

LEGISLATIVE TRACKING FORMFiling for Council Meeting Date: 08/04/26☒ Resolution ☐ OrdinanceContact/Prepared By: Antony KwanyaDate Prepared: 07/27/26Title (Caption): An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville andDavidson County, through the Metropolitan Board of Parks and Recreation, and Richland Creek MF Owner, LLC, for greenwayimprovements at 92 White Bridge Pike. (Proposal No.2026M-033AG-001)Submitted to Planning Commission? ☒ N/A ☐ Yes-Date: 7/10/2026 Proposal No: 2026M-033AG-001Proposing Department: General Services Requested By: Antony KwanyaAffected Department(s): Metro Parks Affected Council District(s): 24

Legislative Category (check one):

- | | | |
|---|---|--|
| ☐ Bonds | ☐ Contract Approval | ☐ Intergovernmental Agreement |
| ☐ Budget - Pay Plan | ☐ Donation | ☐ Lease |
| ☐ Budget - 4% | ☐ Easement Abandonment | ☐ Maps |
| ☐ Capital Improvements | ☒ Easement Accept/Acquisition | ☐ Master List A&E |
| ☐ Capital Outlay Notes | ☐ Grant | ☐ Settlement of Claims/Lawsuits |
| ☐ Code Amendment | ☐ Grant Application | ☐ Street/Highway Improvements |
| ☐ Condemnation | ☐ Improvement Acc. | ☐ Other: _____ |

FINANCE Amount +/-: \$ _____

Funding Source: Capital Improvement Budget
Capital Outlay Notes
Departmental/Agency Budget
Funds to Metro
General Obligation Bonds
Grant
Increased Revenue Sources

Approved by OMB: _____

Approved by Finance/Accounts: _____

Approved by Div Grants Coordination: _____

Match: \$ _____

Judgments and Losses
Local Government Investment Project
Revenue Bonds
Self-Insured Liability
Solid Waste Reserve
Unappropriated Fund Balance
4% Fund
Other: _____

Date to Finance Director's Office: _____

APPROVED BY _____

FINANCE DIRECTOR'S OFFICE: _____

ADMINISTRATION

Council District Member Sponsors: _____

Council Committee Chair Sponsors: _____

Approved by Administration: _____ Date: _____

DEPARTMENT OF LAW

Date to Dept. of Law: _____ Approved by Department of Law: _____

Settlement Resolution/Memorandum Approved by: _____

Date to Council: _____ For Council Meeting: _____ ☐ E-mailed Clerk☐ All Dept. Signatures ☐ Copies ☐ Backing ☐ Legislative Summary ☐ Settlement Memo ☐ Clerk Letter ☐ Ready to File

Department of Law – White Copy

Administration –Yellow Copy

Finance Department - Pink Copy

ORDINANCE NO. _____

An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Richland Creek MF Owner, LLC, for greenway improvements at 92 White Bridge Pike (Parcel No. 10311000100) (Proposal No. 2026M-033AG-001).

WHEREAS, Richland Creek MF Owner, LLC ("Owner") owns property located at 92 White Bridge Pike (Parcel No. 10311000100); and,

WHEREAS, pursuant to the greenway conservation easement attached hereto as Exhibit A and incorporated herein, Owner proposes to donate, and the Metropolitan Government proposes to accept a conservation greenway easement; and,

WHEREAS, pursuant to Tenn. Code Ann. § 66-9-305 and Metropolitan Charter § 2.01, the Metropolitan Government may accept donations of property interests for the purpose of establishing greenways and providing the public with recreational opportunities in natural areas; and,

WHEREAS, it is in the best interest of The Metropolitan Government of Nashville and Davidson County that the greenway conservation easement agreement be approved.

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That the agreement attached hereto as Exhibit A and incorporated herein is hereby approved, and the Director of Public Property is authorized to execute the same.

Section 2. The Director of Public Property, or his designee, is authorized to accept and record the greenway conservation easement agreement and to take such reasonable actions as may be necessary to carry out the intent of this ordinance.

Section 3. That this ordinance shall take effect from and after its final passage, the welfare of The Metropolitan Government of Nashville & Davidson County requiring it.

RECOMMENDED BY:

Monique Odom
Monique H. Odom, Director
Department of Parks and Recreation

Abraham Wescott
Abraham Wescott, Director
Public Property Administration

INTRODUCED BY:

Member(s) of Council

APPROVED AS TO AVAILABILITY
OF FUNDS:

Jenneen Reed/MJR

Jenneen Reed, Director
Department of Finance

APPROVED AS TO FORM AND
LEGALITY:

Kelli Woodward

Assistant Metropolitan Attorney

FREDDIE O'CONNELL, MAYOR

METROPOLITAN BOARD OF PARKS AND RECREATION

Centennial Park Office
Park Plaza at Oman Street
Nashville, TN 37201



(615) 862-8400
Fax (615) 862-8414
www.nashville.gov/parks

Monique Horton Odom, Director

May 5, 2026

Mr. David Diaz-Barriga
Planner of Greenways & Open Space
Metro Board of Parks and Recreation
P.O. Box 196340
Nashville, TN 37219-6340

Dear Mr. Diaz-Barriga:

The Metropolitan Board of Parks and Recreation Acquisition Committee, at its meeting held on Tuesday, May 5, 2026, approved staff's request of a dedicated Conservation Greenway Easement on property at 92 WHITE BRIDGE PIKE, NASHVILLE, TN. 37205, (Map and Parcel 10311000100), to serve as a connector to the Richland Creek Greenway. This greenway easement will conserve 0.438 acres of open space and support expansion of the Richland Creek Greenway network. The easement dedication was a condition of the Planning Commission's approval of the final site plan for Novel Richland Creek, 2021-009-002. Council District 24.

Sincerely,

Monique Horton Odom, Director
and Secretary to the Board

"It is the mission of Metro Parks and Recreation to sustainably and equitably provide everyone in Nashville with an inviting network of parks and greenways that offer health, wellness and quality of life through recreation, conservation and community"



FOR ADA ACCOMMODATIONS, PLEASE CONTACT 615-862-8400

WE ARE AN EQUAL OPPORTUNITY EMPLOYER

This instrument prepared by:
Metropolitan Department of
Law, 108 Metropolitan
Courthouse, Nashville, TN
37201

AGREEMENT FOR GRANT OF EASEMENT

for

CONSERVATION GREENWAY

THIS AGREEMENT, made and entered into this the 15TH day of APRIL, 202⁶, by and between **The Metropolitan Government of Nashville and Davidson County**, acting by and through its Board of Parks and Recreation (herein referred to as "Metro"), and **Richland Creek MF Owner, LLC**, a Delaware limited liability company, property owner (herein referred to as Grantor).

WHEREAS, Metro recognizes the increasing benefit of protecting open spaces within the Metropolitan Government area; and

WHEREAS, greenways provide the general public with recreational opportunities in natural areas, preserve, and protect native plant and animal species and their habitat, and provide low-impact transportation routes for pedestrian and bicycle traffic; and

WHEREAS, Metro, by Ordinance No. 091-13, created a Greenways Commission to assist Metro in the development of a system of open space greenways; and

WHEREAS, Grantor is the sole owner in fee simple of certain real property in Davidson County, Tennessee, more particularly described in Exhibit A attached hereto and incorporated by this reference (herein referred to as "the Property"); and

WHEREAS, the Property possesses natural, open space, and recreational values (collectively, "conservation values") of great importance to Grantor and the people of Nashville and Davidson County; and

WHEREAS, Grantor intends that the conservation values of the Property be preserved and made more accessible for public enjoyment by the anticipated incorporation and maintenance of the property as part of the Metro greenways system; and

WHEREAS, Grantor further intends, as owner of the Property, to convey to Metro the right to preserve and protect the Easement (as hereinafter defined) in perpetuity; and

WHEREAS, Metro has the authority to accept this grant pursuant to Tennessee Code Annotated, Section 66-9-305(d), and Section 11.1002 of the Metropolitan Charter; and

WHEREAS, Metro agrees by accepting this grant to honor the intentions of Grantor stated herein, and to preserve and protect, in perpetuity, the conservation values of the Property for the benefit of the people of Tennessee and the public-at-large.

NOW, THEREFORE, in consideration of the above and the mutual covenants, terms, conditions, and restrictions contained herein, Grantor hereby voluntarily grants and conveys to Metro, its successors and assigns, a non-exclusive easement in perpetuity for the purposes described in Section 1 hereof (the "Easement") over the portion of Grantor 's Property more particularly shown on Exhibit B and described on Exhibit C attached hereto and incorporated by this reference (herein referred to as the "Easement Area").

1. Purpose. It is the purpose of this grant to allow Metro to utilize the Easement Area for one or more of the following: a pathway for pedestrian or bicycle travel, paved greenway trail, and/or natural area. At Grantor sole expense, Grantor shall construct the paved greenway trail, trail shoulders, and greenway amenities (the "Amenities"), including without limitation signage and structure, lighting, and install landscaping (the "Landscaping"), as shown on the Final Site Plan attached hereto as Exhibit D. Grantor further shall forever maintain the Amenities, and Landscaping upon inspection and acceptance. For avoidance of doubt, Grantor's obligations under this paragraph shall run with the land and are binding on Grantor's successors and assigns. Grantor shall have the right to use the Easement Area in a manner that does not interfere with, and is not otherwise inconsistent with, the purpose of the Easement set forth herein. In addition, Grantor

shall have the right to temporarily close and/or barricade the Easement Area to the extent reasonably required for Grantor to maintain, repair and or replace the Easement Area and/or any improvements that may exist from time to time on the Property, and to otherwise maintain the Property. For purposes of clarity, Grantor shall have the right to grant, install and maintain utilities within the Easement Area and to access the Easement Area for purposes of maintaining and operating Grantor's Property. Grantor shall notify Metro Parks Greenways via HUB or a subsequent Metro customer service system 30 days in advance, or as soon as otherwise possible, of any planned greenway closure including the purpose, anticipated start and end dates, and a contact name and phone number. Grantor shall install appropriate safety barriers and detour signage during necessary closure periods.

2. Rights of Metro. To accomplish the purpose of the Easement, the following rights are conveyed to Metro by this grant:

- a. intentionally omitted; and
- b. To construct and maintain a pathway to be located within the Easement Area, including, at the discretion of Metro, necessary trailheads, signage, benches, and other improvements consistent with the recreational and educational uses of the pathway and other conservation values; and
- c. To prevent any activity on or use of the Property that is inconsistent with the purpose of the Easement and to require the restoration of such areas or features of the Property that may be damaged by any inconsistent activity or use.

3. Metro Covenants. Metro, by accepting this grant, covenants and agrees, on behalf of itself, its successors and assigns, that the following shall constitute real covenants that shall attach to and run with the Easement hereby granted and shall be binding upon anyone who may hereafter come into ownership of such Easement Area, whether by purchase, devise, descent, or succession, or to be authorized to use said Easement Area:

- a. It will make the Easement Area available for use by all members of the general public without distinction or illegal discrimination on the grounds of race, color, national origin, handicap, or age.
- b. It will adopt rules and regulations governing the use of the Easement Area so as not to permit or suffer any use of the Easement by the general public in violation of such rules and regulations. At a minimum, the rules and regulations will provide as follows:
 - i. That the hours of public access of the Easement Area shall be from dawn to 10:00 p.m.
 - ii. That all persons, other than Grantor, utilizing the Easement Area must remain on the pathway.
 - iii. That all pets of persons utilizing the Easement Area must be on a leash at all times.
 - iv. That the following activities shall be strictly prohibited within the Easement Area:
 - 1. consumption or possession of alcoholic beverages;
 - 2. horseback riding;
 - 3. unauthorized motor vehicles; ebikes are permitted as defined under applicable state law;
 - 4. collecting or distributing plants, animals or other natural features;
 - 5. littering or dumping;
 - 6. possession of firearms, weapons or projected objects (consistent with state law);
 - 7. playing of radios, musical instruments or other devices in a manner that might disturb others;
 - 8. vending or other concessions without proper permits;

9. advertising or posting of bills;
10. trespassing on adjacent property of Grantor;
11. any unlawful activities.

4. Other Prohibited Uses. Any activity on or use of the Property inconsistent with the purpose of the Easement is prohibited. The aforementioned express prohibitions shall not limit the generality of this paragraph.

5. Reserved Rights. Grantor reserves to itself, and to its personal representatives, heirs, successors, and assigns, all rights accruing from their ownership of the Property, including the right to engage in or permit or invite others to engage in all uses of the Property that are not expressly prohibited herein and are not inconsistent with the purpose of the Easement or Grantor's reserved rights herein. Further, Grantor reserves the right to maintain the subject property consistent with the purposes herein set forth and will maintain it in accordance with all local laws until greenway improvements are accepted by Metro.

6. Metro's Remedies. If Metro determines that Grantor is in violation of the terms of this Agreement or that a violation is threatened, Metro shall give written notice to Grantor of such violation and demand corrective action sufficient to cure the violation and, where the violation involves injury to the Easement Area resulting from any use or activity inconsistent with the purpose of the Easement, to restore the portion of the Easement Area so injured. If Grantor fails to cure the violation within thirty (30) days after receipt of notice thereof from Metro or, under circumstances where the violation cannot reasonably be cured within a thirty (30) day period, fails to continue diligently to cure such violation until finally cured, Metro may bring an action in a court of competent jurisdiction to enforce the terms of this Agreement to enjoin the violation by temporary or permanent injunction, and to recover any direct damages to which it may be entitled for violation of the terms of this Agreement, and to require the restoration of the Easement Area to the condition that existed prior to any such injury. If Metro, in its sole discretion, determines that circumstances require immediate action to prevent or mitigate

significant damage to the Easement Area, Metro may pursue its remedies under this paragraph without prior notice to Grantor or without waiting for the expiration of the period provided for cure. Metro's rights under this paragraph apply equally in the event of either actual or threatened violations of the terms of this Agreement. Metro's remedies described in this paragraph shall be cumulative and shall be in addition to all remedies now or hereafter existing at law or in equity.

7. Metro's and Grantor's Discretion. Enforcement of the terms of this Agreement shall be at the discretion of Metro or Grantor, as applicable, and any forbearance by Metro or Grantor, as applicable, to exercise its rights under this Agreement in the event of any breach of any terms of this Agreement by Grantor or Metro, as applicable, shall not be deemed or construed to be a waiver by Metro or Grantor, as applicable, of such term, or of any subsequent breach of the same, or any other term of this Agreement, or of any of Metro's or Grantor's, as applicable, rights under this Agreement. No delay or omission by Metro or Grantor, as applicable, in the exercise of any right or remedy upon any breach by the other party shall impair such right or remedy or be construed as a waiver.

8. Intentionally Omitted.

9. Acts Beyond Grantor's Control. Nothing contained in this Agreement shall be construed to entitle Metro to bring any action against Grantor for any injury to or change in the Property resulting from causes beyond Grantor's control, including, without limitation, fire, flood, storm, and earth movement, or from any prudent action taken by Grantor under emergency conditions to prevent, abate, or mitigate significant injury to the Property resulting from such causes.

10. Amendment. If circumstances arise under which an amendment to or modification of this Agreement is appropriate, the Grantor, or the then current owner of the Property, and Metro are free to jointly amend this Agreement without prior notice to any other party; provided that any amendment shall be in writing signed by both parties; shall be consistent with the purpose of the Easement; shall

not affect its perpetual duration; and shall have the unanimous consent of the Metro Greenways Commission.

11. Extinguishment. If circumstances arise in the future that render the purpose of the Easement impossible to accomplish, the Easement can only be terminated or extinguished, whether in whole or in part, by judicial proceedings in a court of competent jurisdiction.

12. Assignment. Metro's rights in this Easement are transferable, but Metro may assign its rights and obligations under this Agreement only to an organization that is a qualified organization at the time of transfer under Section 170(h) of the Internal Revenue Code of 1954, as amended, and the applicable regulations promulgated thereunder and authorized to acquire and hold conservation easements. As a condition of such transfer, Metro shall require that the conservation purposes which this grant is intended to advance continue to be carried out.

13. Subsequent Transfers. The Easement and rights described herein are easements appurtenant, running with title to the Property, and shall be binding on the Property and Grantor's heirs, legal representatives, successors and assigns.

14. General Provisions.

a. Controlling Law. The interpretation and performance of this Agreement shall be governed by the laws of the State of Tennessee.

b. Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Agreement shall be liberally construed in favor of the grant to effect the purpose of the Easement and the policy and purpose of Tenn. Code Ann. §§ 66-9-301 to 309. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of the Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

c. Severability. If any provision of this Agreement, or the application thereof to any person or circumstance, is found to be invalid, the

remainder of the provisions of this Agreement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, shall not be affected thereby.

d. Entire Agreement. This instrument sets forth the entire agreement of the parties with respect to the Easement and supersedes all prior discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with paragraph ten (10).

e. Successors. The covenants, terms, conditions, and restrictions of this Agreement shall be binding upon, and inure to the benefit of, the parties hereto and their respective personal representatives, heirs, successors, and assigns, and shall continue as a servitude running in perpetuity with the Property.

TO HAVE AND TO HOLD said Easement unto Metro, its successors, and assigns, forever.

IN WITNESS WHEREOF, we have caused this instrument to be executed as
of this _____ day of _____, 20__.

GRANTOR:

RICHLAND CREEK MF OWNER, LLC,
a Delaware limited liability company

By: Richland Creek MF Venture, LLC, a
Delaware limited liability company,
its Sole Member

By: CC Richland Creek Member, LLC, a
Delaware limited liability company,
its Manager

By: Crescent Communities, LLC, a
Delaware limited liability company,
its Manager

By: 7.7.17C
Jason LaBonte, Executive Vice President

STATE OF North Carolina

COUNTY OF Mecklenburg

On this the 10th day of December 2025 before me personally appeared
Jason LaBonte, known to me (or satisfactorily proven) to be the person whose name is
subscribed to the within instrument and acknowledged that he/she executed the same for
the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Abigail Mulligan
NOTARY PUBLIC

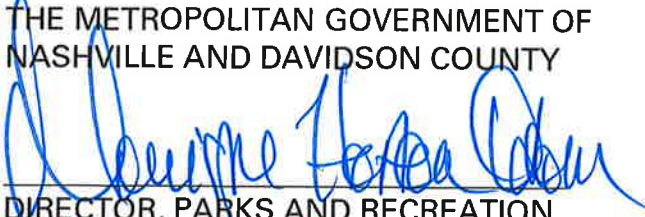
My Commission Expires: 5/19/27

ABIGAIL MULLIGAN
Notary Public, North Carolina
Mecklenburg County
My Commission Expires
May 19, 2027

STATE OF TENNESSEE)
)

ACCEPTED:

THE METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY



DIRECTOR, PARKS AND RECREATION

COUNTY OF DAVIDSON)

On this the 15th day of April, 2020, before me personally appeared Monique Horton Odom who acknowledged herself to be the Director of the Metropolitan Government Department of Parks and Recreation, and that she, as such Director, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.



NOTARY PUBLIC

My Commission Expires: 3/5/2030



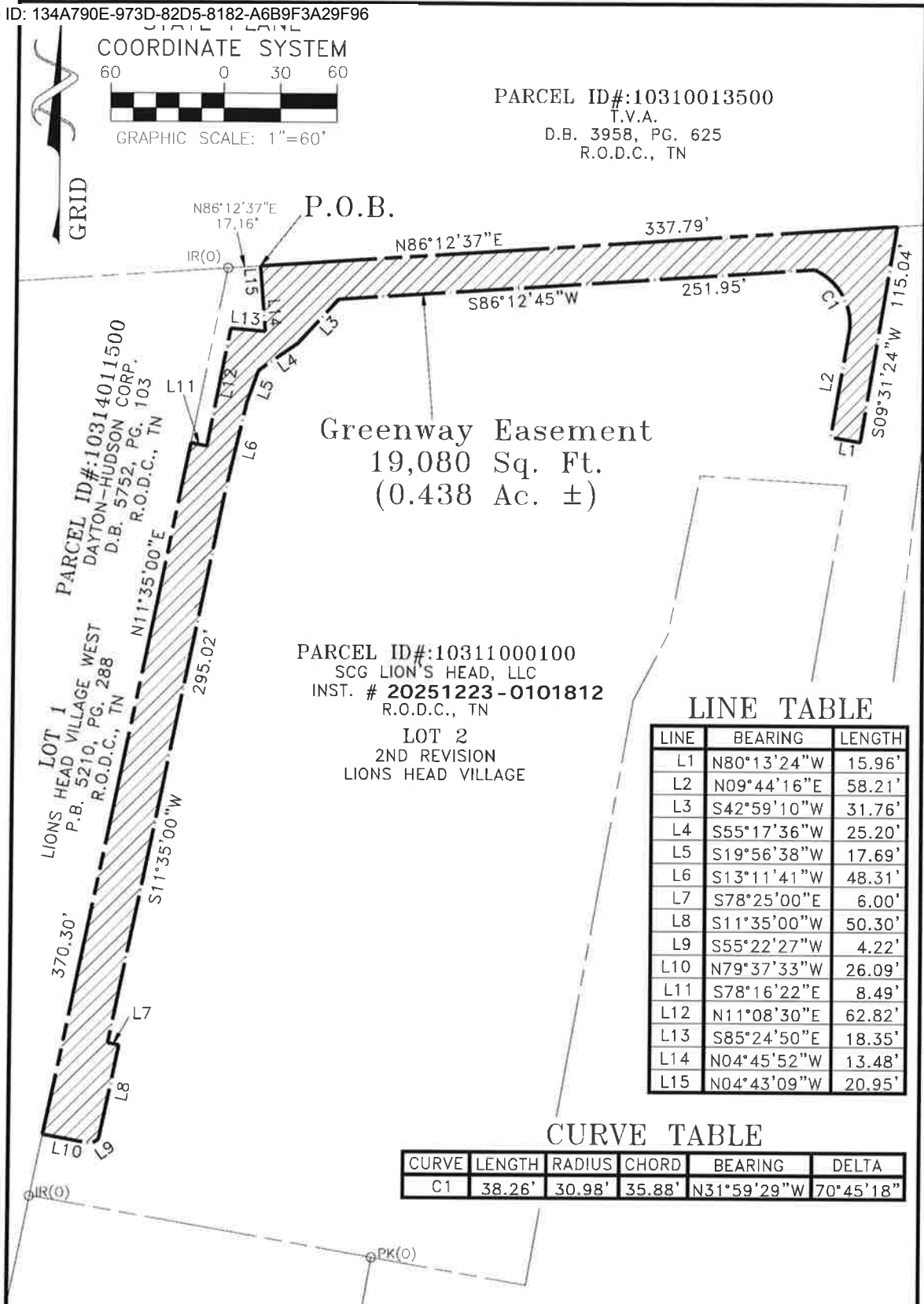
EXHIBIT A

LEGAL DESCRIPTION OF GRANTOR PROPERTY

All that certain parcel or tract of land located in the 24th Councilmanic District, Davidson County, Tennessee and being more particularly depicted as Lot 2 on that certain Final Plat of 2nd Revision Lions Head Village, prepared by Michael H. Charette, Tennessee RLS No. 2048, of Cherry Land Surveying, Inc., dated September 29, 2025, and recorded as Instrument Number 202512230101812 of the Davidson County, Tennessee official records.

Being the same property conveyed to Richland Creek MF Owner, LLC from SCG Lion's Head, LLC pursuant to Special Warranty Deed dated December 31, 2025, of record as Instrument Number 20251231-0104511, Register's Office for Davidson County, Tennessee.

EXHIBIT B
DEPICTION OF EASEMENT AREA
[See attached]



LINE TABLE

LINE	BEARING	LENGTH
L1	N80°13'24"W	15.96'
L2	N09°44'16"E	58.21'
L3	S42°59'10"W	31.76'
L4	S55°17'36"W	25.20'
L5	S19°56'38"W	17.69'
L6	S13°11'41"W	48.31'
L7	S78°25'00"E	6.00'
L8	S11°35'00"W	50.30'
L9	S55°22'27"W	4.22'
L10	N79°37'33"W	26.09'
L11	S78°16'22"E	8.49'
L12	N11°08'30"E	62.82'
L13	S85°24'50"E	18.35'
L14	N04°45'52"W	13.48'
L15	N04°43'09"W	20.95'

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	38.26'	30.98'	35.88'	N31°59'29"W	70°45'18"

Map Showing

Dedication of Greenway Easement
40 White Bridge Pike
Parcel ID#:10311000100
Instrument #: 20251223-0101812
Lot 2, 2nd Revision, Lions Head Village
Plat Pending

Scale: 1"=60' Parcel ID#:10311000100 Dated: December 19, 2025 Prepared by: Cherry Land Surveying, Inc.

EXHIBIT C

DESCRIPTION OF EASEMENT AREA

Being a tract of land lying in Nashville, Davidson County, Tennessee, also being part of Lot 2 of the 2nd Revision, Lions Head Village, plat pending, and being more particularly described as follows;

Commencing at an existing iron rod at the northeast corner of Lot 1 Lions Head Village West, as of record in Plat Book 5210, Page 288, at the Register's Office for Davidson County, Tennessee, also being the property of Dayton-Hudson Corp., as of record in Deed Book 5752, Page 103, at the Register's Office for Davidson County, Tennessee, said iron rod being located in the southerly property line of T.V.A., as of record in Deed Book 3958, Page 625, at the Register's Office for Davidson County, Tennessee;

Thence with the southerly property line of T.V.A., North 86 deg 12 min 37 sec East, 17.16 feet to the **TRUE POINT OF BEGINNING**;

Thence with the southerly property line of T.V.A., North 86 deg 12 min 37 sec East, 337.79 feet to a point;

Thence with a line through the property of Lot 2 of the 2nd Revision, Lions Head Village, plat pending, also being the property of SCG Lion's Head, LLC, as of record in Instrument Number: 20200130-0010855, at the Register's Office for Davidson County, Tennessee for the following fourteen calls:

- 1) South 09 deg 31 min 24 sec West, 115.04 feet to a point;
- 2) North 80 deg 13 min 24 sec West, 15.96 feet to a point;
- 3) North 09 deg 44 min 16 sec East, 58.21 feet to a point;
- 4) With a curve to the left, along an arc length of 38.26 feet, the central angle of which is 70 deg 45 min 18 sec, the radius of which is 30.98 feet, the chord of which is North 31 deg 59 min 29 sec West, 35.88 feet to a point;
- 5) South 86 deg 12 min 45 sec West, 251.95 feet to a point;
- 6) South 42 deg 59 min 10 sec West, 31.76 feet to a point;
- 7) South 55 deg 17 min 36 sec West, 25.20 feet to a point;
- 8) South 19 deg 56 min 38 sec West, 17.69 feet to a point;
- 9) South 13 deg 11 min 41 sec West, 48.31 feet to a point;
- 10) South 11 deg 35 min 00 sec West, 295.02 feet to a point;
- 11) South 78 deg 25 min 00 sec East, 6.00 feet to a point;
- 12) South 11 deg 35 min 00 sec West, 50.30 feet to a point;
- 13) South 55 deg 22 min 27 sec West, 4.22 feet to a point;
- 14) North 79 deg 37 min 33 sec West, 26.09 feet to a point in the easterly property line of said Lot 1;

Thence with the easterly property line of said Lot 1, North 11 deg 35 min 00 sec East, 370.30 feet to a point;

Thence with a line through the property of said Lot 2, for the following five calls;

- 1) South 78 deg 16 min 22 sec East, 8.49 feet to a point;
- 2) North 11 deg 08 min 30 sec East, 62.82 feet to a point;
- 3) South 85 deg 24 min 50 sec East, 18.35 feet to a point;
- 4) North 04 deg 45 min 52 sec West, 13.48 feet to a point;
- 5) North 04 deg 43 min 09 sec West, 20.95 feet to the **POINT OF BEGINNING**. Containing 19,080 square feet or 0.438 acres more or less.

Being part of the same property conveyed to SCG Lion's Head, LLC, as of record in Instrument Number: 20200130-0010855, at the Register's Office for Davidson County, Tennessee.

EXHIBIT D
SITE PLAN
[See attached]

NOVEL RICHLAND CREEK

NASHVILLE, DAVIDSON COUNTY TENNESSEE

DAVIDSON COUNTY MAP: 103-15, PARCEL: 43

SITE DATA:

SITE AREA: 5.59 ACRES
LIMIT OF DISTURBANCE: 4.8 ACRES
CITY: NASHVILLE
COUNTY: DAVIDSON
STATE: TN
FAX MAP: MAP 103-15
PARCEL ID: PARCEL 43
COUNCIL DISTRICT: 24
COUNCIL MEMBER: BRONIA GADO
SITING LOCATION: 42 WHITE BRIDGE PINE CIRCLE
NASHVILLE, TENNESSEE 37208
OWNER: SCD LION'S HEAD LLC
3550 LIONX ROAD STE
ATLANTA, GA 30326
PROJECT REPRESENTATIVE: BARGE CIVIL ASSOCIATES, LLC
6048 CHALLOTTE PINE, SUITE 210
NASHVILLE, TN 37208
CONTACT: JOHN GORE, P.E.
(615) 356-9971

FEMA DATA FOR PROJECT LOCATION:

THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN
AND IS NOT SUBJECT TO FLOODING. THE 100 YEAR FLOOD PLAIN
ADJACENT TO THE PROPERTY IS LOCATED WITHIN PARCEL 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 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REPORT SET/BOOK RECORD/PROVIDED	?
DATE OF TRAVEL RECORD/PROVIDED	3
MOBILE/STATION RECORD/PROVIDED	20
PROPOSED BUILDING AREA	304 sq ft
MAINTAINED BUILDING HEIGHT	7.5 STOREYS
TRAILING RECORD/PROVIDED	3.2 STOREYS
	RISE & BUILDING PLANS/TOWNS FORM
	DOCK/ HUBBY

[illegible][illegible]

7. What advice do you have for working for global companies and the press?

[illegible][illegible]

3. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
4. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
5. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
6. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
7. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
8. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
9. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
10. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:
11. In the year of the bankruptcy and the year 2002, the taxpayer was a shareholder in the following companies:

[illegible][illegible][illegible]

GENERAL NOTE
The following information is for informational purposes only. It is not intended to constitute an offer of insurance or any other financial product. Insurance coverage is subject to underwriting and may not be available in all states. Please consult your agent for more information.

As of the date of the report, the following information was obtained from the public records of the state of California. The information is for informational purposes only and is not intended to constitute an offer of insurance or any other financial product. Insurance coverage is subject to underwriting and may not be available in all states. Please consult your agent for more information.

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PLANNING NOTE

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Section 2. The Making of generalizations were

Section 3. The Distinction in a comparison of proteins

Country requires it

5. **Chlorophyll and light** (10 marks)

Diagram 1 shows the absorption spectrum of chlorophyll *a* and the action spectrum of photosynthesis. The x-axis represents wavelength in nanometres (nm) from 400 to 700. The y-axis represents both relative rate of photosynthesis and relative absorption of light. The absorption spectrum (solid line) shows a peak at approximately 430 nm and a smaller peak at 660 nm. The action spectrum (dashed line) shows a broad peak centered around 660 nm, with a very low rate below 500 nm.

Table 1: Data for Diagram 1

Wavelength (nm)	Relative Absorption (Solid Line)	Relative Rate of Photosynthesis (Dashed Line)
400	0.1	0.0
430	0.9	0.0
500	0.5	0.0
550	0.2	0.0
600	0.1	0.1
660	0.1	0.8
700	0.0	0.2

Table 2: Data for Diagram 2

Wavelength (nm)	Relative Rate of Photosynthesis (Solid Line)	Relative Absorption of Light (Dashed Line)
400	0.0	0.1
430	0.0	0.9
500	0.0	0.5
550	0.0	0.2
600	0.1	0.1
660	0.8	0.1
700	0.2	0.0

Figure 1: Absorption spectrum of chlorophyll *a* and action spectrum of photosynthesis.

Figure 2: Action spectrum of photosynthesis and absorption spectrum of chlorophyll *a*.

3. The following design is a 2 × 2 factorial design. The two factors are sex (male and female) and treatment (placebo and active). The response variable is the proportion of subjects who are cured.
4. The following design is a 2 × 2 factorial design. The two factors are sex (male and female) and treatment (placebo and active). The response variable is the proportion of subjects who are cured.

**NOW, THEREFORE, BE
NABEWELL AND DAVID!**

Section 2. Part Two.
Clearly, it is nearly impossible
to copy, which is what a
patent is for.

**For strategies like DDC to
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patent is for.**

**Clearly, it is nearly impossible
to copy, which is what a
patent is for.**

Section 2. Part Two.
Clearly, it is nearly impossible
to copy, which is what a
patent is for.



Any disturbance in thyroid T₄ secretion may have a profound effect on the development of the brain, especially at 40–50% thyroidal reserve. The National Institute of Child Health and Human Development (NICHD) is sponsoring a research program to determine the effects of thyroid dysfunction on brain development.

On Data is intended to provide a means encompassing such change in a new and innovative way. The program will be designed to be a new and innovative way to provide a means encompassing such change in a new and innovative way.

Page 1 of 2	Page 1 of 2
Page 1 of 2	Page 1 of 2

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THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF DISTRICT COUNCILS

Metropolitan Nashville and Davidson County, TN

Legislation Text

Marshalltown, Iowa, approved for the sale of 2,500 lb. to 7.9% Al and 0.0045% Ni. The steel was produced by the open-hearth process, and was rolled to the required thickness, and then cut and bent to the required shape. The steel was then annealed and then rolled to the required thickness, and then cut and bent to the required shape. The steel was then annealed and then rolled to the required thickness, and then cut and bent to the required shape.

[illegible][illegible]

Section 3) has a funding section, but the issue of 277 was being submitted only for reference and not for funding. The funding section was deleted and the funding section was moved to the end of the document. The funding section was moved to the end of the document. The funding section was moved to the end of the document.

Alderson President: –
I hereby move to amend Student Ordinance No. BL-20

[illegible][illegible]

the 1990s, the industry has been transformed by the growing emphasis on safety and security, and the increasing demand for high-quality, reliable products. This has led to a significant increase in the number of people working in the industry, and a corresponding increase in the demand for training and development programs. The industry has also seen a significant increase in the number of people working in the industry, and a corresponding increase in the demand for training and development programs.

So, could he possibly be a candidate for the \$100,000 question mark of grandeur that is the prize for anyone who manages to do it all: lead and control a world-class team, make a billion dollars, and become a philanthropist? The answer is yes, says Jeffrey Pfeffer, a professor of organizational behavior at the University of California, Berkeley. "I think he has the potential to do it all," he says. "But it's not a sure thing."

DATA ON REQUEST

NOVEL R

92 WH
NASHVIL

CHLAND CRE
WHITE BRIDGE ROAD
LE, TENNESSEE 37205

EEK

Project Number: 22-0062
 and Lashay Marshall
 your lmarshall@hugoboss.com
 phone Owen Pinner
 Ph.D. Student

BCA BANK OF CANADA
 100 King Street West
 Toronto, Ontario M5X 1C5
 Canada
 Tel: (416) 967-8888
 Fax: (416) 967-8889
 Email: info@bca.com
 Website: www.bca.com

PUBLIC WATER: 2SWL0052	PUBLIC SANITARY: 2SSL0118
BUILDING PERMIT: 2025069127	MWS SWGR# 2025028066

MWS SWGR# 2025028066

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]

Chao is responsible for making decisions on whether to approve or deny a request for a new drug or generic drug, including if the agency (FDA) for Chao is likely to approve the drug or generic. As far as the agency of specialists and generalists, considering the number of cases in the process of application, especially when new drugs or generic drugs are submitted by Chao for the handling of approval, the two types of specialists (Chao) might consider the handling for each purpose of use, and therefore may be likely to try the same drug, except when the same drug, received for evaluation used for evaluation of drug safety products of FDA.

ENLARGED EXISTING
CONDITIONS

C0-20

BCA BARCELOTTA
CARRUTHERS
ASSOCIATES, P.C.
2001 K Street, N.W., Suite 1000
Washington, DC 20006
kcy@a.com
202 596 9191

Key Project Number 22-000

City/State Arlington, Virginia

Principal Designer Anthony M. Carruthers
BarceloTTa Carruthers
Associates, P.C.
Federation Square

[illegible]

DEMOLITION KEYNOTES:

1. **REMOVE EXISTING ROOFING TO FULL DEPTH AND REPAIR TO MATCH.**
2. **REMOVE EXISTING ROOFING TO FULL DEPTH AND REPAIR TO MATCH.**
3. **REMOVE EXISTING ROOFING TO FULL DEPTH AND REPAIR TO MATCH.**
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10. **REMOVE EXISTING ROOFING TO FULL DEPTH AND REPAIR TO MATCH.**

- [illegible]

200 E. 13th, 14th, South Tower
Suite 200
Washington, DC 20006
klyg.com
202.596.9191

klyg Project Number 220093

Contact	Lindsay Markoff
Email	lmarkoff@klyg.com
Principal	Brian Fraiser
Designer	Fabrizio Sotter

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]

China is increasingly being subjected to scrutiny by the U.S. Congress and the media. The U.S. Congress has been holding hearings on matters in the field and specifically during summits of the two parties. History has shown that the presence of any leader results in a reduction in the focus on specific issues and a broadening of the agenda. In the past, the focus was on the political and economic issues, but now the focus is on the political and economic issues. The U.S. Congress is also holding hearings on matters in the field and specifically during summits of the two parties. History has shown that the presence of any leader results in a reduction in the focus on specific issues and a broadening of the agenda. In the past, the focus was on the political and economic issues, but now the focus is on the political and economic issues.



