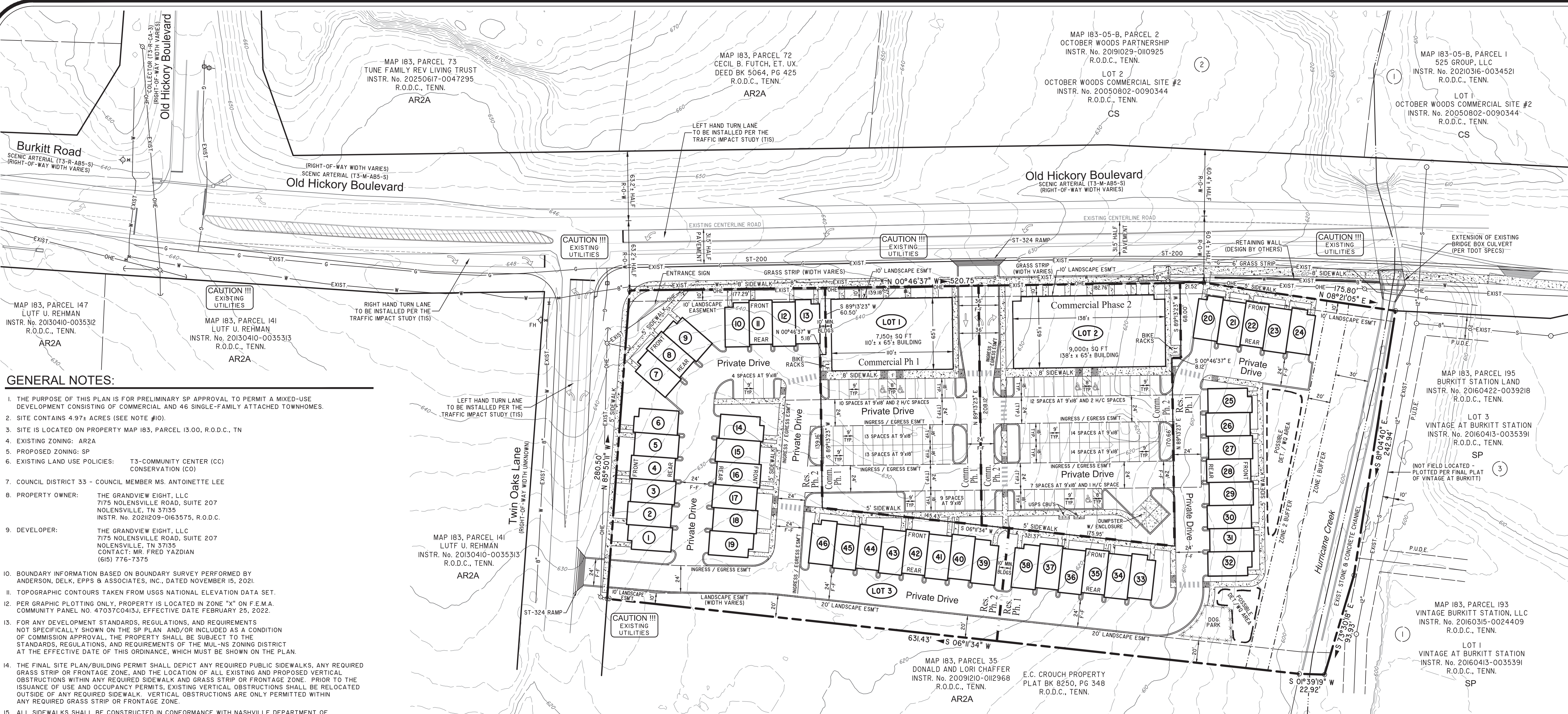


- Legend**
- 8" - S - SANITARY SEWER W/ MANHOLE
 - 8" - W - WATER LINE
 - 8" - F - FIRE HYDRANT
 - 8" - G - GATE VALVE
 - 8" - U - UTILITY POLE
 - 8" - S - SIDEWALK
 - 8" - A - ADA COMPLIANT HANDICAP RAMP
 - X - X - FENCE
 - F - F - FACE OF CURB TO FACE OF CURB
 - R - O - W - RIGHT OF WAY
 - P.U.D.E. - PUBLIC UTILITY AND DRAINAGE EASEMENT

SP Development Summary

● COUNCIL DISTRICT:	33rd
● COUNCIL MEMBER:	Ms. Antoinette Lee
● DEVELOPER:	The Grandview Eight, LLC 7175 Nolensville Road, Suite 207 Nolensville, TN 37135 (615) 776-7375 contact : Mr. Fred Yazdian
● OWNER:	Map 183, Parcel 13 The Grandview Eight, LLC 7175 Nolensville Road, Suite 207 Nolensville, TN 37135 Instr. No. 20210209-0163575 Register's Office, Davidson Co., TN
● OVERLAY DISTRICT:	OV-FLD (Floodplain Overlay)
● SP NAME:	Kersey Property
● SP NUMBER:	2025SP-046-001
● PLAN PREPARATION DATE:	08-20-2025
REVISIONS:	02-24-2026 03-16-2026 03-25-2026
● SCALE:	1" = 50'
● SHEET NUMBER:	SHEET 1 OF 3
● PLANNER/SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0110 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0413J, Zone "X" (Dated 2/25/2022)



GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS FOR PRELIMINARY SP APPROVAL TO PERMIT A MIXED-USE DEVELOPMENT CONSISTING OF COMMERCIAL AND 46 SINGLE-FAMILY ATTACHED TOWNHOMES.
- SITE CONTAINS 4.97± ACRES (SEE NOTE #10).
- SITE IS LOCATED ON PROPERTY MAP 183, PARCEL 13.00, R.O.D.C., TN.
- EXISTING ZONING: AR2A
- PROPOSED ZONING: SP
- EXISTING LAND USE POLICIES: T3-COMMUNITY CENTER (CC) CONSERVATION (CO)
- COUNCIL DISTRICT 33 - COUNCIL MEMBER MS. ANTOINETTE LEE
- PROPERTY OWNER: THE GRANDVIEW EIGHT, LLC
7175 NOLENSVILLE ROAD, SUITE 207
NOLENSVILLE, TN 37135
INSTR. No. 20210209-0163575, R.O.D.C.
- DEVELOPER: THE GRANDVIEW EIGHT, LLC
7175 NOLENSVILLE ROAD, SUITE 207
NOLENSVILLE, TN 37135
CONTACT: MR. FRED YAZDIAN
(615) 776-7375
- BOUNDARY INFORMATION BASED ON BOUNDARY SURVEY PERFORMED BY ANDERSON, DELK, EPPS & ASSOCIATES, INC., DATED NOVEMBER 15, 2021.
- TOPOGRAPHIC CONTOURS TAKEN FROM USGS NATIONAL ELEVATION DATA SET.
- PER GRAPHIC PLOTTING ONLY, PROPERTY IS LOCATED IN ZONE "X" ON F.E.M.A. COMMUNITY PANEL NO. 47037C0413J, EFFECTIVE DATE FEBRUARY 25, 2022.
- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS, AND REQUIREMENTS OF THE MUL-NS ZONING DISTRICT AT THE EFFECTIVE DATE OF THIS ORDINANCE, WHICH MUST BE SHOWN ON THE PLAN.
- THE FINAL SITE PLAN/BUILDING PERMIT SHALL DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF ANY REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH NASHVILLE DEPARTMENT OF TRANSPORTATION (INDOT) STANDARDS.
- THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE NO. 2008-328 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
- DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY, THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METRO DEPARTMENT OF WATER SERVICES.
- NO GRADING, STRIPPING, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE PRIOR TO THE APPROVAL OF AN EROSION CONTROL PLAN.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT SIZE IN METRO ROW IS 15")
- DETENTION / WATER QUALITY AREAS ARE TO BE DETERMINED WITH FINAL SITE DEVELOPMENT PLANS AND WILL MEET THE REQUIREMENTS SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. AREAS ARE SUBJECT TO CHANGE WITH FINAL DESIGN.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.
- ALL LOTS SHALL BE SERVED BY PUBLIC WATER AND SEWER.
- UNITED STATES POSTAL SERVICE CLUSTER BOX UNITS (USPS CBUs) SHALL BE A USPS APPROVED UNIT WITH CONCRETE PAD AND ANCHORING AS SPECIFIED BY THE USPS. LOCATION TO BE COORDINATED WITH THE USPS.
- THE SITE IS TO BE DEVELOPED AS A HORIZONTAL PROPERTY REGIME. ALL AREA OUTSIDE OF THE COMMERCIAL AND TOWNHOME BUILDINGS SHALL BE OPEN SPACE.
- ALL OPEN SPACE SHALL BE A PUBLIC UTILITY, DRAINAGE, INGRESS & EGRESS, AND ACCESS EASEMENT.
- THE SITE MAY BE DEVELOPED IN PHASES BASED ON MARKET DEMAND. THE SCHEDULE OF DEVELOPMENT AND PHASE LINES ARE SUBJECT TO CHANGE.
- ALL SINGLE-FAMILY ATTACHED RESIDENTIAL TOWNHOMES SHALL HAVE A TWO-CAR GARAGE.
- SHORT TERM RENTALS OWNER-OCCUPIED AND SHORT TERM RENTALS NON-OWNER OCCUPIED ARE PROHIBITED.

