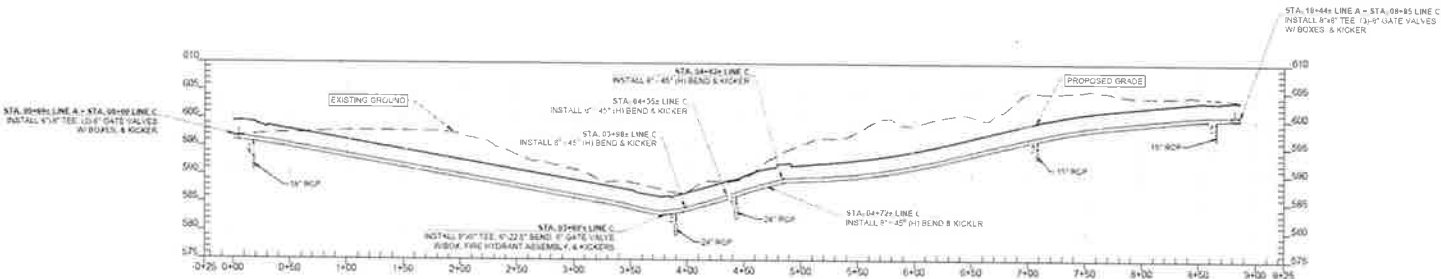
DATE	PROJECT NO.	PROJECT NAME	PROJECT LOCATION
10/20/2018	272-01	OSAGE ARBOR AT BROADMOOR - PHASE 1	272 BROADMOOR DRIVE & 125 BEN ALLEN ROAD

C515

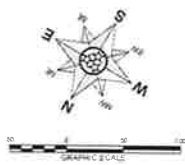
NOTE:
ALL PROPOSED WATERLINES
TO BE 8" DUCTILE IRON PIPE



PROPOSED WATERLINE - LINE C PLAN VIEW
SCALE: 1\"/>



WATERLINE 'C' PROFILE
HORIZONTAL SCALE: 1\"/>



REVISION	DATE	BY	CHKD
1	10/25/2018	JM	JK
2	11/15/2018	JM	JK
3	11/15/2018	JM	JK



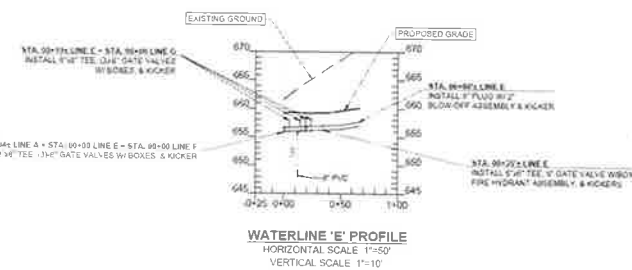
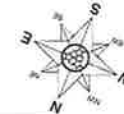
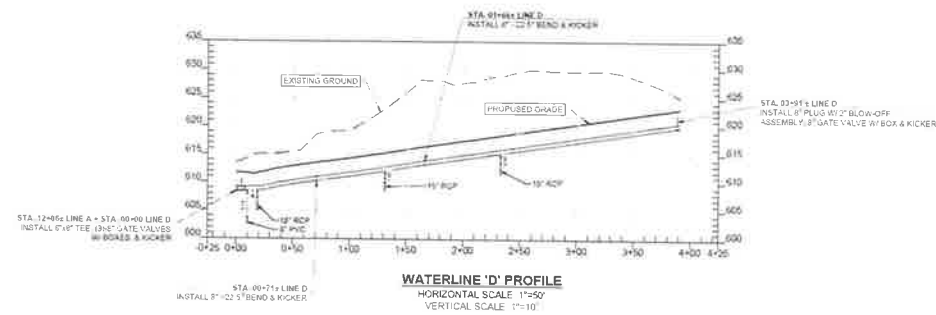
FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
OSAGE ARBOR DEVELOPMENT, LLC
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 001508360000 & 0010008590
DAWSON COUNTY, MISSOURI



WATERLINE PLAN & PROFILE - LINE C			
DATE:	OCTOBER 21, 2018	DRAWN BY:	JM
PROJECT NO.:	23478	CHECKED BY:	JK



C516

[illegible]

FINAL SPECIFIC PLAN FOR:
OSAGE ARBOR AT BROADMOOR - PHASE 1
SP CASE NO.: 2017SP-004-004
272 BROADMOOR DRIVE & 329 BEN ALLEN ROAD
PARCEL ID: 06150B000000 & 06100000500
WITFORD/CLAN MAPLE
DAVIDSON COUNTY, TENNESSEE

M2 GROUP
P.O. BOX 2843
BIRMINGHAM, TN 38248
978.888.4537 / M2CORPVALE.COM

WATERLINE PLAN & PROFILE -
LINE D + E

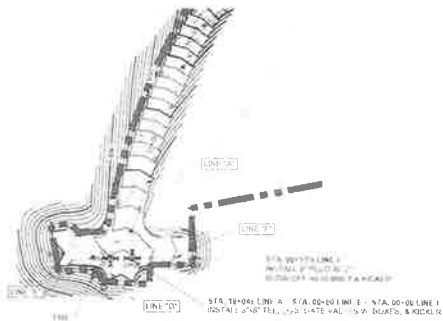
DATE:	OCTOBER 21, 2015	DRAWN BY:	FOI
PROJECT NO.:	89-028	CHECKED BY:	MR

C517

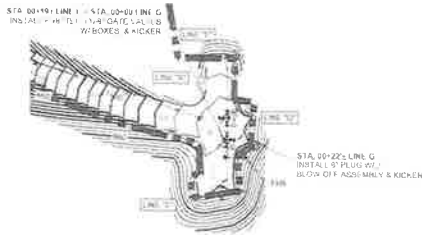


Know what's below.
Call before you dig.

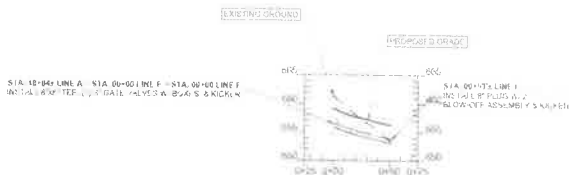
NOTE:
ALL PROPOSED WATERLINES
TO BE 8" DUCTILE IRON PIPE



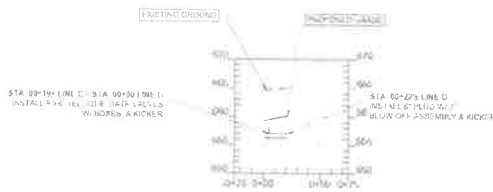
PROPOSED WATERLINE - LINE F PLAN VIEW
SCALE 1"=50'



PROPOSED WATERLINE - LINE G PLAN VIEW
SCALE 1"=50'



WATERLINE 'F' PROFILE
HORIZONTAL SCALE 1"=50'
VERTICAL SCALE 1"=10'



WATERLINE 'G' PROFILE
HORIZONTAL SCALE 1"=50'
VERTICAL SCALE 1"=10'