SITE DEMOLITION PLAN

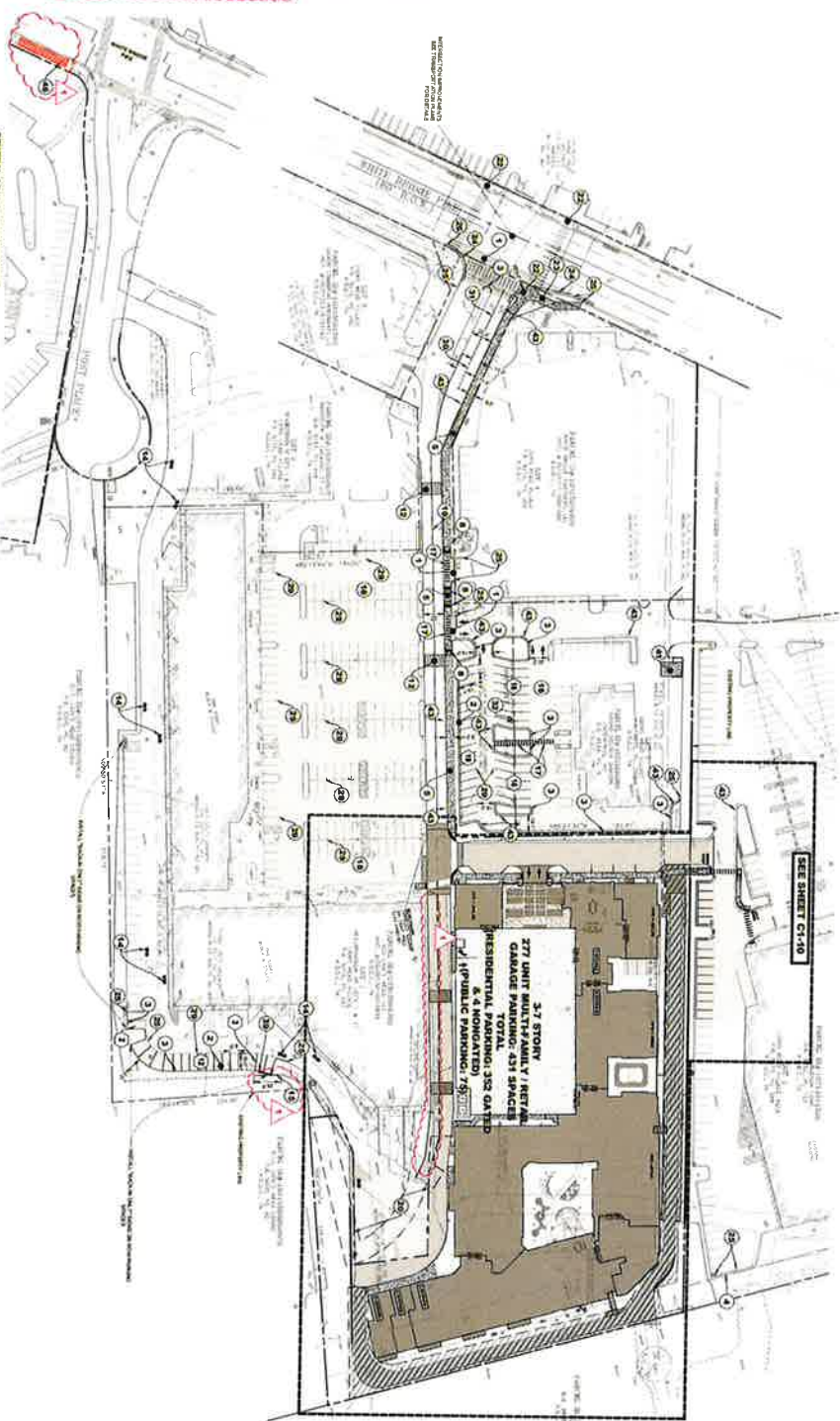
C0-30

PUBLIC WATER: 25WL0052

PUBLIC SANITARY: 25SL0118

[illegible][illegible][illegible][illegible]

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[illegible]

SEE SHEET C1-

3.7 STORY
277 UNIT MULTI-FAMILY / RETAIL
GARAGE PARKING: 431 SPACES
TOTAL
RESIDENTIAL PARKING: 352 GATE
& 4 MONOCATED)
11 PUBLIC PARKING: 75 SPACES

FOBDC WATER: 25WL0052
BUILDING PERMIT: 2025069177

PUBLIC SANITARY: 25SL0118

NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

BCA BRIDGE CLUB

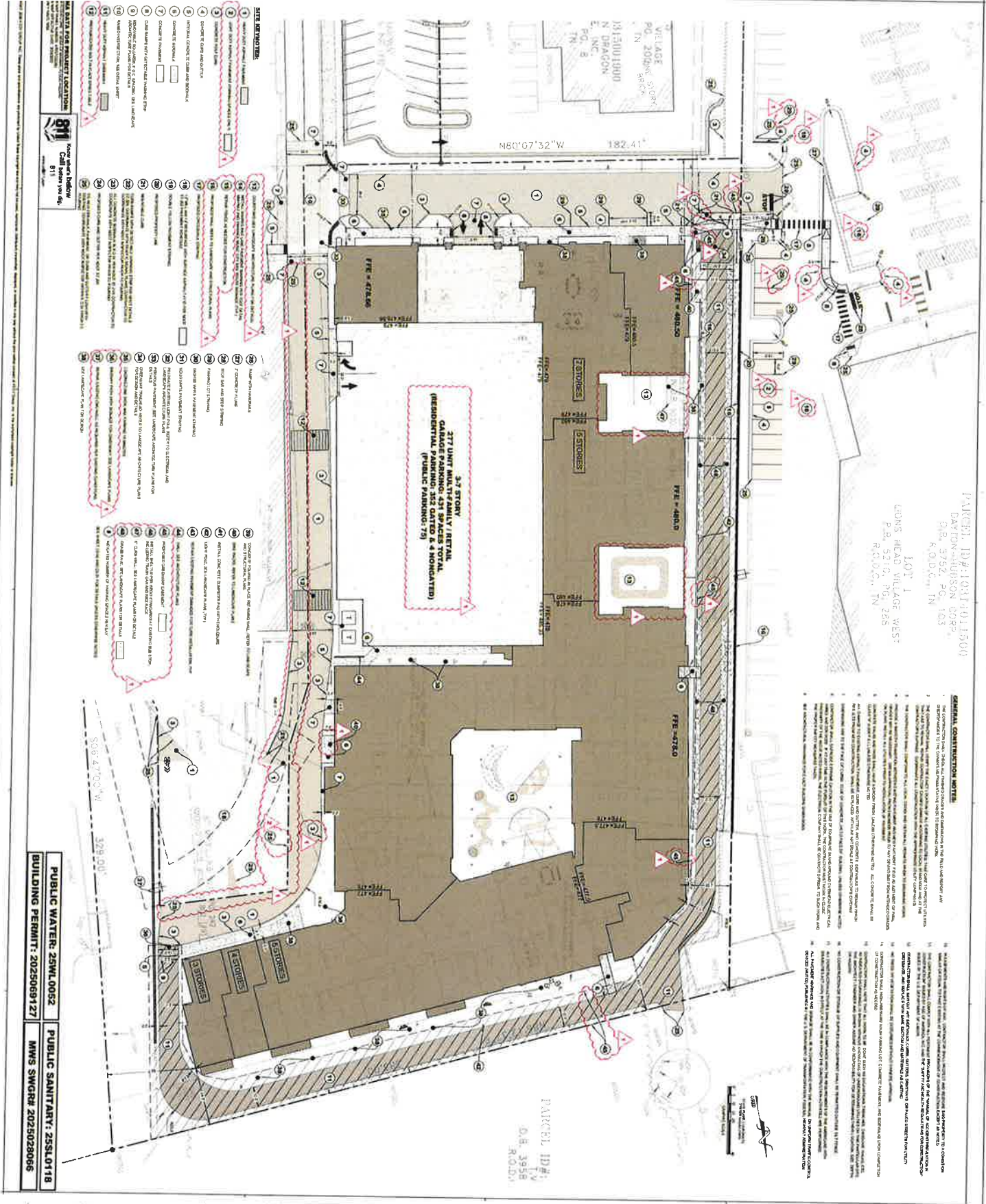
2001 R. DE NINE SOUTH TOWNSHIP
Suite 200
Washington, DC 20006
ADV.com
202.556.8181

Editor, Project Number	22-0005
Consultant	Lindsey Marzetti
Email	lmarzetti@lsky.com
Principal	Bryan Fowler
Designer	Frederick Dooler

OVERALL SITE PLAN

[illegible]

C1-00



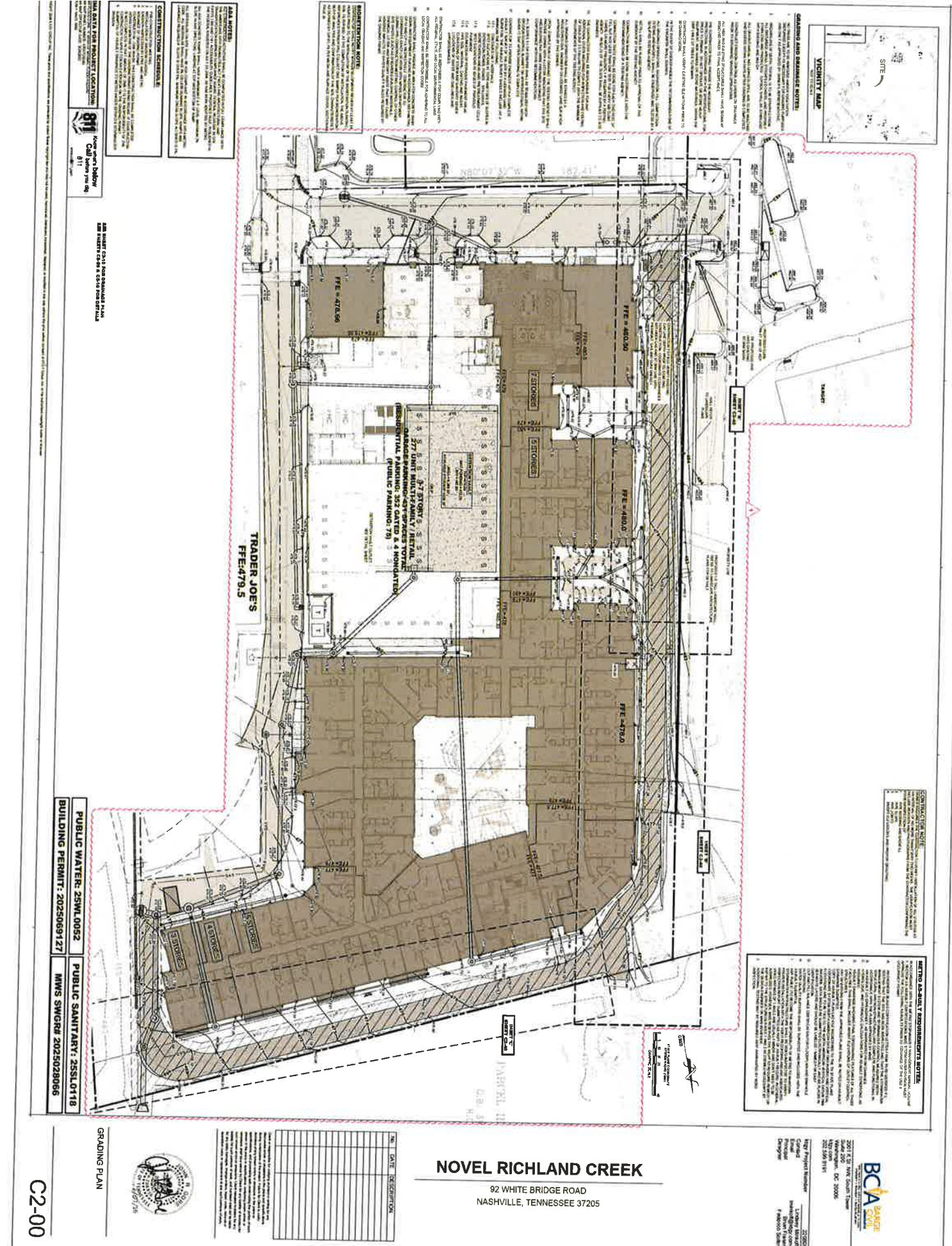
PARCEL ID# 10314011500
DAYTON-HUBSON CORP.
P.O. 3752, PG. 103
R.O.D.C., TN
LOT 1
LONG HEAD VILLAGE WEST
P.O. 5210, PG. 268
R.O.D.C., TN

- GENERAL CONSTRUCTION NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NASHVILLE AND THE STATE OF TENNESSEE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NASHVILLE AND THE STATE OF TENNESSEE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NASHVILLE AND THE STATE OF TENNESSEE.
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 39. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NASHVILLE AND THE STATE OF TENNESSEE.
 40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NASHVILLE AND THE STATE OF TENNESSEE.

NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

BCA
2021 N. 32nd Ave, Suite 100
Nashville, TN 37205
202.999.9191

2025069127
Public Water: 25W.0052
Public Sanitary: 25S.0118
Building Permit: 2025069127
MWS SWGR 202502806



NOVEL RICHLAND CREEK

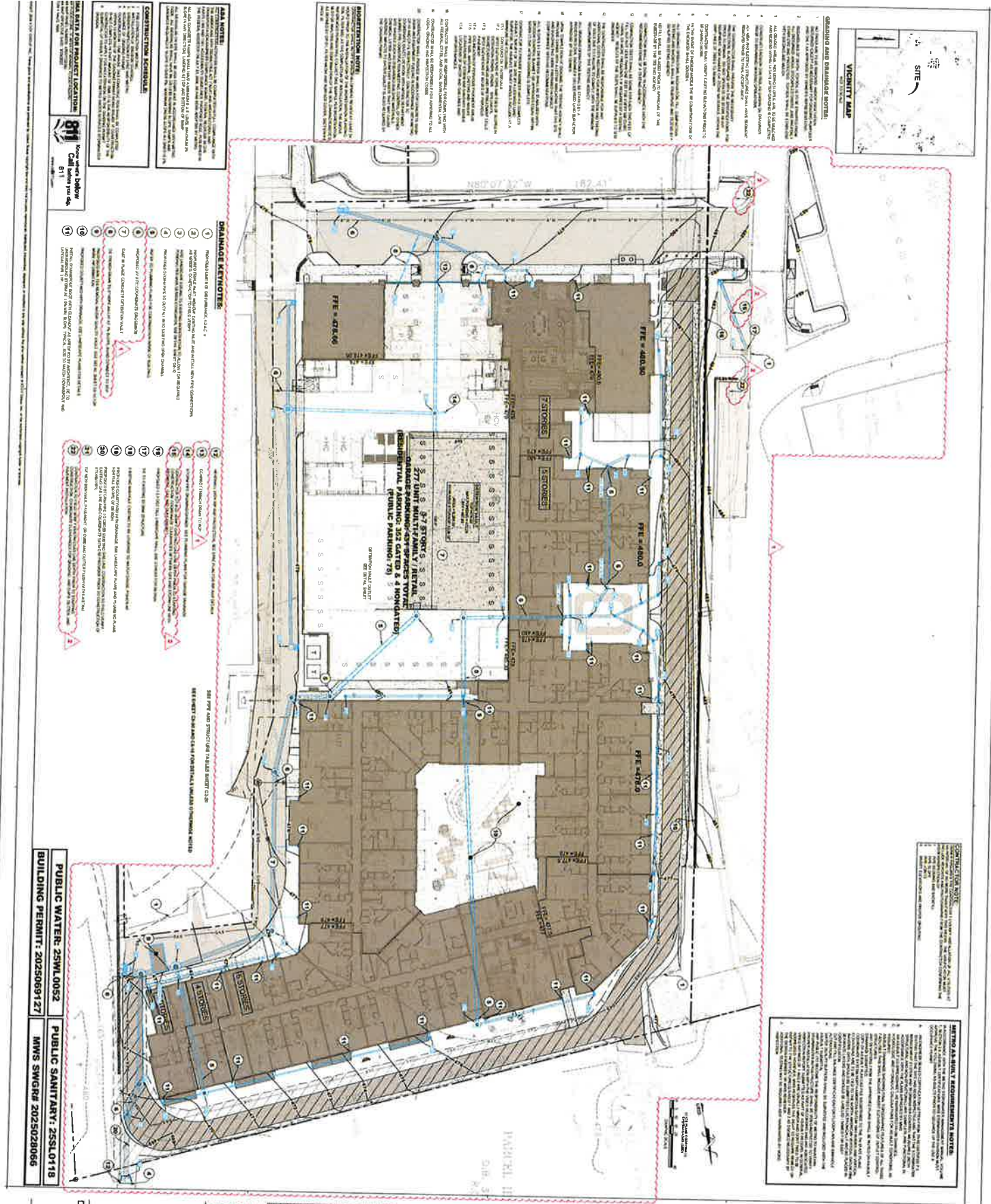
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

NO.	DATE	REVISION
1	01/17/16	ISSUED FOR PERMIT
2	01/17/16	ISSUED FOR PERMIT
3	01/17/16	ISSUED FOR PERMIT
4	01/17/16	ISSUED FOR PERMIT
5	01/17/16	ISSUED FOR PERMIT
6	01/17/16	ISSUED FOR PERMIT
7	01/17/16	ISSUED FOR PERMIT
8	01/17/16	ISSUED FOR PERMIT
9	01/17/16	ISSUED FOR PERMIT
10	01/17/16	ISSUED FOR PERMIT



BCA
2001 E. 2nd Avenue South
Nashville, TN 37203
615.259.1111
www.bca.com

Novel Richland Creek
92 White Bridge Road
Nashville, TN 37205
615.259.1111
www.bca.com



NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

BCA
2025.05.15
2025.05.15

DRAINAGE PLAN

NO.	DATE	REVISION
1	05/15/25	ISSUED FOR PERMIT

PUBLIC WATER: 25WL0052
BUILDING PERMIT: 2025069127
PUBLIC SANITARY: 25SL0118
MWS SWGR: 2025028066

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	PIPE SIZE (INCHES)	PIPE MATERIAL	SLOPE (%)	LENGTH (L.F.)
-----------------------	-------------------------	-----------------------	------------------	-----------	------------------

[illegible]

STRUC #	TYPE	CASTING FRAME	TOP OF CASTING (Elev.)	PIPE E. (IN)	PIPE I.E. (OUT)
---------	------	---------------	---------------------------	-----------------	--------------------

[illegible]

811
Know what's below
Call before you dig
811

BUILDING PERMIT: 20250691

MWS SWGR# 2025028066

C2-20

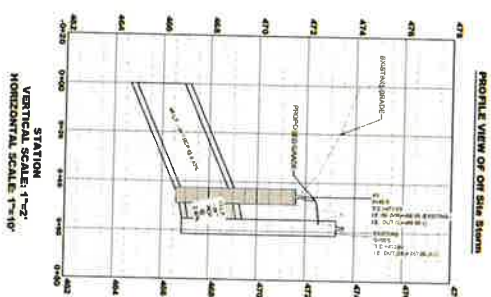
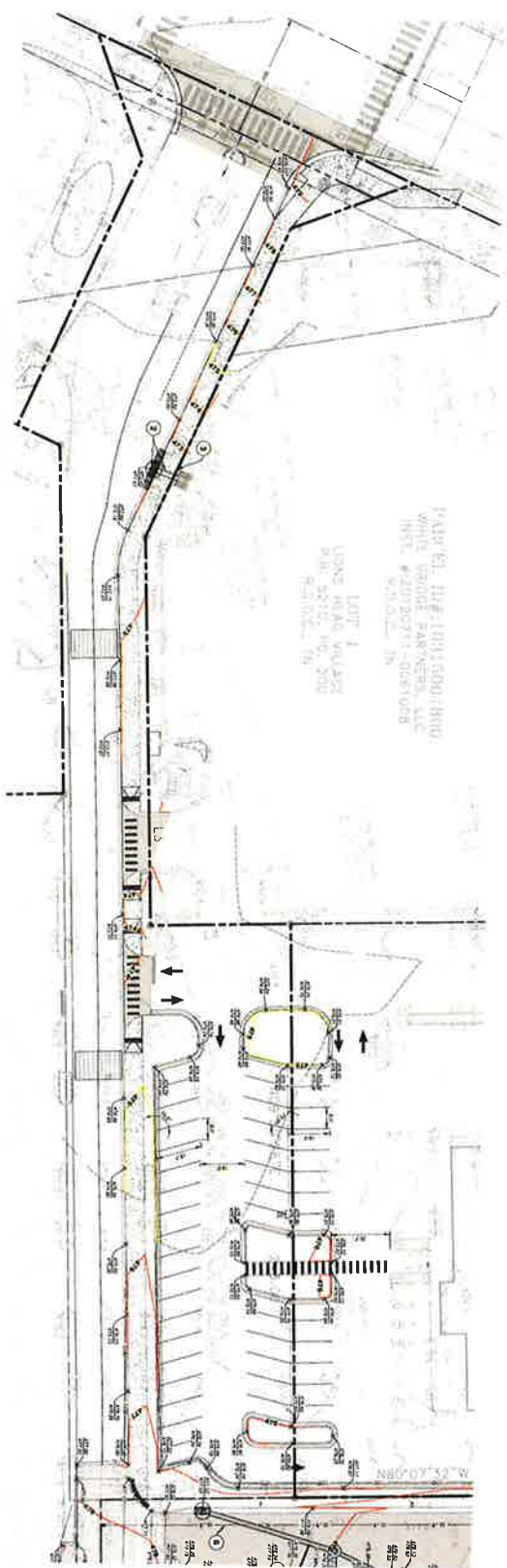
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

MEG Project Number	22000
Contact	L. Rodney Minkoff
Email	lminkoff@meg.com
Principal	Urban Filipek
Designer	F. Antonio Dook

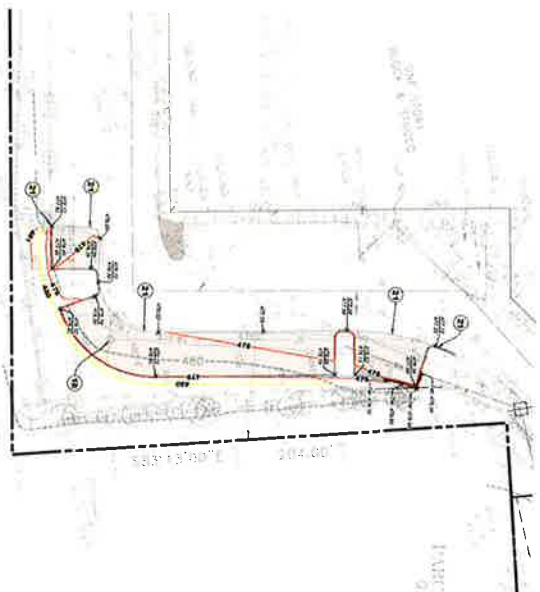
2001 K. H. M. South Tower
Suite 200
Washington, DC 20006
A&P.com
202.586.8181

BCIA 2000

Chlorine is available in a highly concentrated form for use during periods of emergency for disinfection of drinking water. The product is known as D-15. It is a 15% solution of sodium hypochlorite in water. It is available in 5-gallon and 55-gallon containers. It is a strong oxidizing agent and, generally, with disinfection for purposes of water treatment, it is used in conjunction with another water treatment product, such as aluminum sulfate. Chlorine is available for sale by many local purveyors of water, and it is also sold by the U.S. Environmental Protection Agency. It is important to use only U.S. EPA-registered products.



- [illegible]

[illegible]

NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

BCA WASH DC
BUSINESS COUNCIL OF AMERICA
1100 17th St NW, Suite 1100
Washington, DC 20036
Tel: 202-462-1000
Fax: 202-462-1001
www.bcausa.org

2001 K St NW, Suite 1100
Washington, DC 20006
Tel: 202-596-1191

Key Project Number: 27-0006

Contact: Lindsey Mearns
Email: lmearns@bcg.com
Phone: 202-596-1191
Fax: 202-596-1191

OFFSITE GRADING & DRAINAGE PLAN

C2-30



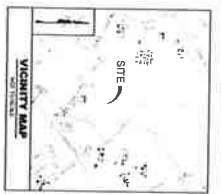
PUBLIC SANITARY: 25SL0118
MWS SWGR# 2025028066

BCA Business Computer Applications
CITY
2001 K-11 NW 11th Street, Tower
Suite 200
Westborough, MA 01581
401.339.1111
www.bca.com

Key Project Number: 22-00000
Contractor: T. Bailey, Inc.
Estimator: J. Bailey
Principal: J. Bailey
Designer: J. Bailey

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]GREENWAY GRADING
PLAN



PROPOSED CONSTRUCTION PERMIT NOTICE

NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

DATE: 05/20/2025

PROJECT: 2025069127

PERMIT: 2025069127

811
Call before you dig

STATION PREVENTION & REMEDIATION (EPSC) NOTES

1. The purpose of this document is to provide information regarding the proposed construction project and the required station prevention and remediation measures.

2. The project is located at the intersection of White Bridge Road and Nashville Avenue.

3. The project is a new construction project.

4. The project is a new construction project.

5. The project is a new construction project.

6. The project is a new construction project.

7. The project is a new construction project.

8. The project is a new construction project.

9. The project is a new construction project.

10. The project is a new construction project.

EPSC MEASURES

1. The project is a new construction project.
2. The project is a new construction project.
3. The project is a new construction project.
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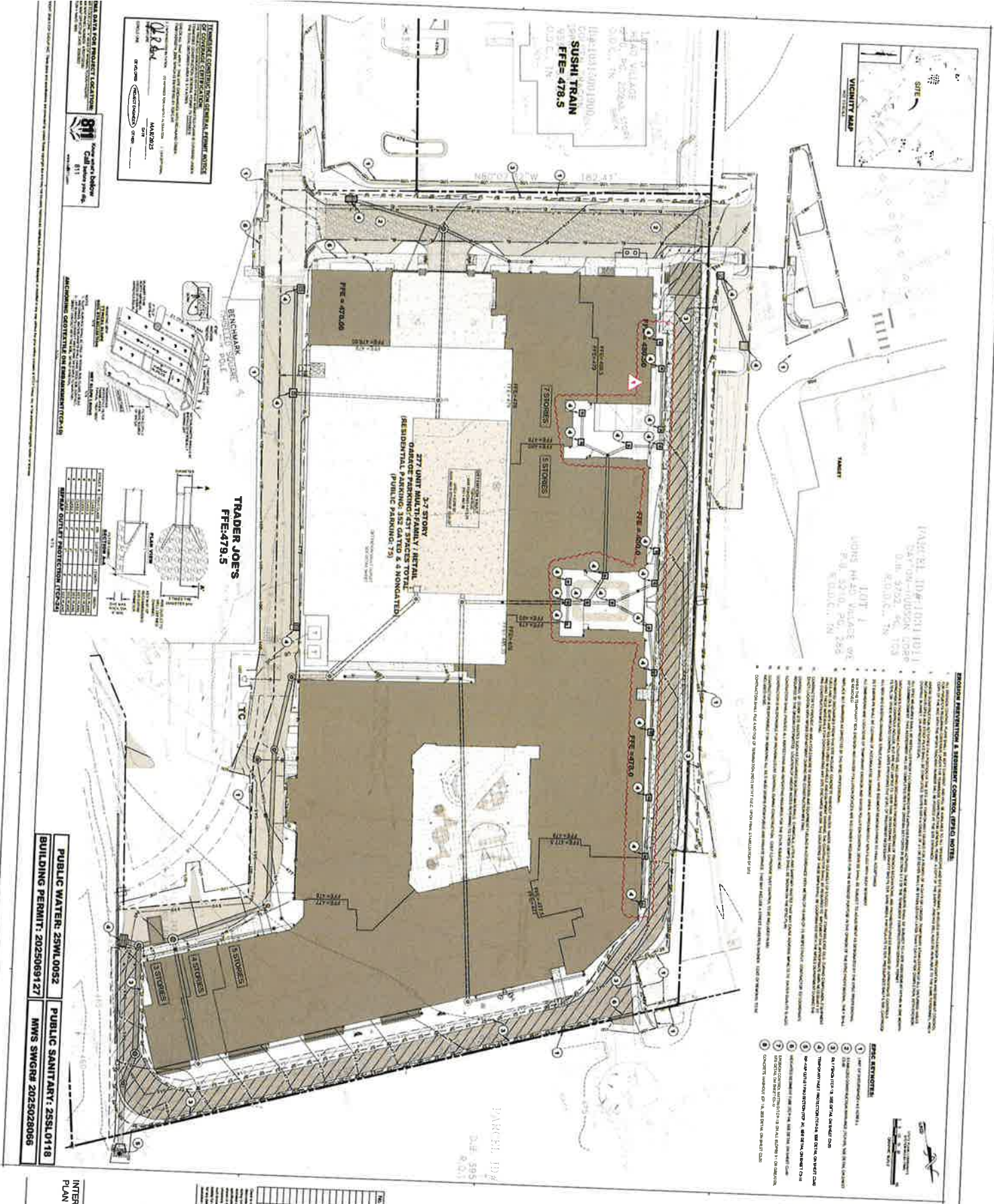
NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

NO.	DATE	DESCRIPTION
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2	05/20/2025	Initial EPSC Plan
3	05/20/2025	Initial EPSC Plan
4	05/20/2025	Initial EPSC Plan
5	05/20/2025	Initial EPSC Plan
6	05/20/2025	Initial EPSC Plan
7	05/20/2025	Initial EPSC Plan
8	05/20/2025	Initial EPSC Plan
9	05/20/2025	Initial EPSC Plan
10	05/20/2025	Initial EPSC Plan



INITIAL EPSC PLAN



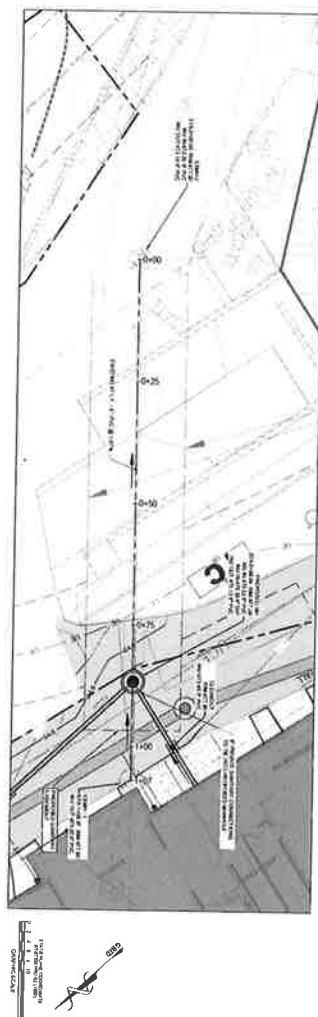
NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

BCA
2021 N. 9th Ave. Suite 100
Nashville, TN 37203
202.596.8111

Novel Building Number
2025069127
Public Water: 25WL0052
Public Sanitary: 25SL0118
MWS SWGR: 2025020066

No.	DATE	DESCRIPTION
1	04/21	INTERMEDIATE EPRC PLAN



STATION
VERTICAL SCALE: 1"=1'
HORIZONTAL SCALE: 1"=10'

811 Know what's below
Call before you dig
811

PUBLIC WATER: 25WL0052	PUBLIC SANITARY: 25SL0118
------------------------	---------------------------

PUBLIC SANITARY: 25SL0118

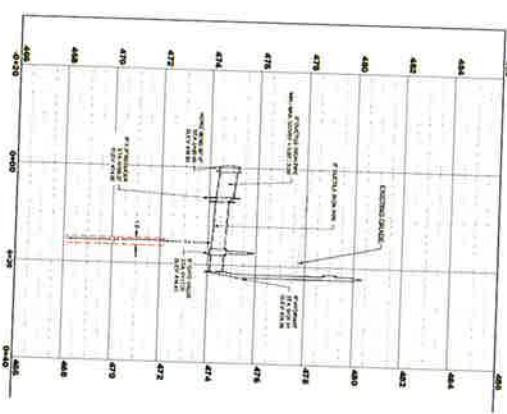
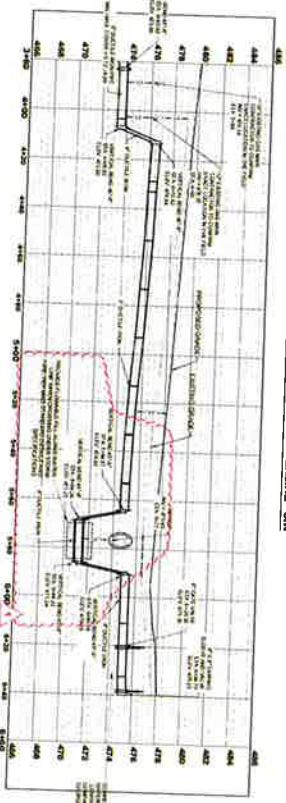
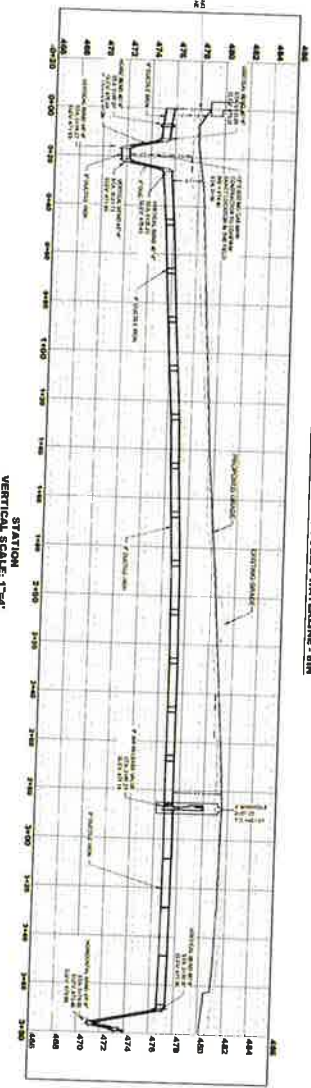
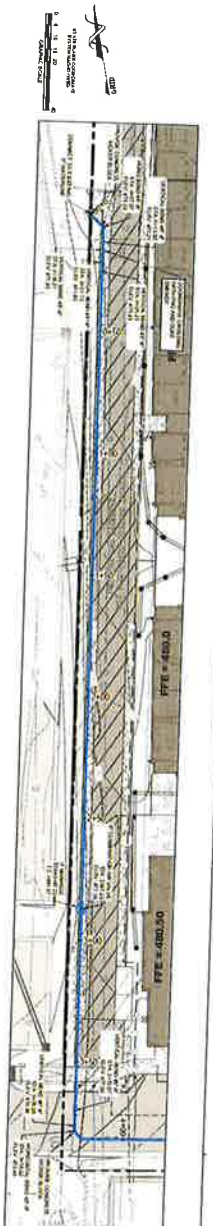
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]

PUBLIC SANITARY SEWER PROFILE

C4-10

[illegible]



NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

BCA
20211 E 10th Ave South
Nashville, TN 37205
726.508.8151

Reg. Project Number: 202005
Contract: 202005
Project: 202005
Design: 202005

202005
Larkin & Associates
202005
202005

NO.	DATE	DESCRIPTION
1	10/1/20	10/1/20
2	10/1/20	10/1/20
3	10/1/20	10/1/20
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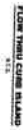


PUBLIC WATERLINE
PROFILE

PUBLIC WATER: 25WL0052
BUILDING PERMIT: 2025069127
PUBLIC SANITARY: 25SL0118
MWS SWGR: 2025028066



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Know what's below.
Call before you dig.