Bulk Standards

TOTAL SITE AREA:	4.97± Acres
COMMERCIAL AREA:	CONSISTENT WITH MUL-NS ZONING EXCEPT FOR THE EXCLUDED USES LISTED BELOW.
COMMERCIAL USES ALLOWED:	SHORT TERM RENTAL PROPERTY, OWNER OCCUPIED AND SHORT TERM RENTAL PROPERTY NOT OWNER OCCUPIED, MONASTERY OR CONVENT, ORPHANAGE, DORMITORY, BAR OR NIGHTCLUB, BEER AND CIGARETTE MARKET, CAR WASH, DONATION CENTER/DROP OFF, FLEA MARKET, HOTEL, MOTEL, INVENTORY STOCK, DISTRIBUTIVE BUSINESS/WHOLESALE, WAREHOUSE, BUS TRANSFER STATION, COMPUTER RAIL, POWER/GAS SUBSTATION, WASTE WATER TREATMENT, WATER TREATMENT PLANT, WIND ENERGY FACILITY (SMALL), CONSTRUCTION/DEMOLITION WASTE PROCESSING, RECYCLING COLLECTION CENTER, CLUB, COMMERCIAL AMUSEMENT (OUTSIDE), GOLF COURSE, AND GREENWAY.
COMMERCIAL USES EXCLUDED/PROHIBITED:	GENERAL OFFICE, RETAIL, AND RESTAURANT.
COMMERCIAL USES PROPOSED:	LOT 1: 29,782± SQ. FT. OR 0.68± Ac. LOT 2: 40,368± SQ. FT. OR 0.93± Ac. TOTAL: 70,150± SQ. FT. OR 1.61± Ac.
COMMERCIAL AREA PROPOSED:	LOT 1 BUILDINGS: 14,300± SQ. FT. LOT 2 BUILDINGS: 18,000± SQ. FT. TOTAL: 32,300± SQ. FT.
MAXIMUM COMMERCIAL SPACE ALLOWED:	LOT 1 BUILDINGS: 14,300± SQ. FT. LOT 2 BUILDINGS: 18,000± SQ. FT. TOTAL: 32,300± SQ. FT.
BUILDING SETBACKS:	FRONT SETBACK: 10 FT. MINIMUM FROM RIGHT-OF-WAY (OLD HICKORY BLVD.) REAR SETBACK: 5 FT. MINIMUM SIDE YARD SETBACK: 5 FT. MINIMUM MINIMUM DISTANCE BETWEEN COMMERCIAL AND RESIDENTIAL BUILDINGS: 10 FT. MINIMUM
MAXIMUM BUILDING HEIGHT:	3 STORIES (45 FT. MAXIMUM)
MAXIMUM FLOOR TO AREA RATIO (FAR):	1.00
PROPOSED FAR:	0.25±
MAXIMUM IMPERVIOUS SURFACE RATIO (ISR):	0.90
PROPOSED ISR:	0.85±

SINGLE-FAMILY ATTACHED RESIDENTIAL (LOT 3):

RESIDENTIAL AREA PROPOSED:	146,135± SQ. FT. OR 3.36± Ac.
MINIMUM LOT AREA:	1,500 SQ. FT.
NUMBER OF LOTS PROPOSED:	1 RESIDENTIAL LOT (SEE NOTE #26)
MAXIMUM PERMITTED RESIDENTIAL UNITS:	46 RESIDENTIAL UNITS
RESIDENTIAL UNITS PROPOSED:	46 RESIDENTIAL UNITS
PERMITTED DENSITY:	29.0 UNITS/ACRE
PROPOSED DENSITY:	13.7 UNITS/ACRE
BUILDING SETBACKS:	FRONT SETBACK: 10 FT. MINIMUM REAR SETBACK: 5 FT. MINIMUM SIDE YARD SETBACK: 5 FT. MINIMUM (END UNITS/BUILDINGS) MINIMUM DISTANCE BETWEEN RESIDENTIAL BUILDINGS: 10 FT. MINIMUM
MAXIMUM BUILDING HEIGHT:	3 STORIES (45 FT. MAXIMUM)
MAXIMUM FLOOR TO AREA RATIO (FAR):	1.00
PROPOSED FAR:	0.87±
MAXIMUM IMPERVIOUS SURFACE RATIO (ISR):	0.90
PROPOSED ISR:	0.61±