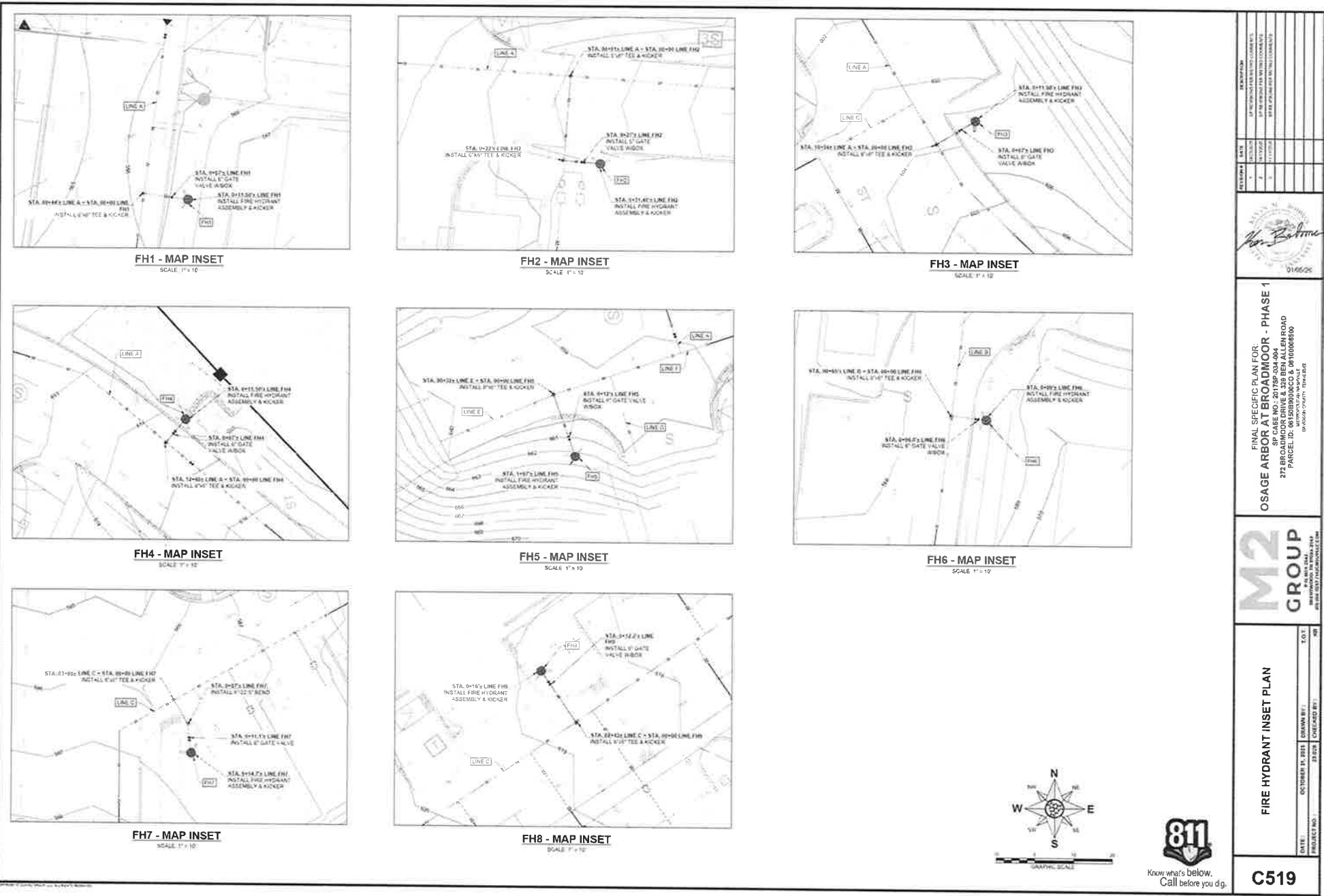


FINAL SPECIFIC PLAN FOR
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 323 BEE ALLEN ROAD
PARCEL ID: 06160180000000 & 06160180000000

M2 GROUP

WATERLINE PLAN & PROFILE -
LINE F + G

C518



REVISIONS	
NO.	DATE
1	01/06/20

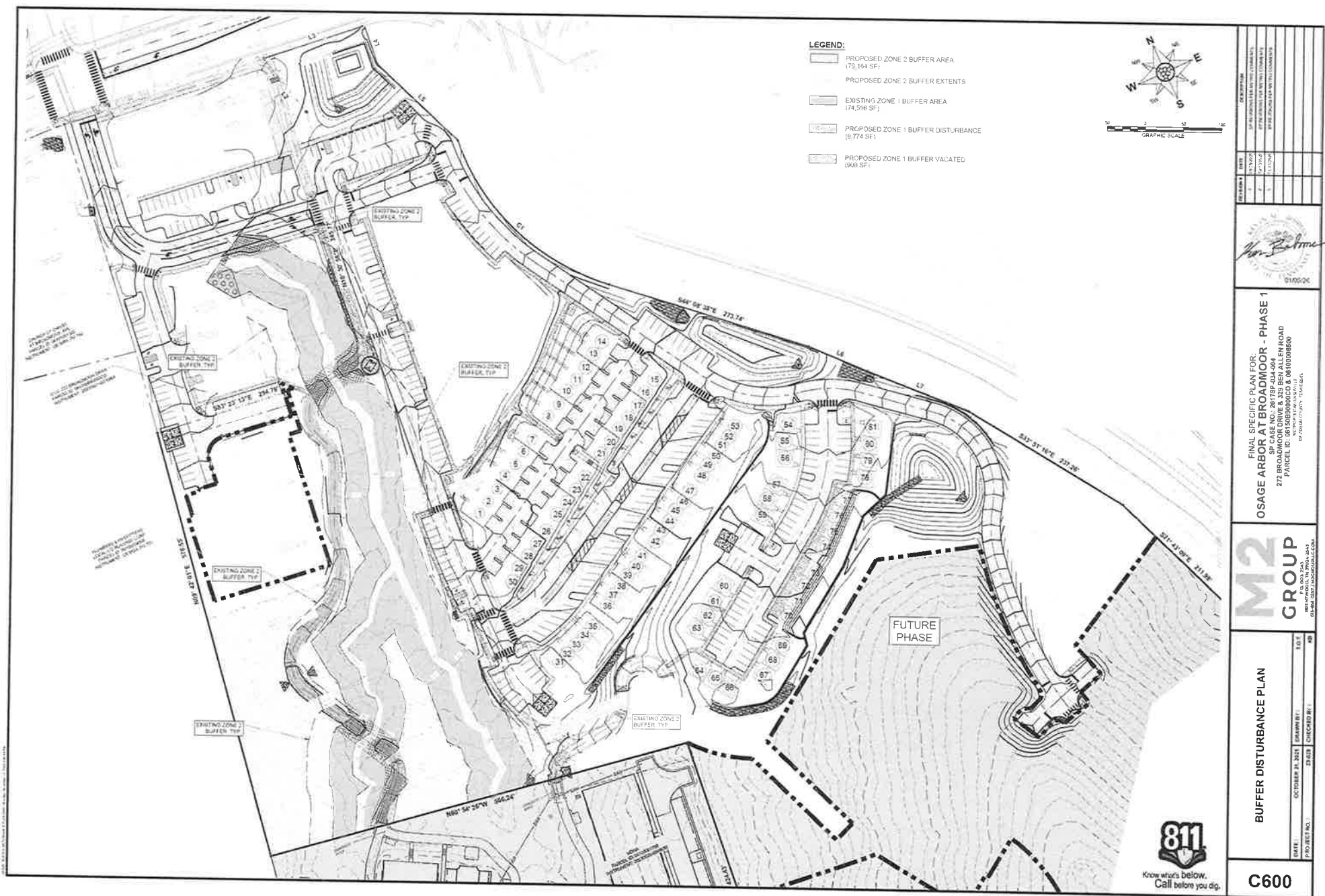
OSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 001508390000 & 0010008850
OSAGE COUNTY, MISSOURI

M2 GROUP
2727 N. 10TH ST.
SUITE 100
OMAHA, NE 68104

FIRE HYDRANT INSET PLAN

DATE:	OCTOBER 11, 2015	DRAWN BY:	T.O.T.
PROJECT NO.:	2727	CHECKED BY:	W.B.