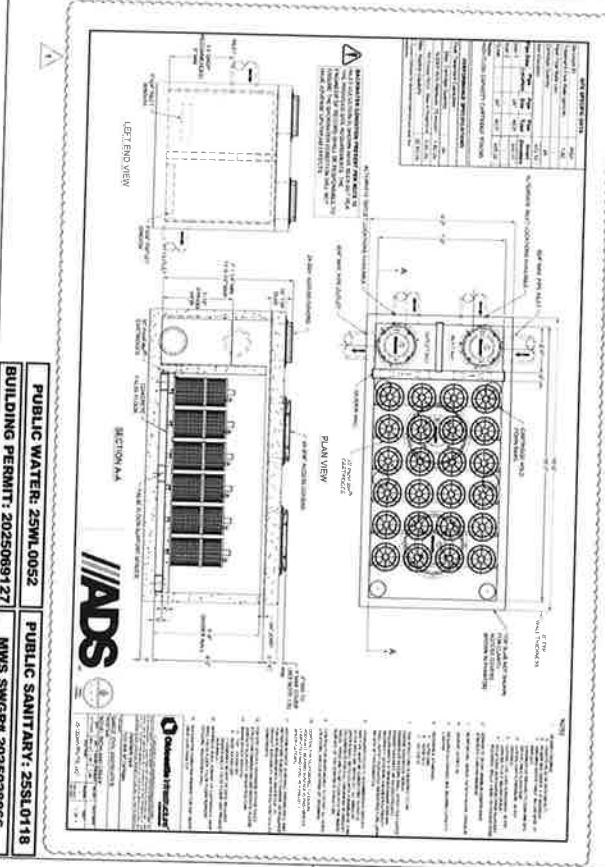


92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

Design: Federico Sisti



CIVIL DETAILS



PUBLIC WATER: 25WL0052	PUBLIC SANITARY: 25SL0118
BUILDING PERMIT: 20250689127	MWS SWG-B# 20250000000

BCA SPACE
CHINA
OFFICE

2001 K. 28 NW SOUTH TOWER
Suite 200
Washington, DC 20006
888.776.6666
202.596.8181

202.596.8181

Key Project Number

Contact

Email

Principal

Designer

1. Logo: K&A
info@kandaweb.com
2. Paper: 11x17
3. Paper: 11x17
4. Paper: 11x17

CIVIL DETAILS

C5-10

20200808
ktgy

NOVEL RICHLAND CREEK
NASHVILLE, TN



MATERIAL SCHEDULE			
1.1	BRICK VENEER, RANDOM BOND	1.2	PERFORATED CAST STONE, VENTILATED
1.3	BRICK VENEER, RANDOM BOND	1.4	PERFORATED CAST STONE, VENTILATED
1.5	BRICK VENEER, RANDOM BOND	1.6	PERFORATED CAST STONE, VENTILATED
1.7	BRICK VENEER, RANDOM BOND	1.8	PERFORATED CAST STONE, VENTILATED
1.9	BRICK VENEER, RANDOM BOND	2.0	PERFORATED CAST STONE, VENTILATED
2.1	BRICK VENEER, RANDOM BOND	2.2	PERFORATED CAST STONE, VENTILATED
2.3	BRICK VENEER, RANDOM BOND	2.4	PERFORATED CAST STONE, VENTILATED
2.5	BRICK VENEER, RANDOM BOND	2.6	PERFORATED CAST STONE, VENTILATED
2.7	BRICK VENEER, RANDOM BOND	2.8	PERFORATED CAST STONE, VENTILATED
2.9	BRICK VENEER, RANDOM BOND	3.0	PERFORATED CAST STONE, VENTILATED
3.1	BRICK VENEER, RANDOM BOND	3.2	PERFORATED CAST STONE, VENTILATED
3.3	BRICK VENEER, RANDOM BOND	3.4	PERFORATED CAST STONE, VENTILATED
3.5	BRICK VENEER, RANDOM BOND	3.6	PERFORATED CAST STONE, VENTILATED
3.7	BRICK VENEER, RANDOM BOND	3.8	PERFORATED CAST STONE, VENTILATED
3.9	BRICK VENEER, RANDOM BOND	4.0	PERFORATED CAST STONE, VENTILATED
4.1	BRICK VENEER, RANDOM BOND	4.2	PERFORATED CAST STONE, VENTILATED
4.3	BRICK VENEER, RANDOM BOND	4.4	PERFORATED CAST STONE, VENTILATED
4.5	BRICK VENEER, RANDOM BOND	4.6	PERFORATED CAST STONE, VENTILATED
4.7	BRICK VENEER, RANDOM BOND	4.8	PERFORATED CAST STONE, VENTILATED
4.9	BRICK VENEER, RANDOM BOND	5.0	PERFORATED CAST STONE, VENTILATED
5.1	BRICK VENEER, RANDOM BOND	5.2	PERFORATED CAST STONE, VENTILATED
5.3	BRICK VENEER, RANDOM BOND	5.4	PERFORATED CAST STONE, VENTILATED
5.5	BRICK VENEER, RANDOM BOND	5.6	PERFORATED CAST STONE, VENTILATED
5.7	BRICK VENEER, RANDOM BOND	5.8	PERFORATED CAST STONE, VENTILATED
5.9	BRICK VENEER, RANDOM BOND	6.0	PERFORATED CAST STONE, VENTILATED
6.1	BRICK VENEER, RANDOM BOND	6.2	PERFORATED CAST STONE, VENTILATED
6.3	BRICK VENEER, RANDOM BOND	6.4	PERFORATED CAST STONE, VENTILATED
6.5	BRICK VENEER, RANDOM BOND	6.6	PERFORATED CAST STONE, VENTILATED
6.7	BRICK VENEER, RANDOM BOND	6.8	PERFORATED CAST STONE, VENTILATED
6.9	BRICK VENEER, RANDOM BOND	7.0	PERFORATED CAST STONE, VENTILATED
7.1	BRICK VENEER, RANDOM BOND	7.2	PERFORATED CAST STONE, VENTILATED
7.3	BRICK VENEER, RANDOM BOND	7.4	PERFORATED CAST STONE, VENTILATED
7.5	BRICK VENEER, RANDOM BOND	7.6	PERFORATED CAST STONE, VENTILATED
7.7	BRICK VENEER, RANDOM BOND	7.8	PERFORATED CAST STONE, VENTILATED
7.9	BRICK VENEER, RANDOM BOND	8.0	PERFORATED CAST STONE, VENTILATED
8.1	BRICK VENEER, RANDOM BOND	8.2	PERFORATED CAST STONE, VENTILATED
8.3	BRICK VENEER, RANDOM BOND	8.4	PERFORATED CAST STONE, VENTILATED
8.5	BRICK VENEER, RANDOM BOND	8.6	PERFORATED CAST STONE, VENTILATED
8.7	BRICK VENEER, RANDOM BOND	8.8	PERFORATED CAST STONE, VENTILATED
8.9	BRICK VENEER, RANDOM BOND	9.0	PERFORATED CAST STONE, VENTILATED
9.1	BRICK VENEER, RANDOM BOND	9.2	PERFORATED CAST STONE, VENTILATED
9.3	BRICK VENEER, RANDOM BOND	9.4	PERFORATED CAST STONE, VENTILATED
9.5	BRICK VENEER, RANDOM BOND	9.6	PERFORATED CAST STONE, VENTILATED
9.7	BRICK VENEER, RANDOM BOND	9.8	PERFORATED CAST STONE, VENTILATED
9.9	BRICK VENEER, RANDOM BOND	10.0	PERFORATED CAST STONE, VENTILATED

1. SOUTH ELEVATION

1.1

1.2

3.3

1.2

4.2

2.5

1.2

9.1

2.5

2.10

2.1

1.1

2.11

3.2

2.6

3.1

1.2

3.7

2.4

9.1

3.9

3.7

NOVEL 22

79' - 7 1/8" FROM FIRST FLOOR (+480.0')

81' - 2 1/2" FROM LOWEST GRADE (+488.5')



ELEVATIONS

01

10/29/2025

1. WEST ELEVATION



2. NORTH ELEVATION

MATERIAL SCHEDULE	
1. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	2. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
3. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	4. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
5. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	6. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
7. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	8. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
9. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	10. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
11. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	12. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
13. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	14. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
15. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	16. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
17. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	18. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
19. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	20. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
21. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	22. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
23. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	24. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
25. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	26. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
27. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	28. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
29. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	30. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
31. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	32. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
33. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	34. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
35. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	36. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"
37. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"	38. BRICK, FINE, BURNED, 2 1/2" x 8" x 16"

20200808
ktgy
NOVEL RICHLAND CREEK
NASHVILLE, TN



ELEVATIONS

02

10/28/2025

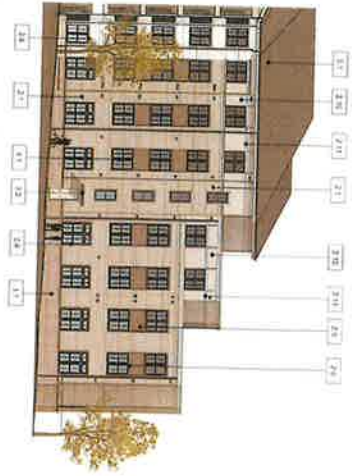
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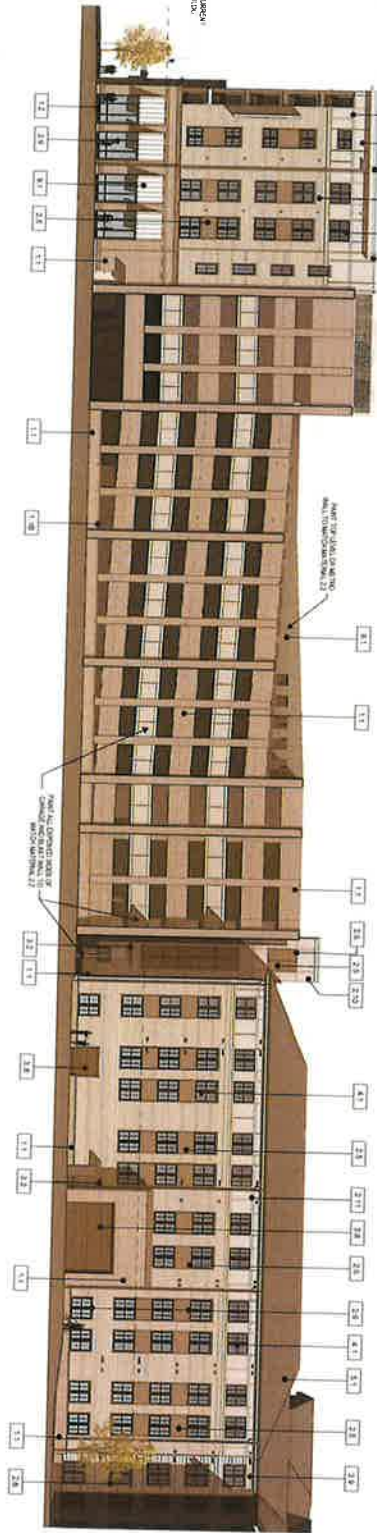
NOVEL RICHLAND CREEK
NASHVILLE, TN



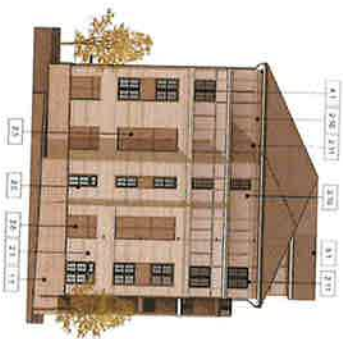
1. SOUTH ELEVATION - B



2. EAST ELEVATION - A



3. EAST ELEVATION - B



MATERIAL SCHEDULE

1.1	BRICK, VENEER, REDWOOD BRICK	1.2	BRICK, VENEER, REDWOOD BRICK	1.3	BRICK, VENEER, REDWOOD BRICK
1.4	BRICK, VENEER, REDWOOD BRICK	1.5	BRICK, VENEER, REDWOOD BRICK	1.6	BRICK, VENEER, REDWOOD BRICK
1.7	BRICK, VENEER, REDWOOD BRICK	1.8	BRICK, VENEER, REDWOOD BRICK	1.9	BRICK, VENEER, REDWOOD BRICK
1.10	BRICK, VENEER, REDWOOD BRICK	1.11	BRICK, VENEER, REDWOOD BRICK	1.12	BRICK, VENEER, REDWOOD BRICK
1.13	BRICK, VENEER, REDWOOD BRICK	1.14	BRICK, VENEER, REDWOOD BRICK	1.15	BRICK, VENEER, REDWOOD BRICK
1.16	BRICK, VENEER, REDWOOD BRICK	1.17	BRICK, VENEER, REDWOOD BRICK	1.18	BRICK, VENEER, REDWOOD BRICK
1.19	BRICK, VENEER, REDWOOD BRICK	1.20	BRICK, VENEER, REDWOOD BRICK	1.21	BRICK, VENEER, REDWOOD BRICK
1.22	BRICK, VENEER, REDWOOD BRICK	1.23	BRICK, VENEER, REDWOOD BRICK	1.24	BRICK, VENEER, REDWOOD BRICK
1.25	BRICK, VENEER, REDWOOD BRICK	1.26	BRICK, VENEER, REDWOOD BRICK	1.27	BRICK, VENEER, REDWOOD BRICK
1.28	BRICK, VENEER, REDWOOD BRICK	1.29	BRICK, VENEER, REDWOOD BRICK	1.30	BRICK, VENEER, REDWOOD BRICK
1.31	BRICK, VENEER, REDWOOD BRICK	1.32	BRICK, VENEER, REDWOOD BRICK	1.33	BRICK, VENEER, REDWOOD BRICK
1.34	BRICK, VENEER, REDWOOD BRICK	1.35	BRICK, VENEER, REDWOOD BRICK	1.36	BRICK, VENEER, REDWOOD BRICK
1.37	BRICK, VENEER, REDWOOD BRICK	1.38	BRICK, VENEER, REDWOOD BRICK	1.39	BRICK, VENEER, REDWOOD BRICK
1.40	BRICK, VENEER, REDWOOD BRICK	1.41	BRICK, VENEER, REDWOOD BRICK	1.42	BRICK, VENEER, REDWOOD BRICK
1.43	BRICK, VENEER, REDWOOD BRICK	1.44	BRICK, VENEER, REDWOOD BRICK	1.45	BRICK, VENEER, REDWOOD BRICK
1.46	BRICK, VENEER, REDWOOD BRICK	1.47	BRICK, VENEER, REDWOOD BRICK	1.48	BRICK, VENEER, REDWOOD BRICK
1.49	BRICK, VENEER, REDWOOD BRICK	1.50	BRICK, VENEER, REDWOOD BRICK	1.51	BRICK, VENEER, REDWOOD BRICK
1.52	BRICK, VENEER, REDWOOD BRICK	1.53	BRICK, VENEER, REDWOOD BRICK	1.54	BRICK, VENEER, REDWOOD BRICK
1.55	BRICK, VENEER, REDWOOD BRICK	1.56	BRICK, VENEER, REDWOOD BRICK	1.57	BRICK, VENEER, REDWOOD BRICK
1.58	BRICK, VENEER, REDWOOD BRICK	1.59	BRICK, VENEER, REDWOOD BRICK	1.60	BRICK, VENEER, REDWOOD BRICK
1.61	BRICK, VENEER, REDWOOD BRICK	1.62	BRICK, VENEER, REDWOOD BRICK	1.63	BRICK, VENEER, REDWOOD BRICK
1.64	BRICK, VENEER, REDWOOD BRICK	1.65	BRICK, VENEER, REDWOOD BRICK	1.66	BRICK, VENEER, REDWOOD BRICK
1.67	BRICK, VENEER, REDWOOD BRICK	1.68	BRICK, VENEER, REDWOOD BRICK	1.69	BRICK, VENEER, REDWOOD BRICK
1.70	BRICK, VENEER, REDWOOD BRICK	1.71	BRICK, VENEER, REDWOOD BRICK	1.72	BRICK, VENEER, REDWOOD BRICK
1.73	BRICK, VENEER, REDWOOD BRICK	1.74	BRICK, VENEER, REDWOOD BRICK	1.75	BRICK, VENEER, REDWOOD BRICK
1.76	BRICK, VENEER, REDWOOD BRICK	1.77	BRICK, VENEER, REDWOOD BRICK	1.78	BRICK, VENEER, REDWOOD BRICK
1.79	BRICK, VENEER, REDWOOD BRICK	1.80	BRICK, VENEER, REDWOOD BRICK	1.81	BRICK, VENEER, REDWOOD BRICK
1.82	BRICK, VENEER, REDWOOD BRICK	1.83	BRICK, VENEER, REDWOOD BRICK	1.84	BRICK, VENEER, REDWOOD BRICK
1.85	BRICK, VENEER, REDWOOD BRICK	1.86	BRICK, VENEER, REDWOOD BRICK	1.87	BRICK, VENEER, REDWOOD BRICK
1.88	BRICK, VENEER, REDWOOD BRICK	1.89	BRICK, VENEER, REDWOOD BRICK	1.90	BRICK, VENEER, REDWOOD BRICK
1.91	BRICK, VENEER, REDWOOD BRICK	1.92	BRICK, VENEER, REDWOOD BRICK	1.93	BRICK, VENEER, REDWOOD BRICK
1.94	BRICK, VENEER, REDWOOD BRICK	1.95	BRICK, VENEER, REDWOOD BRICK	1.96	BRICK, VENEER, REDWOOD BRICK
1.97	BRICK, VENEER, REDWOOD BRICK	1.98	BRICK, VENEER, REDWOOD BRICK	1.99	BRICK, VENEER, REDWOOD BRICK
1.100	BRICK, VENEER, REDWOOD BRICK				



ELEVATIONS

03

12/03/2025



NOVEL RICHLAND CREEK
NASHVILLE, TN



20200808
ktgy

NOVEL RICHLAND CREEK
NASHVILLE, TN





1112 South Vicks Dr.
Lancaster, CA 93534
Napa Valley, CA 94558
Napa Valley, CA 94558
415-255-5218

Contract	1. Fisher, Bracey
Email	1. bracey@fisherbracey.com
Principal	Mark Fisher
Designer	1. Bracey, Bracey

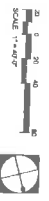
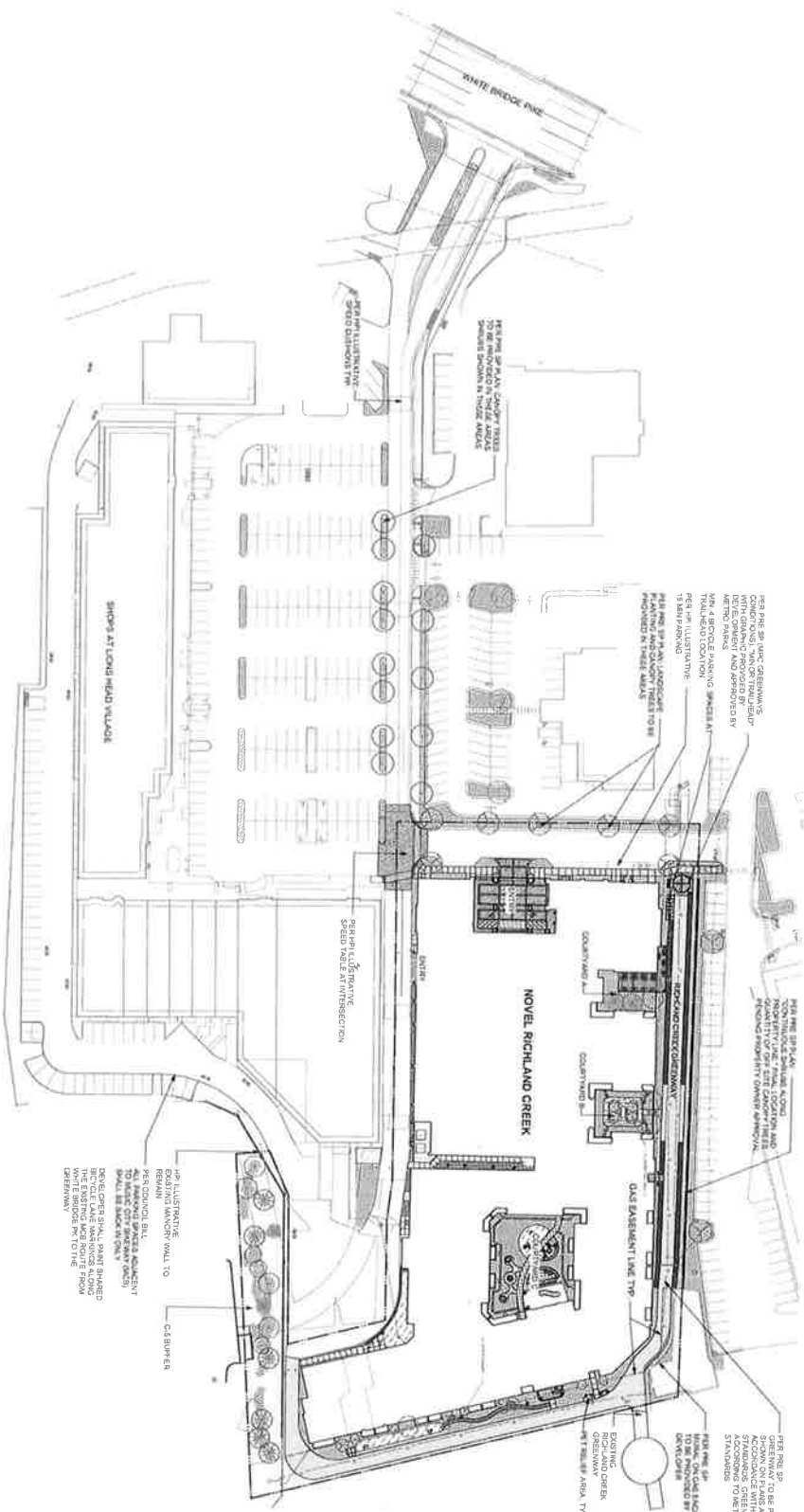
Developer
Creative Concessions
601 S Tryon Street
Suite 800
Charlotte, NC 28202
cmccann@comcast.net

[illegible]

FINAL SP SET



11072025
LANDSCAPE ORDINANCE
PLAN



SHEET TO BE PRINTED IN COLOR

NOVEL RICHLAND CREEK

NASHVILLE, TENNESSEE

NO.	DATE	DESCRIPTION
1	11/01/2018	FINAL SP SET

FINAL SP SET



OVERALL SITE PLAN
11/01/2018

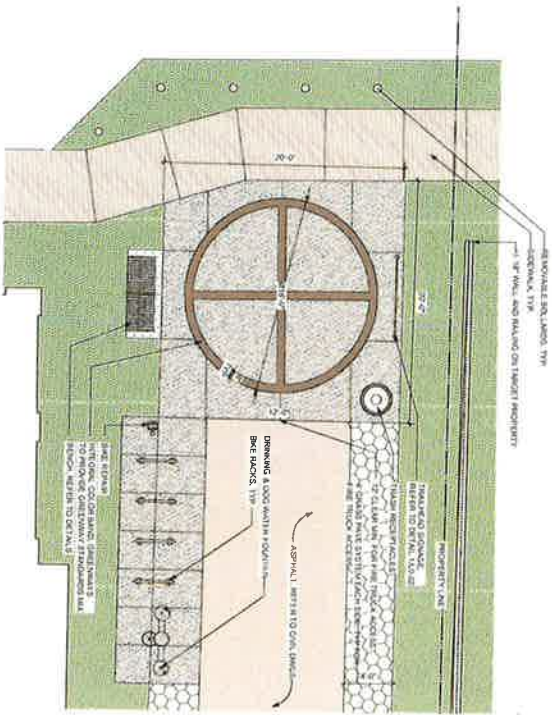
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1155 SOUTH 100th AVE
Nashville, TN 37117
615.292.1218
www.habibpartners.com

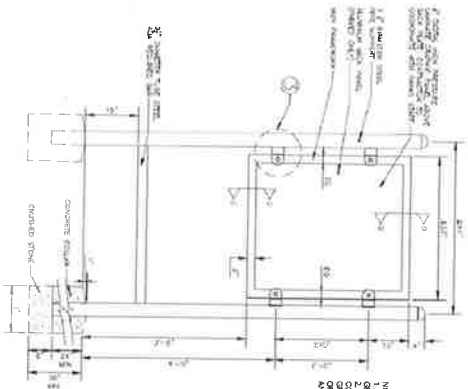
Project Number: 15000000000000000000
Owner: 15000000000000000000
Design: 15000000000000000000



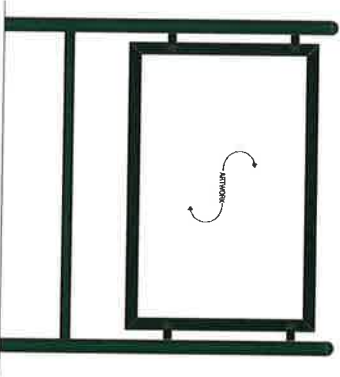
1155 SOUTH 100th AVE
Nashville, TN 37117
615.292.1218
www.habibpartners.com



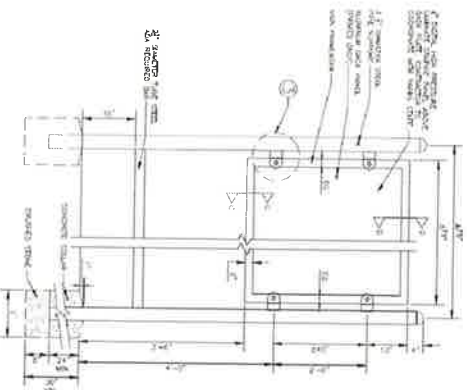
3. DETAIL: TRAIL HEAD LAYOUT
SCALE: 1/8" = 1'-0"



2. DETAIL: MINOR TRAIL HEAD REFERENCE DETAIL
SCALE: 1/8" = 1'-0"



1. DETAIL: TRAIL HEAD REFERENCE DETAIL
SCALE: 1/8" = 1'-0"



NOTE:
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NASHVILLE, TENNESSEE, STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
2. THE TRAIL HEAD SHALL BE DESIGNED TO ACCOMMODATE TWO-WAY TRAFFIC.
3. THE TRAIL HEAD SHALL BE DESIGNED TO ACCOMMODATE PEDESTRIAN TRAFFIC.
4. THE TRAIL HEAD SHALL BE DESIGNED TO ACCOMMODATE BICYCLE TRAFFIC.
5. THE TRAIL HEAD SHALL BE DESIGNED TO ACCOMMODATE HORSEBACK RIDING.

1. DETAIL: TRAIL HEAD REFERENCE DETAIL
SCALE: 1/8" = 1'-0"

NOVEL RICHLAND CREEK

NASHVILLE, TENNESSEE

1111 SOUTH MAIN ST.
Nashville, TN 37211
615.265.2718

Project Number: 1111 SOUTH MAIN ST.
Project Name: NOVEL RICHLAND CREEK
Project Location: NASHVILLE, TN
Project Date: 11/17/2025

Owner: THE CITY OF NASHVILLE
Design: HENKINS PARTNERS, INC.
Scale: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	11/17/2025	FINAL SP SET

FINAL SP SET

GREENWAY DETAILS
11/17/2025



Website: www.darc.com.au/education

1



MODEL 10145 SNA-SM5FA

1



1



1



1



1

FINAL SP SET

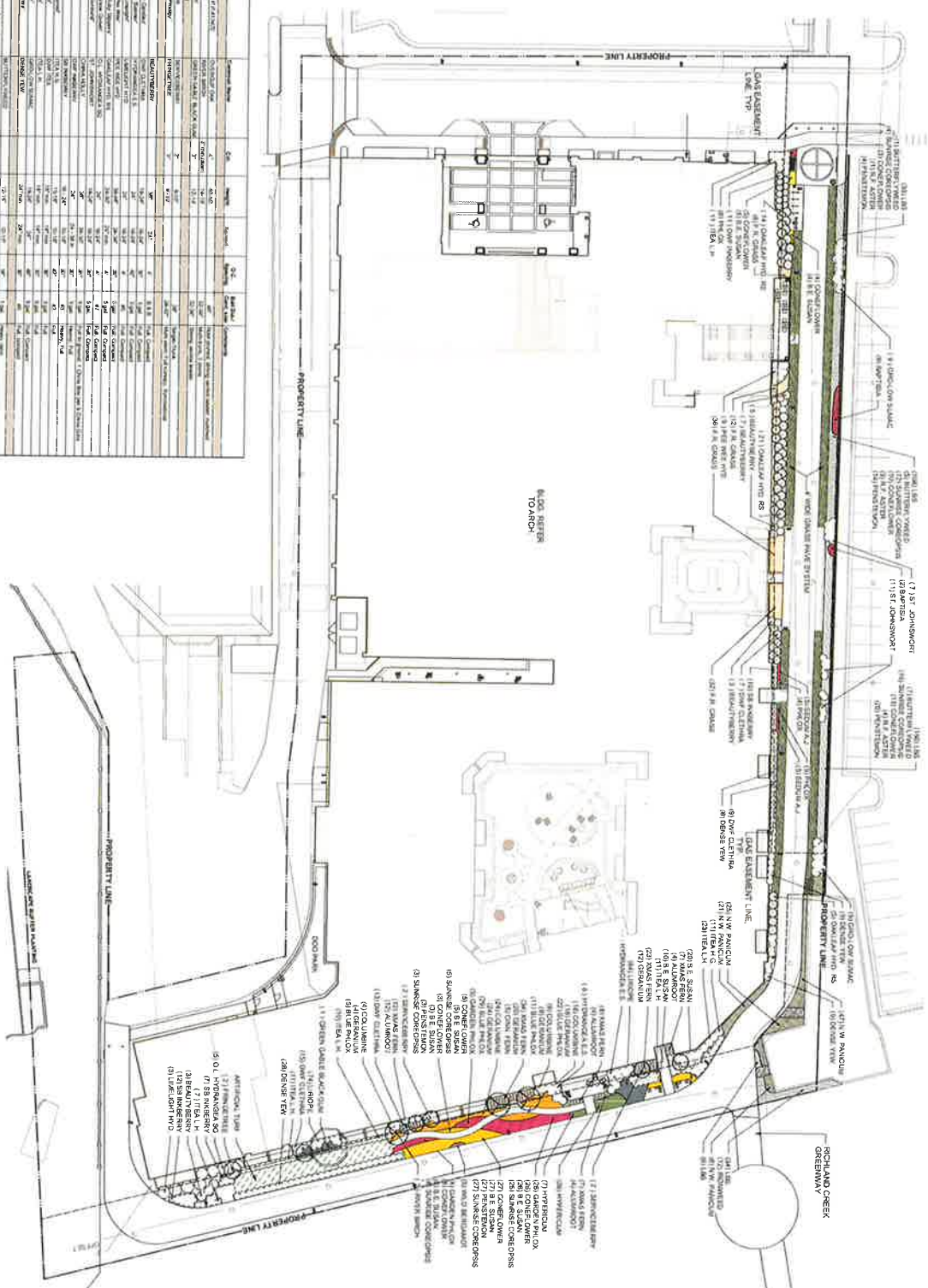
11/27/2015

NASHVILLE, TENNESSEE

Project Number:	20100608
Client:	Laing Bahr
Email:	laing@bahr.com
Principal:	Ken Mackinnon
Designer:	Laing Bahr

Developer
 Citicorp Citigroup
 601 S Tryon Street
 Suite 800
 Charlotte, NC 28202
 or recently, communities.com

Sl. No.	Particulars	Contract Value	Contract Period	Contract Type	Contract Status	Contract Value	Contract Period	Contract Type	Contract Status
1	Contract for the supply of...	...	...	...	...	...	...	...	...
2	Contract for the supply of...	...	...	...	...	...	...	...	...
3	Contract for the supply of...	...	...	...	...	...	...	...	...
4	Contract for the supply of...	...	...	...	...	...	...	...	...
5	Contract for the supply of...	...	...	...	...	...	...	...	...
6	Contract for the supply of...	...	...	...	...	...	...	...	...
7	Contract for the supply of...	...	...	...	...	...	...	...	...
8	Contract for the supply of...	...	...	...	...	...	...	...	...
9	Contract for the supply of...	...	...	...	...	...	...	...	...
10	Contract for the supply of...	...	...	...	...	...	...	...	...
11	Contract for the supply of...	...	...	...	...	...	...	...	...
12	Contract for the supply of...	...	...	...	...	...	...	...	...
13	Contract for the supply of...	...	...	...	...	...	...	...	...
14	Contract for the supply of...	...	...	...	...	...	...	...	...
15	Contract for the supply of...	...	...	...	...	...	...	...	...
16	Contract for the supply of...	...	...	...	...	...	...	...	...
17	Contract for the supply of...	...	...	...	...	...	...	...	...
18	Contract for the supply of...	...	...	...	...	...	...	...	...
19	Contract for the supply of...	...	...	...	...	...	...	...	...
20	Contract for the supply of...	...	...	...	...	...	...	...	...
21	Contract for the supply of...	...	...	...	...	...	...	...	...
22	Contract for the supply of...	...	...	...	...	...	...	...	...
23	Contract for the supply of...	...	...	...	...	...	...	...	...
24	Contract for the supply of...	...	...	...	...	...	...	...	...
25	Contract for the supply of...	...	...	...	...	...	...	...	...
26	Contract for the supply of...	...	...	...	...	...	...	...	...
27	Contract for the supply of...	...	...	...	...	...	...	...	...
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29	Contract for the supply of...	...	...	...	...	...	...	...	...
30	Contract for the supply of...	...	...	...	...	...	...	...	...
31	Contract for the supply of...	...	...	...	...	...	...	...	...
32	Contract for the supply of...	...	...	...	...	...	...	...	...
33	Contract for the supply of...	...	...	...	...	...	...	...	...
34	Contract for the supply of...	...	...	...	...	...	...	...	...
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44	Contract for the supply of...	...	...	...	...	...	...	...	...
45	Contract for the supply of...	...	...	...	...	...	...	...	...
46	Contract for the supply of...	...	...	...	...	...	...	...	...
47	Contract for the supply of...	...	...	...	...	...	...	...	...
48	Contract for the supply of...	...	...	...	...	...	...	...	...
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50	Contract for the supply of...	...	...	...	...	...	...	...	...
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54	Contract for the supply of...	...	...	...	...	...	...	...	...
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60	Contract for the supply of...	...	...	...	...	...	...	...	...
61	Contract for the supply of...	...	...	...	...	...	...	...	...
62	Contract for the supply of...	...	...	...	...	...	...	...	...
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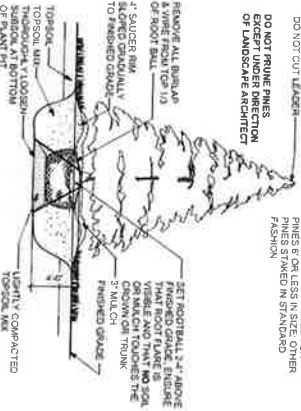
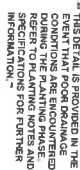


NASHVILLE, TENNESSEE

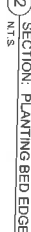
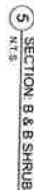
11/07/202

GREENWAY PLANTING

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6 SECTION: EVERGREEN TREE
NTS



1 PLAN: PLANT SPACING DIAGRAM

SHEET TO BE PRINTED IN COLOR

[illegible]

FINAL SP SET

LANDSCAPE DETAILS
GREENWAY

Hawkins Partners, Inc.

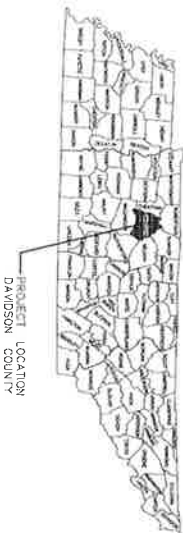
1110 SOUTH YORK ST.
SEVENTH FLOOR
AUSTIN, TX 78711
602/943-0700
011 206 52718

Project Number	2010000
Contact	Wendy Davis
Estimator	1 Broadway Park, Suite 200, St. Louis, MO 63103
Principal	Mark Plummer
Designer	Limberg Brault

Developer:
Gustav Grynberg
601 S Tryon Street
Suite 600
Charlotte, NC 28202
ggrynber@cs.unc.edu

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	TRAFFIC SIGNAL PLAN
3-4	TRAFFIC SIGNAL DETAILS
5	PAVEMENT MARKING PLAN
6	PAVEMENT MARKING DETAILS
7	INTERCONNECT PLAN
8	PHOTOMETRIC ANALYSIS (INFO ONLY)
9	TRAFFIC SIGNAL NOTES AND QUANTITIES

TRAFFIC SIGNAL PLANS
WHITE BRIDGE PIKE
AT LION'S HEAD ACCESS



FILE NO.	25-000475-002
DATE:	04/23/79
DESIGNED BY	MAI
DRAWN BY:	KSR
CHECKED BY:	JMC
REVISION BLOCK	
DATE:	

INCREASED EASEMENT
2. REMOVE W3-3
INCREASE POLE 4 WA
LENGTH TO 55' ADD
NOTE 2. ADD
PHOTOMETRIC ANALYSIS
REVERSE FOOTNOTES 5
AND 6. REVISED
INTERCONNECT NOTES,
12. SAFQ, PULLBOX, AN
OVERHEAD SPLICE. ADD
PEDESTRIAN PHASE 2
ADD DO NOT BLOCK
SIGNAGE AND STRIKING



07/21/25

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE 04-11-2004 BY 60322 UCBAW

ACCEPTED BY _____
DATE : _____



INTERSECTION NO	XXXX
TITLE	
SHEET	

WHITE BRIDGE PIKE AT
LION'S HEAD ACCESS

NTS

SHEET :

T.D.O.T. STANDARD DRAWINGS

- [illegible]

N.D.O.T. STANDARD DRAWINGS

- ST-320 NEW CONSTRUCTION CURE RAMP
ST-321 ALTERATION CONST CURE RAMP W/SIDEWALK LESS THAN 9 FEET

WJK

Approved for installation
W Knauf NDOT
07222025

BY KCI TECHNOLOGIES, INC.
MATTHEW THERIOT, PE
 P.E. NO. 124090

P.E. NO. 124090

SPECIAL NOTE: THE BASE SURVEY AND DESIGN INFORMATION FOR ROADWAY AND UTILITIES PRESENTED ON THIS PLAN WERE PROVIDED TO KCI TECHNOLOGIES, INC. BY BOLA CIVIL. WHERE AVAILABLE, BASE INFORMATION HAS BEEN SUPPLEMENTED BY FIELD OBSERVATIONS BY THE ENGINEER. KCI TECHNOLOGIES, INC. MAKES NO CLAIMS AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED BASE INFORMATION.

SPECIAL NOTE

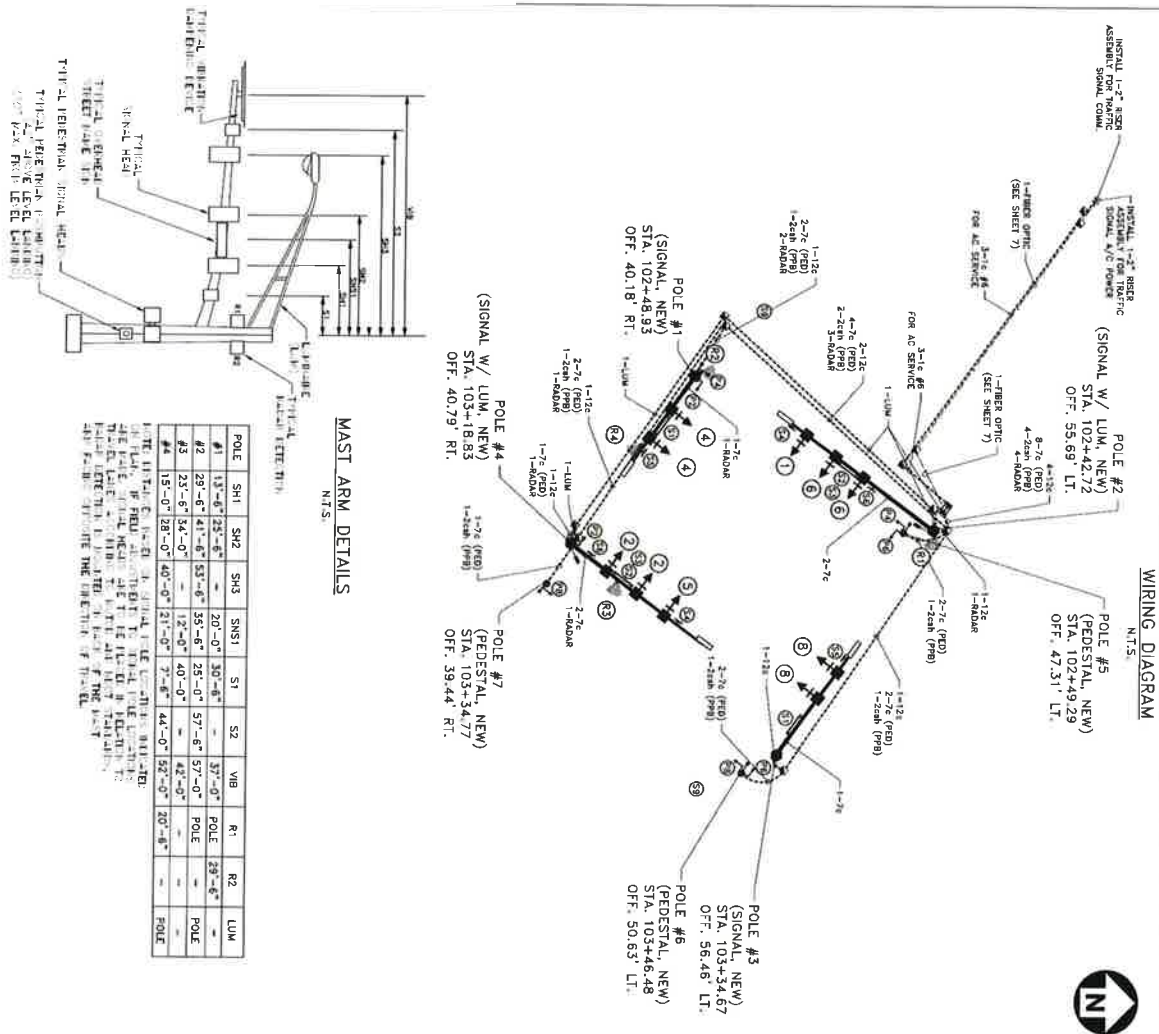
THIS PROJECT TO BE CONSTRUCTED UNDER THE STANDARD SPECIFICATIONS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION DATED: JANUARY 1, 2021 AND ADDITIONAL SPECIFICATIONS AND SPECIAL PROVISIONS CONTAINED IN THE PLANS AND THE PROPOSAL CONTRACT



LOCATION MAP

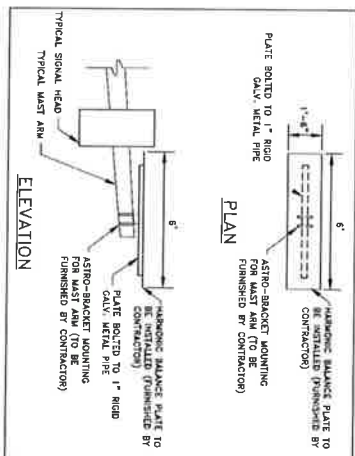
NOT TO SCALE

WHITE BRIDGE PIKE SPEED LIMIT = 40 M.P.H.



POLE NO.	POLE TYPE	HEIGHT	WAST ARM LENGTH	ATTACHMENT HEIGHT **	FOOTING DEPTH ***
1	CANTILEVER	20'-0"	40'-0"	16' SE	15'-0"
2	CANTILEVER	30'-0"	60'-0"	16' SW	15'-0"
3	CANTILEVER	20'-0"	45'-0"	16' NW	15'-0"
4	CANTILEVER	30'-0"	55'-0"	16' NE	15'-0"
5	PEDESTAL	10'-0"	-	-	3'-0"
6	PEDESTAL	10'-0"	-	-	3'-0"
7	PEDESTAL	10'-0"	-	-	3'-0"

*** PROVIDE FOR ESTIMATION PURPOSES ONLY. CONTRACTOR SHALL SUBMIT SIGNAL POLE FOUNDING DESIGN CALCULATIONS ALONG WITH SIGNAL DESIGN DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. DESIGN SHALL BE BASED UPON ASHRAE LOADING AND DESIGN CRITERIA PUBLISHED IN THE 2015 EDITION OF "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LIGHTMAINTS AND TRAFFIC SIGNALS".