Parking Information

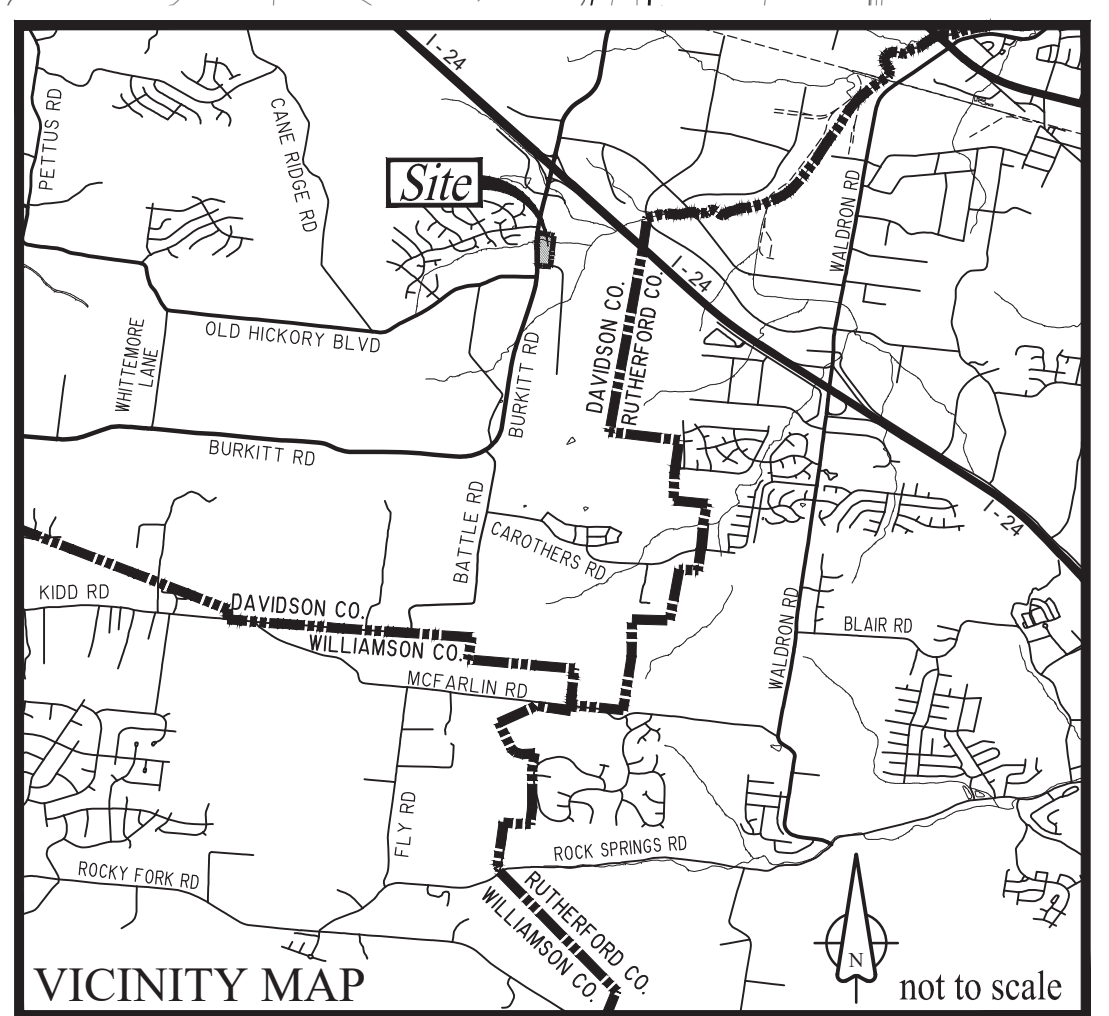
COMMERCIAL:	AUTOMOBILE PARKING REQUIRED	TBD
	* BASED ON COMMERCIAL USES - TO BE DETERMINED AT TIME OF FINAL SITE PLAN*	
PARKING PROPOSED:	COMMERCIAL LOT 1 PARKING AT 9' x 18' N/C VAN ACCESSIBLE SPACES AT 8' x 18'	44 SPACES 2 SPACES 46 SPACES
	COMMERCIAL LOT 2 PARKING AT 9' x 18' N/C VAN ACCESSIBLE SPACES AT 8' x 18'	49 SPACES 3 SPACES 51 SPACES
TOTAL AUTOMOBILE PARKING PROVIDED:		97 SPACES
BICYCLE PARKING REQUIRED:	TBD	
	* BASED ON COMMERCIAL USES - TO BE DETERMINED AT TIME OF FINAL SITE PLAN*	
COMMERCIAL LOT 1	7,150 SQ FT COMMERCIAL BUILDING	4 SPACES
COMMERCIAL LOT 2	9,000 SQ FT COMMERCIAL BUILDING	4 SPACES
TOTAL BICYCLE PARKING PROVIDED:		8 SPACES
RESIDENTIAL:	PARKING REQUIRED	92 SPACES
	2 SPACES PER UNIT	
PARKING PROPOSED:	SINGLE-FAMILY ATTACHED RESIDENTIAL UNITS 2 CAR GARAGE PER UNIT PARKING AT 9' x 18'	92 SPACES 4 SPACES 96 SPACES

SEE SHEET 2 OF 3 FOR PRELIMINARY GRADING, SOIL EXHIBIT, SLOPE EXHIBIT, AND ROADWAY PAVEMENT SECTIONS
SEE SHEET 3 OF 3 FOR PRELIMINARY LANDSCAPING PLAN

DEVELOPMENT SCHEDULE

NUMBER OF UNITS	AREA	PROPOSED START
COMMERCIAL PHASE 1	1	0.68± Ac. 2026
COMMERCIAL PHASE 2	19	0.93± Ac. 2027
RESIDENTIAL PHASE 1	19	1.73± Ac. 2026
RESIDENTIAL PHASE 2	27	1.63± Ac. 2027

*** DEVELOPMENT SCHEDULE IS APPROXIMATE AND IS SUBJECT TO CHANGE (SEE NOTE #26) ***



Architectural Standards - Commercial

- BUILDING FACADES FRONTING A PUBLIC STREET SHALL HAVE MINIMUM OF 40% GLAZING ON THE FIRST FLOOR OF THE BUILDING.
- BUILDINGS SHALL HAVE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) THAT FRONTS A PUBLIC STREET. ALL BUILDING ENTRIES SHALL BE CONNECTED WITH AN ACCESSIBLE ROUTE TO THE PUBLIC SIDEWALK.
- BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.

Architectural Standards - Residential

- FRONT BUILDING FACADES FACING OLD HICKORY BOULEVARD OR TWIN OAKS LANE (UNITS 1-13 AND 20-24) SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF GLAZING.
- FRONT BUILDING FACADES FACING OPEN SPACE (UNITS 14-19 AND 25-46) SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 15% GLAZING.
- WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
- BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

Building Materials - Commercial and Residential

OUTSIDE WALLS : BRICK, BRICK VENEER, STONE, MASONRY SIDING, OR FIBER CEMENT SIDING/SHINGLES
ROOFS : STEEP-PITCHED ROOFS: FIBERGLASS OR ASPHALT SHINGLES
LOW-PITCHED/FLAT ROOFS: TPO MEMBRANE, ETC. THAT MUST BE SCREENED FROM THE STREET BY A PARAPET WALL OF AT LEAST 24 INCHES.

Site Data

Total Site Area	4.97 ± Ac.
Developed Land Area Usage	Proposed Commercial Lots = 1.61 ± Ac. Lot 1 - Commercial = 0.68 ± Ac. Lot 2 - Commercial = 0.93 ± Ac. Proposed Residential Development = 3.36 ± Ac. Lot 3 - Residential = 3.36 ± Ac. Proposed Open Space * = 1.52 ± Ac. (30.5%)
Total Residential Units Proposed	46 Units
Proposed Density - Residential	13.7 Units / Acre

NOTES: * THE TOTAL OPEN SPACE CALCULATED IS THE AREAS OUTSIDE OF BUILDINGS, PAVEMENT, CURBS, SIDEWALK, ETC. FOR THE ENTIRE SITE. THESE AREAS ARE SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN OR DESIGN (SEE NOTE #26).

Case No. 2025S-046-001

**Preliminary Development Plan
Kersey Property SP**

Sheet 1 of 3

Proposed SP Development
33rd Councilmanic District
Nashville, Davidson County, Tennessee

developer

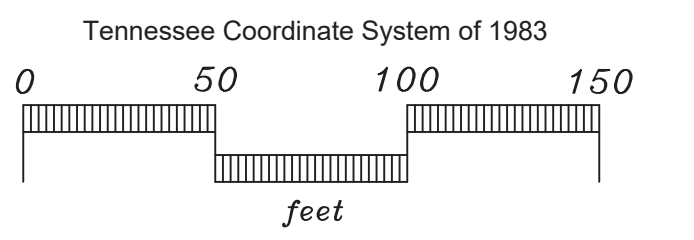
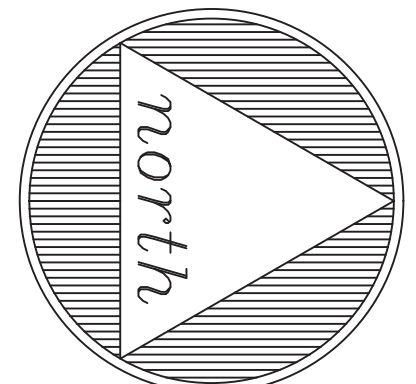
The Grandview Eight, LLC
7175 Nolensville Road, Suite 207
Nolensville, TN 37135

Date: 08 - 20 - 25 Scale : 1" = 50'

Anderson, Delk, Epps & Associates, Inc.