C519



TREE HARVESTING NOTES

- 1. PREDETERMINED SPECIFIC TREES MAY BE HARVESTED AND STORED ON SITE FOR REUSE IN LATER PHASES. FINAL LIST TO BE DETERMINED.
- 2. TREES SHALL BE CUT NO SHORTER THAN 8' LENGTHS AND STOCKPILED ON SITE. FINAL LOCATION TO BE DETERMINED.
- 3. TREE SPECIES SHALL BE IDENTIFIED, TAGGED, AND CATALOGUED PRIOR TO MOVING.



LEGEND:

- TREE REMOVAL AREA
REFER TO LB.01 FOR REMOVAL LIST
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCING A
REFER TO LB.01 FOR DETAILS
- TREE PROTECTION FENCING B
REFER TO CIVIL DWG. FOR ALL SILT FENCING AND OTHER DEMOLITION

GENERAL NOTES

- 1. ALL TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY AND MUST COMPLY WITH METRO MUNICODE 17.28.065.D
- 2. THESE EXISTING TREES SHALL NOT BE DAMAGED. ANY DAMAGE CREATED DURING CONSTRUCTION SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE AND TO THE OWNER'S SATISFACTION.

TREE PROTECTION NOTES

- 1. THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE ROOT SYSTEMS OF THE EXISTING TREES. BULK MATERIAL, EQUIPMENT, SCAFFOLD FOOTINGS, OR VEHICLES SHALL NOT BE STOCKPILED OR PARKED WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREE (WHICHEVER IS GREATER: THIS IS DONE TO MINIMIZE SURFACE AND SUBSURFACE ROOT AND SOIL COMPACTION. THIS APPLIES TO ALL CRZS WITHIN OR OUTSIDE THE PROJECT LIMIT LINE. EVERY INCH OF DBH/DIAMETER (GREATEST HEIGHT) OF THE TREE REPRESENTS ONE REQUIRED RADIAL FOOT OF TREE PROTECTION.
- 2. NO MACHINERY SHALL BE ALLOWED WITHIN THE CRZ. IN THE EVENT THERE IS NO OTHER OPTION THEN THE AFFECTED AREA SHALL BE COVERED WITH MULCH TO A DEPTH OF AT LEAST TWELVE (12) INCHES AND COVERED WITH PLYWOOD OR METAL PLATES TO DISTRIBUTE WEIGHT IN ORDER TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT. SUCH COVERING SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION AND REMOVED BY HAND OR AS SPECIFIED BY THE CONTRACTED CERTIFIED ARBORIST OR FORESTRY INSPECTOR WITH ASSOCIATED PHOTOS REPORTED ACCORDINGLY. HEAT SOURCES, FLAMES, IGNITION SOURCES, AND SMOKING ARE PROHIBITED WITHIN THE CRZ AND WITHIN THE ABOVE MENTIONED MULCHED AREA.
- 3. IF APPLICABLE, TO BEST PROTECT TREE ROOTS THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN REMOVING CONCRETE OR ASPHALT WITHIN THE CRZ OF EXISTING TREES. PAVEMENT SHOULD BE LIFTED RATHER THAN DIAGGED. ANY EXCAVATION WITHIN THE CRZ OR ELSEWHERE ON SITE, AS INDICATED ON THE OVERALL TREE PLAN, SHALL BE DONE BY HAND OR PNEUMATIC EXCAVATION AND IN THE PRESENCE OF THE FORESTRY INSPECTOR OR CONTRACTED CERTIFIED ARBORIST.
- 4. NO RUNOFF OR SPILLAGE OF NOXIOUS MATERIALS WHILE MIXING, PLACING, OR STORING CONSTRUCTION MATERIAL SHALL OCCUR WITHIN THE TREE PIT OR CRZ. NO FLOODING, EROSION, OR EXCESSIVE WETTING CAUSED BY DEWATERING OPERATIONS SHALL OCCUR WITHIN TREE PIT OR CRITICAL ROOT ZONE.
- 5. IF APPLICABLE, PREPARATORY PRUNING WORK SHALL BE PERFORMED ONLY BY A CERTIFIED ARBORIST. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ANSI A300 STANDARDS AND BY A QUALIFIED, LICENSED, AND INSURED ARBORIST.
- 6. TREES SHOULD BE MONITORED ON A WEEKLY BASIS THROUGHOUT CONSTRUCTION FOR OVERALL HEALTH. IN THE EVENT THAT PEST PROBLEMS OCCUR, THEY SHOULD BE TREATED.
- 7. ALL EXISTING TREES TO REMAIN IN THE CRZ SHALL RECEIVE OVERALL CANOPY AND DEADWOOD PRUNING IN ACCORDANCE WITH ISA PRUNING STANDARDS AND PERFORMED BY A LICENSED ARBORIST IF APPLICABLE. TREES WILL BE CABLED FOR STRUCTURAL SUPPORT.
- 8. ALL WORK ASSOCIATED WITH THE PROTECTION OR REMOVAL OF EXISTING TREES (INCLUDING ROOT PRUNING, BRANCH PRUNING, AND SOIL TREATMENT) IS TO BE COMPLETED AND MONITORED BY A CERTIFIED ARBORIST. CONTRACTOR TO ARRANGE FOR CONSULTING ARBORIST TO BE ON SITE TO ADDRESS.
- 9. EXTREME CARE IS TO BE TAKEN DURING REMOVAL OF TREES TO NOT DAMAGE THE BARK, TRUNK, BRANCHES, OR ROOTS OF EXISTING TREES THAT WILL REMAIN.