VIBRATION DAMPENING DEVICE DETAIL

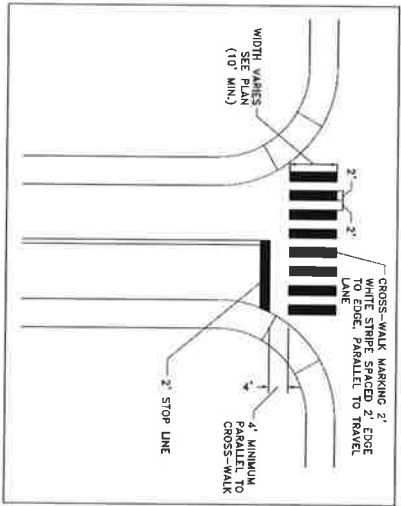
N.T.S.

[illegible]

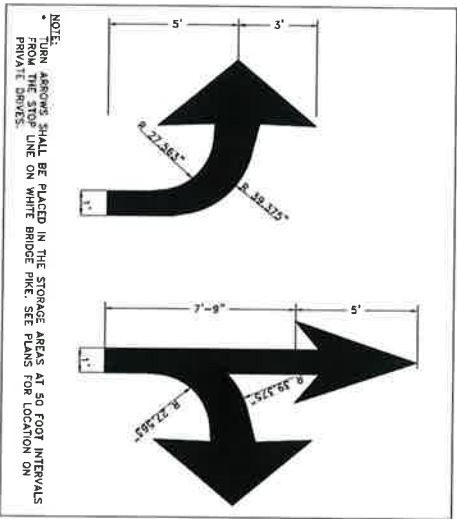
FILE NO.	23-000472-000
DATE	04/21/23
DESIGNED BY	WAT
DRAWN BY	YSR
CHECKED BY	JMC
REVIEW BLOCK	
DATE	
07/21/23	
Δ - NO REVISIONS THIS SHEET.	
 KCI TECHNOLOGIES	
 07/21/23	
 NDOT	
INTERSECTION NO. XXXX	
TRAFFIC SIGNAL DETAILS	
WHITE BRIDGE PIKE AT LIONS HEAD ACCESS	
SCALE: 1"=20'	
SHEET #	



FILE NO.	24-0004725-002
DATE	04/21/15
DESIGNED BY:	MMT
DRAWN BY:	KSR
CHECKED BY:	JMC
REVISION BLOCK	
DATE:	
	☒
△ - ADD TO BOTTOM BLOCK THE BOX SHOWN.	
07/27/15	☒

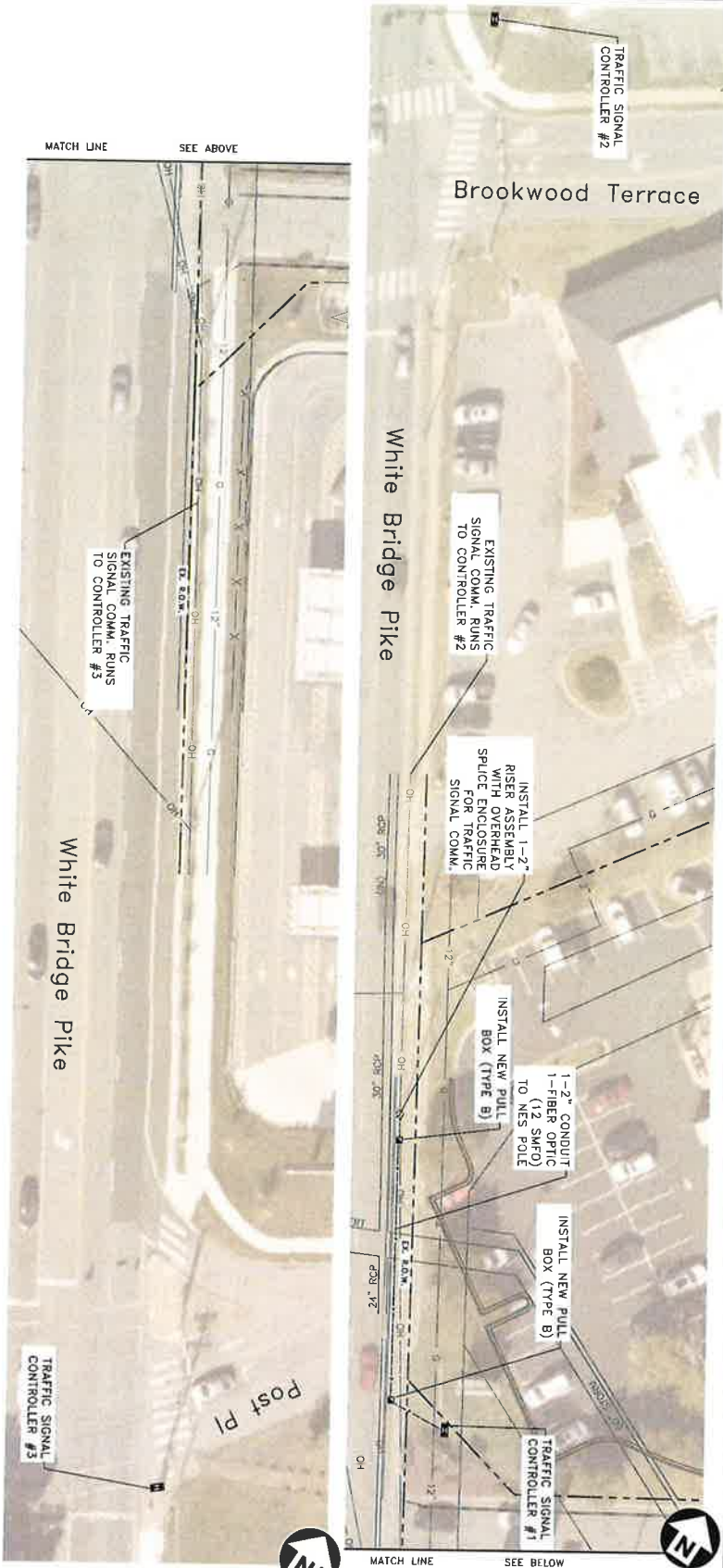


TYPICAL STOP LINE PLACEMENT
AND CROSS-WALK MARKINGS
N.T.S.



STANDARD ARROW PAVEMENT MARKINGS
N.T.S.

FILE NO.	25-00043725.002
DATE	04/03/25
DESIGNED BY	MAT
DRAWN BY	KSM
CHECKED BY	JMC
REVISION BLOCK	
DATE	07/21/25
BY	
NO REVISIONS THIS SHEET.	
07/21/25	
INTERSECTION NO. XXXX	
PAVEMENT MARKING DETAILS	
WHITE BRIDGE PIKE AT LIONS HEAD ACCESS	
N.T.S.	
SHEET 6	



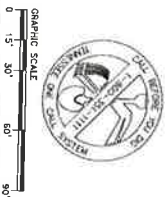
TRAFFIC SIGNAL CONTROLLERS

CONTROLLER #1	WHITE BRIDGE PIKE & LIONS HEAD ACCESS
CONTROLLER #2	WHITE BRIDGE PIKE & BROOKWOOD TRAVEL
CONTROLLER #3	WHITE BRIDGE PIKE & POST ROAD/POST PLACE

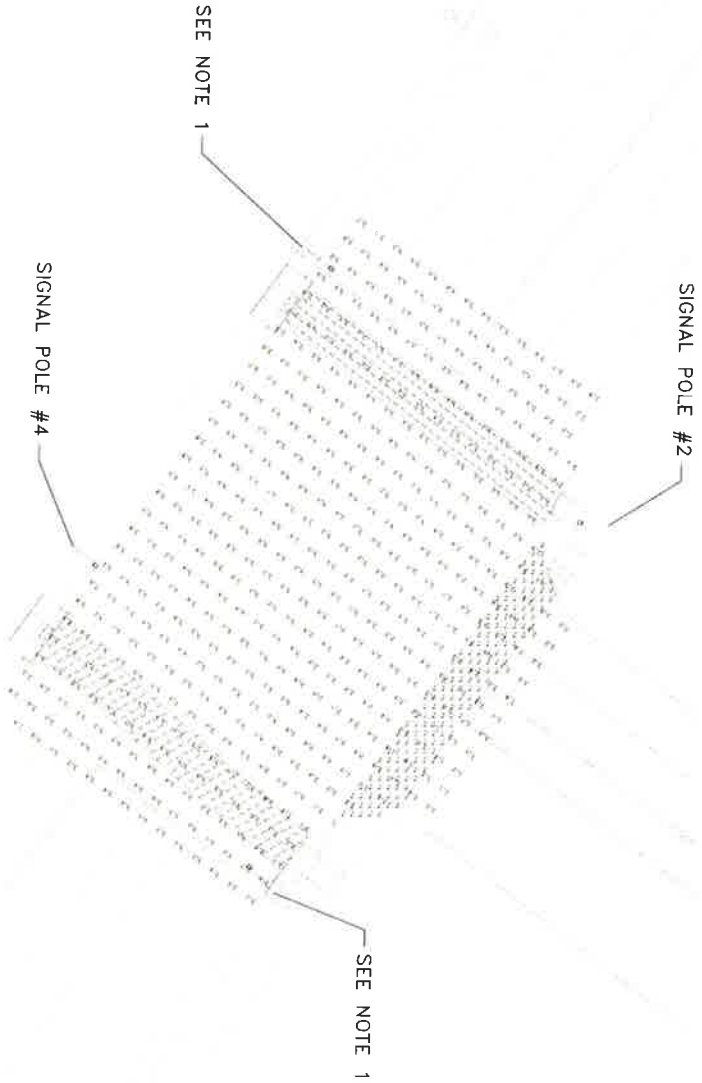
SPECIAL NOTE:
THE BASE SURVEY AND DESIGN INFORMATION FOR ROADWAY AND UTILITIES PRESENTED ON THIS PLAN, WHEN AVAILABLE, BASE INFORMATION HAS BEEN OBTAINED FROM A PROFESSIONAL SURVEYOR, CIVIL ENGINEER, AND FIELD OBSERVATIONS BY THE ENGINEER. NO TECHNICAL SURVEYING OR CLAIMS AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED BASE INFORMATION.

NOTES

1. CABINETS AND CONTROLLERS MUST HAVE ALL APPROPRIATE TO PROVIDE SIGNAL COMMUNICATION VIA FIBER/COPPER INTERCONNECT. THIS INCLUDES COMMUNICATIONS AND NETWORK SWITCHES FOR A COMPLETE AND FUNCTIONAL INTERCONNECT SYSTEM. CONTRACTOR SHALL ASSURE THAT ALL EQUIPMENT IS COMPATIBLE.
2. INTERCONNECT CONDUIT SHALL BE INSTALLED IN CONJUNCTION WITH THE SIGNAL CONDUIT. CONDUIT FOR VARIOUS SYSTEMS MAY BE INSTALLED IN THE SAME TRENCH.
3. INTERCONNECT CABLE SHALL BE 12 CT. SINGLE-MODE FIBER OPTIC (SMFO). CONTRACTOR SHALL LEAVE 50' SPARE FIBER CABLE AT PULL BOX, PAB AND PAB FOR FUTURE USE.
4. THE MASTER CONTROLLER SHALL BE HOUSED IN TRAFFIC SIGNAL CONTROLLER #1.
5. PATCH PANEL SHALL BE SISCO COMPATIBLE GLC-LX-SN-RPD-A (2 PER SWITCH).
6. FIBER SWITCH SHALL BE SISCO (NO REDUNDANCY) IE-2000-BTC-C-B.
7. CONTRACTOR SHALL VERIFY NETWORK SWITCH WITH BARRY CRAFT (NOT ITS).



FILE NO.	23-0004723.000
DATE	04/23/23
DESIGNED BY	MAE
DRAWN BY	CSH
CHECKED BY	MAC
REVISION BLOCK	
DATE	07/21/23
BY	MAE
A - SEWER NOTES, 12 NO REVERSE PULLBOX & SENSORS FILE	
07/21/23	
INTERSECTION NO. XXXX	
INTERCONNECT PLAN	
WHITE BRIDGE PIKE AT LIONS HEAD ACCESS	
SCALE: 1"=50'	
SHEET 7	



NOTE 1: REPLACEMENT OF THE COBRA HEAD FIXTURES ON NES POLES 10406028 AND 10406146 TO BE DONE BY NDOT AS PART OF THE LED REPLACEMENT PROJECT.

Proposed Layout Conditions (units: ft)				
Analysis Zone	Average	Max	Min	Avg/min
Intersection	2.98	3.70	1.00	2.98
East Crosswalk	3.03	3.40	2.10	1.44
North Crosswalk	2.16	3.00	1.00	2.16
West Crosswalk	3.28	3.70	2.60	1.26

Signal/NES Pole Number				
Mounting Height	Signal Pole #2	Signal Pole #4	10406028	10406146
30 feet	30 feet	30 feet	30 feet	30 feet
Mast Arm Length	6 feet	6 feet	6 feet	6 feet
Fixture	3K CCT 20K	3K CCT 20K	3K CCT 20K	3K CCT 20K

FILE NO. 22-0544729-002
DATE 04/21/23
DESIGNED BY MJS
DRAWN BY KSR
CHECKED BY JAC
REVISION BLOCK
DATE 04/21/23
BY

FOR INFORMATION ONLY

PHOTOMETRIC ANALYSIS

WHITE BRIDGE PIKE AT LIONS HEAD ACCESS

N.T.S.

SHEET 8

1. ALL CONSTRUCTION, EQUIPMENT, AND INSTALLATION PROCEDURES SHALL COMPLY WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TODOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SIGNAL INSTALLATION AND EQUIPMENT SHALL COMPLY WITH SECTION 730N--TRAFFIC SIGNALS (CURRENT EDITION). ALL PAYMENT MARKINGS SHALL COMPLY WITH SECTION 716--PAYMENT MARKINGS.

2. THE CONTRACTOR SHALL SUBMIT A MATERIALS LIST TO MDOT FOR REVIEW AND APPROVAL PRIOR TO START OF CONSTRUCTION (CONTACT MIKE HIRTZER, METRO TRAFFIC ENGINEERING, 615-880-3261).

3. INITIAL SIGNAL TIMINGS ARE TO BE PROVIDED BY MDOT. THE CONTRACTOR SHALL NOTIFY MDOT A MINIMUM OF THIRTY (30) DAYS PRIOR TO ACTIVATION OF THE TRAFFIC SIGNAL.

4. CONSTRUCT THE CONTROLLER CABINET AND FOUNDATION IN ACCORDANCE WITH TOOL STANDARD DRAWINGS. AN APPROPRIATE CABINET AND FOUNDATION SHALL BE INSTALLED PER MDPW SPECIFICATIONS:
TYPE IV 55" X 44" X 26" ALUMINUM
TYPE IV C-50" X 36" X 17 1/2" ELECTROSTATIC-PAINTED BLANK.

5. THE CONTRACTOR SHALL CONNECT THE EXISTING SIGNAL COMMUNICATIONS CABLE TO THE NEW TRAFFIC SIGNAL CONTROLLER CABINET. THE CONNECTION SHALL BE MADE BY SPLICING THE EXISTING CABLE IN A MANNER ACCEPTABLE TO MDOT. THE CONTRACTOR SHALL COORDINATE THIS WORK WITH MDOT AND RECEIVE MDOT APPROVAL PRIOR TO SPLICING THE EXISTING CABLE.

5. ALL UTILITY LOCATIONS, AS SHOWN, ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF UTILITIES, PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY ON THE GROUND. HIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3)

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ELECTRICAL SERVICE TO THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY "MAKE READY" WORK REQUIRED. MDPW SHALL BE RESPONSIBLE FOR THE ACTUAL COST OF "MAKE READY" WORK.

5. CONTRACTOR SHALL INSTALL UNDERGROUND CABLES TO SERVICE CONNECTION IN FIVE 2" FULL BOX CARRIED GRAFFIO SIGNAL. FULL BOX SHALL HAVE A 30 AMP FUSE AND WATER PROOF FUSE HOLDER WITH 30 AMP FUSE. COLOR CODED BLACK, WHITE, AND GREEN. POWER WIRING SHOULD BE INSTALLED IN A 2" CONDUIT FROM MESSAGE BOARD TO MESSAGE BOARD.

1. VEHICLE DETECTION LOOPS SHALL MEASURE 6' X 45' MAGNAPOL LOOPS WITH TWO TURNS OF WIRE. UNLESS SPECIFIED OTHERWISE LOOPS SHALL BE CENTERED IN THE DRIVEWAY. 2. LOGS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD DRAWINGS AND WPPV LOOP INSTALLATIONS. UNLESS OTHERWISE NOTED.

ALL EQUIPMENT NECESSARY FOR RADAR DETECTION SHALL BE FURNISHED BY THE CONTRACTOR AND INSTALLED THE CABINET:

ALL FOUNDATIONS SHALL HAVE A SPARE 2-INCH OUTBOUNT PARALLEL TO THE ROAD (POLES AND CONTROLLERS).

THE PROPOSED LOCATIONS FOR THE SIGNAL SUPPORT
LETS, AS SHOWN ON THESE PLANS, ARE APPROXIMATE.
THE FIELD ADJUSTMENT MAY BE REQUIRED IN ORDER TO
AID COMPLY WITH EITHER OVERHEAD OR UNDERGROUND

15. SIGNAL HEADS VISIBLE TO DRIVERS BUT NOT OPERATIONAL, SHALL BE COMPLETELY COVERED.

16. SIGNAL HEADS SHALL FLASH A MINIMUM OF SEVEN (7) DAYS PRIOR TO ACTIVATION OF THE TRAFFIC SIGNAL, UNLESS OTHERWISE SPECIFIED BY MOWM TRAFFIC ENGINEER.

17. IF FIELD ADJUSTMENTS RESULT IN CHANGES TO SIGNAL HEAD PLACEMENT, ATTACHMENT HEIGHTS, OR SPAN WIRE/MAST ARM LENGTH, THE ENGINEER SHALL BE ADVISED AND APPROVED PRIOR TO IMPLEMENTATION.

19. ALL STOP LINES, CROSSWALK LINES, LANE LINES, AND PAYMENT ARROWS SHALL BE THERMOPLASTIC. STOP LINES SHALL BE 24 INCHES WIDE. ALL CONFLICTING MARKINGS SHALL BE REMOVED USING AN ACCEPTABLE METHOD AS SPECIFIED BY DOT SPECIFICATION SECTION 712-TEMPORARILY APPLIED. EXISTING PAINTED OR THERMOPLASTIC TRAFFIC CONTROL MARKINGS SHALL BE MAINTAINED.

19. STREET NAME SIGNS ARE TO BE PROVIDED BY MDWP AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. CONTACT MDWP SIGN SHOP A MINIMUM OF THIRTY (30) DAYS PRIOR TO EXPECTED SIGN INSTALLATION DATE FOR SIGN PREPARATION.

20. ALL ITEMS INSTALLED WITHIN THE PEDESTRIAN PATH OR TRAVEL (I.E. SIDEWALK) SHALL MEET THE METRO PUBLIC WORKS STANDARD DETAILS. THIS INCLUDES A MINIMUM PATH OF TRAVEL WIDTH OF 60" AND A PROTRUDING OBJECT LIMIT OF 4" IF MOUNTED AT A HEIGHT BETWEEN 27" AND 80" AND WITHIN THE PATH OF TRAVEL. VARIANCES MUST BE APPROVED BY MUPM.

3. EXISTING SIGNAL EQUIPMENT SHALL REMAIN IN OPERATION UNTIL NEW SIGNAL EQUIPMENT IS COMPLETE AND IN FULL OPERATION.

4. CABINET AND CONTROLLER MUST HAVE ALL EQUIPMENT

5. CABINET/CONTROLLER TO INCLUDE COORDINATION MODULE, ETHERNET PORT, COMMUNICATIONS PANEL AND THEIR CABINET WIRING AS REQUIRED FOR SYSTEM

6. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR

TRAFFIC SIGNAL SUPPORT POLES SHALL BE DESIGNED IN ACCORDANCE WITH THE ASHRAE STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS.

POLETS - USED ON ALL MAIN ARMS TO OR GREATER SUPPORTS - NOT APPLICABLE ON TRAFFIC SIGNAL SUPPORTS WITH A RAMP OF AT LEAST 0.14 IN/FT. MATERIAL WIND CUST - THE YEARLY MEAN WIND SPEED IN THE DIRECTION OF THE CUST. MATERIAL WIND CUST - NO DESIGN NECESSARY. TRUCK INDUCED CUST - NO DESIGN NECESSARY. THE TRAFFIC SIGNAL SUPPORT POLES SHALL BE POLES W/ GUARD RAIL MAIN ARMS IN ACCORDANCE WITH WAPA 730-N-17. POLE AND LIGHTING SPECIFICATIONS JUNE 30, 2021, FOR POLE AND MAIN DETAILS, AND TO CONFIRM DESIGN CENTER

28. ALL OPEN CUTS AND TRENCH REPAIRS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CURRENT MOPW STANDARD DRAWINGS.

30. ALL CONDUITS SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE NOTED. CONDUIT SHALL BE Laid AT A MINIMUM DEPTH OF 24 INCHES BELOW FINISHED GRADE AND SHALL COMPLY WITH TOOL TRENCHING DETAILS AND CONDUIT PLACEMENT. THE CONTRACTOR SHALL SEAL ALL OPEN CONDUIT ENTRANCE HOLES, WITH OR WITHOUT CASTS, WITH

3.1. THE PLAN SHEET HAVE BEEN DEVELOPED WITH EXISTING DATA AVAILABLE FROM MULTIPLE SURVEYS AND FIELD VISIT.

52. OPERATION OF EACH INTERNALLY AUTOMATED STREET LIGHT, SIGN, OR OTHER ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL ELECTRICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PROPERTY LINES AND DRAINAGE STRUCTURES.

3. SIGNAL LEADS SHALL BE CONNECTED THROUGH THE USE OF A SINGLE PHOTO CELL (GANGNER PART #A-402-OR EQUIVALENT) LOCATED IN THE TOP OF THE CONTROLLER CABINET. INTERNALLY ALIGNED STREET NAME SIGNS SHALL BE WIRED TO A SEPARATE 6 POSITION TERMINAL BLOCK AND A SEPARATE 6 POSITION GROUND BAR LOCATED IN THE CONTROLLER CABINET.

35. UTILITY MARKINGS SHALL BE CHALK BASED MARKING PAINT ON ASPHALT AND SIDEWALKS, AND REMOVED ONCE CONSTRUCTION IS COMPLETED.

35. A SINGLE #6 BWC CABLE (#6 COPPER SOFT DRAWN BARE-GROUND, ITEM NUMBER 714-06-08) SHALL BE INSTALLED IN EVERY DIRECTIONAL DRILLED CONDUIT ROUTE ALONG WITH A #1 CW GROUND ROD AT THE BASE OF EACH DIRECTIONAL PILE. A SEPARATE #6 BWC CABLE SHALL BE UTILIZED FOR THE CONTROLLER CABINET ALONG WITH A #1

W. GROUND ROD. THE SIGNAL POLES SHALL NOT BE
 MOUNTED TO THE CONTROLLER CABINET. ALL CONDUIT RUNS
 BETWEEN PULL BOXES OR BETWEEN PULL BOXES AND POLES
 SHALL HAVE A LOCATE WIRE ITEM NUMBER 750-14.03.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
200-00	REMOVAL OF ROAD PAVEMENT, SIDEWALK, ETC.	S.Y.	50
200-00.01	REMOVAL OF ASPHALT PAVEMENT	S.Y.	18
200-00.02	REMOVAL OF CURB	S.F.	100
200-00.03	SAV CUTTING ASPHALT PAVEMENT	S.F.	100
190-01	CONCRETE CURB WALK 12"	S.F.	200
190-02	CONCRETE CURB WALK 18"	S.F.	200
190-03	CONCRETE CURB WALK 24"	S.F.	400
190-04	CONCRETE CURB WALK 30"	S.F.	20
190-05	REINFORCED CONCRETE WALKING WAY	S.F.	10

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
200-00	REMOVAL OF ROAD PAVEMENT, ASPHALT, ETC.	S.Y.	50
200-00.01	REMOVAL OF ASPHALT PAVEMENT	S.Y.	18
200-00.05	REMOVAL OF CURB	S.F.	100
200-00.10	PAVING ASPHALT PAVEMENT	S.F.	100
190-01	CONCRETE CURB WALK	S.F.	200
190-01.01	CONCRETE CURB WALK	S.F.	200
190-01.05	CONCRETE CURB WALK	S.F.	400
190-01.10	CONCRETE CURB WALK	S.F.	20
190-01.20	CONCRETE CURB WALK	S.F.	10

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
71208 01	UNPOOLED POCKET CALCULATOR	DOZEN	200
71208 02	TRIMMER	EACH	4
71208 03	SHOVEL	EACH	4
71208 04	SHOVEL	EACH	2
71208 05	SHOVEL	EACH	2
71208 06	SHOVEL	EACH	2
71208 07	SHOVEL	EACH	2
71208 08	SHOVEL	EACH	2
71208 09	SHOVEL	EACH	2
71208 10	SHOVEL	EACH	2
71208 11	SHOVEL	EACH	2
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71208 96	SHOVEL	EACH	2
71208 97	SHOVEL	EACH	2
71208 98	SHOVEL	EACH	2
71208 99	SHOVEL	EACH	2
71208 00	SHOVEL	EACH	2

[illegible]

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
7162-01	PLATE PARENT MARKING (1 IN)	EA	0.30
7162-06	PLATE PARENT MARKING (1 IN)	EA	119
7162-07	PLATE PARENT MARKING (1 IN)	EA	119
7162-08	PLATE PARENT MARKING (1 IN) (1 IN) (1 IN)	EA	220
7162-09	PLATE PARENT MARKING (1 IN) (1 IN) (1 IN)	EA	265
7162-10	PLATE PARENT MARKING (1 IN) (1 IN) (1 IN)	EA	2
7162-11	REMOVAL OF PARENT MARKING (1 IN)	EA	1190
7162-12	REMOVAL OF PARENT MARKING (1 IN) (1 IN)	EA	1

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
7162-01	PLATE PARENT MARKING 1/2 IN	EA	0.30
7162-06	PLATE PARENT MARKING 1/2 IN	EA	1.0
7162-07	PLATE PARENT MARKING 1/2 IN	EA	110
7162-08	PLATE PARENT MARKING 1/2 IN	EA	110
7162-09	PLATE PARENT MARKING 1/2 IN	EA	220
7162-10	PLATE PARENT MARKING 1/2 IN	EA	265
7162-11	PLATE PARENT MARKING 1/2 IN	EA	2
7162-12	REMOVAL OF PARENT MARKING	EA	1100
7162-17	REMOVAL OF PARENT MARKING 1/2 IN	EA	1

ES MOUNTING OF SIGN OVERHEAD ON MAST ARM

USE A SMART MATRIX, 4 SENSOR MOUNTS, 4 SENSOR CABLE BOXES, 4 CABLE 20 FT., 24 CORDS, 4 CLOCK AND CABLE INTERFACE DEVICE AND ALL ITEMS NECESSARY FOR A FULL WAVEFORM DETECTION SYSTEM AS SHOWN IN THE PLANS.

CONTRACTOR MAY ELECT TO SUBSTITUTE PREFORMED PLASTIC FOR THE THERMOPLASTIC. PAYMENT WILL BE PAID FOR AT THE SAME UNIT PRICE AS BID FOR THERMOPLASTIC.

CT 304 LUMEN CORBA HEAD LUMINAIRIES (NEE # 303 446 200) WITH MAST ARM. CONDUIT
TUBES TO BE SUPPLIED AND INSTALLED ON SIGNAL POLES #2 AND #4 AND TO BE PAID BY
INSTALLER TO COORDINATE WITH NEE FOR APPROVAL OF LIGHTING INSTALLATION.

BOXES TO BE LABELED "INTS" FOR INTERCONNECT. SEE SHEET 7.
USE PATCH PANEL WITH PATCH CABLES

GROUND MOUNTED SIGN SUPPORT POLE, INSTALLATION OF MOUNTED POLE, AND FOUNDATION

FILE NO	34-00472-100
DATE	04/21/78
DESIGNED BY	LMY
DRAWN BY	KSN
CHECKED BY	JMC
REVISION BLOCK	
DATE	07/27/78
BY	△
△ - REMOVE W-3 SIGN REVERSE FOLD 4 MA REVERSE FOLD 5 MA NOTE 3 AND LED TUBE QUALITY - REVERSE NOTE 6 REVERSE REVISION GOOD. HEAD AND 7 GOOD. HEAD AND 7 AND RT-7 SIGN AND QUANTITY 6 LUNE	
	
	
07/21/78	
	
INTERSECTION NO. XXXX	
TRAFFIC SIGNAL	
NOTES AND	
QUANTITIES	
WHITE BRIDGE PIKE AT	
LION'S HEAD ACCESS	
N.T.S.	
SHEET 9	

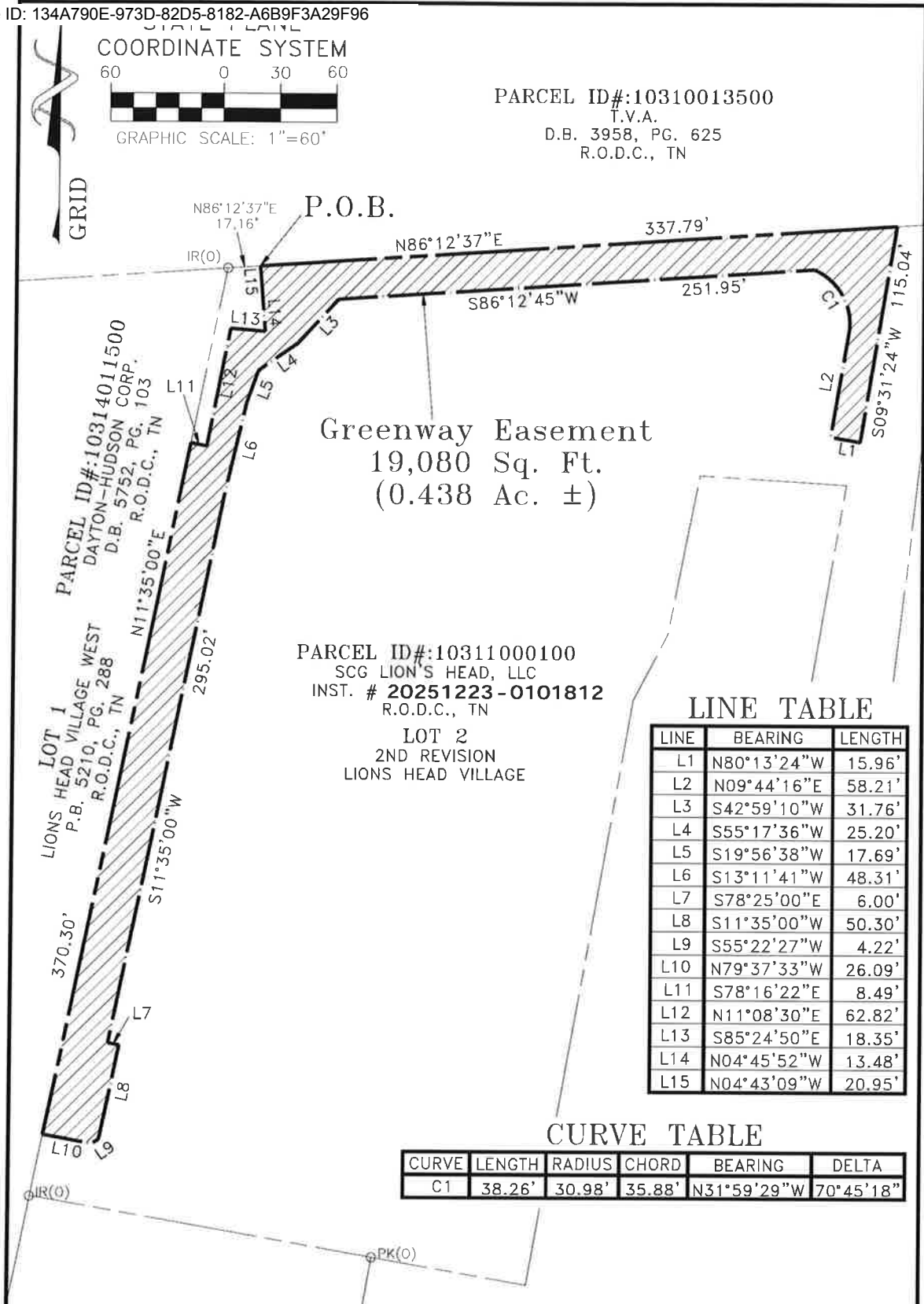
EXHIBIT A

LEGAL DESCRIPTION OF GRANTOR PROPERTY

All that certain parcel or tract of land located in the 24th Councilmanic District, Davidson County, Tennessee and being more particularly depicted as Lot 2 on that certain Final Plat of 2nd Revision Lions Head Village, prepared by Michael H. Charette, Tennessee RLS No. 2048, of Cherry Land Surveying, Inc., dated September 29, 2025, and recorded as Instrument Number 202512230101812 of the Davidson County, Tennessee official records.

Being the same property conveyed to Richland Creek MF Owner, LLC from SCG Lion's Head, LLC pursuant to Special Warranty Deed dated December 31, 2025, of record as Instrument Number 20251231-0104511, Register's Office for Davidson County, Tennessee.

EXHIBIT B
DEPICTION OF EASEMENT AREA
[See attached]



COORDINATE SYSTEM
60 0 30 60
GRAPHIC SCALE: 1"=60'

PARCEL ID#:10310013500
T.V.A.
D.B. 3958, PG. 625
R.O.D.C., TN

Greenway Easement
19,080 Sq. Ft.
(0.438 Ac. ±)

PARCEL ID#:10311000100
SCG LION'S HEAD, LLC
INST. # 20251223-0101812
R.O.D.C., TN
LOT 2
2ND REVISION
LIONS HEAD VILLAGE

LINE TABLE

LINE	BEARING	LENGTH
L1	N80°13'24"W	15.96'
L2	N09°44'16"E	58.21'
L3	S42°59'10"W	31.76'
L4	S55°17'36"W	25.20'
L5	S19°56'38"W	17.69'
L6	S13°11'41"W	48.31'
L7	S78°25'00"E	6.00'
L8	S11°35'00"W	50.30'
L9	S55°22'27"W	4.22'
L10	N79°37'33"W	26.09'
L11	S78°16'22"E	8.49'
L12	N11°08'30"E	62.82'
L13	S85°24'50"E	18.35'
L14	N04°45'52"W	13.48'
L15	N04°43'09"W	20.95'

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	38.26'	30.98'	35.88'	N31°59'29"W	70°45'18"

Map Showing
Dedication of Greenway Easement
40 White Bridge Pike
Parcel ID#:10311000100
Instrument #: 20251223-0101812
Lot 2, 2nd Revision, Lions Head Village
Plat Pending

EXHIBIT C

DESCRIPTION OF EASEMENT AREA

Being a tract of land lying in Nashville, Davidson County, Tennessee, also being part of Lot 2 of the 2nd Revision, Lions Head Village, plat pending, and being more particularly described as follows;

Commencing at an existing iron rod at the northeast corner of Lot 1 Lions Head Village West, as of record in Plat Book 5210, Page 288, at the Register's Office for Davidson County, Tennessee, also being the property of Dayton-Hudson Corp., as of record in Deed Book 5752, Page 103, at the Register's Office for Davidson County, Tennessee, said iron rod being located in the southerly property line of T.V.A., as of record in Deed Book 3958, Page 625, at the Register's Office for Davidson County, Tennessee;

Thence with the southerly property line of T.V.A., North 86 deg 12 min 37 sec East, 17.16 feet to the **TRUE POINT OF BEGINNING**;

Thence with the southerly property line of T.V.A., North 86 deg 12 min 37 sec East, 337.79 feet to a point;

Thence with a line through the property of Lot 2 of the 2nd Revision, Lions Head Village, plat pending, also being the property of SCG Lion's Head, LLC, as of record in Instrument Number: 20200130-0010855, at the Register's Office for Davidson County, Tennessee for the following fourteen calls:

- 1) South 09 deg 31 min 24 sec West, 115.04 feet to a point;
- 2) North 80 deg 13 min 24 sec West, 15.96 feet to a point;
- 3) North 09 deg 44 min 16 sec East, 58.21 feet to a point;
- 4) With a curve to the left, along an arc length of 38.26 feet, the central angle of which is 70 deg 45 min 18 sec, the radius of which is 30.98 feet, the chord of which is North 31 deg 59 min 29 sec West, 35.88 feet to a point;
- 5) South 86 deg 12 min 45 sec West, 251.95 feet to a point;
- 6) South 42 deg 59 min 10 sec West, 31.76 feet to a point;
- 7) South 55 deg 17 min 36 sec West, 25.20 feet to a point;
- 8) South 19 deg 56 min 38 sec West, 17.69 feet to a point;
- 9) South 13 deg 11 min 41 sec West, 48.31 feet to a point;
- 10) South 11 deg 35 min 00 sec West, 295.02 feet to a point;
- 11) South 78 deg 25 min 00 sec East, 6.00 feet to a point;
- 12) South 11 deg 35 min 00 sec West, 50.30 feet to a point;
- 13) South 55 deg 22 min 27 sec West, 4.22 feet to a point;
- 14) North 79 deg 37 min 33 sec West, 26.09 feet to a point in the easterly property line of said Lot 1;

Thence with the easterly property line of said Lot 1, North 11 deg 35 min 00 sec East, 370.30 feet to a point;

Thence with a line through the property of said Lot 2, for the following five calls;

- 1) South 78 deg 16 min 22 sec East, 8.49 feet to a point;
- 2) North 11 deg 08 min 30 sec East, 62.82 feet to a point;
- 3) South 85 deg 24 min 50 sec East, 18.35 feet to a point;
- 4) North 04 deg 45 min 52 sec West, 13.48 feet to a point;
- 5) North 04 deg 43 min 09 sec West, 20.95 feet to the **POINT OF BEGINNING**. Containing 19,080 square feet or 0.438 acres more or less.

Being part of the same property conveyed to SCG Lion's Head, LLC, as of record in Instrument Number: 20200130-0010855, at the Register's Office for Davidson County, Tennessee.

EXHIBIT D
SITE PLAN
[See attached]

DAVIDSON COUNTY MAP: 103-15, PARCEL: 43

C0-00

PARKING TABLE			
DESCRIPTION	LAND USE	FLOOR AREA (SQ. FT.)	PROPOSED SPACES
NOVEL RICHLAND CAFÉ	MULTIFAMILY	158 - 103 99 - 10 15 - 300	GARAGE PARKING - 77 PUBLIC + 158 CAR TO ON STREET PARKING - 4 PUBLIC
	NONRESIDENTIAL	SUM 89	
* AS APPROVED WITH PERMITS/REPAIRS BY			TOTAL PARKING = 428

[illegible]

File #: 16-0024-162, Version: 1

Section 5: Be it further resolved, a contract copy of the preliminary SP plan incorporating the subdivision approval by Meire County shall be provided to the Planning Department prior to its final staff plan approval.