618 Grassmere Park Drive, Suite 4
Nashville, Tennessee 37211
(615) 331-0809

REVISIONS: 02-24-2026 AS PER METRO PLANNING
03-16-2026 AS PER METRO PLANNING
03-25-2026 AS PER METRO PLANNING



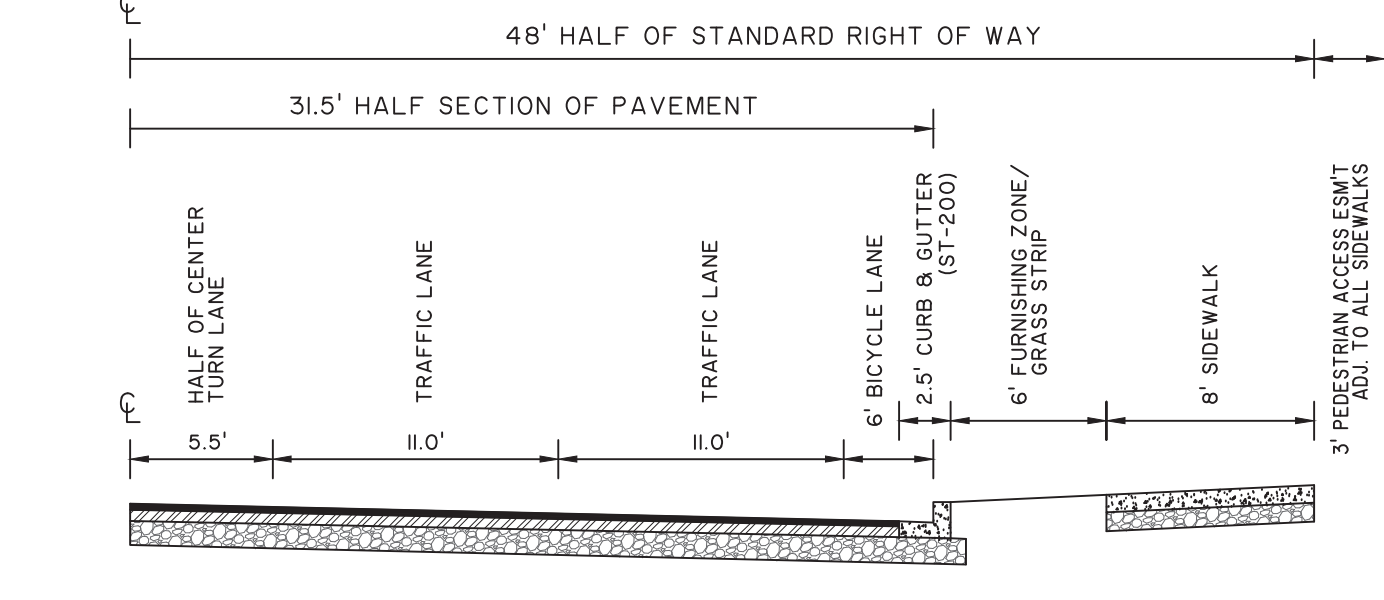
Legend

- 8" - S - O SANITARY SEWER W/ MANHOLE
- 8" - W - WATER LINE
- Fire Hydrant symbol FIRE HYDRANT
- Gate Valve symbol GATE VALVE
- Utility Pole symbol UTILITY POLE
- Sidewalk symbol SIDEWALK
- ADA Compliant Handicap Ramp symbol ADA COMPLIANT HANDICAP RAMP
- F-F FACE OF CURB TO FACE OF CURB
- R-O-W RIGHT OF WAY
- P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT

SP Development Summary

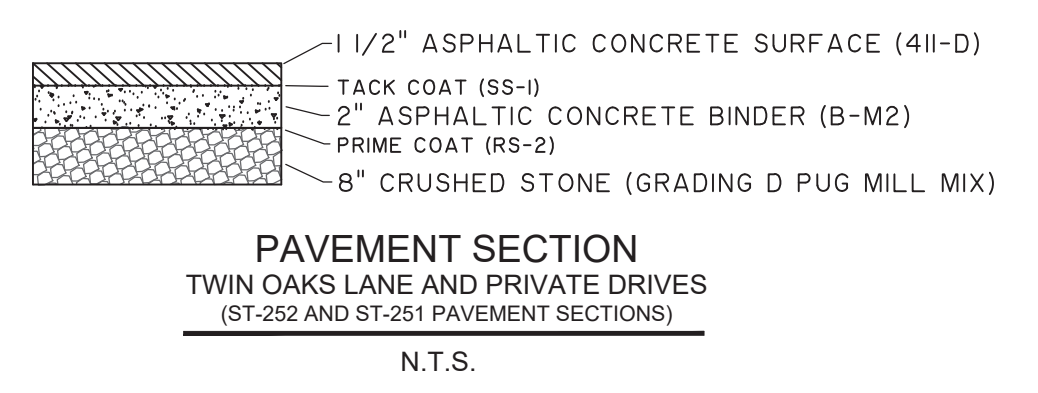
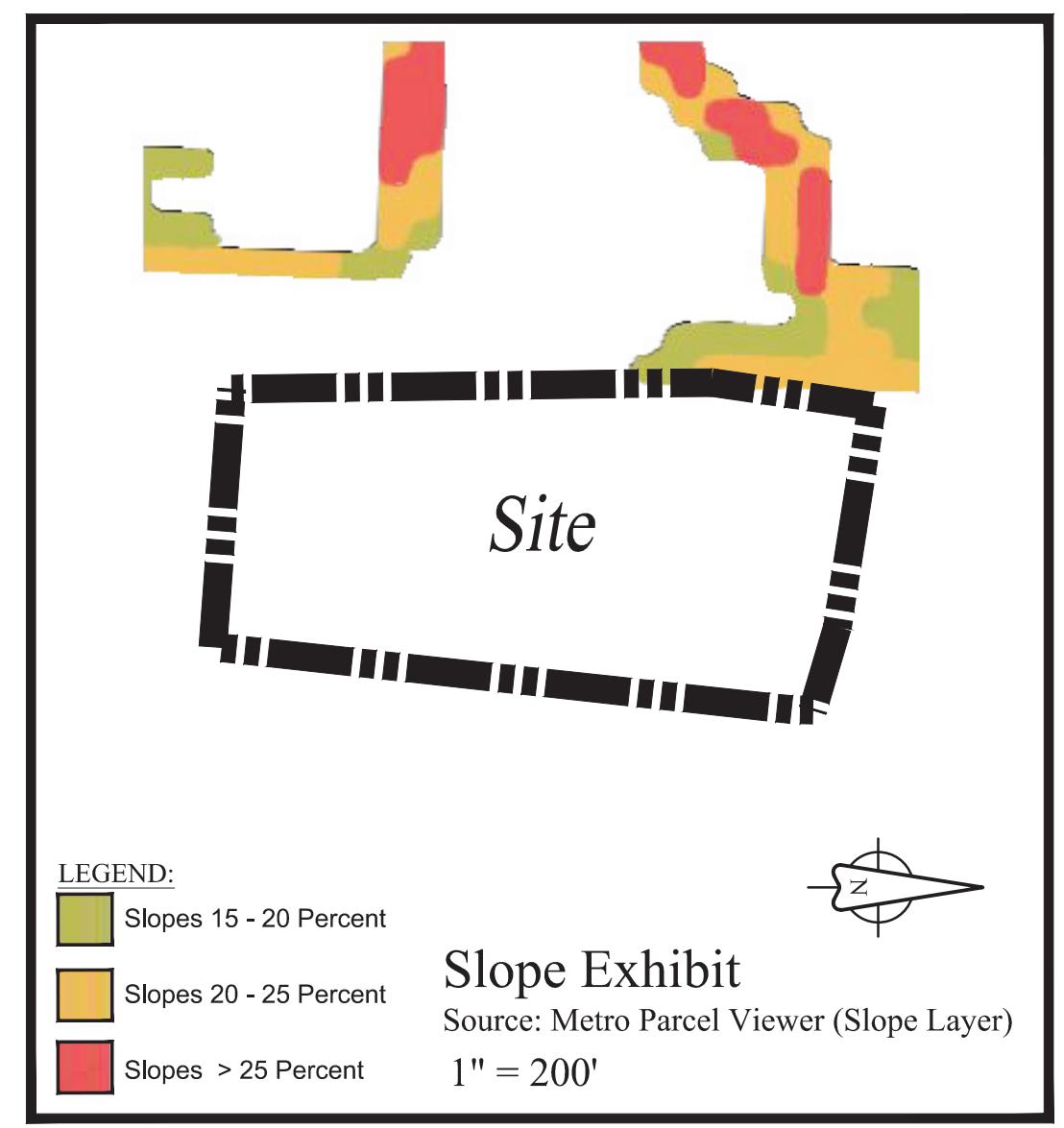
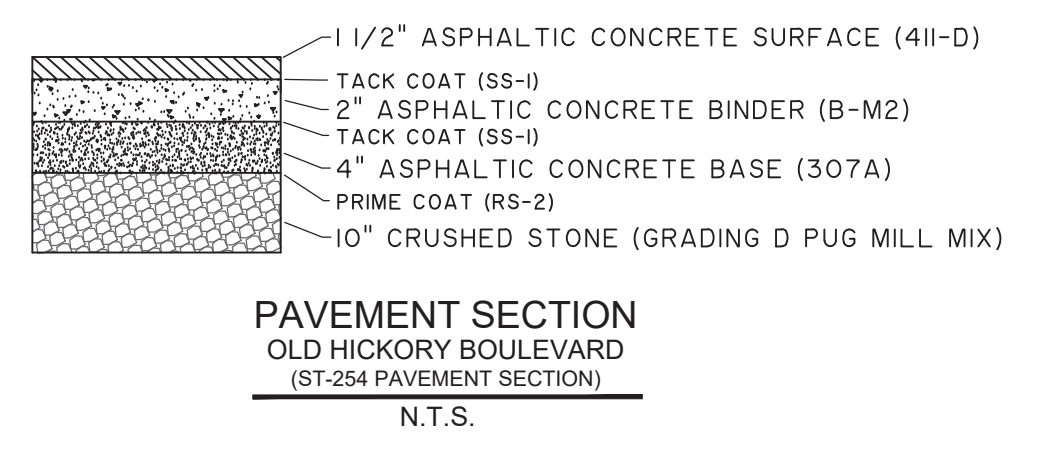
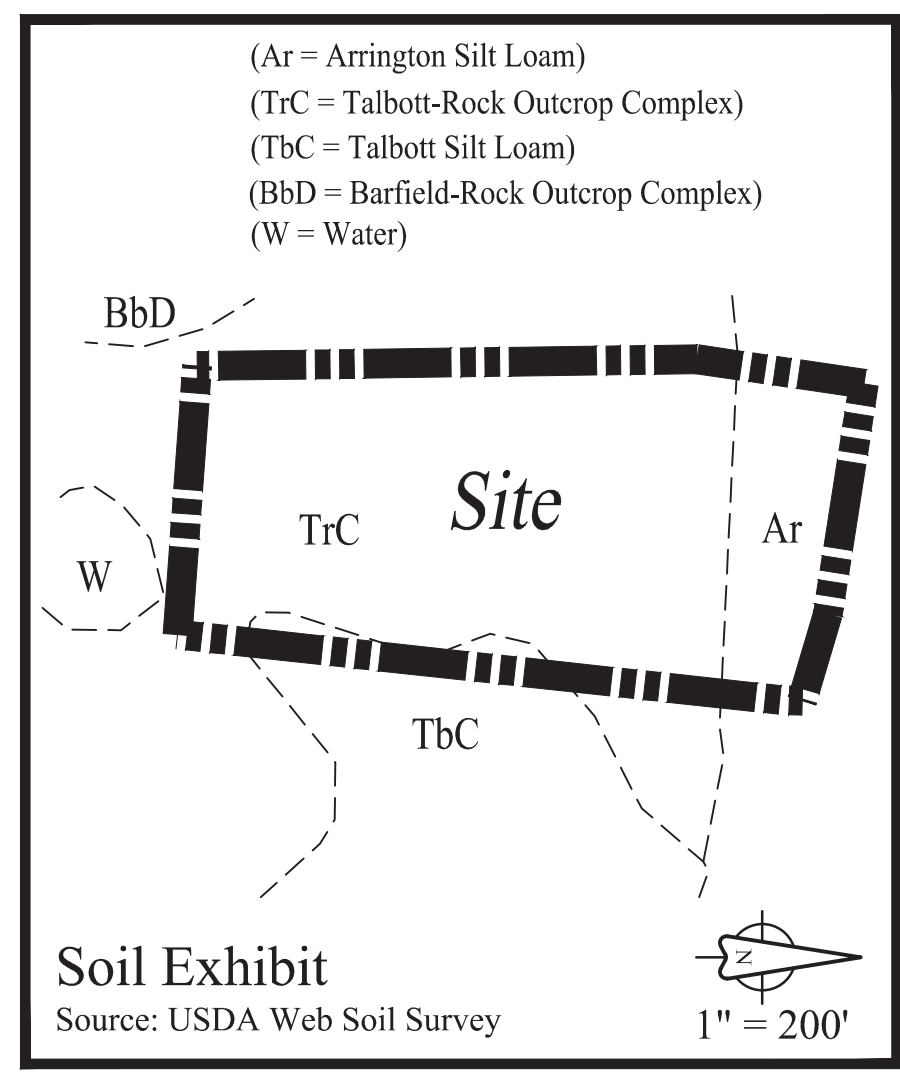
● COUNCIL DISTRICT:	33rd
● COUNCIL MEMBER:	Ms. Antoinette Lee
● DEVELOPER:	The Grandview Eight, LLC 7175 Nolensville Road, Suite 207 Nolensville, TN 37135 (615) 776-7375 contact : Mr. Fred Yazdian
● OWNER:	Map 183, Parcel 13 The Grandview Eight, LLC 7175 Nolensville Road, Suite 207 Nolensville, TN 37135 Instr. No. 2021209-0163575 Register's Office, Davidson Co., TN
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● PLAN PREPARATION DATE:	08-20-2025
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● SCALE:	1" = 50'
● SHEET NUMBER:	SHEET 2 OF 3
● PLANNER/SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0110 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0413J, Zone "X" (Dated 2/25/2022)