1 PLAN: PHASE 1 A/B TREE REMOVAL PLAN
1" = 100' 0"



DATE: NOVEMBER 14, 2017
PROJECT NO.: 2017SP-034-004
SHEET NO.: 1 OF 1
CHECKED BY: [Signature]
DESIGNED BY: [Signature]

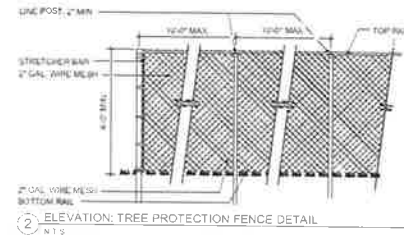
OSAGE ARBOR AT BROADMOOR - PHASE 1
2775 BROADMOOR AVENUE, SUITE 100
FARGO, ND 58103-1000
PROJECT NO.: 2017SP-034-004
SHEET NO.: 1 OF 1
CHECKED BY: [Signature]
DESIGNED BY: [Signature]

FINAL SP - PHASE 1
TREE REMOVAL PLAN



3. TREE PROTECTION NOTES:

1. ALL TREES TO REMAIN SHALL BE PROTECTED WITH TREE PROTECTION FENCING MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
2. TREE PROTECTION FENCING SHALL BE CREATED PRIOR TO THE COMMENCEMENT OF GRADING ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION. ANY DISRUPTION OR REMOVAL OF THE PROTECTED AREAS SHALL BE IMMEDIATELY REPORTED TO THE DISTRICT ENGINEER.
3. NO DISTURBANCES OR ANY CONSTRUCTION ACTIVITY INCLUDING CONSTRUCTION OF PAVEMENT SHALL OCCUR WITHIN TREE PROTECTION ZONES WITH THE EXCEPTION OF ACCESS GRANTED BY ADDRESS.
4. PLACE 18" X 24" SIGNS ALONG THE OUTER PERIMETER OF TREE PROTECTION ZONES.
5. TREE PROTECTION FENCING SHALL BE GALVANIZED CHAIN LINK FENCING OR BARRIER APPROVED EQUALLY.
6. TREE PROTECTION FENCING SHALL BE MAINTAINED AT ALL TIMES.
7. EACH TREE PROTECTION ZONE SHALL INCLUDE "TREE PROTECTION ZONE" SIGN, WHERE PAVEMENT EXCEEDS 20'. PLACE A MINIMUM OF ONE SIGN PER 20' OF EACH TREE PROTECTION ZONE.



*NOTE SPECIFIED TREES SHALL BE HARVESTED FOR FUTURE REUSE AROUND THE SITE.

[illegible]

275 BROADMOOR DRIVE & 320 BEN ALLEN ROAD
PARCEL ID: 06150B000000 & 06100008500

Hawkins Partners, Inc.

TREE REMOVAL DETAILS / LIST

DATE:	NOVEMBER 11, 2025	ENTERED BY:
PROJECT NO.:	23-028	CHECKED BY:

Caliper (in.)			Species			Caliper (in.)			Species			Caliper (in.)			Species		
1241	8.000	White thorn	1241	8.000	Juniper	1249	19.000	White pine	1254	19.000	Juniper	1259	8.000	Juniper	1264	8.000	Juniper
1242	8.000	White thorn	1242	8.000	Juniper	1250	19.000	White pine	1255	8.000	Juniper	1260	8.000	Juniper	1265	8.000	Juniper
1243	11.000	White thorn	1243	11.000	Juniper	1251	11.000	White pine	1256	8.000	Juniper	1261	8.000	Juniper	1266	8.000	Juniper
1244	7.000	White thorn	1244	7.000	Juniper	1252	12.000	White pine	1257	8.000	Juniper	1262	8.000	Juniper	1267	8.000	Juniper
1245	18.000	White thorn	1245	18.000	Juniper	1253	18.000	White pine	1258	8.000	Juniper	1263	8.000	Juniper	1268	8.000	Juniper
1246	18.000	White thorn	1246	18.000	Juniper	1254	18.000	White pine	1259	8.000	Juniper	1264	8.000	Juniper	1269	8.000	Juniper
1247	13.000	White thorn	1247	13.000	Juniper	1255	13.000	White pine	1260	8.000	Juniper	1265	8.000	Juniper	1270	8.000	Juniper
1248	13.000	White thorn	1248	13.000	Juniper	1256	13.000	White pine	1261	8.000	Juniper	1266	8.000	Juniper	1271	8.000	Juniper
1249	8.000	White thorn	1249	8.000	Juniper	1257	8.000	White pine	1262	8.000	Juniper	1267	8.000	Juniper	1272	8.000	Juniper
1250	8.000	White thorn	1250	8.000	Juniper	1258	8.000	White pine	1263	8.000	Juniper	1268	8.000	Juniper	1273	8.000	Juniper
1251	8.000	White thorn	1251	8.000	Juniper	1259	8.000	White pine	1264	8.000	Juniper	1269	8.000	Juniper	1274	8.000	Juniper
1252	8.000	White thorn	1252	8.000	Juniper	1260	8.000	White pine	1265	8.000	Juniper	1270	8.000	Juniper	1275	8.000	Juniper
1253	8.000	White thorn	1253	8.000	Juniper	1261	8.000	White pine	1266	8.000	Juniper	1271	8.000	Juniper	1276	8.000	Juniper
1254	8.000	White thorn	1254	8.000	Juniper	1262	8.000	White pine	1267	8.000	Juniper	1272	8.000	Juniper	1277	8.000	Juniper
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1264	8.000	White thorn	1264	8.000	Juniper	1272	8.000	White pine	1277	8.000	Juniper	1282	8.000	Juniper	1287	8.000	Juniper
1265	8.000	White thorn	1265	8.000	Juniper	1273	8.000	White pine	1278	8.							

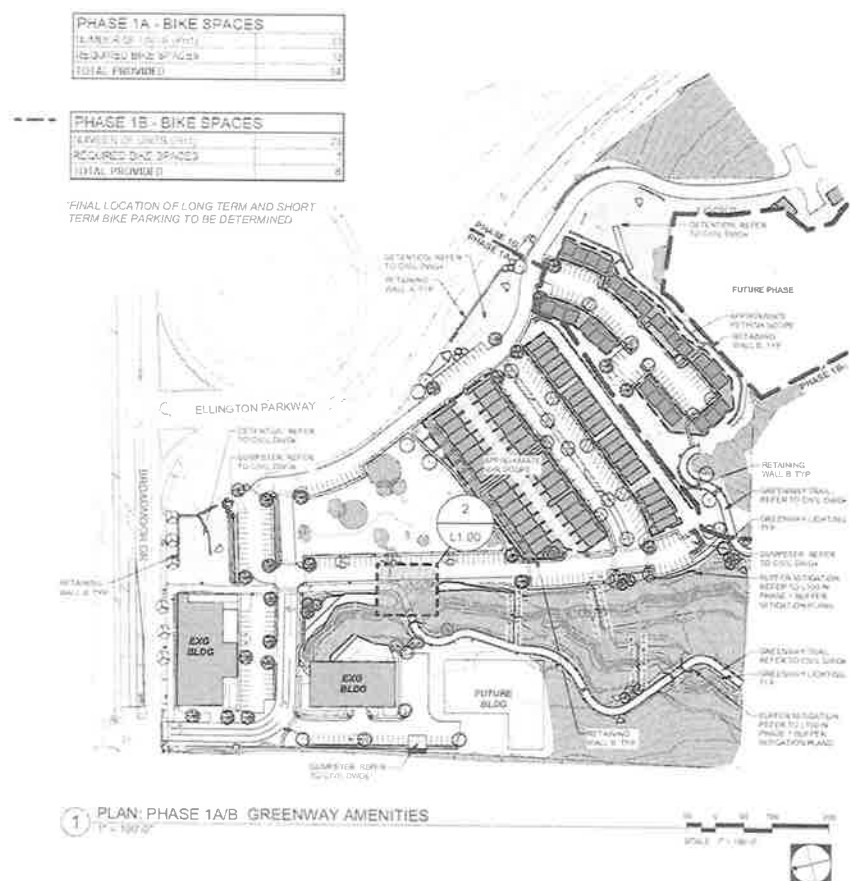
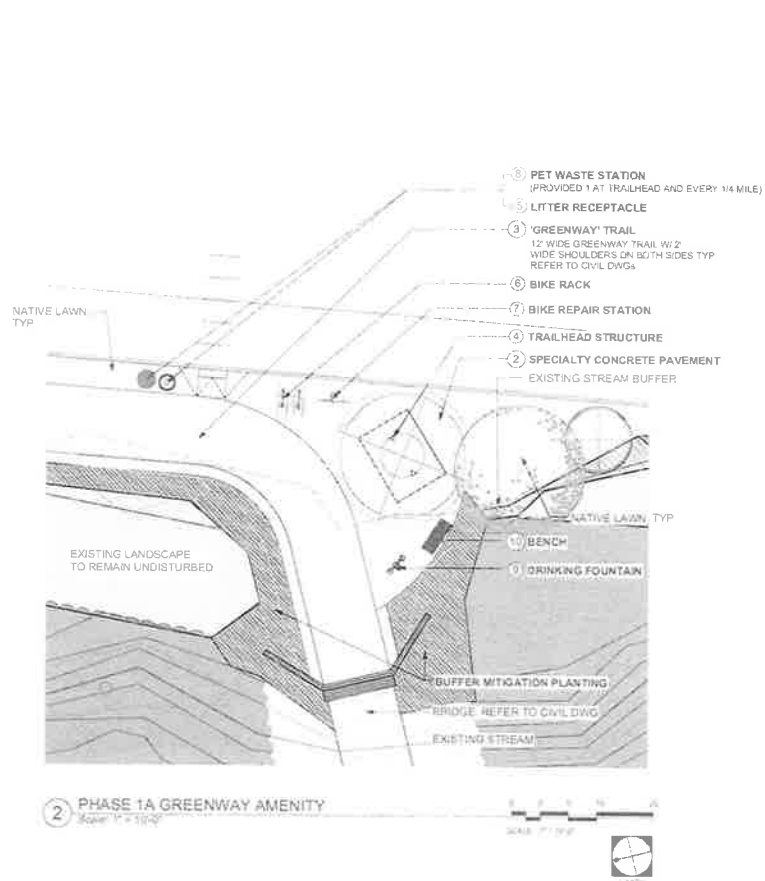
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* REFER TO L0.00 FOR TREE HARVESTING NOTES

BOSSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 061508090000CO & 061000008500

DATE:	NOVEMBER 11, 2025	DRAWING
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L0.02



LEGEND (GREENWAY TRAILHEAD)		LANDSCAPE, REFER TO L1.02		NOTES
PAVEMENT		SITE FURNITURE (@TRAILHEAD)		
① CONCRETE PAVEMENT REFER TO CIVIL DRAWINGS	⑤ LITTER RECEPTACLE PROVIDE (1) PER TRAILHEAD REFER TO S4.1.01B	 CANOPY TREE REFER TO L1.02	 NATIVE LAWN	1 LIGHTING FOR STREETS AND THROUGHOUT THE DEVELOPMENT WILL UTILIZE LIGHTING MEETING THE CRITERIA FOR DARK SKY COMPLIANCE OR OTHER LOW INTENSITY TECHNIQUES APPROVED BY PLANNING STAFF 2 GREENWAY FIXTURES TO MEET THE GREENWAY STANDARDS 3 REFER TO CIVIL DWGS FOR ALL GREENWAY TRAIL AND LIGHTING, BRIDGE, SIDEWALK, ROADWAY LAYOUT, UTILITIES, SITE GRADING, DRAINAGE, ETC. 4 ALL LANDSCAPE TO BE IRRIGATED WITH AUTOMATICALLY CONTROLLED, HIGH EFFICIENCY IRRIGATION SYSTEM WITH POP UP SPRAY HEADS AND DRIP IRRIGATION, WHERE APPLICABLE 5 SEED AND STRAW ALL DISTURBED AREAS NOT OTHERWISE NOTED AND AS NOTED IN THE LANDSCAPE PLAN 6 THIS DOCUMENTATION IS RESPECTIVE TO PHASE 1A/B ONLY FUTURE PHASES TO BE SUBMITTED AT A LATER DATE 7 FOR GREENWAY LIGHTING REFER TO LIGHTING DWGS
② SPECIALTY CONCRETE PAVEMENT SPECIALTY CONC PAVING TO MATCH METRO GREENWAY STANDARDS REFER TO L1.01	⑥ BIKE RACK PROVIDE 1 RACK PER 1/4 MILE, MINIMUM	 UNDERSTORY TREE REFER TO L1.02	 LANDSCAPE PLANTING	
③ "GREENWAY" TRAIL REFER TO CIVIL DRAWINGS	⑦ BIKE REPAIR STATION PROVIDE (1) STATION REFER TO S4.1.01B	 EVERGREEN TREE REFER TO L1.02	 EXISTING LANDSCAPE TO REMAIN UNDISTURBED	
④ TRAILHEAD STRUCTURE STRUCTURE TO MATCH METRO GREENWAY STANDARDS REFER TO L1.01	⑧ PET WASTE STATION PROVIDE (1) @ TRAILHEAD AND AT LEAST (1) PER EVERY 1/4 MILE REFER TO S4.1.01		 APPROXIMATE REMAINING CANOPY COVERAGE	
	⑨ DRINKING FOUNTAIN PROVIDE (1) PER TRAILHEAD REFER TO S4.1.01B AND CIVIL DWGS FOR WATER SOURCE		 BUFFER MITIGATION PLANTING (TOTAL SF: 5,536) -REFORESTATION W/ 1" AND 2" TREES 10' O.C. -NATIVE MEADOW SEED MIX GROUNDPLANE -EXISTING SOIL PLANTED WITH MEADOW MIX (REFER TO L1.00 OF BUFFER MITIGATION PLAN PHASE 1)	
	⑩ BENCH PROVIDE (1) PER TRAILHEAD REFER TO S4.1.01B			

SP CASE NO.: 2017SP-034-004

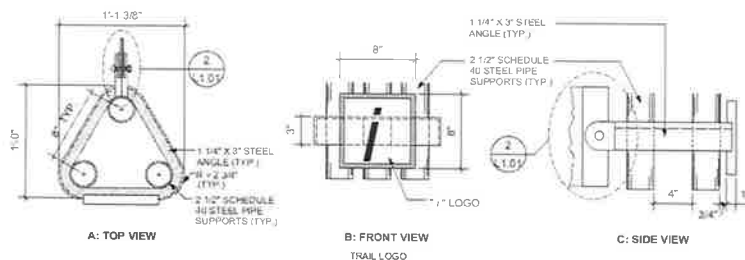
L1.00

MATERIAL PLAN

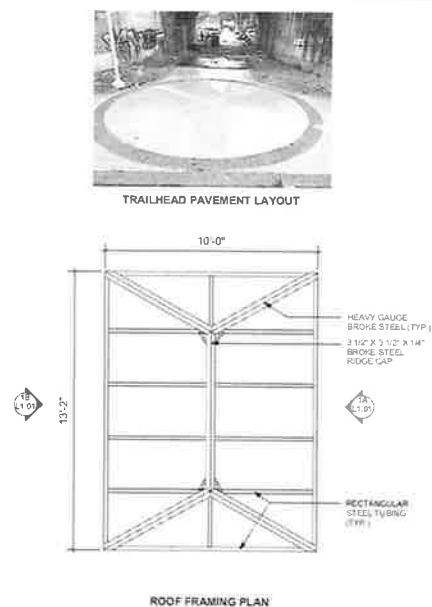
BOSSAGE ARBOR AT BROADMOOR - PHASE 1
272 BROADMOOR DRIVE & 328 BEN ALLEN ROAD
PARCEL ID: 06150890000000 & 081000008500