Section 6: Be it further resolved, major modifications to the preliminary SP plan shall be approved by the Planning Commission or its designee based on clear architectural engineering or site design and actual site conditions. Any modifications inconsistent with the articles and sections of this Ordinance, including plan modifications shall not be permitted, although an ordinance approved by Meire County that includes the permitted changes of floor area, shall cover the additional permitted, including specific compliance of requirements contained in the plan as attached through its original approval and/or additional variance, zoning and currently existing in the area.

Section 7: Be it further resolved, if a development applicant, including permitted use, is exempt from the SP plan review County approval, the property shall be subject to the standards, regulations and requirements of the MCOZ plan and all of the laws of the applicable natural or cultural resources. Uses are limited as identified in the General Ordinance.

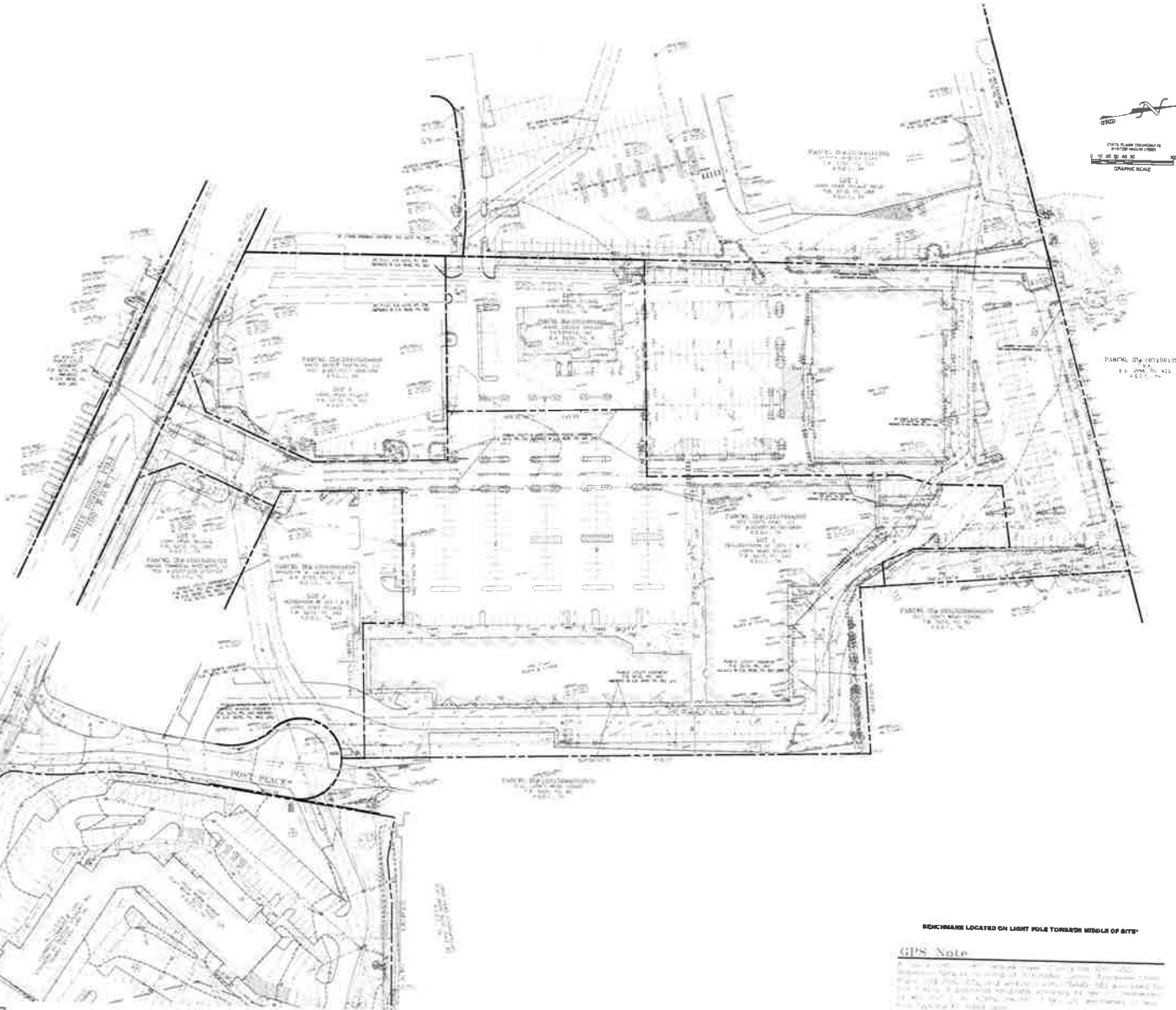
Section 8: The Metropolitan Council is directed to prepare a notice announcing such changes in a newspaper of general circulation within the following time frame:

Section 9: This Ordinance shall take effect upon adoption of above said notice announcing such change in a newspaper of general circulation, the website of the Metropolitan Department of Nashville and Davidson County receiving it.

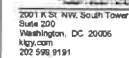


 SITE NOTES

 C0-01



C0-10



Mtgy Project Number	220608
Contad	Lindsey Minkoff
Email	lminkoff@mtgy.com
Principal	Brian Fraser
Designer	Federico Solter

[illegible]

Client is responsible for supplying sufficient writing for only descriptive words or sentences in the gloss and specifications during construction of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with construction, the portion of work errors or omissions shall be a expense by Client for any liability of Architect; the most severe errors or omissions. Client assumes liability for any liability for such purposes of work, and Architect shall not be liable for any design damages, omissions errors, repair costs, removal or correction costs, or replacements of any such portions of work.

ENLARGED EXISTING
CONDITIONS

FEMA DATA FOR PROJECT LOCATION:
FIRM EROSION CONTROL DISTRICT OF MISSOURI
FIRM MAP NAME NUMBER: 48070000
FIRM MAP EFFECTIVE DATE: 01/01/2001
DATE OF SURVEY: 06/01/01



Know what's below
Call before you dig.
811

PUBLIC SANITARY: 25SL0118

MWS SWGR# 2025028066

3. THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERINGS AND ERECTION WEAIR NOT EXCEEDED FOR SCHEDULED WORK ON CONSTRUCTION OF THE PROJECT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND AS REQUIRED BY ANY MAY SUBSEQUENTLY WORK.
4. THE CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO SCHEDULE SEQUENCE, AND COORDINATE ALL WORK
5. IN THE EVENT THIS CONTRACT IS ON A FORTNIGHTLY BASIS, ON THE DAY OF REPAIRS, RELATED TO AN ADVERSE ACTION UNEXPECTED BY THE CONTRACTOR, THE CONTRACTOR SHALL MAINTAIN A STAFF MEMBER ON THE SITE AT ALL TIMES TO MONITOR THE CONDITION OF THE STRUCTURE AND REPORT THE CONDITION IN WRITING TO THE OWNER

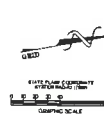
- 1 THE CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EXISTING STRUCTURES AND VERIFY THE ENGINEER/ARCHITECT'S DRAWINGS OF ANY STRUCTURES. ALL DIMENSIONS SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE MAINTAINED THROUGHOUT THE DESIGN CONSTRUCTION PERIODS OF THE PROJECT.
- 2 THE CONTRACTOR SHALL REMOVE ALL EXISTING SYSTEMS AND CAN BE RESPONSIBLE FOR THE REMOVAL AND/OR REPAIR OF THE DAMAGE, IF ANY TO EXISTING STRUCTURES, UTILITIES, OR ADJACENT AREAS, AS REQUIRED. ANY DAMAGE TO BE REPAIRED BY THE ENGINEER/ARCHITECT SHALL BE REPAIRED PRIOR TO THE COMMENCEMENT OF THE PROJECT.
- 3 THE CONTRACTOR SHALL SURVEY AND OBTAIN THE REMOVAL OF EXISTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPROVED CONSTRUCTION.
- 4 THE CONTRACTOR SHALL VERIFY THE ENGINEER/ARCHITECT'S DRAWINGS OF ANY CONSTRUCTION DOCUMENTS SHOWN IN CONSTRUCTION WORK OF EXISTING BUILDINGS, UTILITIES, ETC.
- 5 ALL EXISTING STRUCTURES OF THE EXISTING AREAS SHALL BE PROTECTED

- 1 REMOVE ASPHALT PAVEMENT TO FULL DEPTH AND PROPERLY DISPOSE OF MATERIAL ON SITE
- 2 REGRADE ASPHALT PAVEMENT TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 3 REMOVE EXISTING CURB OF EXISTING DRIVEWAY AND REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 4 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 5 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 6 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 7 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 8 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 9 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT
- 10 REGRADE DRIVEWAY TO FULL DEPTH AND PROPERLY DISPOSE OF EXCESS ASPHALT

- | | |
|----|---|
| 11 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 12 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 13 | REPAIR OF EXISTING ROOFING SHALL BE COVERED BY BIDDER TO BE REMOVED AND REINSTALLED BASED UPON PLAN |
| 14 | REMOVE TO LANDSCAPE AND REINSTALLATION PLANS FOR THIS REMOVAL |
| 15 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 16 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 17 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 18 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 19 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 20 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |
| 21 | REMOVE EXISTING ROOFING TO EXPOSE INSULATION TO BE INSTALLED BASED UPON PLAN |

- 22 OLD (FRESH) EARTHINGS
- 23 REMOVE EXISTING BOLLARD (TYPE)
- 24 REMOVE EXISTING TRANSFORMER AND UNDERGROUND ELECTRIC W/ PINS, COORDINATE WITH NE-6
- 25 REMOVE EXISTING REBAR/CLINCH AND CONCRETE/PAVEMENT/IMPROVEMENTS
- 26 REMOVE EXISTING UNDERGROUND ELECTRICAL LINES, COORDINATE WITH NE-6
- 27 REMOVE EXISTING 8" BIRD DUMPTON PAV AND ENCASEMENT, MOVE DUMPTON TO PROPOSED ACCESSURE LOCATION
- 28 REMOVE EXISTING GIN LINE, UNDERGROUND WITHIN ACCESSURE EXISTENT
- 29 PREPARE EXISTING CONCRETE TO FULL DEPTH
- 30 FULL DEPTH REPAIR TO EXISTING UNDERGROUND CONCRETE/PAVEMENT, REPAIR/PAVEMENT SECTION PER WBS SPECIFICATIONS
- 31 TEMPORARILY REMOVE CURB, PAVS AND STOPS (LAND, REPLACE), AND/OR BOLLARD AT TURN CORNERS

* ALL DISCARDED ITEMS TO BE PROPERLY & SAFELY DISPOSED OF



BCA BARGE CITY MUSEUM

Idgy Project Number	22-0005
Contact	Lindsay Minkoff
Email	lminkoff@idgy.com
Principal	Brian Fraser
Designer	Federico Sotter

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]

Client is responsible for supplying evidence in writing for any performance review or statements in the goals and specifications during verification of the project. Failure for Client to timely furnish all of any known facts or conditions in the plans or specifications, and proceeding with work without the parties of work shown in the plans or specifications constituting known errors or omissions shall be a waiver by Client for any liability of architect (with known errors or omissions). Client warrants that any liability for any delay or delay of any portion of work, and Architect shall not be liable for any delay or delay. Change orders, partial credit, reduced or modified work, or replacement of any portion of work.



FEMA DATA FOR PROJECT LOCATION
FLOODING TYPE: "A" AREA OF MODERATE RISK
FEMA MAP PANEL NUMBER: 8700000000
FEMA MAP EFFECTIVE DATE: 09/06/00
DATE: 1 MAR 2004



PUBLIC SANITARY: 25SL0118

MWS SWGR# 2025028066





Client is responsible for carrying out the program for any therapeutic work or exercises in the home and appointments during consultation of the program. It is the Client's responsibility to inform the therapist of any changes or obstacles in the program and to provide feedback on the program. The Client is responsible for the program and for the results of the program. The Client is responsible for the program and for the results of the program.



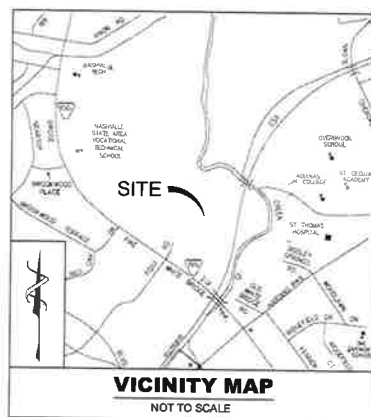
GRADING PLAN

C2-00

DAVIDSON COUNTY MAP: 103-15, PARCEL: 43

SITE AREA:	9.98 ACRES
LIMIT OF DISTURBANCE:	4.82 ACRES
CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TN
TAX MAP:	MAP 103-15
PARCEL ID:	PARCEL: 43
COUNCIL DISTRICT	24
COUNCIL MEMBER	BRENDA GADD
SITE LOCATION:	48 WHITE BRIDGE PIKE (OLD) 92 WHITE BRIDGE PIKE (NEW) NASHVILLE DAVIDSON COUNTY, TENNESSEE
OWNER:	SCG LION'S HEAD LLC 3550 LENOX ROAD STE 2900 ATLANTA, GA 30326
PROJECT REPRESENTATIVE:	BARGE CIVIL ASSOCIATES, LLC 6606 CHARLOTTE PIKE, SUITE 210 NASHVILLE, TN 37209 CONTACT: JOHN GORE P.E. (615) 356-9911

THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN
AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT
AGENCY FIRM PANEL NUMBER 47057C0381 DATED FEBRUARY 25, 2002



No.	SHEET TITLE
D-01	CROSS SECTIONS
D-01-1	OVERALL ELEVATION CONTIGENTS
D-01-2	LANDSCAPE ARCHITECTURE PLAN
D-01-3	SITE DEMONSTRATION PLAN
D-01-4	CONCRETE SLAB PLAN
D-01-5	SITE PLAN
D-02	GRADING PLAN
D-02-1	DEMARCATION OF CONCRETE PLANS
D-02-2	PAVE & STRUCTURE TABLE
D-02-3	CONCRETE & STRUCTURE PLAN
D-03	INITIAL LSCS PLAN
D-03-1	INTERIOR LSCS PLAN
D-03-2	FINAL LSCS PLAN
D-04	PAVE
D-04-1	PAVE SANITARY SEWER PROFILE
D-04-2	PAVE SANITARY SEWER PROFILE
D-05	FINAL ACCESS PROFILE
D-05-1	FINAL ACCESS PROFILE
D-06	DATA DETAILS
D-06-1	DATA DETAILS
A-01	ARCHITECTURAL ELEVATIONS
A-01-1	ARCHITECTURAL ELEVATIONS
A-02	ARCHITECTURAL ELEVATIONS
A-02-1	ARCHITECTURAL ELEVATIONS
A-03	ARCHITECTURAL ELEVATIONS
A-03-1	ARCHITECTURAL ELEVATIONS
A-04	ARCHITECTURAL ELEVATIONS
A-04-1	ARCHITECTURAL ELEVATIONS
A-05	ARCHITECTURAL ELEVATIONS
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A-57-1	ARCHITECTURAL ELEVATIONS
A-58	ARCHITECTURAL ELEVATIONS
A-58-1	ARCHITECTURAL ELEVATIONS

[illegible]

Chert is responsible for nothing arranged in writing for any decreasing scope in assisting in the plans and substantially during construction of the project. Failure for Chert to fully Archives of any current works or assistance in the plans or specifications, and proceeding with constructing the complex of structures in the plans to specific times, assuming various series of situations that may be subject by Chert for any building of Architectural work known under construction. Chert would assume Accounts for any longer for such portions of work, and Architect would not be liable for any other situations, through others, proper or not, pursuant to conditions above, or requirement of any other Architects of work.

OWNER INFORMATION:
 NAME: OFFICE OF THE COMPTROLLER
 CLIENT ADDRESS: 401 S. FAY STREET, SUITE 800
 CHICAGO, ILL. 60607

SEALED ENVELOPE:
 COMPANY NAME: ROYAL CLAY ASSOCIATES
 COMPANY ADDRESS: 3800 CALVERT STREET, SUITE 210
 BALTIMORE, MD 21206
 COMPANY PHONE: 410-386-8917

ARCHITECT:
 COMPANY NAME: ARCHITECTURAL & PLANNING
 COMPANY ADDRESS: 301 N. STREET, 10TH FLOOR, SUITE 301
 BALTIMORE, MD 21201
 COMPANY PHONE: 410-538-7711

LANDSCAPE ARCHITECT:
 COMPANY NAME: LANDSCAPE ARCHITECTS, INC.
 COMPANY ADDRESS: 80 N. HUNTER STREET
 BALTIMORE, MD 21201
 COMPANY PHONE: 410-328-8200

SURVEYOR:
 COMPANY NAME: GENTRY LAND SURVEYING, INC.
 COMPANY ADDRESS: 5422 WEST LEXINGTON
 ANNAPOLIS, MD 21403
 COMPANY PHONE: 410-293-1878

COVER SHEET

PUBLIC WATER: 25WL0052	PUBLIC SANITARY: 25SL0118
BUILDING PERMIT: 2025069127	MWS SWGR# 2025028066

C0-00

BCA **MARGE CIVIL**
ARCHITECTS • ENGINEERS • PLANNERS
2001 K St. NW, South Tower
Suite 2000
Washington, DC 20006
kigy.com
202.599.9191

kigy Project Number 2200

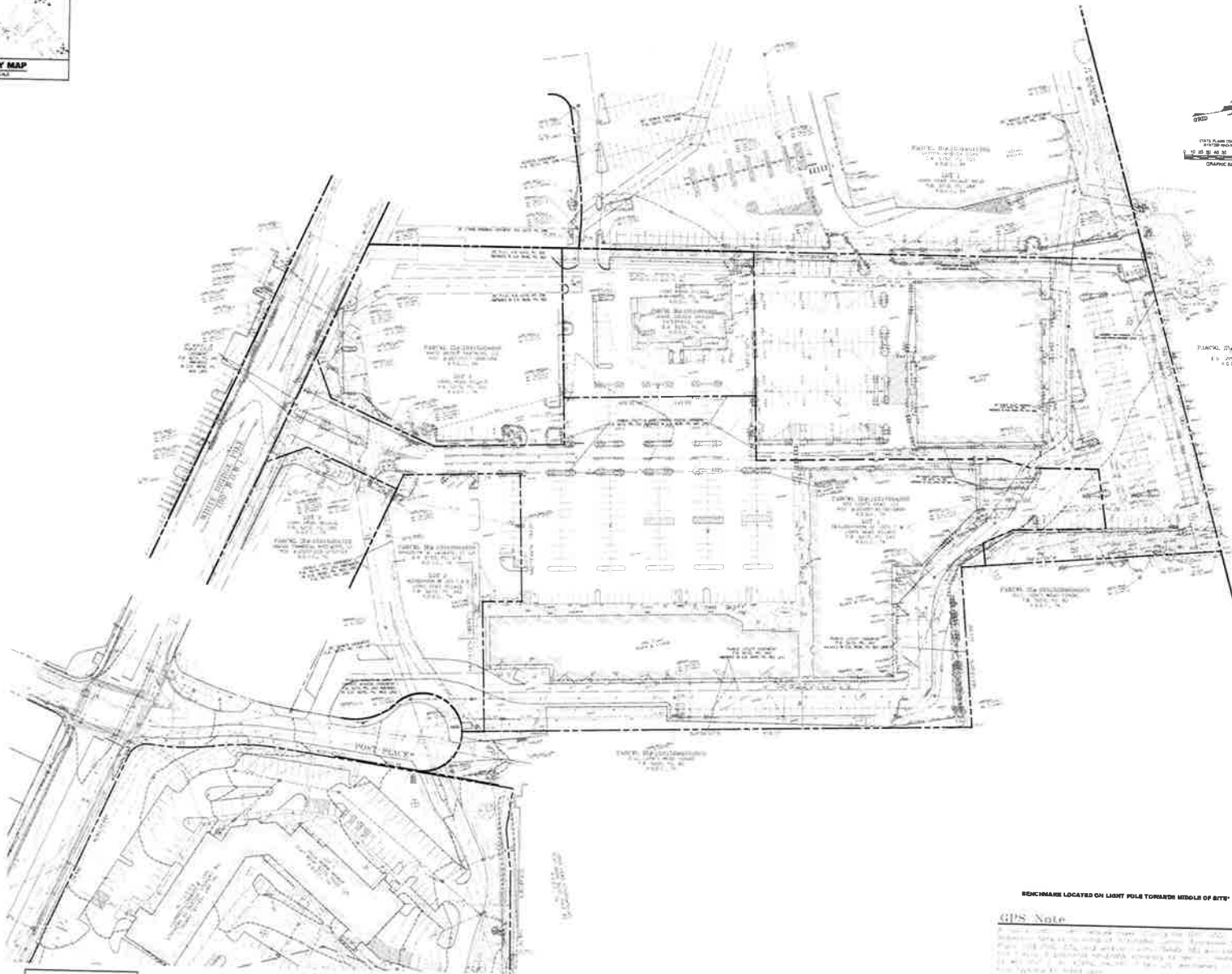
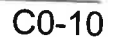
Contact: Lindsey Kiny
Email: lmkiny@kigy.com
Principal: Brian Frazier
Designer: Federico Sottile

NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]

	Metropolitan Nashville and Davidson County, TN		
	Legislation Text		
	FILE #: HJ2024-01, Version: 1		
An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, Tennessee, by changing from SOC to zoning for a portion of property located at 42 West Bridge Pike, approximately .275 acre west of First Phase and located near Highway 158, to permit a mixed-use development of which a described herein (Proposed No. 20212D-009-001).			
NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:			
Section 1.	Title 17 of the Code of Laws of the Metropolitan Government of Nashville and Davidson County is hereby amended by adding the Official Zoning Map to Metropolitan Nashville and Davidson County, which is made a part of Title 17 of this ordinance, as follows: by changing from SOC to zoning for a portion of property located at 42 West Bridge Pike, approximately .275 acre west of First Phase and located within a Commercial Planned Unit Development Overlay District (SOZ) area; to permit a mixed-use development; being SOI or Property Parcel ID, SAG as designated on Map 102-125 of the Official Property Identification Map of the Metropolitan Government of Nashville and Davidson County, all of which is delineated by lines, words and figures on the plan that will comply with the Metropolitan Planning Commission's standards as set forth in the Metropolitan Planning Department and Metropolitan City's a Cument and made a part of this ordinance as hereby duly enacted;		
Section 2.	a. By further amending that the Metropolitan City is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the changes to be made on Map 102-125 of the Official Property Identification Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make suitable revisions of reference to the state of passage and approval of this ordinance;		
Section 3.	b. By further amending that, no use of this SOZ shall be limited to a maximum of 275 multiple residential units and a maximum of 1,000 square feet of ground-floor commercial use. Groundfloor commercial uses shall be limited to retail space up to 100 sq ft. In SOZ areas, parking spaces, except outdoor self-storage, are not required and may be prohibited in the central development;		
Section 4.	c. Be it further enacted that be following conditions that be completed, bonded or satisfied as applicable occur: 1. Accessible parking garage screening shall be modified to feature exterior architectural cladding to the southern and western facades for four side panel appearance. Elevations to be reviewed and approved by Planning staff. 2. The western facade elevations shall be modified to feature interior architectural cladding to the southern and western facades for four side panel appearance. Elevations to be reviewed and approved by Planning Staff. 3. The following design elements shall be added to the plan: Building facades shall be constructed of brick, brick veneer, stone or masonry. All buildings shall have a minimum height of six stories and function, unless otherwise approved on certain building exteriors, included with the preliminary SP. 4. The requirements of the Metropolitan Planning Department for signage shall be followed. 5. Any other rules for the prohibition must be met prior to the start of any building projects.		
	d. Cleanup with all details and requirements of future reviewing agencies.		
Metropolitan Nashville and Davidson County, TN Page 1 of 2 Print As Is: 10/24/24			
	FILE #: HJ2024-01, Version: 1		
Section 5.			
Section 6.	b. By further mandating minor modifications to the preliminary SP plan may be approved by the Planning Commission as it deems them best for site architectural, engineering or site design and actual construction. All modifications to the preliminary SP plan shall be subject to the provisions of the applicable plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that includes the pertinent detailed plan, said work may be submitted herewith, review and approval of requirements established in the plan as adopted through this ordinance and/or and/or additional action plans and conditions related to approval.		
Section 7.	c. By further amending that, if a developer, landowner, and existing permit fees are a waiver from the SP plan after initial Council approval, the property shall be subject to the landowners' regulatory and requirements of the SOZ general district of the date of the applicable revised ordinance. Uses are not allowed as described in the Council ordinance.		
Section 8.	The Ordinance shall be placed in public notice according to the usual manner such as in a newspaper of general circulation within five days following first passage.		
Section 9.	The Ordinance shall take effect upon publication of above said notice according their term in a newspaper of general circulation, the website of The Metropolitan Government of Nashville and Davidson County meeting.)		

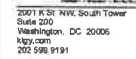
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Abstract: This paper examines the impact of the 1990s on the U.S. economy. It discusses the role of the federal government in the economy, the impact of the 1990s on the economy, and the impact of the 1990s on the economy.

811 Know what's below
Call before you dig.
811

MWS SWGR# 2025028066



20' DRIVE EASEMENT
P.B. 1416, PG. 288

PARCEL ID# 10014011000
BAYTON - HOUSTON CORN.
D.B. 2712, PG. 182
S.O.D.C. TN

LOT 1
LIONS HEAD VILLAGE STG.
P.B. 3210, PG. 288
S.O.D.C. TN

LOT 2
LIONS HEAD VILLAGE
P.B. 3210, PG. 288
S.O.D.C. TN

LOT 3
LIONS HEAD VILLAGE
P.B. 3210, PG. 288
S.O.D.C. TN

PARCEL ID# 10015004000
GRAND OLE Opry
ENTERTAINMENT
P.B. 3210, PG. 288
S.O.D.C. TN

PARCEL ID# 10015004100
LOT 1
REDEVELOPMENT OF LOTS 1 & 2
LIONS HEAD VILLAGE
P.B. 3210, PG. 244
S.O.D.C. TN

PARCEL ID# 10010013500
LOT 1
P.B. 2858, PG. 620
S.O.D.C. TN

GRAPHIC SCALE

[illegible]

Client is responsible for supplying information in writing for only those areas or conditions in the plant and surroundings during construction of the project. Follow the Client to verify condition of any known areas or conditions in the plant or surroundings, and proceeding with construction the portion of earth either in the process of excavation, retaining, bracing, or otherwise shall be a subject by Client for its liability of approval for such bracing, retaining or conditions. Client assumes liability for any liability for such portions of wall, and assumed shall not be liable for any delay, damage, expense, injury, expense, removal or construction costs, or replacement of any such portions of walls.



811 Know what's below
Call before you dig.
811

C0-20

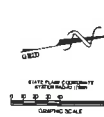
1. THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING TO WOOD, METAL, PLASTER, ETC. SHALL NOT BE USED AS FILL OR THE MATERIALS MUST BE REUSED AFTER EACH CONTRACTION TO USE FOR THE ECONOMIC, REPEATED AND ACCEPTABLE PROTECTION OF MATERIALS.
2. THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY FILL CAUSED BY ANY OF HIS SUBCONTRACTORS.
3. THE CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO SCHEDULE SEQUENCE AND COORDINATE ALL WORK.
4. IN THE EVENT THIS CONTRACTOR OR SUBCONTRACTOR, OR THEIR REPRESENTATIVE REFUSED TO OR DELAYED ACTION, THE OWNER SHALL HAVE THE RIGHT TO TAKE ANY NECESSARY ACTION TO PROTECT THE CONTRACTOR SHALL MAINTAIN A RECORD OF THE PROTECTION PROVIDED AND REPORT THE CONDITION IN WRITING TO THE OWNER.

- 1 THE CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EXISTING STRUCTURES AND VERIFY THE ENGINEER/ARCHITECT'S DRAWINGS OF ANY STRUCTURES. ALL DIMENSIONS SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE MAINTAINED THROUGHOUT THE DESIGN CONSTRUCTION PERIODS OF THE PROJECT.
- 2 THE CONTRACTOR SHALL REMOVE ALL EXISTING SYSTEMS AND CAN BE RESPONSIBLE FOR THE REMOVAL AND/OR REPAIR OF THE DAMAGE, IF ANY TO EXISTING STRUCTURES, UTILITIES, OR ADJACENT AREAS, AS REQUIRED. ANY DAMAGE TO BE REPAIRED BY THE ENGINEER/ARCHITECT SHALL BE REPAIRED PRIOR TO THE COMMENCEMENT OF THE PROJECT.
- 3 THE CONTRACTOR SHALL SURVEY AND OBTAIN THE REMOVAL OF EXISTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPROVED CONSTRUCTION.
- 4 THE CONTRACTOR SHALL VERIFY THE ENGINEER/ARCHITECT'S DRAWINGS OF ANY CONSTRUCTION DOCUMENTS SHOWN IN CONSTRUCTION WORK OF EXISTING BUILDINGS, UTILITIES, ETC.
- 5 ALL EXISTING STRUCTURES OF THE EXISTING AREA SHALL BE PROTECTED

- 1 REMOVE ALL DEBRIS TO FULL DEPTH AND PROPERLY DISPOSE OF
IN THE OPEN AIR
- 2 SELECT APPROPRIATE METHOD TO FILL DEPTH AND PROPERLY DISPOSE OF
IN THE OPEN AIR
- 3 IDENTIFY LOCATION OF EXISTING BARRIERS AND/OR SIGNAGE, REMOVE AS
NECESSARY TO PROVIDE ACCESS TO THE APPROVED DISPOSED TO THE OPEN AIR
AND/OR TO THE EXISTING BARRIERS
- 4 IDENTIFY EXISTING CURBS OR OTHER TO BE MAINTAINED
- 5 REMOVE EXISTING CURBS AND/OR SERVICE PAVEMENT, EXISTING PAVEMENT
TO BE MAINTAINED
- 6 IDENTIFY EXISTING CURBS AND/OR SERVICE PAVEMENT, EXISTING PAVEMENT
TO BE MAINTAINED
- 7 IDENTIFY EXISTING CURBS AND/OR SERVICE PAVEMENT, EXISTING PAVEMENT
TO BE MAINTAINED
- 8 IDENTIFY EXISTING CURBS AND/OR SERVICE PAVEMENT, EXISTING PAVEMENT
TO BE MAINTAINED
- 9 IDENTIFY EXISTING CURBS AND/OR SERVICE PAVEMENT, EXISTING PAVEMENT
TO BE MAINTAINED
- 10 IDENTIFY EXISTING CURBS AND/OR SERVICE PAVEMENT, EXISTING PAVEMENT
TO BE MAINTAINED

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* ALL DONATED ITEMS TO BE PROPERLY & SAFELY DISPOSED OF



BCA BARGE CITY MUSEUM
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Idg Project Number	220808
Contact	Lindsay Minkoff
Email	lminkoff@idg.com
Principal	Brian Fraser
Designer	Federico Solter

NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

Client is responsible for supplying evidence in writing for any performance criteria or situations in the plan and specifications during verification of the project. Failure for Client to timely Analysis of any known risks or deficiencies in the plans or specifications, and proceeding with work during the period of work shown in the plan or specification, constitutes known risks or deficiencies that is a failure by Client for any liability of persons (with known risks or situations. Client assumes liability for any liability of such persons of work, and Australia shall not be liable for any safety damages. Change orders must be made, revised or modified, or replacement of any specifications of work.



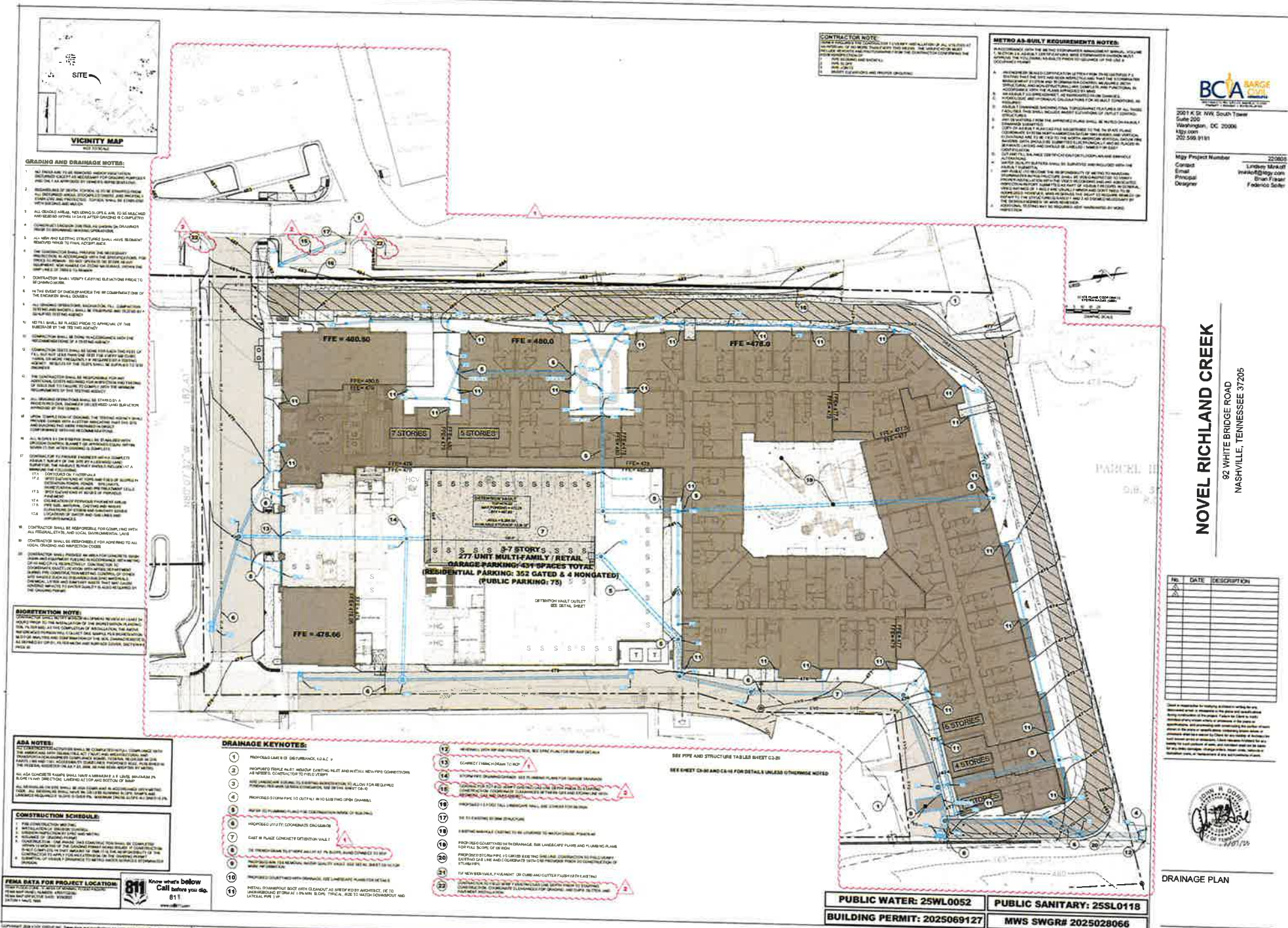
SITE DEMOLITION PLAN

FEMA DATA FOR PROJECT LOCATION
 FLOODING TYPE: 1 AREA OF MODERATE FLOODING
 FEMA MAP PANEL NUMBER: 15000000000
 FEMA MAP EFFECTIVE DATE: 01/01/00
 DATE: 1/1/00



PUBLIC SANITARY: 25SL0118

MWS SWGR# 2025028066



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811
www.811.org



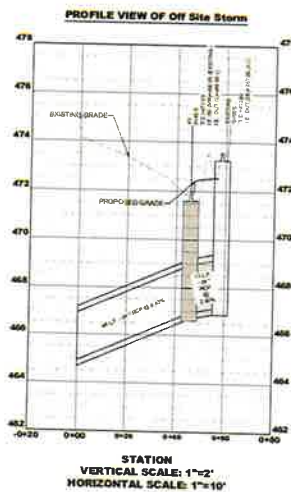
NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

[illegible]

There is responsibility for creating a process to writing the site assessment report in accordance to the permit and specifications during finalization of the project. It refers to there is hardly finalized at any given work or processes in the permit or specifications and planning will be considering the permit almost always in the permit or specifications including other areas, at already shall not be necessary to there be any leaving of the permit or specifications. Other issues to consider for any existing for the purposes of well, and treatment shall be an option for the best management, storage control, reuse, clean, reuse or treatment units, or replacement of any and the existing of any



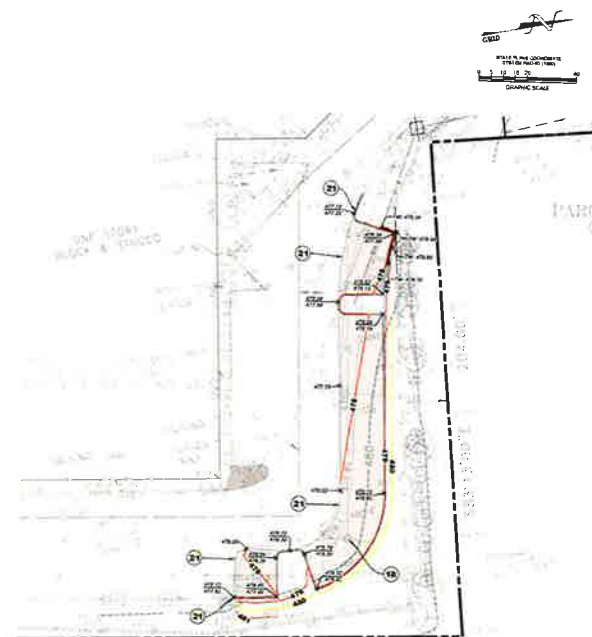
OFFSITE GRADING & DRAINAGE PLAN



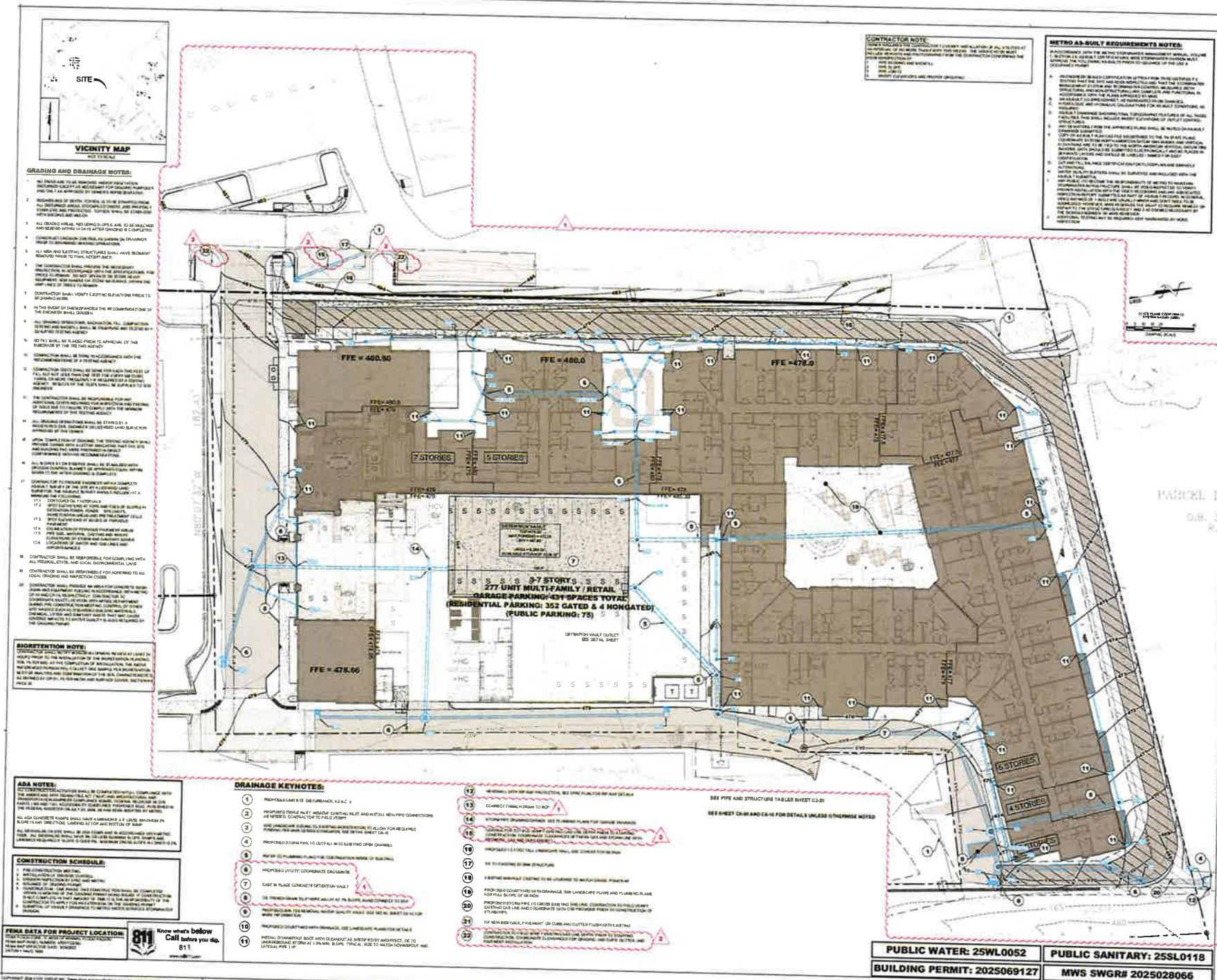
DRAINAGE KEYNOTES:

- 1 PROPOSED LIGHTS OF DISTANCE: 400 C.M
- 2 PROPOSED TRIPLE MILEY, METER, METER AND INSTALL HEADLAMP CONNECTIONS AS NEEDED - CONTACT AT 10 FEET VISIBILITY
- 3 PROPOSED TRIPLE MILEY, METER, METER AND INSTALL HEADLAMP CONNECTIONS AS NEEDED - CONTACT AT 10 FEET VISIBILITY
- 4 PROPOSED TRIPLE MILEY, METER, METER AND INSTALL HEADLAMP CONNECTIONS AS NEEDED - CONTACT AT 10 FEET VISIBILITY
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- 20 PROPOSED TRIPLE MILEY, METER, METER AND INSTALL HEADLAMP CONNECTIONS AS NEEDED - CONTACT AT 10 FEET VISIBILITY

- [illegible]



PUBLIC WATER: 25WL0052	PUBLIC SANITARY: 25SL0118
BUILDING PERMIT: 2025069127	MWS SWGR# 2025028066



BCA BARGE
 2001 K St. NW, South Tower
 Suite 200
 Washington, DC 20006
 202.556.9181

My Project Number: 220006
Contact: Lindsey Maxwell
Email: lmaxwell@bcabarge.com
Principal: Brian Fisher
Designer: Federico Sotelo

NOVEL RICHLAND CREEK
 92 WHITE BRIDGE ROAD
 NASHVILLE, TENNESSEE 37205

NO.	DATE	DESCRIPTION
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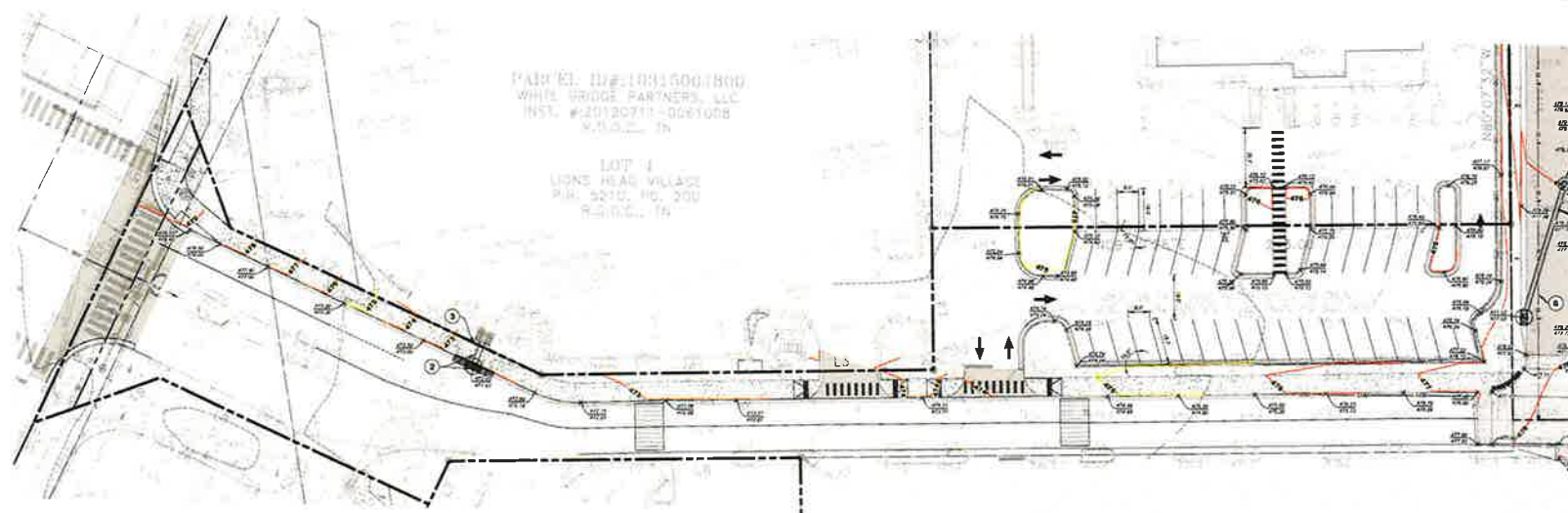
DRAINAGE PLAN

PUBLIC WATER: 25WL0052 **PUBLIC SANITARY: 25SL0118**
BUILDING PERMIT: 2025069127 **MWS SWGR# 2025028066**

Mtg Project Number 22-0001

Contact
 Email
 Principal
 Designer

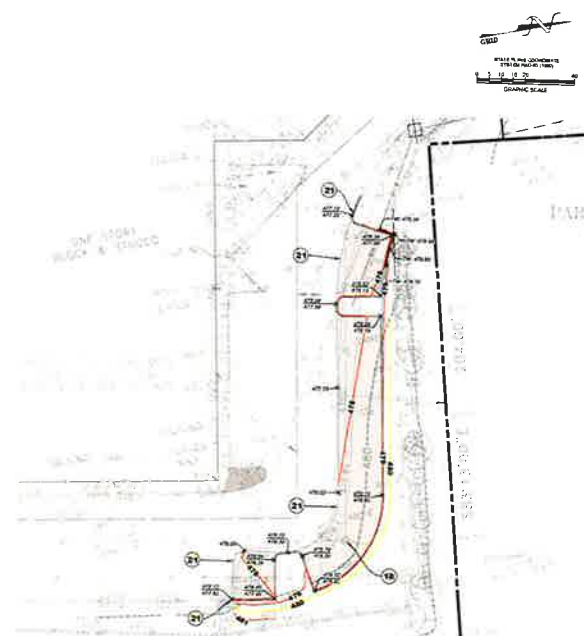
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

OFFSITE GRADING &
DRAINAGE PLAN

STATION
VERTICAL SCALE: 1"=2'
HORIZONTAL SCALE: 1"=10'

- 1) IMPROVED LIMITS OF TEST RESULTS (A.C.C. 6)
- 2) PROPOSED THREE AT 20' SPACING (AUST AND HALLS) FOR CONNECTIONS AT NEEDS - CONTRACTOR'S CHOICE
- 3) NEW REINFORCED CONCRETE WALLS (REINFORCEMENT TO BE SUPPLIED BY SUBMITTER)
- 4) PROPOSED THREE AT 20' SPACING (AUST AND HALLS) FOR CONNECTIONS AT NEEDS - CONTRACTOR'S CHOICE
- 5) REPAIR OF FOUNDATION WALLS (REINFORCEMENT TO BE SUPPLIED BY SUBMITTER)
- 6) PROPOSED THREE AT 20' SPACING (AUST AND HALLS) FOR CONNECTIONS AT NEEDS - CONTRACTOR'S CHOICE
- 7) CALL TO REPLACE CONCRETE (REINFORCEMENT TO BE SUPPLIED BY SUBMITTER)
- 8) THE FRENCH QUARTER (REINFORCEMENT TO BE SUPPLIED BY SUBMITTER)
- 9) PROPOSED THREE AT 20' SPACING (AUST AND HALLS) FOR CONNECTIONS AT NEEDS - CONTRACTOR'S CHOICE
- 10) PROPOSED THREE AT 20' SPACING (AUST AND HALLS) FOR CONNECTIONS AT NEEDS - CONTRACTOR'S CHOICE
- 11) PROPOSED THREE AT 20' SPACING (AUST AND HALLS) FOR CONNECTIONS AT NEEDS - CONTRACTOR'S CHOICE

12. **REVALUATION WITH RISK PROJECTION: THE SPECIFIC PLANNING GROUPS ARE THE FIVE**
13. **CONDUCT FINANCIAL RISK ANALYSIS**
14. **CONDUCT FINANCIAL RISK ANALYSIS**
15. **CONDUCT FINANCIAL RISK ANALYSIS**
16. **CONDUCT FINANCIAL RISK ANALYSIS**
17. **CONDUCT FINANCIAL RISK ANALYSIS**
18. **CONDUCT FINANCIAL RISK ANALYSIS**
19. **CONDUCT FINANCIAL RISK ANALYSIS**
20. **CONDUCT FINANCIAL RISK ANALYSIS**
21. **CONDUCT FINANCIAL RISK ANALYSIS**



PUBLIC WATER: 25WL0052

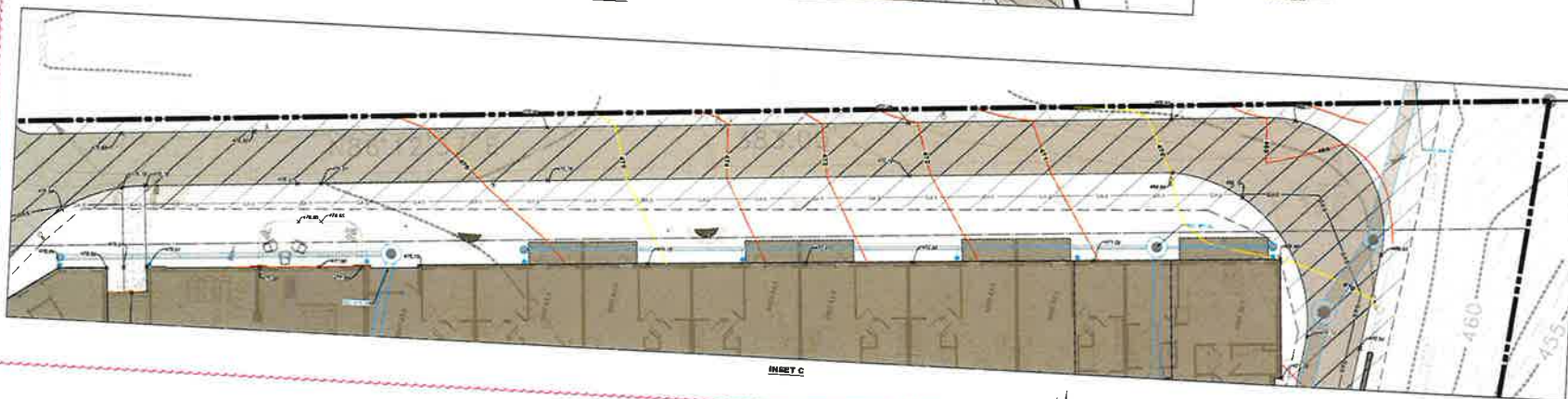
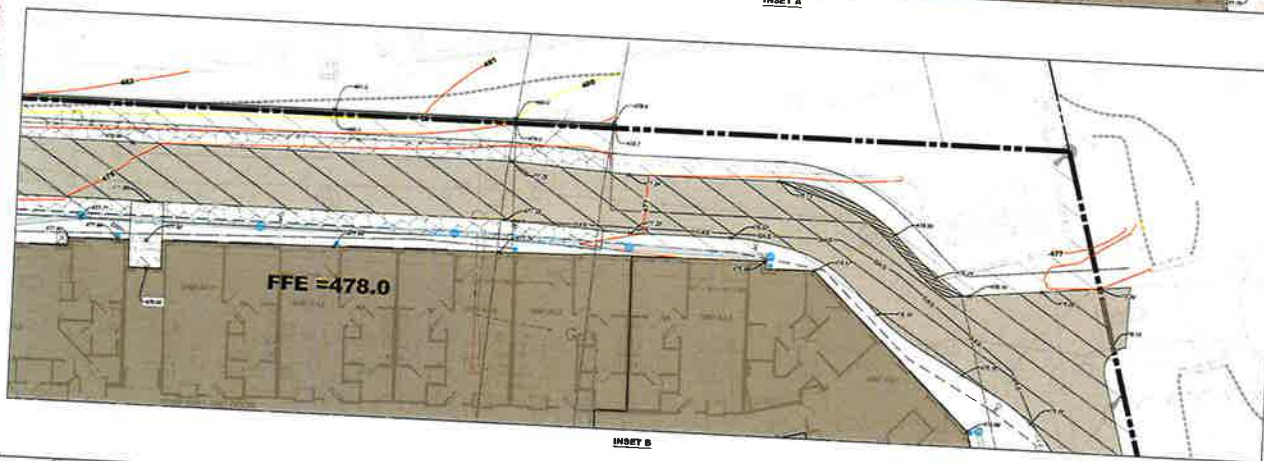
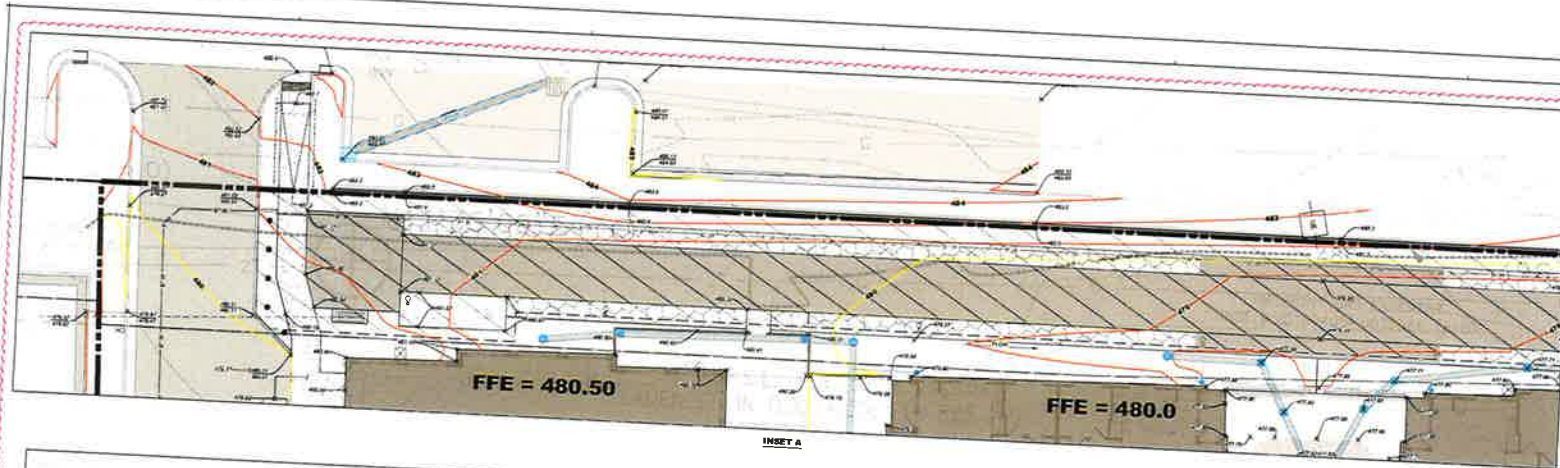
BUILDING PERMIT: 2025069127

PUBLIC SANITARY: 25SL0118
MWS SWGR# 2025028066





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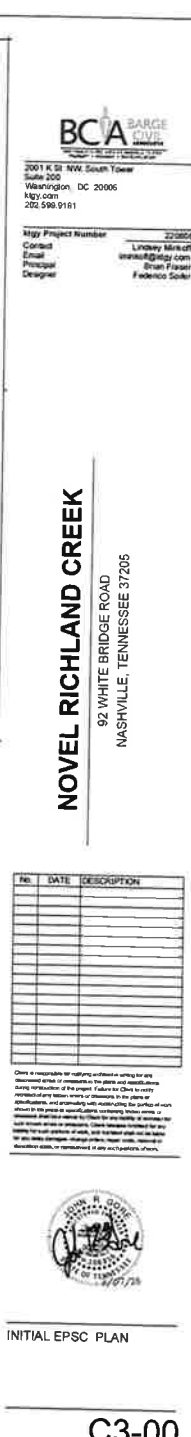
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BUILDING PERMIT: 2025069127	MWS SWGR# 2025028066

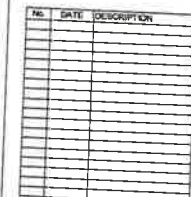


92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

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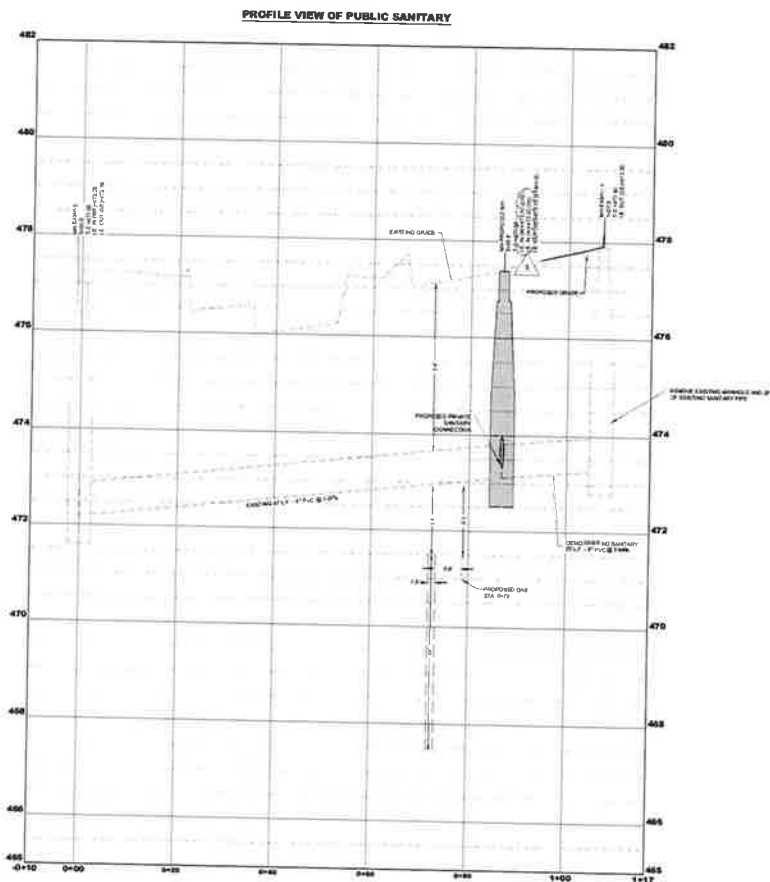
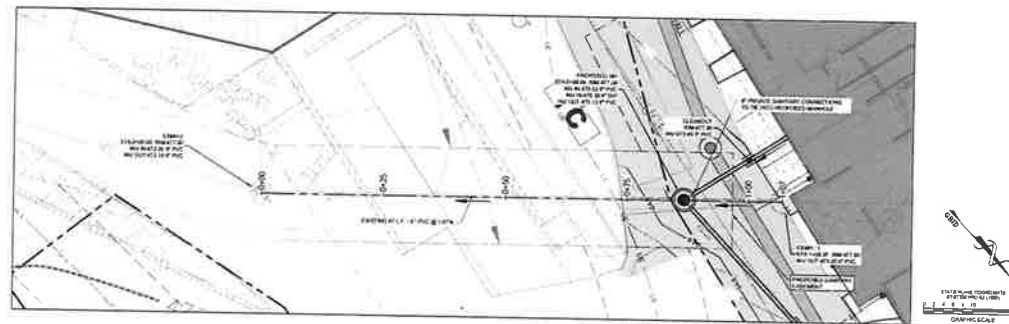
GREENWAY GRADING
PLAN



[illegible]

INTERMEDIATE EPSC
PLAN

C3-10



STATION
VERTICAL SCALE: 1" = 1'
HORIZONTAL SCALE: 1" = 10'

PUBLIC SANITARY: 25SL0118

MWS SWGR# 2025028066



2001 K St. NW, South Tower
Suite 200
Washington, DC 20006
ktpy.com
202.596.9191

Mjty Project Number	220008
Contad	Lindsey Minkoff
Email	lminkoff@mjty.com
Principal	Brian Frater
Designer	Federico Soller

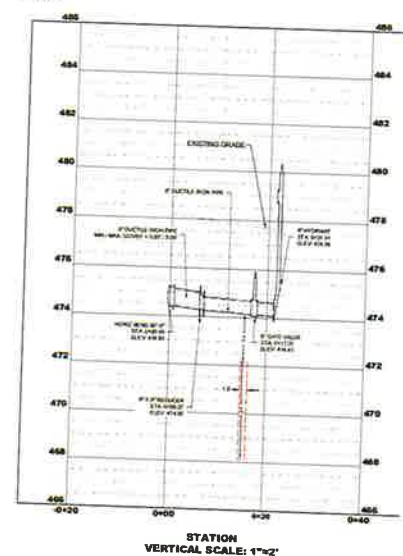
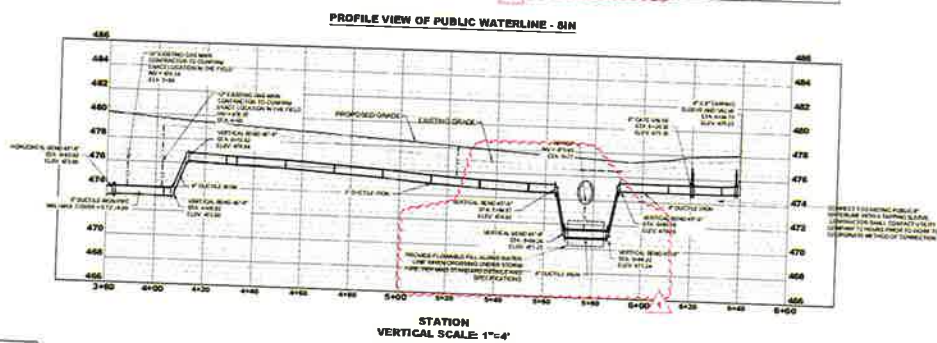
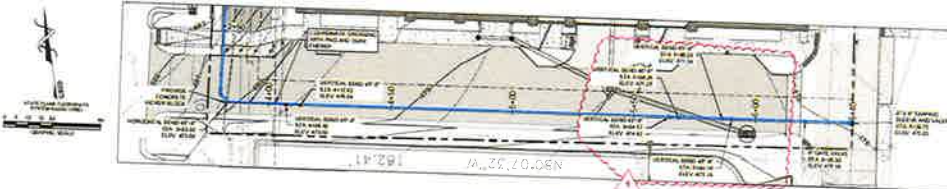
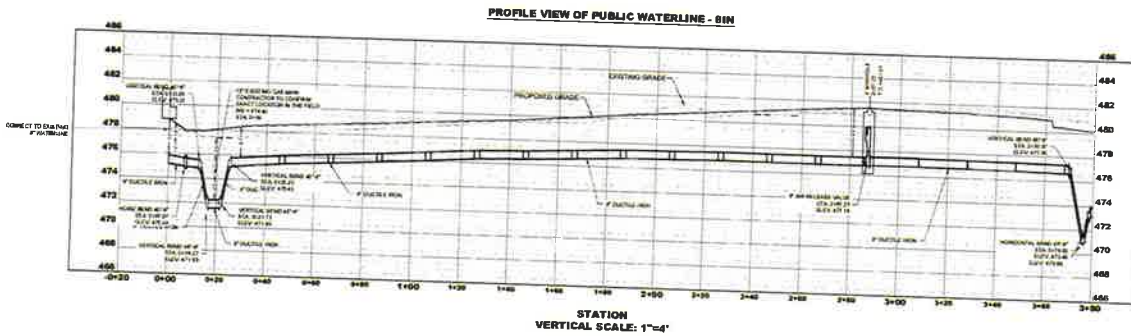
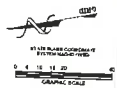
NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

Client is responsible for notifying a collection agency for any delinquent account or assignment in the future and acknowledging being contributor of the program. Failure for Client to notify a collection agency or assignment in the future is not a responsibility, and proceeding with credit counseling for delinquent account in the future is specifically prohibiting future account or assignment that is not by Client for any liability. Accepting delinquent account or assignment. Loan amounts to be paid for any liability for each account of credit, and delinquent account not be paid for any delinquent, change of credit, repair credit, reduced or delinquent credit, or replacement in a fully paid collection of credit.

PUBLIC SANITARY
SEWER PROFILE

FEMA DATA FOR PROJECT LOCATION:
FEMA DISTRICT: 17 REGION: 10 PROJECT NUMBER:
FEMA MAP PANEL NUMBER: 4001000000
FEMA MAP SHEET DATE: 07/20/00
FEMA MAP SCALE: 1:50,000



PUBLIC WATERLINE
PROFILE

NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205



2001 K St. NW, South Tower
Suite 200
Washington, DC 20006
http://com
202.599.9161

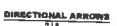
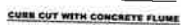
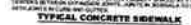
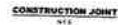
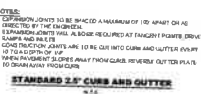
Key Project Number	220005
Combid	Lindsay Minkoff
Email	lindsay@stggy.com
Principal	Brian Fraser
Designer	Frederico Soder

PUBLIC WATER: 25WL0052
BUILDING PERMIT: 2025069127

PUBLIC SANITARY: 25SL0118
MWS SWGR# 2025028066



C4-30



2001 K St. NW, South Tower
Suite 200
Washington, DC 20000
http://www.kty.com
202.596.6161

Mgt. Project Number	22-0608
Contact	Lindsay Minkoff
Email	lminkoff@atgy.com
Principal	Brian Fraser
Designer	Federico Sotter

NOVEL RICHLAND CREEK

92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205



CIVIL DETAILS

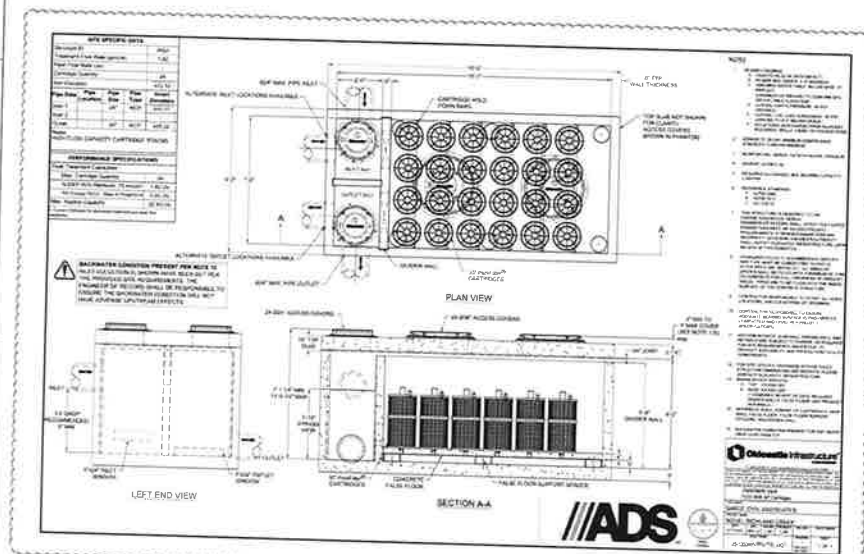
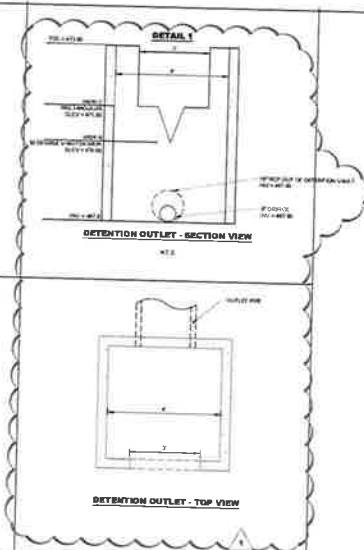
PUBLIC WATER: 25WL0052

PUBLIC SANITARY: 25SI 0119

BUILDING PERMIT: 20250691

MWS SWGR# 20250328066

C5-00



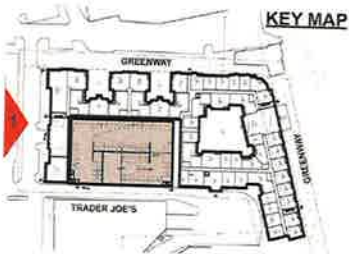
NOVEL RICHLAND CREEK
92 WHITE BRIDGE ROAD
NASHVILLE, TENNESSEE 37205

CML DETAILS

C5-10

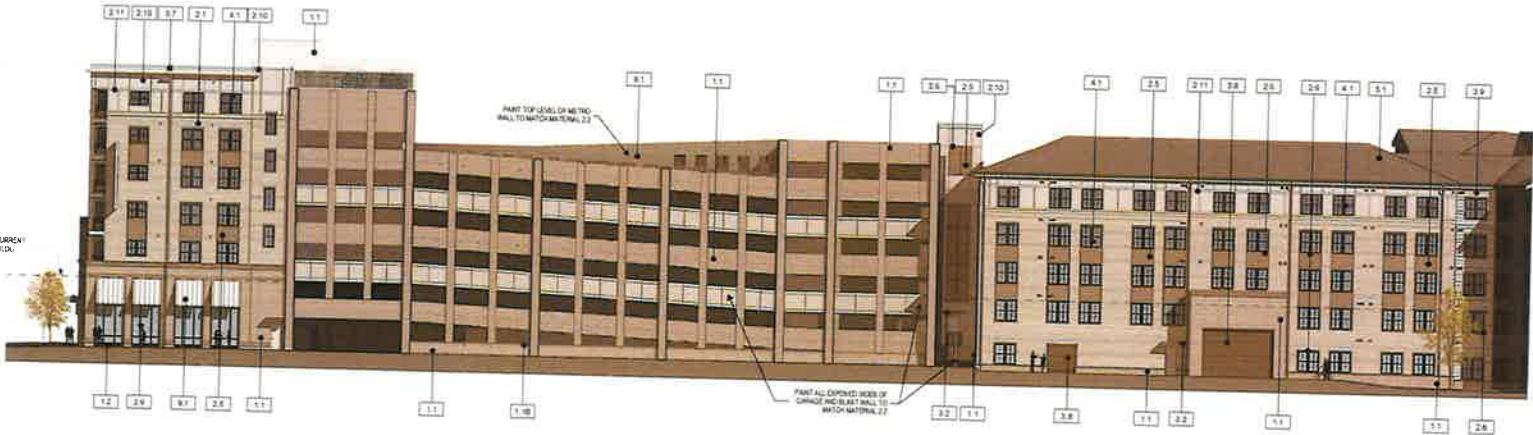


MATERIAL SCHEDULE			
3.1	BRICK VENEER - RUNNING BOND	2.1	FIBER CEMENT PANEL - MEDIUM
1.18	BRICK VENEER - ROWLOCK	2.2	FIBER CEMENT TRIM - MEDIUM
1.12	BRICK VENEER - SOLIDER	2.7	FIBER CEMENT LAP SIDING - DARK
1.10	BRICK VENEER - 2X1 STAKED SOLIDER & ROWLOCK COURSE	2.9	FIBER CEMENT TRIM - DARK
1.18	BRICK VENEER - STAKED BOND	2.9	FIBER CEMENT LAP SIDING - WHITE
1.12	BRICK VENEER - STAKED SOLIDER	2.10	FIBER CEMENT PANEL - WHITE
2.2	PORCELAIN TILE - STAKED	2.11	FIBER CEMENT TRIM - WHITE
2.1	FIBER CEMENT LAP SIDING - LIGHT	2.1	FIBER CEMENT TRIM - WHITE
2.2	FIBER CEMENT PANEL - LIGHT	2.2	METAL RAILING
2.1	FIBER CEMENT TRIM - LIGHT	2.2	METAL CANOPY
2.4	FIBER CEMENT LAP SIDING - MEDIUM	2.4	METAL PANELS
		3.4	METAL GUTTER & DOWNSPOUT
		3.4	METAL CORNING - DARK
		3.7	METAL CORNING - WHITE
		3.8	METAL ROLL UP DOOR SYSTEM
		3.9	INSULATED ALUMINUM STOREFRONT
		3.10	ALUMINUM FINE
		4.1	METAL LOCKERS
		4.2	VINYL WINDOW - LIGHT
		4.3	VINYL WINDOW - DARK
		5.1	ASPHALT DRIVEWAYS
		7.7	ROCKWELL LIGHT FIXTURE
		8.1	PAINTED CONCRETE
		9.1	FABRIC AWNINGS - GRAY





1. SOUTH ELEVATION - B



2. EAST ELEVATION - A



3. EAST ELEVATION - B

MATERIAL SCHEDULE					
1.1	BRICK VENEER - RUNNING BOND	2.5	FIBER CEMENT PANEL - MEDIUM	3.7	METAL CORING - WHITE
1.1B	BRICK VENEER - HORIZONTAL	2.6	FIBER CEMENT TRIM - MEDIUM	3.8	METAL ROLL UP DOOR SYSTEM
1.1C	BRICK VENEER - SOLDIER	2.7	FIBER CEMENT LAP SIDING - DARK	3.9	INSULATED ALUMINUM STOREFRONT
1.1D	BRICK VENEER - 4IN STACKED SOLDIER & HORIZONTAL COURSE	2.8	FIBER CEMENT TRIM - DARK	3.10	ALUMINUM FINE
1.1E	BRICK VENEER - STACKEED BOND	2.10	FIBER CEMENT LAP SIDING - WHITE	3.11	METAL LOUVER
1.1F	BRICK VENEER - STACKEED SOLDIER	2.11	FIBER CEMENT PANEL - WHITE	4.1	UPHOL WINDOW - DARK
1.2	PORCELAIN TILE - STACKED	3.1	FIBER CEMENT TRIM - WHITE	4.2	ASPHALT SHINGLES
2.1	FIBER CEMENT LAP SIDING - LIGHT	3.2	METAL RAILING	5.1	STRAP
2.2	FIBER CEMENT PANEL - LIGHT	3.3	METAL CANOPY	6.1	INSULATED LIGHT FIXTURE
2.3	FIBER CEMENT TRIM - LIGHT	3.4	METAL GUTTER & DOWNSPOUT	6.1	PAINTED CONCRETE
2.4	FIBER CEMENT LAP SIDING - MEDIUM	3.5	METAL CORING - DARK	6.1	FABRIC AWNING - GRAY



ELEVATIONS

03

12/03/2025

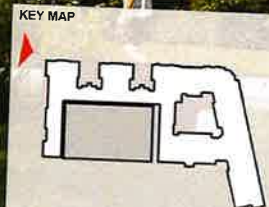


NOVEL RICHLAND CREEK
NASHVILLE, TN



20200808
ktgy

NOVEL RICHLAND CREEK
NASHVILLE, TN



PERSPECTIVE VIEWS

05

10/29/2025



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Sl. No.	Particulars	Debit	Credit	Balance	Debit	Credit	Balance
1	Balance b/d						
2	By Cash						
3	By Bank						
4	By Debtors						
5	By Creditors						
6	By Balance c/d						
7	Total						
8	Balance b/d						
9	By Cash						
10	By Bank						
11	By Debtors						
12	By Creditors						
13	By Balance c/d						
14	Total						

10 0 10 20 40
SCALE: 1" = 20'-0"

PLAN NORTH

SHEET TO BE PRINTED IN CO



Hawkins Partners, Inc.