- GENERAL NOTES:**
- SITE IS LOCATED ON PROPERTY MAP 183, PARCEL 13.00, R.O.D.C., TN
 - SITE CONTAINS 4.97+ ACRES (SEE NOTE #9).
 - EXISTING ZONING: AR2A
 - PROPOSED ZONING: SP
 - EXISTING LAND USE POLICIES: T3-COMMUNITY CENTER (CC) CONSERVATION (CO)
 - COUNCIL DISTRICT 33 - COUNCIL MEMBER MS. ANTOINETTE LEE
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 - TOPOGRAPHIC CONTOURS TAKEN FROM USGS NATIONAL ELEVATION DATA SET.
 - PER GRAPHIC PLOTTING ONLY, PROPERTY IS LOCATED IN ZONE "X" ON F.E.M.A. COMMUNITY PANEL NO. 47037C0413J, EFFECTIVE DATE FEBRUARY 25, 2022.
 - THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE NO. 2008-528 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
 - DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
 - ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METRO DEPARTMENT OF WATER SERVICES.
 - NO GRADING, STRIPPING, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE PRIOR TO THE APPROVAL OF AN EROSION CONTROL PLAN.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT SIZE IN METRO ROW IS 15")
 - DETENTION / WATER QUALITY AREAS ARE TO BE DETERMINED WITH FINAL SITE DEVELOPMENT PLANS AND WILL MEET THE REQUIREMENTS SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. AREAS ARE SUBJECT TO CHANGE WITH FINAL DESIGN.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
 - THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.
 - PRELIMINARY GRADING SHOWN IS FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE BASED ON THE FINAL DESIGN.
 - ACTUAL DETENTION / WATER QUALITY AREAS ARE PRELIMINARY AND SUBJECT TO CHANGE BASED ON FINAL DESIGN ON THE FINAL DESIGN.

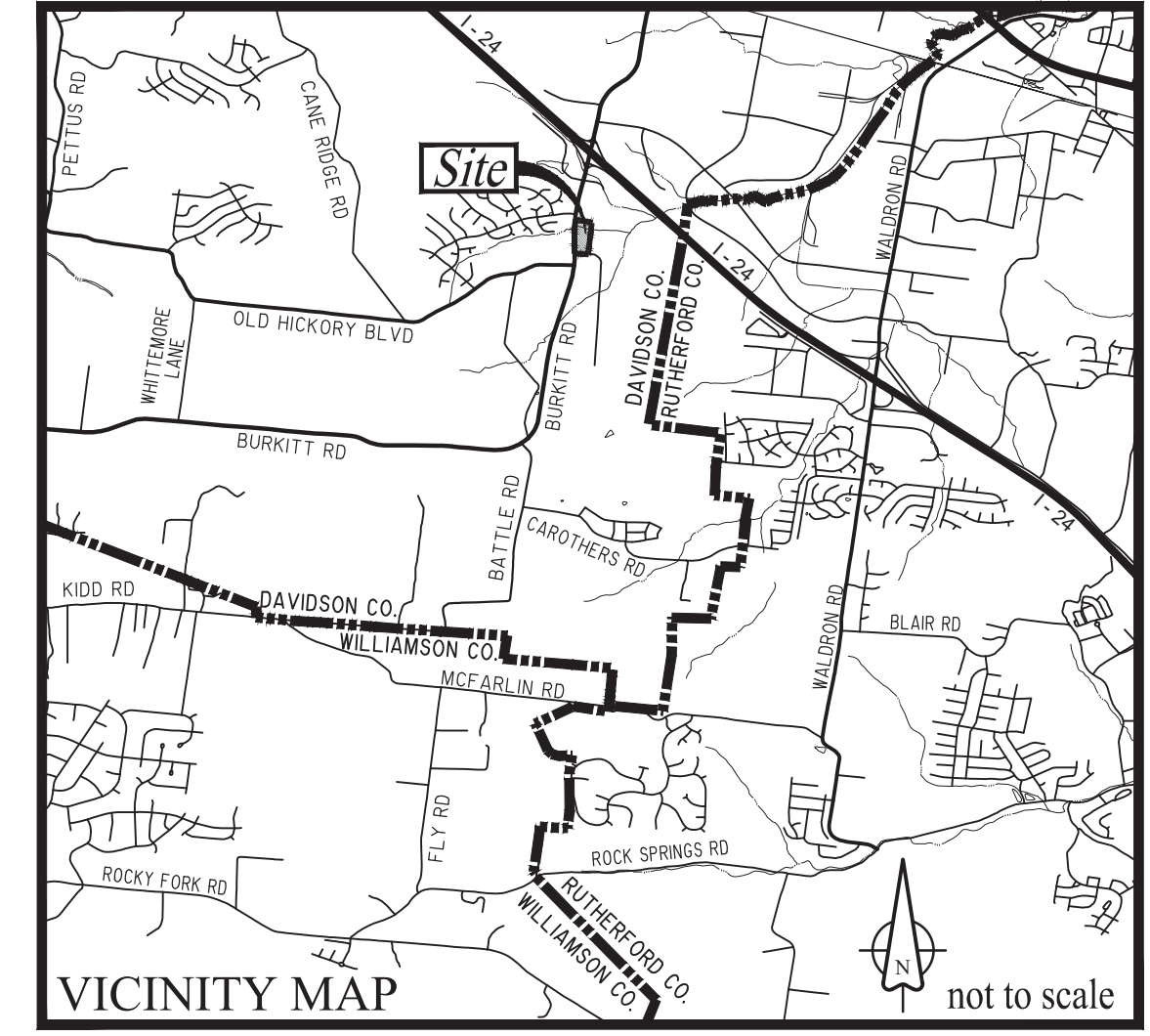


TYPICAL ROADWAY HALF SECTION (N.T.S.)

OLD HICKORY BOULEVARD
SUBURBAN MIXED-USE ARTERIAL BOULEVARD
(T3-M-AB5-S W/ BIKE LANES)
PER METRO MAJOR AND COLLECTOR STREET PLAN



SEE SHEET 1 OF 3 FOR DETAILED PRELIMINARY SP PLAN
SEE SHEET 3 OF 3 FOR PRELIMINARY LANDSCAPING PLAN



Case No. 2025S-046-001

Preliminary Development Plan Kersey Property SP

Sheet 2 of 3

Proposed SP Development
33rd Councilmanic District
Nashville, Davidson County, Tennessee