THE UNIVERSITY OF CHICAGO
 LIBRARY
 540 EAST 58TH STREET
 CHICAGO, ILL. 60637

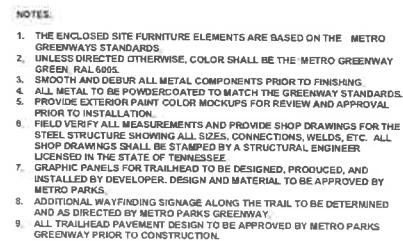
DATE	NOVEMBER 13, 2011	DRAWN BY
INSPECTED BY	ALG	CHECKED BY



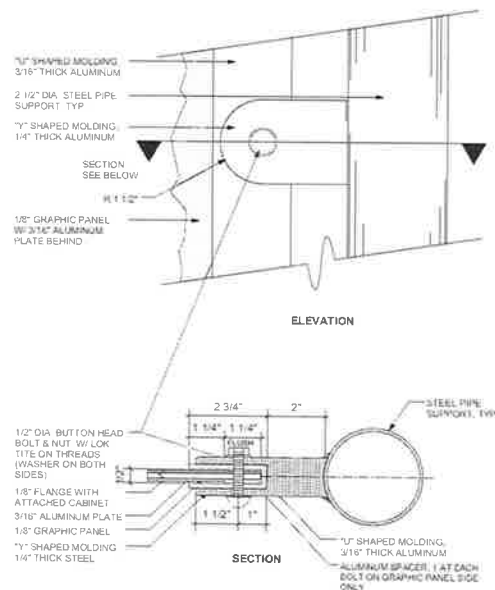
3 ELEVATION: TRAILHEAD DETAILS
SCALE: 2" = 1'-0"



ROOF FRAMING PLAN



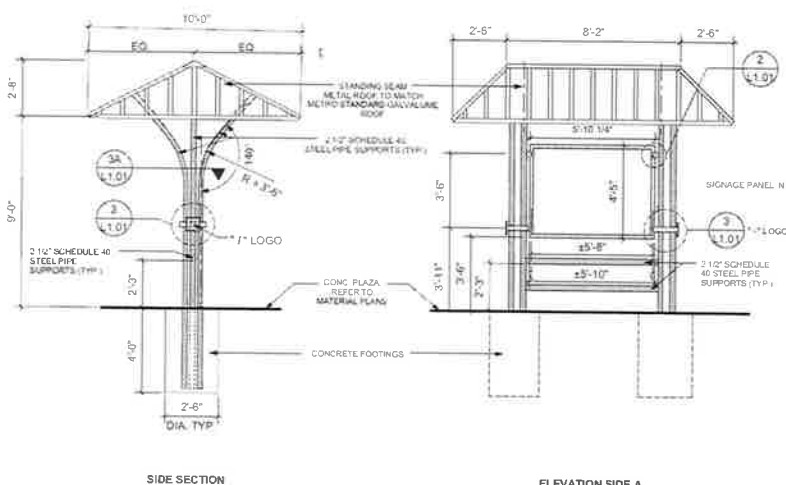
ELEVATION SIDE B



ELEVATION

4 PET WASTE STATION
1" x 1'-0"

2 SECTION/ELEVATION: PANEL FRAMEWORK
SCALE: HALF ACTUAL SIZE



SIDE SECTION

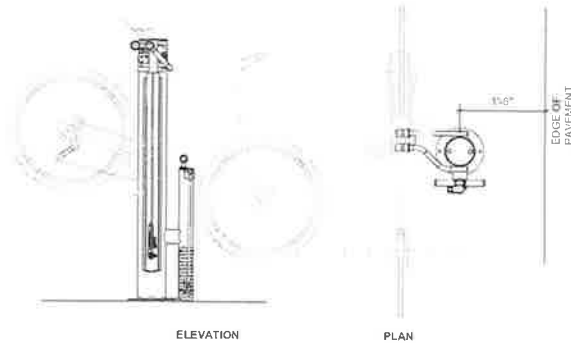
ELEVATION SIDE A

1 TYPICAL TRAILHEAD STRUCTURE
SCALE 3/8" = 1'-0"

MANUFACTURER: DERO Bike Rack Co.
MODEL: FIXIT W/ AIR KIT PRIME - Single Sided, Surface mounted
FINISH: COLOR TO BE SELECTED FROM STANDARD COLORS AND APPROVED BY METRO GREENWAYS, SUBMIT COLOR SAMPLES FOR REVIEW AND APPROVAL

www.dero.com
888-337-6729

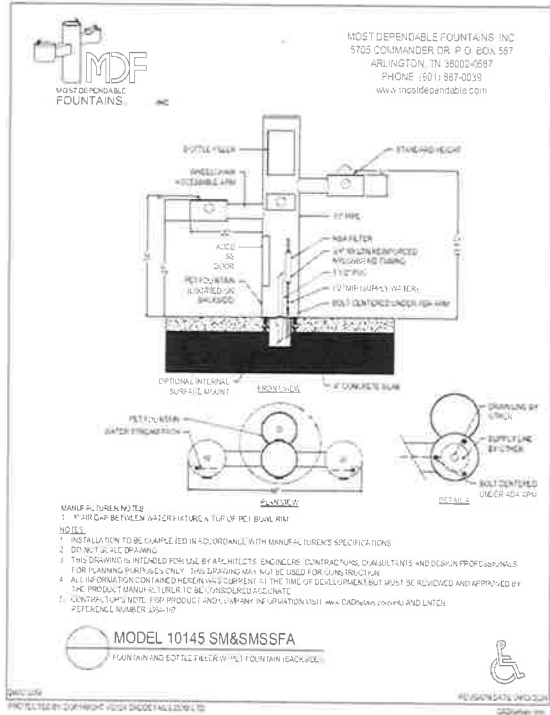
INSTALL PER MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.



6 DETAIL: BIKE REPAIR STATION
N.T.S.

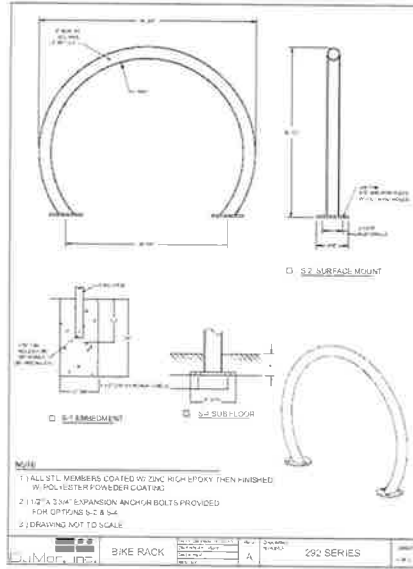
NOTES:

1. THE ENCLOSED SITE FURNITURE ELEMENTS (1-5) ARE BASED ON THE METRO GREENWAYS STANDARDS AND MUST COMPLY AS SUCH.
2. UNLESS DIRECTED OTHERWISE, COLOR SHALL BE THE METRO GREENWAY GREEN, RAL 6005.
3. THE BIKE RACKS FOR THE RESIDENTIAL UNITS AND A PART OF THE NVR DEVELOPMENT MAY BE A DIFFERENT BIKE RACK AND COLOR. THE ONES NOTED HERE ARE FOR THE GREENWAYS ONLY.