112 South 100th St.
Second Floor
Nashville, TN 37211
hugh@hughmcmurray.com
615.259.5218

Project Number	200700204
Contact	L. Hubert Bradley
Email	lhubert@twinkl.com
Principal	Kim Haskins
Director	L. Hubert Bradley

Developer
Crescent Communities
601 S Tryon Street
Suite 800
Charlotte, NC 28202
crescentcommunities.com

NOVEL RICHLAND CREEK
NASHVILLE, TENNESSEE

FINAL SP SET



11/07/2023
LANDSCAPE ORDINANCE
PLAN

L0.00

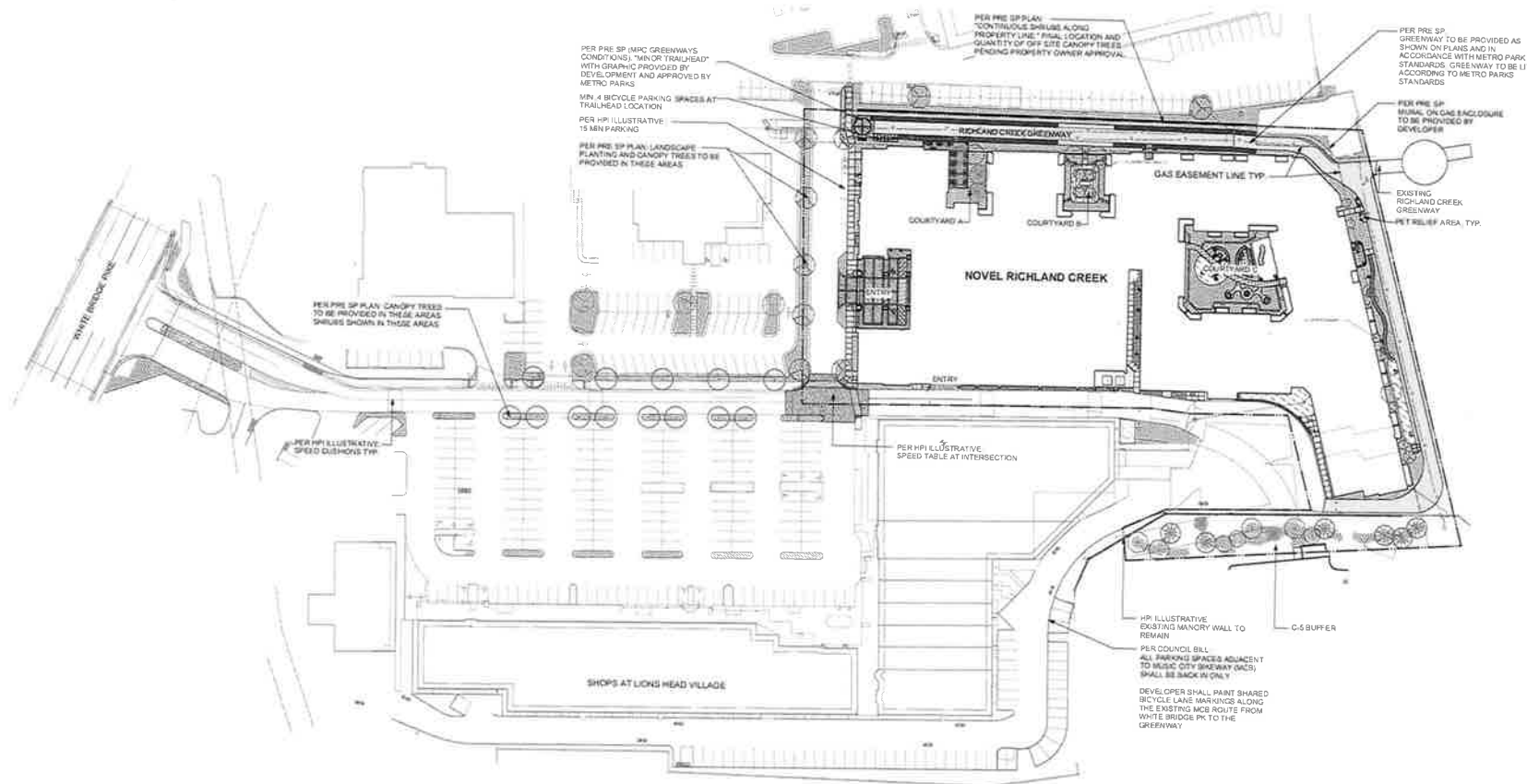


Developer
Civicent Communities
 801 S Tryon Street
 Suite 800
 Charlotte, NC 28202
civicentcommunities.com

[illegible][illegible]

Figure 1 is a horizontal bar chart showing the percentage of total area occupied by different vegetation types in the study area. The x-axis is labeled 'SCALE' and ranges from 0 to 80. The y-axis lists vegetation types: 1. Open area, 2. Low shrub, 3. High shrub, 4. Low tree, 5. High tree, 6. Water, 7. Bare ground, 8. Sand, 9. Rock, 10. Other. The bars show the following approximate percentages: 1. Open area (10%), 2. Low shrub (15%), 3. High shrub (10%), 4. Low tree (15%), 5. High tree (10%), 6. Water (10%), 7. Bare ground (10%), 8. Sand (10%), 9. Rock (10%), 10. Other (10%).

L0.01



SHEET TO BE PRINTED IN COLOR



110 SOUTH 10TH ST.
Second Floor
Nashville, TN 37211
hawkinspartners.com
615.266.5218

Project Number: 20200804
Contract: LINDSEY BRADLEY
Email: lbradley@hawkinspartners.com
Principal: Ruth Hawkins
Designer: Lindsey Bradley

Developer:
Orion Communities
801 S Tyler Street
Suite 500
Charlotte, NC 28202
orioncommunities.com

NOVEL RICHLAND CREEK
NASHVILLE, TENNESSEE

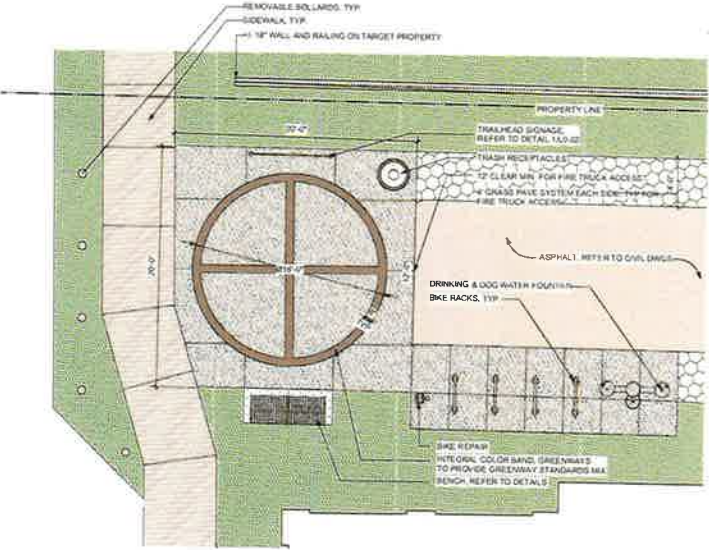
REV	DATE	DESCRIPTION

Client is responsible for obtaining all necessary permits for any construction work or alterations to the above site plan. The client shall coordinate with the appropriate local, state, and federal agencies to obtain all necessary permits and approvals. The client shall also coordinate with the appropriate local, state, and federal agencies to obtain all necessary permits and approvals. The client shall also coordinate with the appropriate local, state, and federal agencies to obtain all necessary permits and approvals.

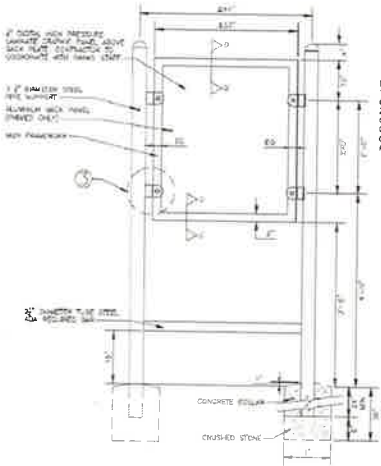
FINAL SP SET

11/07/2025
GREENWAY DETAILS
LVL 1

L0.02



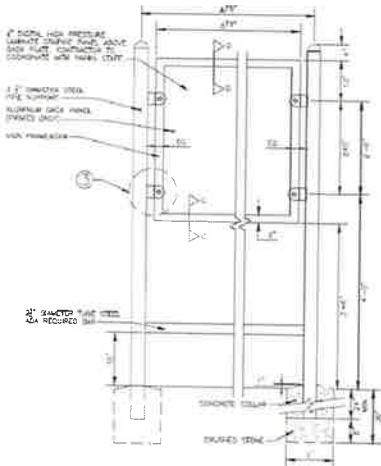
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SCALE: 1/4\"/>



2 DETAIL: MINOR TRAILHEAD REFERENCE DETAIL
N.T.S.



1 DETAIL: TRAILHEAD REFERENCE DETAIL
SCALE: 1/4\"/>



NOTES:
1. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER'S APPROVAL PRIOR TO ANY CONSTRUCTION.
2. ALL METAL FRAMING ELEMENTS SHALL BE COATED WITH AN ENAMEL PRIMER (1 COAT) AND PAINT (2 COATS) SUITABLE FOR EXTERIOR USE. COORDINATE COLOR WITH OWNER.
3. CONTRACTOR SHALL PROVIDE SIGN DRAWINGS (INTERIOR SIGNS) PROVIDED BY OWNER PRINTED ON HIGH PRESSURE LAMINATE (HPL) AND A MINIMUM 1/4\"/>



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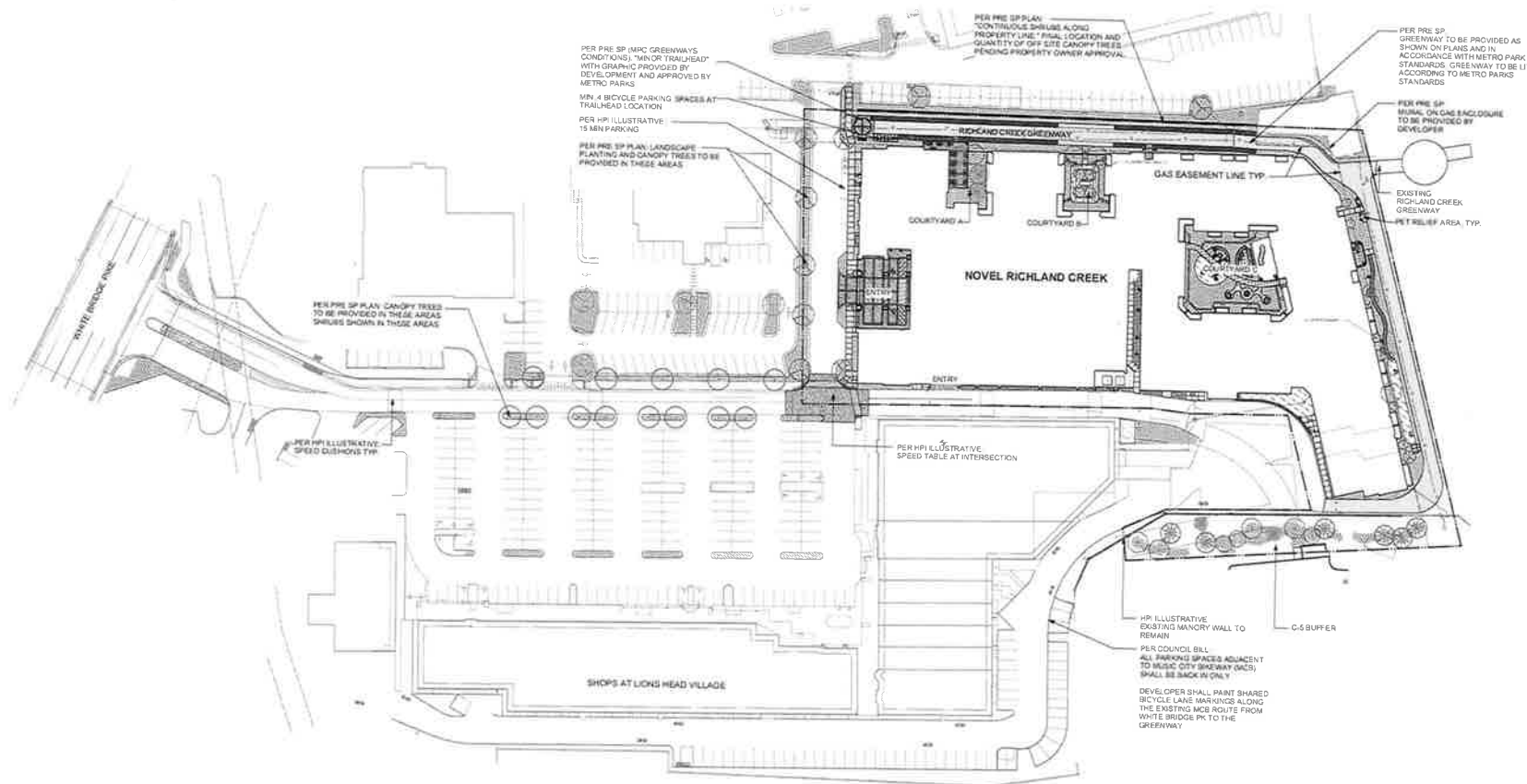
LO.00



Developer
Civicent Communities
 801 S Tryon Street
 Suite 800
 Charlotte, NC 28202
 civicentcommunities.com

[illegible][illegible]

L0.01



SHEET TO BE PRINTED IN COLOR



110 SOUTH 10TH ST.
Second Floor
Nashville, TN 37211
hawkinspartners.com
615.266.5218

Project Number: 20200804
Contract: LINDSEY BRADLEY
Email: lbradley@hawkinspartners.com
Principal: Ruth Hawkins
Designer: Lindsey Bradley

Developer:
Orion Communities
801 S. Tyler Street
Suite 500
Charlotte, NC 28202
orioncommunities.com

NOVEL RICHLAND CREEK NASHVILLE, TENNESSEE

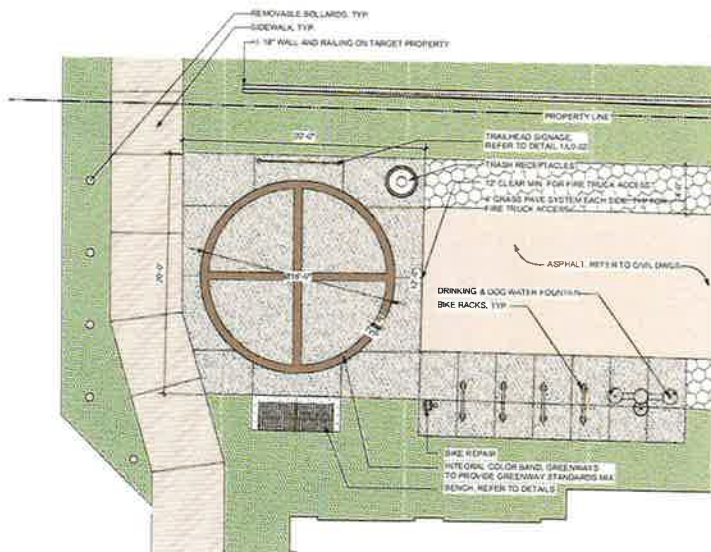
REV.	DATE	DESCRIPTION

Client is responsible for obtaining all necessary permits for any construction work or alterations to the above site plan. The client shall coordinate with the appropriate local, state, and federal agencies to obtain all necessary permits and approvals. The client shall also coordinate with the appropriate local, state, and federal agencies to obtain all necessary permits and approvals. The client shall also coordinate with the appropriate local, state, and federal agencies to obtain all necessary permits and approvals.

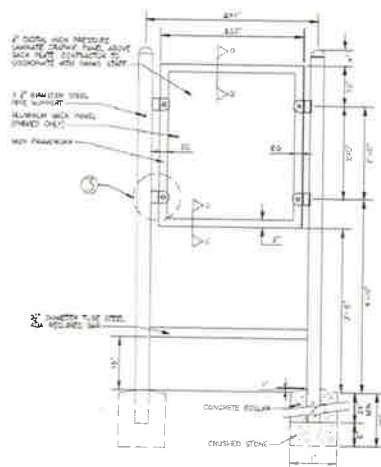
FINAL SP SET

11/07/2025
GREENWAY DETAILS
LVL 1

L0.02



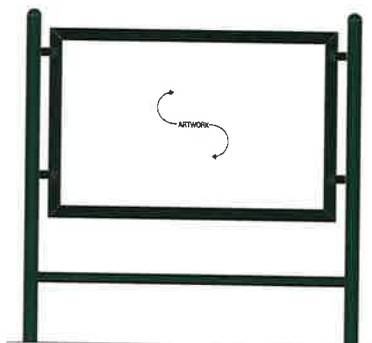
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SCALE: 1/4\"/>



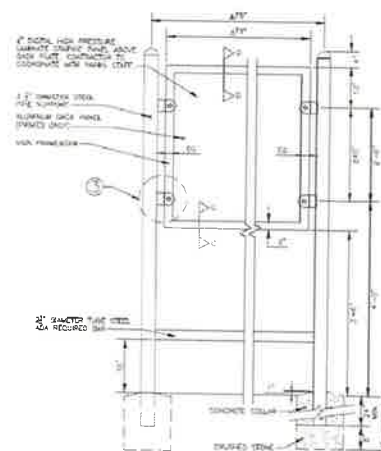
2 DETAIL: MINOR TRAILHEAD REFERENCE DETAIL
N.T.S.

NOTE:
1. PROVIDED BY DEVELOPER PER GREENWAYS INSTRUCTIONS
2. GREENWAY RELATED SIGN PANELS TO BE COORDINATED WITH AND APPROVED BY GREENWAYS PRIOR TO PANELS BEING ORDERED AND INSTALLED PRIOR TO ANY USE AND OCCUPANCY

NOTE:
1. PROVIDED BY DEVELOPER PER GREENWAYS INSTRUCTIONS
2. GREENWAY RELATED SIGN PANELS TO BE COORDINATED WITH AND APPROVED BY GREENWAYS PRIOR TO PANELS BEING ORDERED AND INSTALLED PRIOR TO ANY USE AND OCCUPANCY



1 DETAIL: TRAILHEAD REFERENCE DETAIL
SCALE: 1/4\"/>

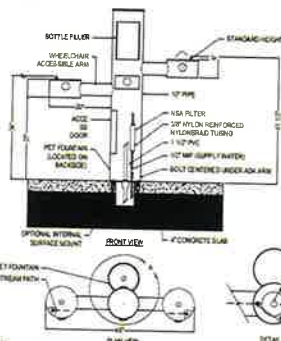


NOTE:
1. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER'S APPROVAL PRIOR TO ANY CONSTRUCTION.
2. ALL METAL FRAMING ELEMENTS SHALL BE COATED WITH AN ENAMEL PRIMER (1 COAT) AND PAINT (2 COATS) SUITABLE FOR EXTERIOR SUBSTRATE. COORDINATE COLOR WITH OWNER.
3. CONTRACTOR SHALL PROVIDE SIGN DRAWINGS (INTERIOR SIGN) PROVIDED BY OWNER PRINTED ON HIGH PRESSURE LAMINATE WITH A MINIMUM 1/8\"/>

SHEET TO BE PRINTED IN COLOR



5 **DETAIL: DRINKING FOUNTAIN**
SCALE: 3/4" = 1'-0"



5 DETAIL: DRINKING FOUNTAIN
SCALE: 3/4" = 1'-0"



Client is responsible for meeting submission criteria for any documents submitted to attorneys for review and specifications. Writing committee will prepare a letter for Client to sign and return to the attorney. The letter will state that the attorney is not responsible for any errors or omissions in the documents submitted to the attorney. The letter will also state that the attorney is not responsible for any errors or omissions in the documents submitted to the attorney. The letter will also state that the attorney is not responsible for any errors or omissions in the documents submitted to the attorney.

GREENWAY DETAILS
LVL 1

L0.03



Project Number	20200608
Contact	Lindey Bradley
Email	lbradley@hawkinspartners.com
Principal	Kim Hawkins
Designer	Lindey Bradley

Developer
Crescent Communities
901 S Tryon Street
Suite 800
Charlotte, NC 28202
crescentcommunities.com

NOVEL RICHLAND CREEK
NASHVILLE, TENNESSEE

NOTE: PLANT SCHEDULE SUBJECT TO CHANGE DUE TO AVAILABILITY FROM LOCAL REPUTABLE NURSERIES

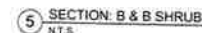
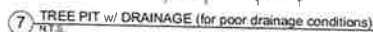
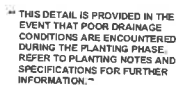
Client is responsible for keeping records in writing to give decrease in value of investments in the plan and distributions during completion of the project. Failure by Client to timely receipt of any income and/or investments in the plan or investments, and providing with understanding the parties of what amount in the years of distribution (income of any other source of income) will be made by Client for any reason of distribution to such extent before completion. Client is required to provide for any ability to such portion of work and amount of work to be done by the client, therefore, change clause. I shall have, however, in completion time in reduction of any such portion of work.

FINAL SP SET

11/07/2025
GREENWAY PLANTING

L0.04

- Bald Springs, Morrow, GA 476/765-4997
Huster Trees, LLC, Alpine AL 205-641-6411
Select Trees, Abbeville, GA 706/769-9575/579
Blankenship Farms & Nursery, McMinnville, TN 931-2059763



Developer
 Crestant Communities
 601 S Tryon Street
 Suite 600
 Charlotte, NC 28202
crestantcommunities.com

[illegible]

Chairs responded to existing evidence relating to the design of work environments in the past and the findings from countries like the United States and Sweden in terms of the impact of workplace design on attendance in the public sector, and providing with commentary, the potential of design in the public sector, comparing these areas of research with the evidence for design for productivity of business sector workers or students. Chair members discussed the implications for both countries of design, and stressed that not because of any deep differences, a design solution might not necessarily be directly transferable to another culture.

FINAL SP SET

LANDSCAPE DETAILS
GREENWAY

L0.05

MEASUREMENTS TAKEN @ GRADE
MOUNTING HEIGHT IS NOTED ON EACH FIXTURE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IESNA) APPROVED METHODS.

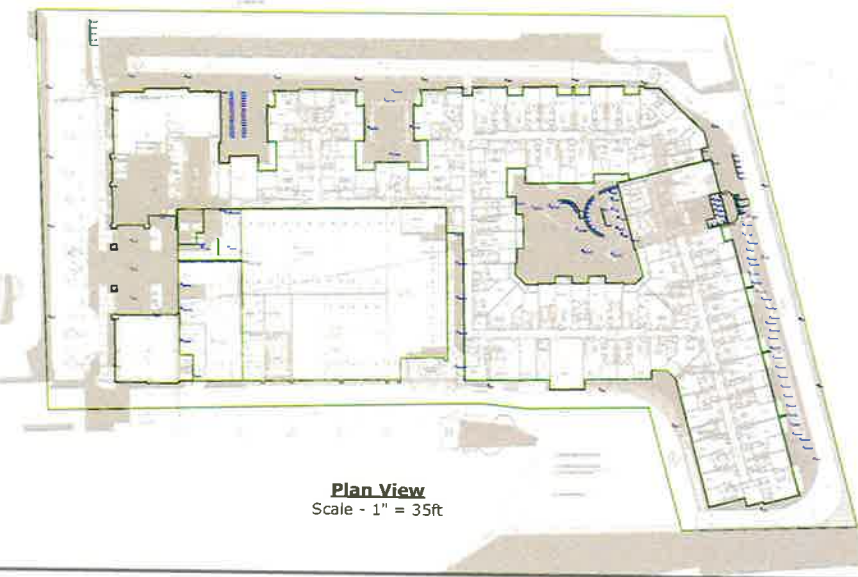
ADDITIONALLY, THE PREPARER USES INFORMATION PROVIDED BY THE CUSTOMER. IF/WHEN SUFFICIENT INFORMATION WAS NOT PROVIDED, PREPARER USED EDUCATED ASSUMPTIONS.

ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIR(S) MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP(S), AND OTHER FIELD CONDITIONS NOT ACCOUNTED FOR IN THIS PHOTO-METRIC ANALYSIS.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR ENERGY CODE AND RELEVANT LIGHTING QUALITY COMPLIANCE.

1. THE MINIMUM LIGHT ZONE STANDARD IS SUBURBAN/MODERATE USE FOR THE GREENWAY FROM THE GREENWAY ZONES, MEETING GREENWAY LIGHTING STANDARDS, APPENDIX C.
2. GREENWAY MUST BE LIT FROM DUSK/DARK UNTIL DAILY CLOSURE.

Location	Present	Acc	Trav	Inf	Max/Min	Acc/Trav
BOTTOM WAY	✗	1.7 fc	4.6 fc	0.0 fc	N/A	N/A
COURTYARD A 1	+	1.3 fc	10.5 fc	0.1 fc	105.0:1	13.0:1
COURTYARD A 2	+	13.1 fc	72.5 fc	0.3 fc	241.7:1	43.7:1
COURTYARD C 1	+	11.8 fc	75.1 fc	0.1 fc	751.0:1	118.0:1
COURTYARD C 2	+	6.8 fc	47.7 fc	0.7 fc	68.1:1	9.7:1
COURTYARD C 2 - STEPS		17.5 fc	158.3 fc	0.2 fc	791.5:1	87.5:1
EXIT DOOR & BIKE PARKING	+	0.5 fc	1.0 fc	0.2 fc	5.0:1	2.5:1
EXIT STAIR - BOTTOM LEFT	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
GREENWAY	✗	2.1 fc	4.8 fc	0.2 fc	24.0:1	10.5:1
LEFT WAY	✗	1.3 fc	4.8 fc	0.2 fc	24.0:1	6.5:1
MOTOR COURT 1	+	5.8 fc	7.6 fc	3.7 fc	2:1.1	1.6:1
MOTOR COURT 2 - DOOR	+	1.7 fc	3.0 fc	0.6 fc	5.0:1	2.8:1
MOTOR COURT 3 - DOOR	+	3.7 fc	4.4 fc	2.8 fc	1.6:1	1.3:1
PASSAGE - CENTRAL BOTTOM	+	5.6 fc	69.7 fc	0.1 fc	697.0:1	56.0:1
PEDESTRIAN ACCESS - CENTRAL TOP	+	3.1 fc	9.4 fc	0.0 fc	N/A	N/A
PEDESTRIAN HABITAT SITE - RIGHT	+	2.2 fc	9.8 fc	0.9 fc	10.9:1	2.4:1
POOL AREA	+	2.2 fc	68.3 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	1.2 fc	4.1 fc	0.0 fc	N/A	N/A
WALKWAY - BOTTOM RIGHT	+	0.5 fc	1.9 fc	0.1 fc	19.0:1	5.0:1
WALKWAY - TOP LEFT	+	2.6 fc	15.7 fc	0.1 fc	157.0:1	26.0:1



Plan View
Scale - 1" = 35ft



NOVEL RICHLAND CREEK

110 South 10th St
Second Floor
Nashville, TN 37211
hawkinspartners.com
615.256.5218

Project Number	20200608
Contact	Lindsey Bradley
Email	lbradley@hawkspartners.com
Principal	Kim Hawkins
Designer	Lindsey Bradley

Developer
Crescent Communities
601 S Tryon Street
Suite 800
Charlotte, NC 28202
crescentcommunities.com

NOVEL RICHLAND CREEK
NASHVILLE, TENNESSEE

Client is responsible for identifying personnel in writing for any document review or assistance in the future and specification during completion of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with construction, the parties of the project is the same as responsibility concerning known errors or omissions that is owed by Client for any liability of Architect. Architect's review is not a warranty. Client assumes Architect for liability on both portions of such, and Architect will not be held for any delays, damages, change orders, other claims, omissions or omissions, or satisfaction of any such portions of work.

FINAL SP SET

SITE LIGHTING PLAN

L0.06A

110 South 10th St.
Second Floor
Nashville, TN 37211
NewKingsPartners.com
615.255.5218

Project Number	20700808
Contact	Leifley Bradley
Email	lbradley@haskinspartners.com
Principal	Ken Hawkins
Designer	Unckley Bradley

Developer
Crescent Communities
601 S Tryon Street
Suite 900
Charlotte, NC 28202
crescentcommunities.com

NOVEL RICHLAND CREEK

NOVEL RICHLAND CREEK
NASHVILLE, TENNESSEE

[illegible]

Client is responsible for carrying a child in waiting for any discerned signs of emotions in the group and applications using communication of the parent. Focus for Client is to fully articulate any internal signs or cross signs in the form of spontaneous, and ongoing with corresponding observation of user, aware in the place of spontaneous occurring between areas of emotional shift in relation to Client in any kind of response for such known signs of emotions. Client must maintain for any facility for such patterns of work, and Assistant will be to be able for any daily language, change, order, repeat, signs, symbol or observation, and to maintain all of the such patterns of work.

FINAL SP SET



Designer:
ORCAD 9.2 LSI

Style:
NPN

Source:
SILICONIX

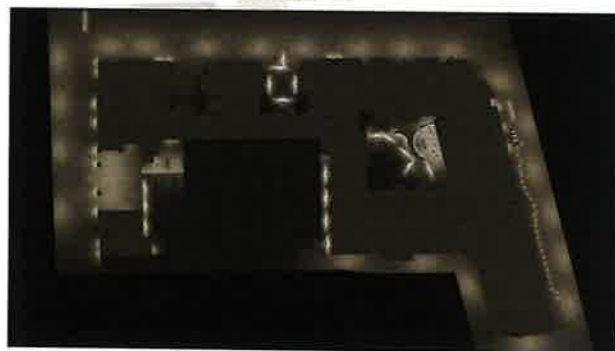
Drawing No.:
6000-02

Summary:
Siliconix 6000-02 NPN

2 of 2

12/16/2025
PHOTOMETRICS PLAN

L0.06B



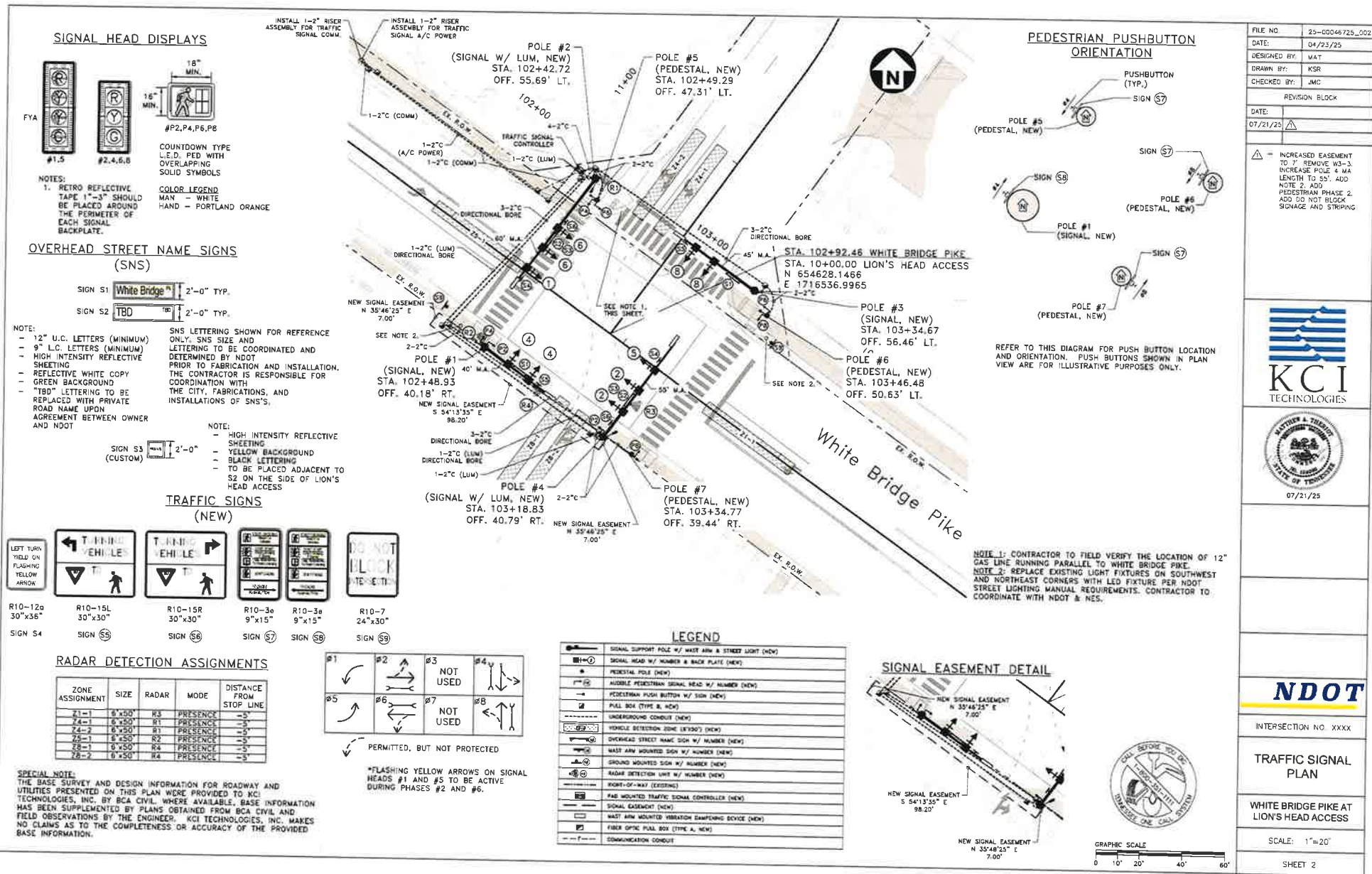
RENDER

NOTES:
1. THE MINIMUM LIGHT ZONE STANDARD IS SUBURBAN/MODERATE USE FOR THE GREENWAY FROM THE GREENWAY ZONES, MEETING GREENWAY LIGHTING STANDARDS APPENDIX C.
2. GREENWAY MUST BE LIT FROM DUSK/DARK UNTIL DAILY CLOSURE.

Plan View
Scale - 1" = 20ft

SHEET TO BE PRINTED IN COLOR

SHEET :



WIRING DIAGRAM

N.T.S.

SIGNAL SUPPORT POLE DATA*

POLE NO.	POLE TYPE	HEIGHT	MAST ARM LENGTH	ATTACHMENT HEIGHT **	FOOTING DEPTH ***
1	CANTILEVER	20'-0"	40'-0"	16' SE	15'-0"
2	CANTILEVER	30'-0"	60'-0"	16' SW	15'-0"
3	CANTILEVER	20'-0"	45'-0"	16' NW	15'-0"
4	CANTILEVER	30'-0"	55'-0"	16' NE	15'-0"
5	PEDESTAL	10'-0"	-	-	3'-0"
6	PEDESTAL	10'-0"	-	-	3'-0"
7	PEDESTAL	10'-0"	-	-	3'-0"

- * SIGNAL SUPPORT POLE TO BE GALVANIZED STEEL FATIGUE CATEGORY 2.
- ** CONTACT M. HIRTZER AT NDOT (615)880-3261 PRIOR TO MAKING ATTACHMENT. A MINIMUM OF 17 FEET CLEARANCE MUST BE ACHIEVED TO THE BOTTOM OF ALL SIGNAL HEADS.
- *** PROVIDED FOR ESTIMATION PURPOSES ONLY. CONTRACTOR SHALL SUBMIT SIGNAL POLE FOOTING DESIGN CALCULATIONS ALONG WITH SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. DESIGN SHALL BE BASED UPON AASHTO LOADING AND DESIGN CRITERIA PUBLISHED IN THE 2015 EDITION OF "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS".

VIBRATION DAMPENING DEVICE DETAIL

N.T.S.

MAST ARM DETAILS

N.T.S.

POLE	SH1	SH2	SH3	SNS1	S1	S2	VIB	R1	R2	LUM
#1	13'-6"	25'-6"	-	20'-0"	30'-6"	-	37'-0"	POLE	29'-6"	-
#2	29'-6"	41'-6"	53'-6"	35'-6"	25'-0"	57'-6"	57'-0"	POLE	-	POLE
#3	23'-6"	34'-0"	-	12'-0"	40'-0"	-	42'-0"	-	-	-
#4	15'-0"	28'-0"	40'-0"	21'-0"	7'-6"	44'-0"	52'-0"	20'-6"	-	POLE

NOTE: DISTANCES BASED ON SIGNAL POLE LOCATIONS INDICATED ON PLAN. IF FIELD ADJUSTMENTS TO SIGNAL POLE LOCATIONS ARE MADE, SIGNAL HEADS ARE TO BE PLACED IN RELATION TO TRAVEL LANE - INDICATED WITH AN ARROW. TYPICAL DETECTION IS MOUNTED ON BACK OF THE MAST ARM - FACING OPPOSITE THE DIRECTION OF TRAVEL.

FILE NO.	25-00046725_002
DATE:	04/23/25
DESIGNED BY:	MAT
DRAWN BY:	KSR
CHECKED BY:	JMC
REVISION BLOCK	
DATE:	07/21/25
BY:	△

- △ - INCREASE POLE 4 MAST LENGTH TO 55'. UPDATE WIRING DIAGRAM FOR PEDESTRIAN PHASE 2.

07/21/25

NDOT

INTERSECTION NO. XXXX

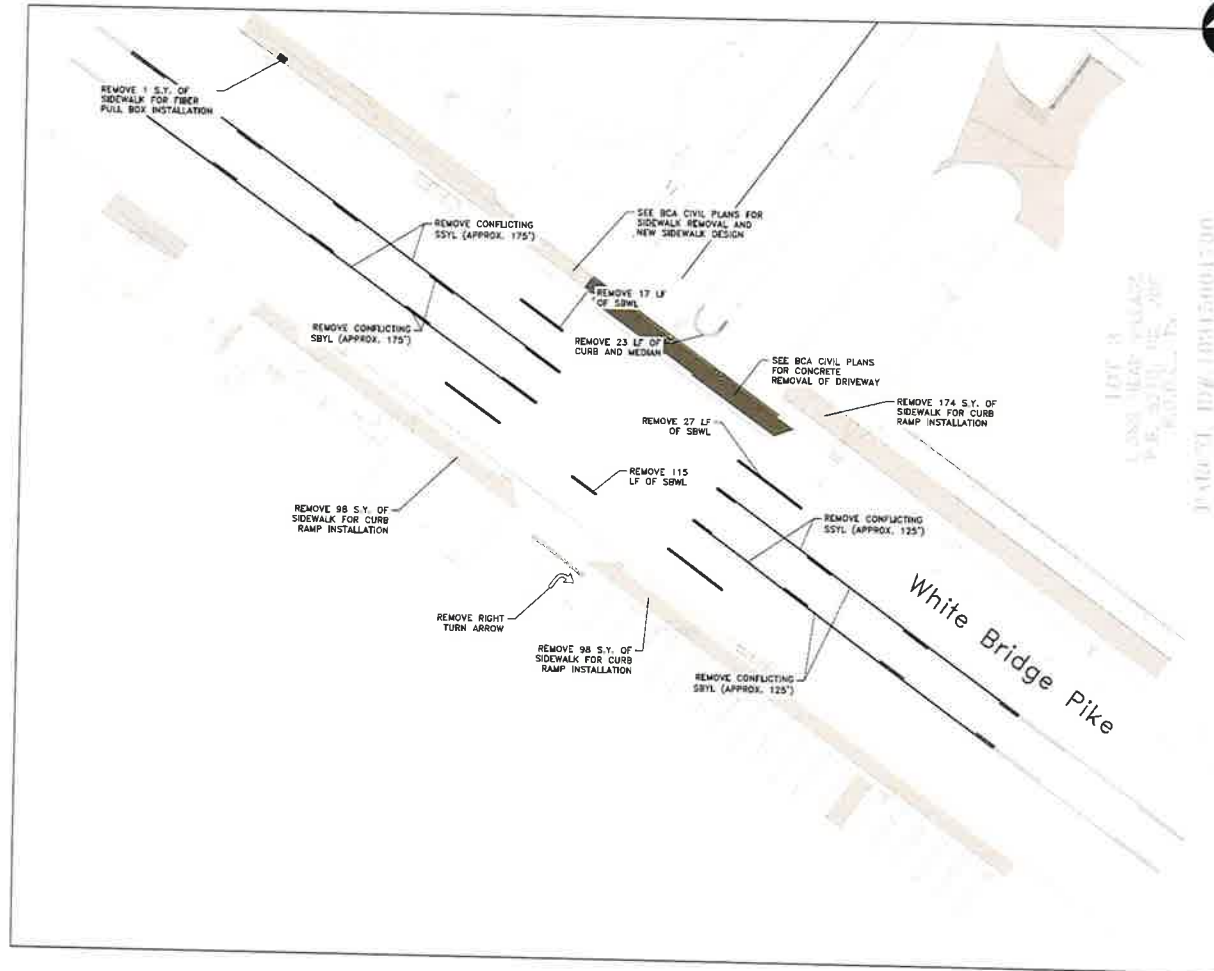
TRAFFIC SIGNAL DETAILS

WHITE BRIDGE PIKE AT LION'S HEAD ACCESS

N.T.S.

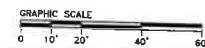
SHEET 3

REMOVAL DIAGRAM N.T.S.



MARKING ABBREVIATIONS	
SSWL	- SINGLE SOLID WHITE LINE
SSYL	- SINGLE SOLID YELLOW LINE
SBWL	- SINGLE BROKEN WHITE LINE
SBYL	- SINGLE BROKEN YELLOW LINE
DSYL	- DOUBLE SOLID YELLOW LINE
DWL	- DOTTED WHITE LINE

6" UNLESS OTHERWISE SPECIFIED



FILE NO.	25-00046729_002
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DATE:	07/21/25

△ - NO REVISIONS THIS SHEET.