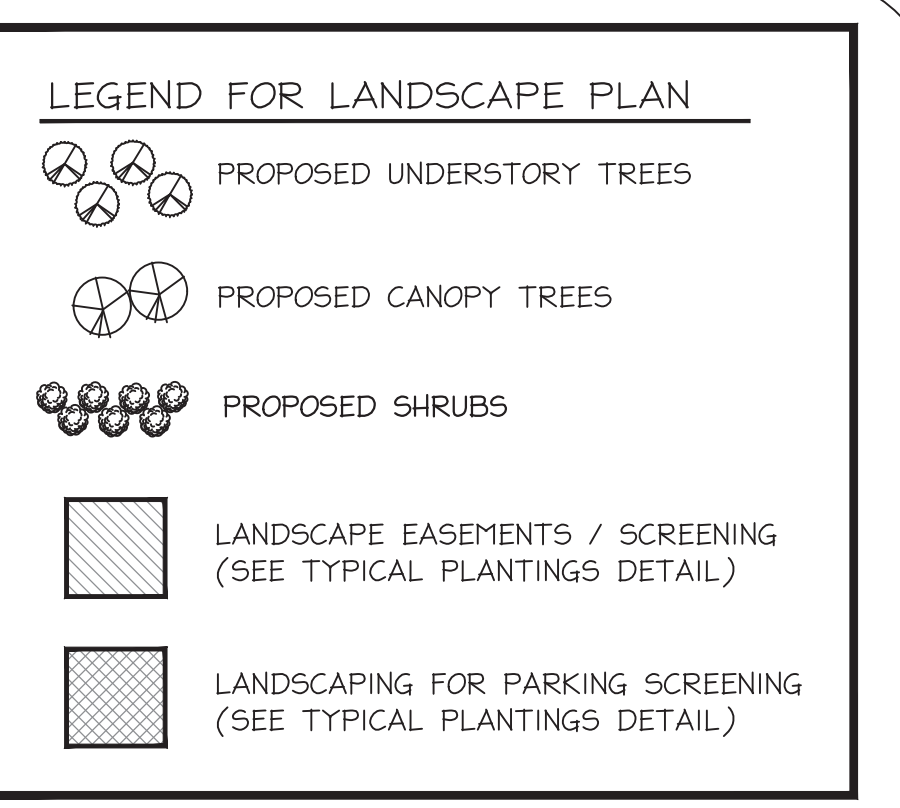
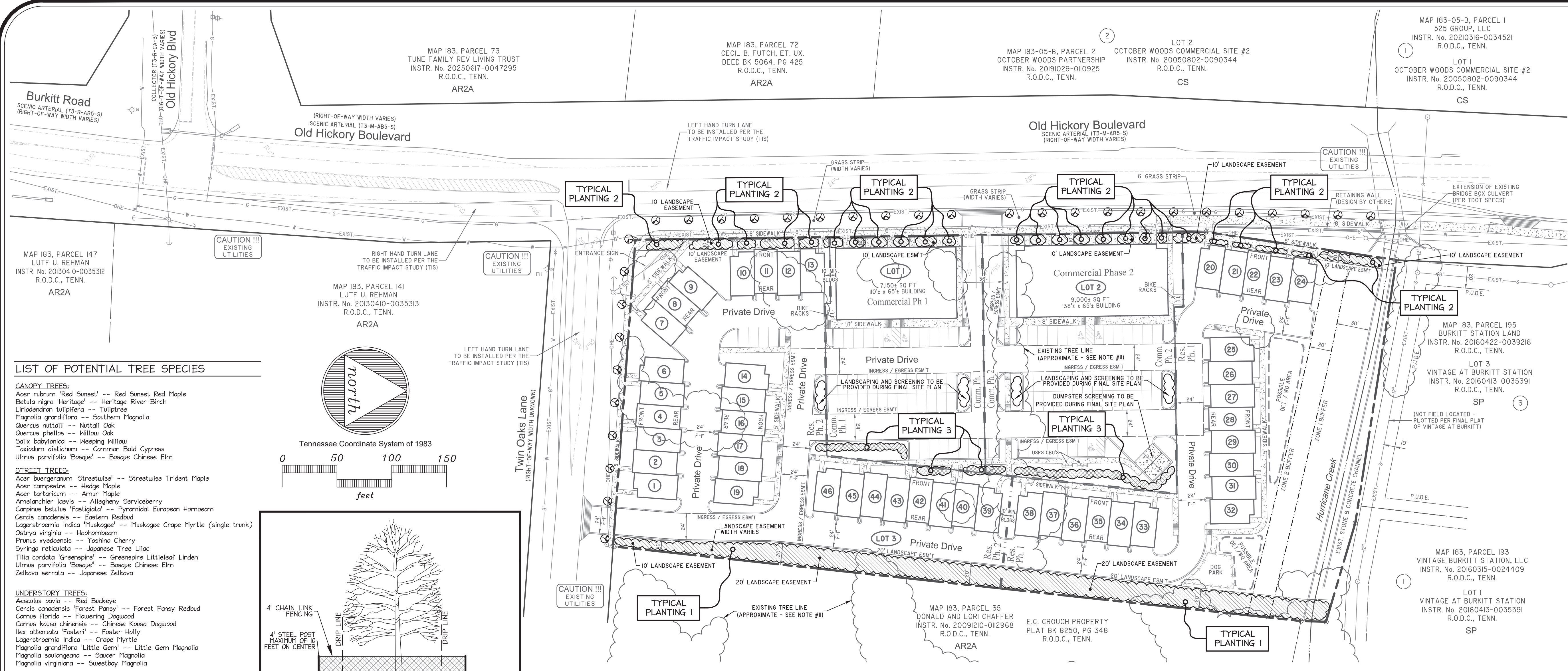
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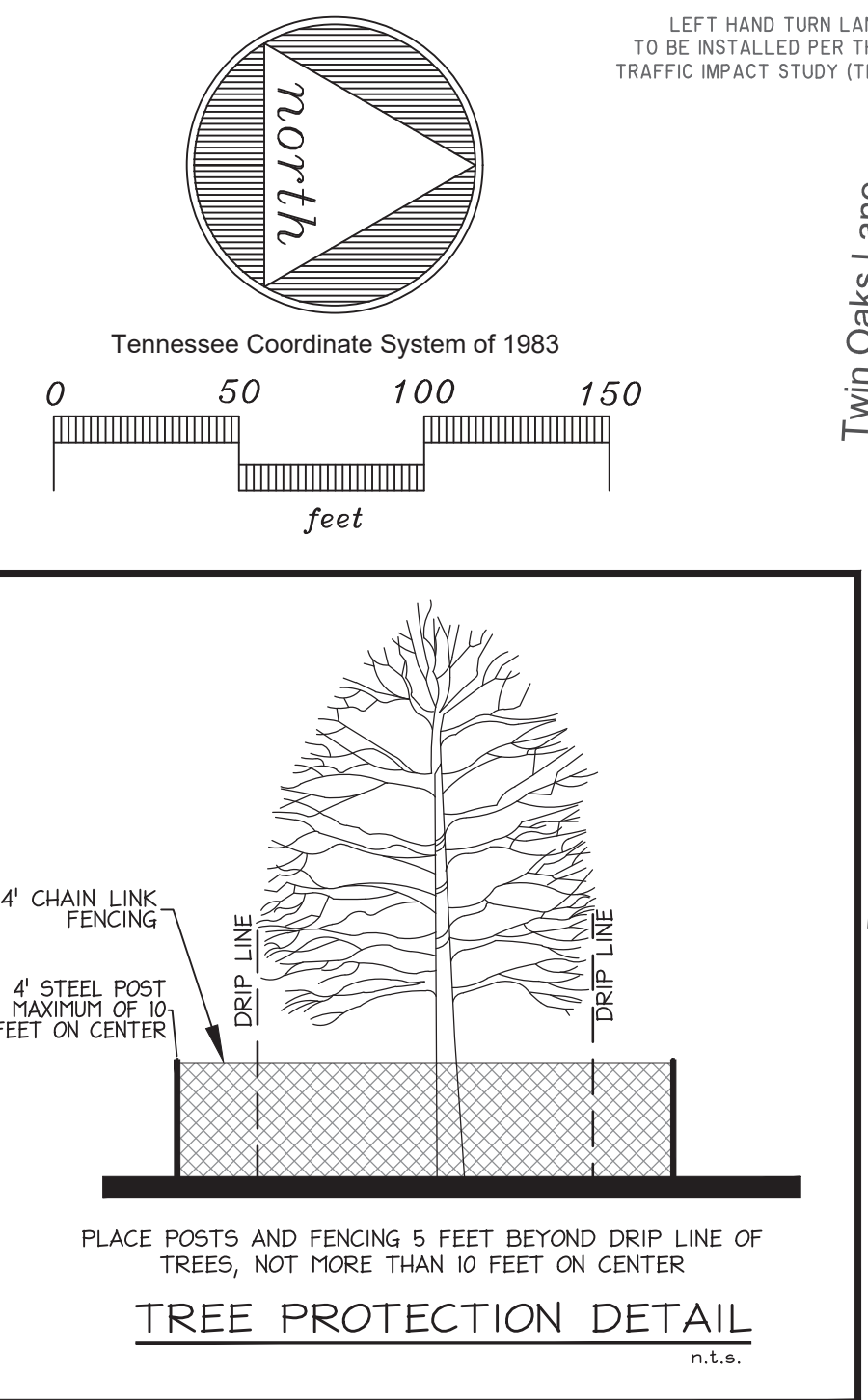
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REVISIONS: 02-24-2026 AS PER METRO PLANNING
03-16-2026 AS PER METRO PLANNING
03-25-2026 AS PER METRO PLANNING