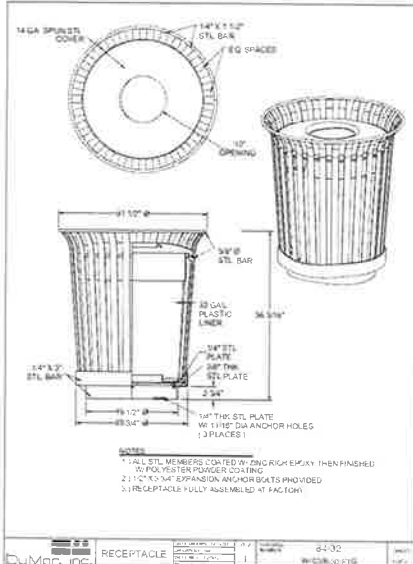


5 DETAIL: DRINKING FOUNTAIN
SCALE: 3/4" = 1'-0"

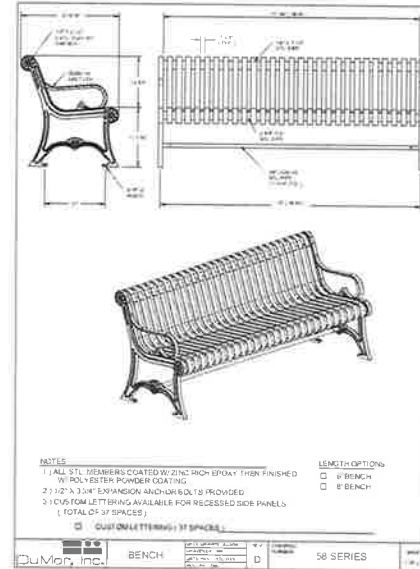
MOST DEPENDABLE FOUNTAINS, INC.
5705 COMMANDER DR. P.O. BOX 587
ARLINGTON, TN 38002-0587
PHONE: (901) 867-0039
www.mostdependable.com



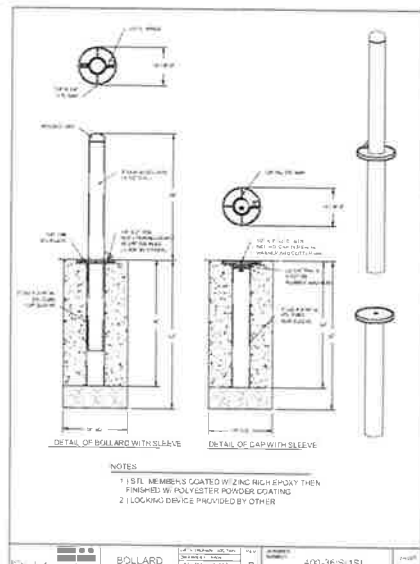
4 DETAIL: BIKE RACKS
N.T.S.



3 DETAIL: LITTER RECEPTACLES
SCALE: 1" = 1'-0"



2 DETAIL: GREENWAY BENCH
SCALE: 3/4" = 1'-0"



1 DETAIL: REMOVABLE BOLLARD
N.T.S.

FINAL SP - PHASE 1

OSAGE ARBOR AT BROADMOOR - PHASE 1

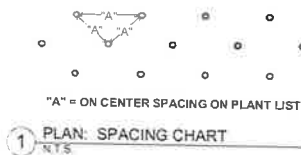
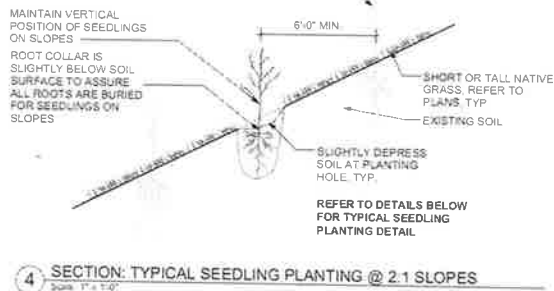
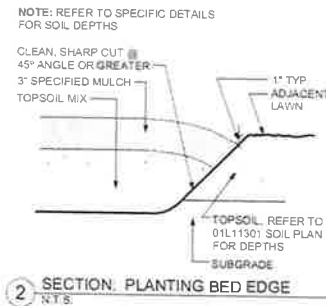
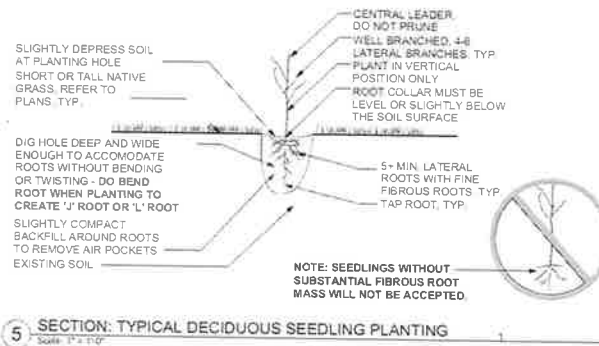
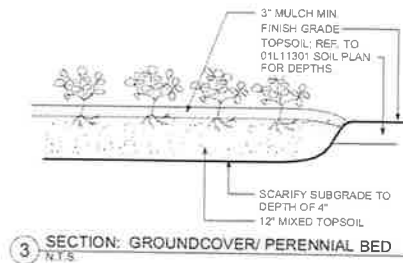
2700 S. BROADMOOR AVE. SUITE 100
PARCEL ID: 061508000000 & 061508000000

Hawkins Partners, Inc.