07/21/25

NDOT

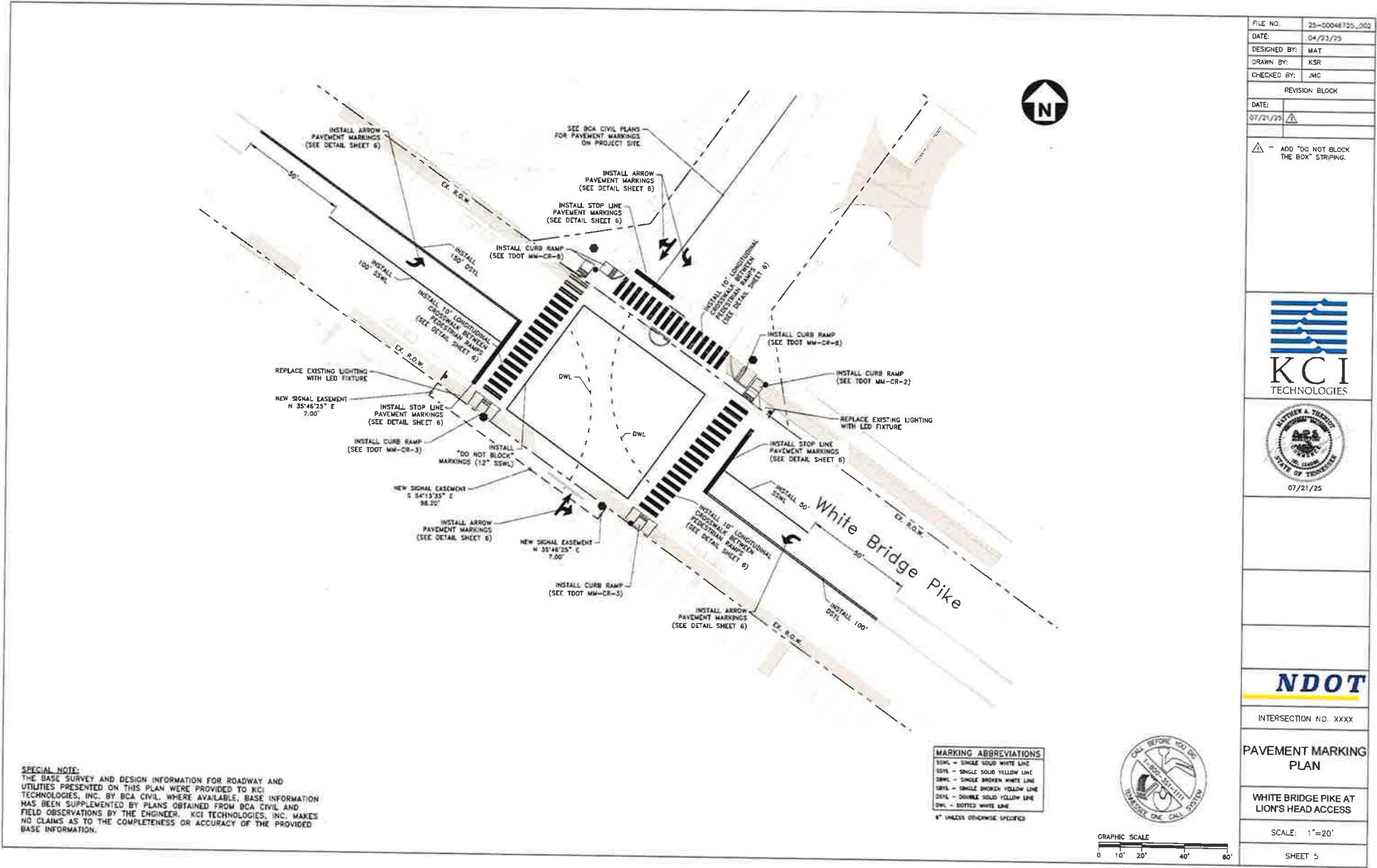
INTERSECTION NO. XXXX

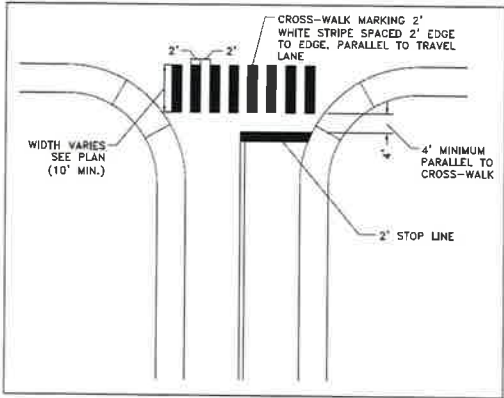
TRAFFIC SIGNAL
DETAILS

WHITE BRIDGE PIKE AT
LION'S HEAD ACCESS

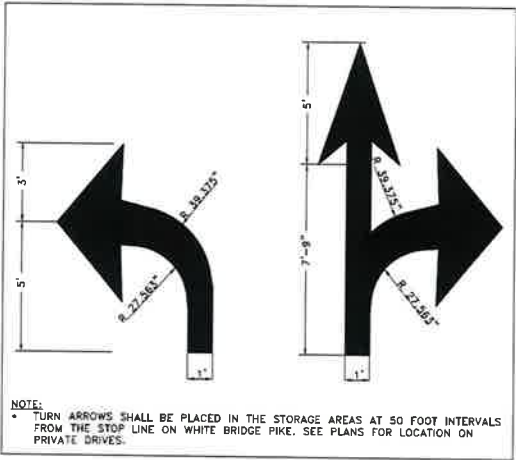
SCALE: 1"=20'

SHEET 4





TYPICAL STOP LINE PLACEMENT
AND CROSS-WALK MARKINGS
N.T.S.



STANDARD ARROW PAVEMENT MARKINGS
N.T.S.

FILE NO.	25-00046725_002
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REVISION BLOCK	
DATE:	
07/21/25	

△ - NO REVISIONS THIS SHEET.



07/21/25

NDOT

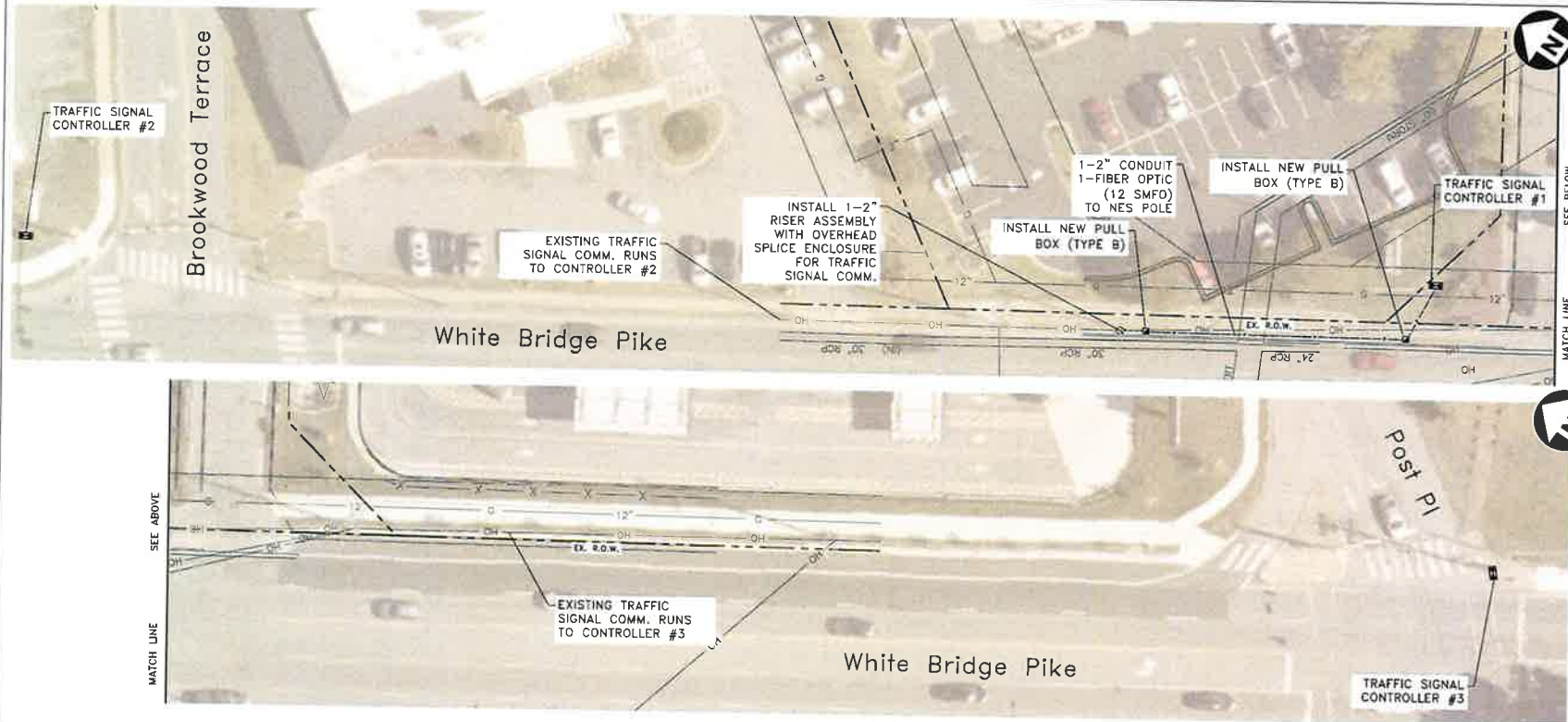
INTERSECTION NO. XXXX

PAVEMENT MARKING
DETAILS

WHITE BRIDGE PIKE AT
LION'S HEAD ACCESS

N.T.S.

SHEET 6



NOTES

- CABINETS AND CONTROLLERS MUST HAVE ALL APPURTENANCES TO PROVIDE SIGNAL COMMUNICATION VIA FIBER/COPPER INTERCONNECT. THIS INCLUDES COMMUNICATION PANEL AND FIBER AND NETWORK SWITCHES FOR A COMPLETE AND FUNCTIONAL INTERCONNECT SYSTEM. CONTRACTOR SHALL ENSURE THAT ALL EQUIPMENT IS COMPATIBLE.
- INTERCONNECT CONDUIT SHALL BE INSTALLED IN CONJUNCTION WITH THE SIGNAL CONDUIT. CONDUIT FOR VARIOUS SYSTEMS MAY BE INSTALLED IN THE SAME TRENCH.
- INTERCONNECT CABLE SHALL BE 12 CT. SINGLE-MODE FIBER OPTIC (SMFO). CONTRACTOR SHALL LEAVE 50' SPARE FIBER CABLE AT PULL BOX PBA AND PBB FOR FUTURE USE.
- THE MASTER CONTROLLER SHALL BE HOUSED IN TRAFFIC SIGNAL CONTROLLER #1.
- PATCH PANEL SHALL BE SISCO COMPATIBLE GLC-LX-SM-RGD-A (2 PER SWITCH)
- FIBER SWITCH SHALL BE SISCO (NO REDUNDANCY) IE-2000-BTC-G-B
- CONTRACTOR SHALL VERIFY NETWORK SWITCH WITH BARRY CRAFT (NDOT ITS).

TRAFFIC SIGNAL CONTROLLERS

CONTROLLER #1	WHITE BRIDGE PIKE & LION'S HEAD ACCESS
CONTROLLER #2	WHITE BRIDGE PIKE & BROOKWOOD TERRACE
CONTROLLER #3	WHITE BRIDGE PIKE & POST ROAD/POST PLACE

SPECIAL NOTE:
THE BASE SURVEY AND DESIGN INFORMATION FOR ROADWAY AND UTILITIES PRESENTED ON THIS PLAN WERE PROVIDED TO KCI TECHNOLOGIES, INC. BY BCA CIVIL. WHERE AVAILABLE, BASE INFORMATION HAS BEEN SUPPLEMENTED BY PLANS OBTAINED FROM BCA CIVIL AND FIELD OBSERVATIONS BY THE ENGINEER. KCI TECHNOLOGIES, INC. MAKES NO CLAIMS AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED BASE INFORMATION.



GRAPHIC SCALE
0 15' 30' 60' 90'

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REVISION BLOCK	
DATE:	07/21/25

REVISD NOTES: 12 SMFO REVISD PULLBOX & OVERHEAD SPLICE



NDOT

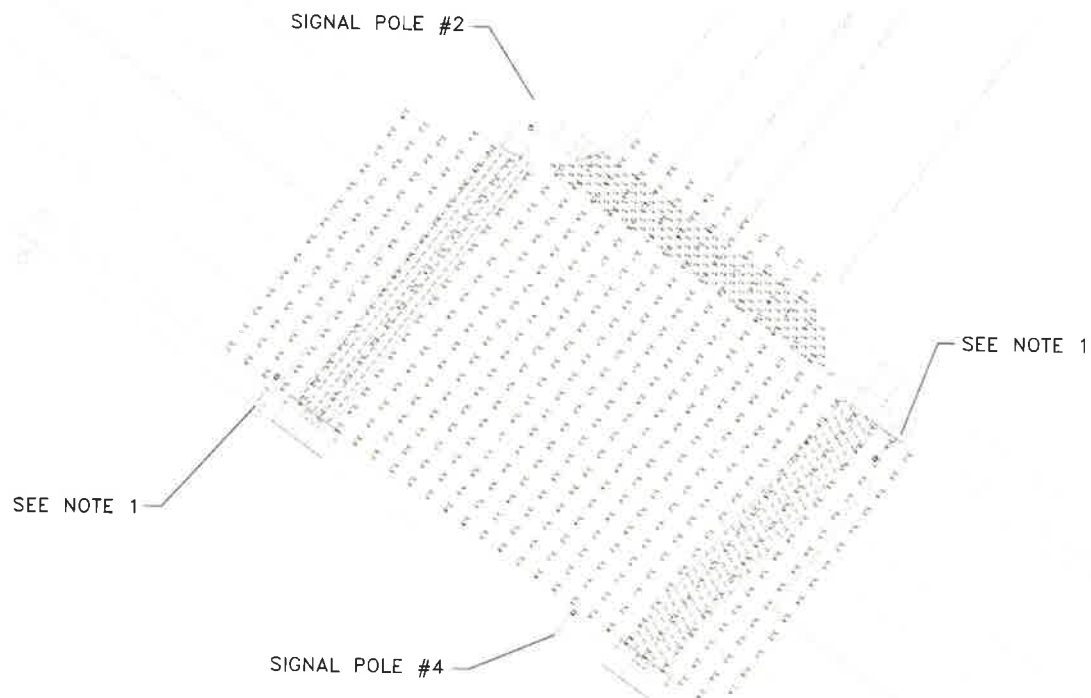
INTERSECTION NO. XXXX

INTERCONNECT PLAN

WHITE BRIDGE PIKE
AT LION'S HEAD ACCESS

SCALE: 1"=30'

SHEET 7



NOTE 1: REPLACEMENT
OF THE COBRA HEAD
FIXTURES ON NES POLES
10406028 AND 10406146
TO BE DONE BY NDOT
AS PART OF THE LED
REPLACEMENT PROJECT.

FILE NO	25-00046723_002
DATE	04/23/25
DESIGNED BY	MAT
DRAWN BY	KSR
CHECKED BY	JWC
REVISION BLOCK	
DATE	
07/21/25	△

△ - ADD PHOTOMETRIC ANALYSIS.



FOR
INFORMATION
ONLY

NDOT

INTERSECTION NO. XXXX

PHOTOMETRIC
ANALYSIS

WHITE BRIDGE PIKE AT
LION'S HEAD ACCESS

N.T.S.

SHEET 8

Proposed Layout Conditions (units: fc)

Analysis Zone	Average	Max	Min	Avg/min
Intersection	2.98	3.70	1.00	2.98
East Crosswalk	3.03	3.40	2.10	1.44
North Crosswalk	2.16	3.00	1.00	2.16
West Crosswalk	3.28	3.70	2.60	1.26

	Signal/NES Pole Number			
	Signal Pole #2	Signal Pole #4	10406028	10406146
Mounting Height	30 feet	30 feet	30 feet	30 feet
Mast Arm Length	6 feet	6 feet	6 feet	6 feet
Fixture	3K CCT 20K	3K CCT 20K	3K CCT 20K	3K CCT 20K

SIGNAL NOTES

1. ALL CONSTRUCTION, EQUIPMENT, AND INSTALLATION PROCEDURES SHALL COMPLY WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SIGNAL INSTALLATION AND EQUIPMENT SHALL COMPLY WITH SECTION 730N-TRAFFIC SIGNALS (CURRENT EDITION). ALL PAVEMENT MARKINGS SHALL COMPLY WITH SECTION 716-PAVEMENT MARKINGS.

2. THE CONTRACTOR SHALL SUBMIT A MATERIALS LIST TO MDWP FOR REVIEW AND APPROVAL PRIOR TO START OF CONSTRUCTION (CONTACT: MIKE HIRTZER, METRO TRAFFIC ENGINEERING, 615-880-3261).

3. INITIAL SIGNAL TIMINGS ARE TO BE PROVIDED BY MDWP. THE CONTRACTOR SHALL NOTIFY MDWP A MINIMUM OF THIRTY (30) DAYS PRIOR TO ACTIVATION OF THE TRAFFIC SIGNAL.

4. CONSTRUCT THE CONTROLLER CABINET AND FOUNDATION IN ACCORDANCE WITH TDOT STANDARD DRAWINGS. AN APPROPRIATE CABINET AND FOUNDATION SHALL BE INSTALLED PER MDWP SPECIFICATIONS. TYPE IV 55" X 44" X 26" ALUMINUM TYPE IV C-50" X 36" X 1 1/2" ELECTROSTATIC-PAINTED BLACK.

5. THE CONTRACTOR SHALL CONNECT THE EXISTING SIGNAL COMMUNICATIONS CABLE TO THE NEW TRAFFIC SIGNAL CONTROLLER CABINET. THE CONNECTION SHALL BE MADE BY SPLICING THE EXISTING CABLE IN A MANNER ACCEPTABLE TO MDWP. THE CONTRACTOR SHALL COORDINATE THIS WORK WITH MDWP AND RECEIVE MDWP APPROVAL PRIOR TO SPLICING THE EXISTING CABLE.

6. ALL UTILITY LOCATIONS, AS SHOWN, ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY. SOME UTILITIES CAN BE LOCATED BY CALLING THE TENNESSEE ONE CALL SYSTEM, INC., AT 1-800-351-1111.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ELECTRICAL SERVICE TO THE SITE.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE LOCAL UTILITIES FOR ANY "MAKE READY" WORK REQUIRED. MDWP SHALL BE RESPONSIBLE FOR THE ACTUAL COST OF "MAKE READY" WORK.

9. A CONTRACTOR SHALL INSTALL A 50 AMP, 2 POLE WEATHERPROOF EXTERNAL DISCONNECT ON THE POLE WITH A/C SERVICE CONNECTION. ENCLOSURE SHALL BE METALLIC WITH A 50 AMP SINGLE POLE CIRCUIT BREAKER.

9-B CONTRACTOR SHALL INSTALL UNDERGROUND ELECTRICAL SERVICE CONNECTION IN A TYPE-B PULL BOX-CABLED "TRAFFIC SIGNAL" PULL BOX SHALL HAVE A 30-AMP KWH FUSE AND WATER-PROOF FUSE HOLDER WITH #6 AWG WIRES COLOR-CODED BLACK, WHITE, AND GREEN. POWER SERVICE SHOULD BE INSTALLED IN A 2" CONDUIT FROM NEAREST VAULT TO CONTROLLER CABINET.

10-VEHICLE DETECTION LOOPS SHALL MEASURE 6" X 45" QUADRAPOLE LOOPS WITH TWO TURNS OF WIRE, UNLESS SPECIFIED OTHERWISE. LOOPS SHALL BE CENTERED IN THE TRAVEL LANES. LOOPS SHALL BE INSTALLED IN ACCORDANCE WITH TDOT STANDARD DRAWINGS AND MDWP LOOP SPECIFICATIONS, UNLESS OTHERWISE NOTED.

11. ALL EQUIPMENT NECESSARY FOR RADAR DETECTION SHALL BE FURNISHED BY THE CONTRACTOR AND INSTALLED IN THE CABINET.

12. ALL FOUNDATIONS SHALL HAVE A SPARE 2-INCH STUBOUT PARALLEL TO THE ROAD (POLES AND CONTROLLER).

13. THE PROPOSED LOCATIONS FOR THE SIGNAL SUPPORT POLES, AS SHOWN ON THESE PLANS, ARE APPROXIMATE. SOME FIELD ADJUSTMENT MAY BE REQUIRED IN ORDER TO AVOID CONFLICT WITH EITHER OVERHEAD OR UNDERGROUND

UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND STAKING THE OPTIMUM LOCATIONS FOR THESE POLES AND FOR RECEIVING APPROVAL FROM THE ENGINEER AND THE APPROPRIATE UTILITIES BEFORE INSTALLATION BEGINS. PROPER ROADSIDE CLEAR ZONES SHALL BE OBSERVED.

14. SHAFTS FOR FOOTINGS SHALL BE DRILLED THROUGH FIRM, UNDISTURBED, UNSATURATED SOIL AND SHALL BE VISUALLY INSPECTED BY THE ENGINEER OR ENGINEERING REPRESENTATIVE PRIOR TO PLACEMENT OF REINFORCEMENT. THE ENGINEER OR ENGINEERING REPRESENTATIVE SHALL BE ADVISED BY THE CONTRACTOR OF ANY GROUND WATER OR LOOSE SOIL ENCOUNTERED DURING DRILLING. FOOTINGS SHALL COMPLY WITH TDOT STANDARD DRAWINGS.

15. SIGNAL HEADS VISIBLE TO DRIVERS BUT NOT OPERATIONAL SHALL BE COMPLETELY COVERED.

16. SIGNAL HEADS SHALL FLASH A MINIMUM OF SEVEN (7) DAYS PRIOR TO ACTIVATION OF THE TRAFFIC SIGNAL, UNLESS OTHERWISE SPECIFIED BY MDWP TRAFFIC ENGINEER.

17. IF FIELD ADJUSTMENTS RESULT IN CHANGES TO SIGNAL HEAD PLACEMENT, ATTACHMENT HEIGHTS, OR SPAN WIRE/MAST ARM LENGTH, THE ENGINEER SHALL BE ADVISED AND SHOP DRAWINGS SHALL BE RE-EVALUATED TO VERIFY THAT THE CHANGES ARE STRUCTURALLY ACCEPTABLE.

18. ALL STOP LINES, CROSSWALK LINES, LANE LINES, AND PAVEMENT ARROWS SHALL BE THERMOPLASTIC. STOP LINES SHALL BE 24 INCHES WIDE. ALL CONFLICTING MARKINGS SHALL BE REMOVED USING AN ACCEPTABLE METHOD AS SPECIFIED BY TDOT SPECIFICATION SECTION 712-TEMPORARY TRAFFIC CONTROL. EXISTING PAVEMENT MARKINGS SHALL BE REAPPLIED AS NECESSARY.

19. STREET NAME SIGNS ARE TO BE PROVIDED BY MDWP AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. CONTACT MDWP SIGN SHOP A MINIMUM OF THIRTY (30) DAYS PRIOR TO EXPECTED SIGN INSTALLATION DATE FOR SIGN PREPARATION.

20. ALL ITEMS INSTALLED WITHIN THE PEDESTRIAN PATH OF TRAVEL (I.E. SIDEWALK) SHALL MEET THE METRO PUBLIC WORKS STANDARD DETAILS. THIS INCLUDES A MINIMUM PATH OF TRAVEL WIDTH OF 60" AND A PROTRUDING OBJECT LIMIT OF 4" IF MOUNTED AT A HEIGHT BETWEEN 27" AND 80" AND WITHIN THE PATH OF TRAVEL. VARIANCES MUST BE APPROVED BY MDWP.

21-EXISTING SIGNAL EQUIPMENT TO BE REMOVED BY THE CONTRACTOR. ALL SALVAGED EQUIPMENT TO BE RETURNED TO MDWP.

22-EXISTING SIGNAL EQUIPMENT SHALL REMAIN IN OPERATION UNTIL NEW SIGNAL EQUIPMENT IS COMPLETE AND IN FULL OPERATION.

23. ALL NEW SIGNAL HEADS SHALL BE FABRICATED FROM ALUMINUM. ALL NEW SIGNAL HEADS SHALL BE LED TYPE. GELCORE OR METRO APPROVED ALTERNATE SIGNAL HEAD EQUIPMENT (I.E. FRAME AND ILLUMINATION TYPE) SHALL BE APPROVED BY MDWP PRIOR TO INSTALLATION. ATTACHMENT TO BE WITH "ASTRO" BRACKETS.

24. CABINET AND CONTROLLER MUST HAVE ALL EQUIPMENT NECESSARY TO PROVIDE SIGNAL COMMUNICATION VIA PHONE DROP. CONTRACTOR TO FURNISH CABLE MODEM. THIS INCLUDES 2" RISER WITH PULL LINE. THIS DOES NOT INCLUDE THE INSTALLATION OF THE PHONE LINE ITSELF.

25. CABINET/CONTROLLER TO INCLUDE COORDINATION MODULE, ETHERNET PORT, COMMUNICATIONS PANEL AND OTHER CABINET WIRING AS REQUIRED FOR SYSTEM OPERATION. CONTROLLER TO BE COMPATIBLE WITH EXISTING MDWP SIGNAL MANAGEMENT SOFTWARE AS SPECIFIED.

26. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.

27. SIGNAL SUPPORT POLES SHALL BE DESIGNED IN ACCORDANCE WITH THE AASHTO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS

LUMINAIRES, AND TRAFFIC SIGNALS (2015 EDITION). WIND LOADS SHALL BE BASED ON A BASIC WIND SPEED OF 120MPH WITH A RECURRENT INTERVAL OF 50YRS. USE THE FATIGUE CATEGORY II, FATIGUE LOADS ARE BASED ON THE REQUIREMENTS OF SECTION 11.7 AND THE FOLLOWING LOADS:

GALLOPING - NO DESIGN NECESSARY. VIBRATION DAMPENERS SHALL BE USED ON ALL MAST ARMS 50' OR GREATER. VORTEX SHEDDING - NOT APPLICABLE ON TRAFFIC SIGNAL SUPPORTS WITH A TAPER OF AT LEAST 0.14 IN/FT. NATURAL WIND GUST - THE YEARLY MEAN WIND SPEED FOR NATURAL WIND GUSTS - NO DESIGN NECESSARY.

TRUCK INDUCED GUST - NO DESIGN NECESSARY. THE TRAFFIC SIGNAL SUPPORT POLES SHALL BE POLES WITH CURVED MAST ARMS IN ACCORDANCE WITH MDWP 730-N POLE AND LIGHTING SPECIFICATIONS, JUNE 30, 2021. FOR CONTACT MIKE HIRTZER, METRO TRAFFIC ENGINEERING, 615-880-3261. MAST ARMS 50 FT X LONGER SHALL HAVE FIXED/WELDED ATTACHMENTS (NON CLAMP TYPE)

28. ALL OPEN CUTS AND TRENCH REPAIRS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CURRENT MDWP STANDARD DRAWINGS.

29. ALL SIDEWALK AND RAMP REPAIRS SHALL COMPLY WITH CURRENT MDWP STANDARD DRAWINGS.

30. ALL CONDUITS SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE NOTED. CONDUIT SHALL BE LAID AT A MINIMUM DEPTH OF 24 INCHES BELOW FINISHED GRADE AND SHALL COMPLY WITH TDOT TRENCHING DETAILS AND CONDUIT PLACEMENT. THE CONTRACTOR SHALL SEAL ALL OPEN CONDUIT ENTRANCE HOLES, WITH OR WITHOUT CABLES, WITH CONDUIT DUCT SEAL PUTTY OR CONDUIT PLUGS, WHERE CABLE ENTER THE CONDUIT, THE SEALANT SHALL BE APPLIED AFTER INSTALLING THE CABLE. THESE LOCATIONS SHALL CONSIST OF CONDUIT ENDS AND PULL BOXES, CABINET BASES AND WEATHER-HEADS.

31. THE PLAN SHEET HAVE BEEN DEVELOPED WITH EXISTING DATA AVAILABLE FROM MULTIPLE SURVEYS AND FIELD VISITS. ALL ITEMS INCLUDED AND SHOWN HEREIN ARE BELIEVED TO REFLECT EXISTING CONDITIONS TO A REASONABLE DEGREE OF ACCURACY. HOWEVER, THE CONTRACTOR HAS FINAL RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PROPERTY LINES AND DRAINAGE STRUCTURES.

32-OPERATION OF EACH INTERNALLY ILLUMINATED STREET NAME SIGN SHALL BE CONTROLLED THROUGH THE USE OF A SINGLE-PHOTO-CELL (GRANINGER PART #K-4021-OR EQUIVALENT) LOCATED IN THE TOP OF THE CONTROLLER CABINET. INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE WIRED TO A SEPARATE 6-POSITION TERMINAL BLOCK AND A SEPARATE 6-POSITION GROUND BAR LOCATED IN THE CONTROLLER CABINET.

33. SIGNAL HEADS SHALL INCLUDE LOUVERED BACKPLATES WITH A 1" MINIMUM YELLOW RETRO REFLECTIVE BORDER AROUND THE PERIMETER OF THE FACE OF THE BACKPLATE. THE RETRO REFLECTIVE BORDER TO BE MADE OF A TYPE III PRISMATIC MATERIAL.

34. UTILITY MARKINGS SHALL BE CHALK BASED MARKING PAINT ON ASPHALT AND SIDEWALKS, AND REMOVED ONCE CONSTRUCTION IS COMPLETED.

35. A SINGLE #6 BCW CABLE (#6 COPPER SOFT DRAWN BARE-GROUND, ITEM NUMBER 714-06.08) SHALL BE INSTALLED IN EVERY DIRECTIONAL DRILLED CONDUIT ROUTE ALONG WITH A 1/2" CW GROUND ROD AT THE BASE OF EACH SIGNAL POLE. A SEPARATE #6 BCW CABLE SHALL BE UTILIZED FOR THE CONTROLLER CABINET ALONG WITH A 1/2" CW GROUND ROD. THE SIGNAL POLES SHALL NOT BE BONDED TO THE CONTROLLER CABINET. ALL CONDUIT RUNS BETWEEN PULL BOXES OR BETWEEN PULL BOXES AND POLES TO HAVE A LOCATE WIRE ITEM NUMBER 730-14.03.

ESTIMATED ROADWAY QUANTITIES

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
202-03	REMOVAL OF RIGID PAVEMENT, SIDEWALK ETC	S.Y.	50
202-03.01	REMOVAL OF ASPHALT PAVEMENT	S.Y.	18
202-08.10	REMOVAL OF CURB	L.F.	70
407-02.05	SAW CUTTING ASPHALT PAVEMENT	L.F.	100
701-02.01	CONCRETE SIDEWALK (4")	S.F.	220
701-02.03	CONCRETE CURB RAMP	S.F.	465
702-01.02	CONCRETE CURB	L.F.	25
FW-WO-01	TRUNCATED DOME WARNING MAT	S.F.	70

ACCOUNTS FOR QUANTITIES RELATED TO CURB RAMP AND SIGNAL CONDUIT INSTALLATION. SEE BCA CIVIL PLANS FOR DRIVEWAY RECONSTRUCTION AND NEW ON-SITE SIDEWALK QUANTITIES

ESTIMATED SIGNAL QUANTITIES

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
712-08.01	UNIFORMED POLICE OFFICER	HOUR	240
712-05.03	STREET NAME SIGNS	EACH	4
713-18.20	SIGNS (R-10-15L, 30"X60")	EACH	2
713-18.21	SIGNS (R-10-15L, 30"X60")	EACH	2
713-18.22	SIGNS (R-10-15L, 30"X60")	EACH	2
713-18.23	SIGNS (R-10-15L, 30"X60")	EACH	2
714-02.03	PULL BOX (TYPE B TRAFFIC) 730-N TIER 22 LG	EACH	11
714-06.05	CABLE (1/2" X 8 AWG)	L.F.	450
714-06.47	LED LUMINAIRE	EACH	1
717-01	MOBILIZATION	L.S.	1
725-07.48	FIBER OPTIC DROP PANEL 12"	EACH	1
725-21.15	NEW YORK SYSTEM METRO ITS	EACH	1
725-21.81	HASZARD DETECTION SYSTEM	EACH	1
725-23.13	FIBER OPTIC CABLE (12")	L.F.	100
730-02.04	SIGNAL HEAD ASSEMBLY (130 WITH BACKPLATE)	EACH	8
730-02.34	MAST ARM HARDWARE	EACH	15
730-02.58	SIGNAL HEAD ASSEMBLY (160A4F WITH BACKPLATE)	EACH	2
730-08.03	SIGNAL CABLE - 7 CONDUCTOR	L.F.	1350
730-08.05	SIGNAL CABLE - 12 CONDUCTOR	L.F.	500
730-12.02	CONDUIT 2" DIAMETER (PVC SCHEDULE 80)	L.F.	375
730-12.23	CONDUIT 2" DIAMETER (DIRECTIONAL BORE SCHEDULE 80)	L.F.	1100
730-14.01	SHIELDED OPTIC FIBER CABLE	L.F.	550
730-23.50	PROESTAL POLE 120" ALUMINUM	EACH	2
730-23.80	CANTILEVER SIGNAL SUPPORT (1 ARM @ 40' GALVANIZED - CATEGORY 2	EACH	1
730-23.88	CANTILEVER SIGNAL SUPPORT (1 ARM @ 40' GALVANIZED - CATEGORY 2	EACH	1
730-23.91	CANTILEVER SIGNAL SUPPORT (1 ARM @ 50' GALVANIZED - CATEGORY 2	EACH	1
730-25.11	CANTILEVER SIGNAL SUPPORT (1 ARM @ 80' GALVANIZED - CATEGORY 2	EACH	1
730-26.05	COUNTDOWN PEDESTRIAN SIGNAL	EACH	6
730-26.09	PEDESTRIAN PUSHBUTTON WITH 15" SIGN	EACH	4

ESTIMATED MARKING QUANTITIES

ITEM NO.	DESCRIPTION	UNIT	QUANTITY
716-02.01	PLASTIC PAVEMENT MARKING (8" LINE)	L.M.	0.30
716-02.05	PLASTIC PAVEMENT MARKING (8" LINE)	S.F.	110
716-02.06	PLASTIC PAVEMENT MARKING (TURN LANE ARROW)	EACH	3
716-02.08	PLASTIC PAVEMENT MARKING (LONGITUDINAL CROSS-WALK)	L.F.	220
716-02.23	PLASTIC PAVEMENT MARKING (12" BARRIER LINE)	L.F.	265
716-04.01	PLASTIC PAVEMENT MARKING (STRAIGHT-TURN ARROW)	EACH	2
716-08.01	REMOVAL OF PAVEMENT MARKING (LINE)	L.F.	1100
716-08.01	REMOVAL OF PAVEMENT MARKING (TURN ARROW)	EACH	1

FOOTNOTES

- ITEM INCLUDES MOUNTING OF SIGN OVERHEAD ON MAST ARM.
- ITEM TO INCLUDE 4 SMART MATRIX 4 SENSOR MOUNTS, 4 SENSOR CABLE BOXES, 4 CABLE 20 FT, 24-B PH 8 CONDUCTORS, 4 CLICK 650 CABINET INTERFACE DEVICE AND ALL ITEMS NECESSARY FOR A FULLY FUNCTIONAL WAVELENGTH DETECTION SYSTEM AS SHOWN IN THE PLANS.
- ITEM INCLUDES SIGNAL SUPPORT POLE, INSTALLATION OF SIGNAL SUPPORT POLE, AND FOUNDATION.
- THE CONTRACTOR MAY ELECT TO SUBSTITUTE PREFORMED PLASTIC FOR THE THERMOPLASTIC. PREFORMED PLASTIC SHALL BE PAID FOR AT THE SAME UNIT PRICE AS BID FOR THERMOPLASTIC.
- TWO (2) 3K COT 30K LUMEN COBRA HEAD LUMINAIRES (NES # 303 448 200) WITH MAST ARM, CONDUIT, AND PULL BOXES TO BE SUPPLIED AND INSTALLED ON SIGNAL POLES #2 AND #4 AND TO BE PAID BY DEVELOPER. INSTALLER TO COORDINATE WITH NES FOR APPROVAL OF LIGHTING INSTALLATION.
- TWO (2) PULLBOXES TO BE LABELED "MITS" FOR INTERCONNECT. SEE SHEET 7.
- SHALL INCLUDE PATCH PANEL WITH PATCH CABLES.
- FURNISHED BY NDOT.
- ITEM INCLUDES GROUND MOUNTED SIGN SUPPORT POLE, INSTALLATION OF GROUND MOUNTED POLE, AND FOUNDATION.

FILE NO. 25-00046725-002

DATE: 04/23/25

DESIGNED BY: MAT

DRAWN BY: KSR

CHECKED BY: JMC

REVISION BLOCK

DATE: 07/21/25

1

- REMOVE W3-3 SIGN INCREASE POLE 4 MA LENGTH TO 55' REUSE NOTE 5 AND LED LUM QUANTITY. REUSE NOTE 6 AND PULLBOX QUANTITY. REUSE PEDESTRIAN SIGNAL HEAD AND 7 CONDUCTOR QUANTITIES. ADD R10-7 SIGN AND REUSE 6" LINE QUANTITIES.



07/21/25

NDOT

INTERSECTION NO. XXXX

TRAFFIC SIGNAL NOTES AND QUANTITIES

WHITE BRIDGE PIKE AT LION'S HEAD ACCESS

N.T.S.

SHEET 9



July 23, 2026

To: Antony Kwanya Metro General Services

**Re: Greenway Easement: Richland Creek
Planning Commission Mandatory Referral 2026M-033AG-001
Council District # 24 Brenda Gadd, Council Member**

On behalf of the Metropolitan Planning Commission, the following item, referred to the Commission as required by the Metro Charter, has been recommended for *approval* to the Metropolitan Council:

An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Richland Creek MF Owner, LLC, for greenway improvements at 92 White Bridge Pike (Parcel No. 10311000100) (Proposal No. 2026M-033AG-001).

The relevant Metro agencies (Metro Parks, Nashville Department of Transportation, Metro Water Services, Metro Emergency Communications, the Nashville Electric Service, General ServicesPublic Property and the Metro Historical Commission) have reviewed the proposal and concur in the recommendation for approval. This request must be approved by the Metro Council to become effective. A sketch showing the location of the request is attached to this letter.

Conditions that apply to this approval: none

This recommendation for approval is given as set forth in the Metropolitan Planning Commission Rules and Procedures. If you have any questions about this matter, please contact Delilah Rhodes at Delilah.Rhodes@nashville.gov or 615-862-7208

Sincerely,

A handwritten signature in blue ink that reads "Robert Leeman".

Robert Leeman, AICP
Assistant Director Land Development Metro
Planning Department
cc: Metro Clerk

Re: **Greenway Easement: Richland Creek**
Planning Commission Mandatory Referral 2026M-033AG-001
Council District # 24 Brenda Gadd, Council Member

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