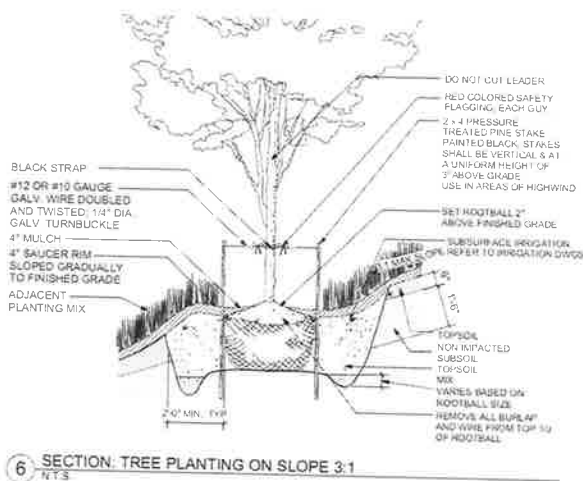
DATE: NOVEMBER 11, 2022
PROJECT NO.: 2700
DRAWN BY: JF
CHECKED BY: JF

HARDSCAPE DETAILS

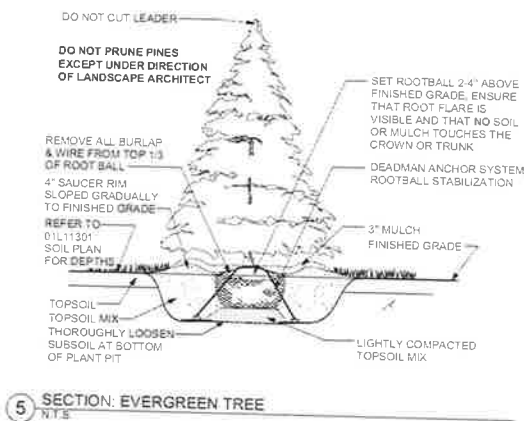
SP CASE NO.: 2017SP-034-004 L1.01B



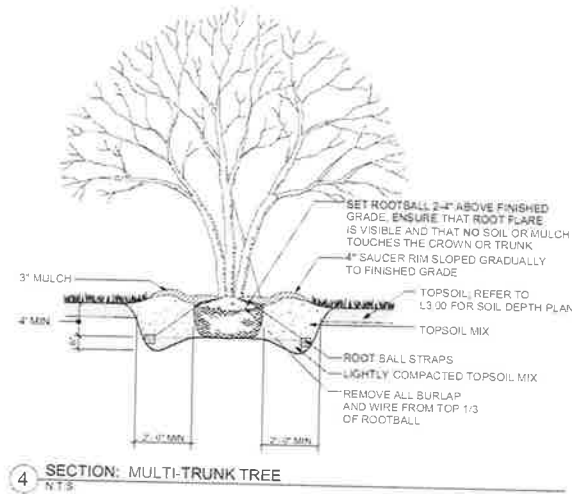
DATE :	NOVEMBER 11, 2025	DRAWN BY :
PROJECT NO. :	23-028	CHECKED BY :



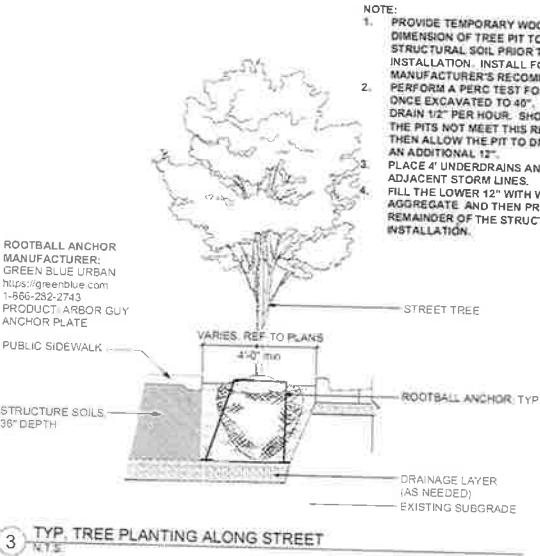
6 SECTION: TREE PLANTING ON SLOPE 3:1
N.T.S.



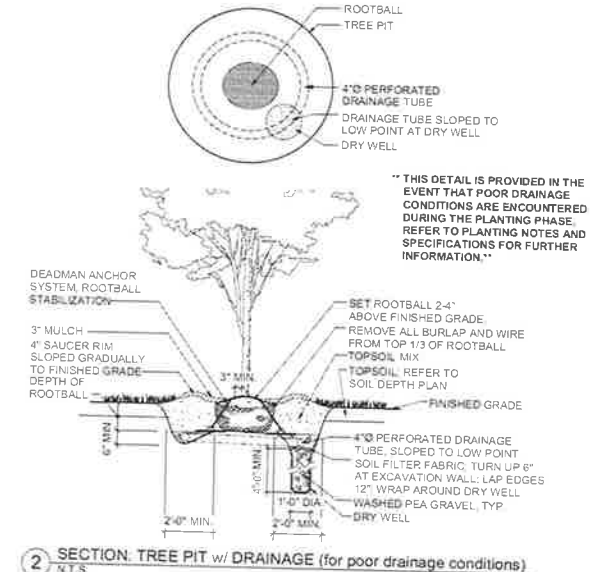
5 SECTION: EVERGREEN TREE
N.T.S.



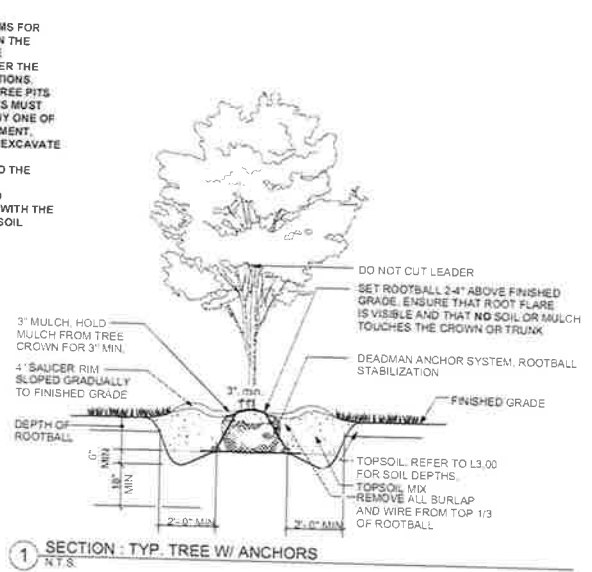
4 SECTION: MULTI-TRUNK TREE
N.T.S.



3 TYP. TREE PLANTING ALONG STREET
N.T.S.



2 SECTION: TREE PIT w/ DRAINAGE (for poor drainage conditions)
N.T.S.



1 SECTION: TYP. TREE W/ ANCHORS
N.T.S.

SP CASE NO.: 2017SP-034-004

FINAL SP - PHASE 1

OSAGE ARBOR AT BROADMOOR - PHASE 1
272 INROAD/DRIVE & 231 NEW ALLEN ROAD
PARCEL ID: 061508000000 & 0610000500
GALT REAL ESTATE, INC.

LANDSCAPE DETAILS

DATE: NOVEMBER 11, 2016
PROJECT NO.: 23-028
DRAWN BY: [Signature]
CHECKED BY: [Signature]



July 23, 2026

To: Antony Kwanya Metro General Services

**Re: Conservation Greenway Easement Agreement Osage Arbors Dev. Par.
Planning Commission Mandatory Referral 2026M-032AG-001
Council District # 05 Sean Parker, Council Member**

On behalf of the Metropolitan Planning Commission, the following item, referred to the Commission as required by the Metro Charter, has been recommended for *approval* to the Metropolitan Council:

An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Ben Allen Land Partners, LLC, for greenway improvements at 329 Ben Allen Road (Parcel No. 06100008500) (Proposal No. 2026M-032AG-001).

The relevant Metro agencies (Metro Parks, Nashville Department of Transportation, Metro Water Services, Metro Emergency Communications, the Nashville Electric Service, General ServicesPublic Property and the Metro Historical Commission) have reviewed the proposal and concur in the recommendation for approval. This request must be approved by the Metro Council to become effective. A sketch showing the location of the request is attached to this letter.

Conditions that apply to this approval: none

This recommendation for approval is given as set forth in the Metropolitan Planning Commission Rules and Procedures. If you have any questions about this matter, please contact Delilah Rhodes at Delilah.Rhodes@nashville.gov or 615-862-7208

Sincerely,

A handwritten signature in blue ink that reads "Robert Leeman".

Robert Leeman, AICP
Assistant Director Land Development Metro
Planning Department
cc: Metro Clerk

Re: **Conservation Greenway Easement Agreement Osage Arbors Dev. Par.**
 Planning Commission Mandatory Referral 2026M-032AG-001
 Council District # 05 Sean Parker, Council Member

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