LIST OF POTENTIAL TREE SPECIES

- CANOPY TREES:**
 Acer rubrum 'Red Sunset' -- Red Sunset Red Maple
 Betula nigra 'Heritage' -- Heritage River Birch
 Liriodendron tulipifera -- Tuliptree
 Magnolia grandiflora -- Southern Magnolia
 Quercus nuttallii -- Nuttall Oak
 Quercus phellos -- Willow Oak
 Salix babingtonii -- Weeping Willow
 Taxodium distichum -- Common Bald Cypress
 Ulmus parvifolia 'Bosque' -- Bosque Chinese Elm
- STREET TREES:**
 Acer buergerianum 'Streetwise' -- Streetwise Trident Maple
 Acer campestre -- Hedge Maple
 Acer tartaricum -- Amur Maple
 Amelanchier laevis -- Allegheny Serviceberry
 Carpinus betulus 'Fastigiata' -- Pyramidal European Hornbeam
 Cercis canadensis -- Eastern Redbud
 Lagerstroemia indica 'Muskogee' -- Muskogee Grape Myrtle (single trunk)
 Ostrya virginica -- Hophornbeam
 Prunus xydosensis -- Yoshino Cherry
 Syringa reticulata -- Japanese Tree Lilac
 Tilia cordata 'Greenspire' -- Greenspire Littleleaf Linden
 Ulmus parvifolia 'Bosque' -- Bosque Chinese Elm
 Zelkova serrata -- Japanese Zelkova
- UNDERSTORY TREES:**
 Aesculus pavia -- Red Buckeye
 Cercis canadensis 'Forest Pansy' -- Forest Pansy Redbud
 Cornus florida -- Flowering Dogwood
 Cornus kousa chinensis -- Chinese Kousa Dogwood
 Ilex attenuata 'Fosterii' -- Foster Holly
 Lagerstroemia indica -- Grape Myrtle
 Magnolia grandiflora 'Little Gem' -- Little Gem Magnolia
 Magnolia soulangeana -- Saucer Magnolia
 Magnolia virginiana -- Sweetbay Magnolia
- EVERGREEN SCREENING:**
 Cryptomeria japonica -- Cryptomeria
 Juniperus virginiana -- Eastern Red Cedar
 Magnolia grandiflora -- Southern Magnolia
 Pinus strobus -- White Pine
 Pinus taeda -- Loblolly Pine
 Thuja plicata 'Green Giant' -- Green Giant Arborvitae



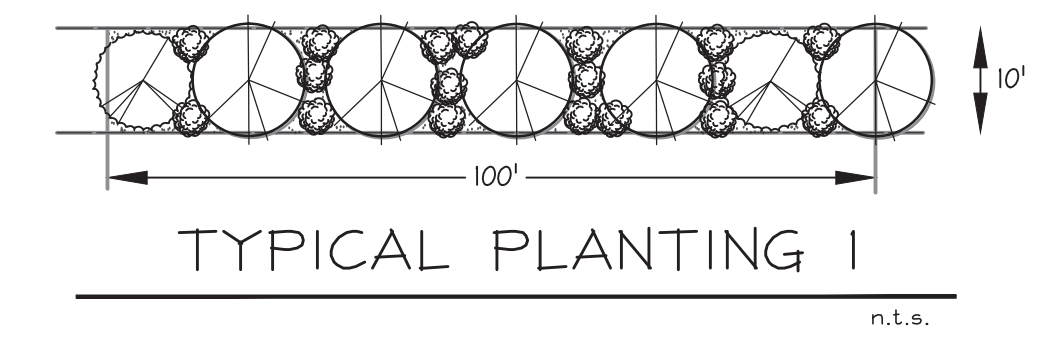
SEE SHEET 1 OF 3 FOR DETAILED PRELIMINARY SP PLAN
 SEE SHEET 2 OF 3 FOR PRELIMINARY GRADING, SOIL EXHIBIT, SLOPE EXHIBIT, AND ROADWAY PAVEMENT SECTIONS

- LANDSCAPING PLAN REGULATIONS:**
- Total minimum tree density shall be 22 Tree Density Units (TDUs) per gross acre, less building coverage. Tree Density Units shall be calculated using Metro Ordinance system for calculating points for existing and proposed trees. Existing trees used for TDU credit shall be shown on the final Landscape Planting Plans with locations, size (dbh), and species.
 - Proposed trees used for calculating tree density shall have a minimum caliper of 2 inches and shall be a minimum of 6 feet tall.
 - Trees counted for TDUs shall be protected by a chain link fence and shall be installed per the detail shown.
 - Proposed tree species are shown. Additional species may be added to the list during the preparation of the final Landscape Planting Plans.
 - The final Landscape Planting Plans shall be prepared and sealed by a Landscape Architect registered by the State of Tennessee.
 - At completion, the installation of the plant materials shall be inspected by a Landscape Architect registered by the State of Tennessee. The Landscape Architect shall verify whether the plan was installed per the plan approved by the Metro Urban Forester.
 - A Tree Removal Permit shall be obtained prior to removal of any existing trees.
 - An underground irrigation system or an outside house attachment within 100 feet of all landscaping shall be installed for all proposed trees, shrubs, and ground covers.
 - All street trees are to be understory trees.
 - Street trees to be planted at 30 foot intervals along the public roadways of Old Hickory Boulevard and Twin Oaks Lane.
 - Existing tree line shown is approximate and taken from Google Earth and Metro aerial imagery.
 - A canopy tree is required every 15 parking spaces per zoning code.
 - Landscaping is to be per Metro Code.
 - All mechanical units shall be screened from the right-of-way by landscaping or an enclosure, or a combination of both. Screening details are to be submitted with the final site plan.

TYPICAL PLANTING 1 (10') REQUIREMENTS PER 100 FEET

4.5 Canopy Tree -- 50% or more must be Evergreen
 1.8 Understory Tree -- 50% or more must be Evergreen
 1.8 Shrubs -- 50% or more must be Evergreen

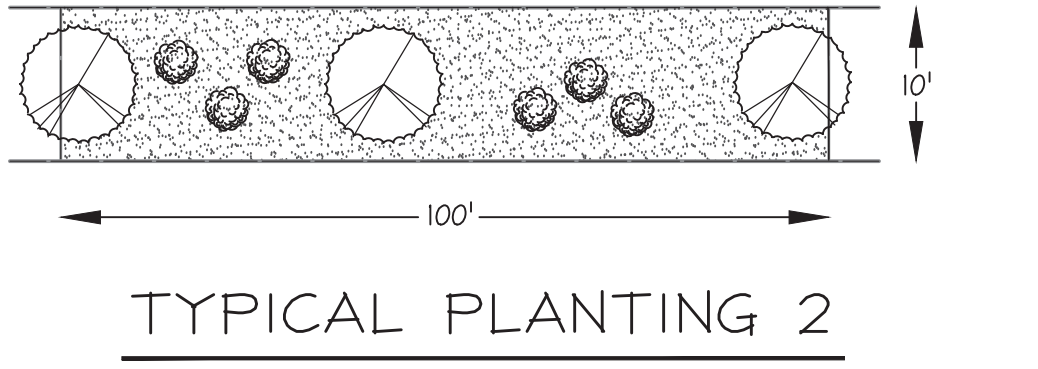
Existing Trees 4 inches in caliper DBH and greater shall count for the trees required above provided that they are in healthy condition at the time of inspection at completion of the project by the Landscape Architect. If there are not 6.3 existing trees that remain per 100' after construction, 4.5 Canopy Trees and 1.8 Understory Trees must be installed for each 100 linear feet. (e.g. 5.3 existing trees remain, so no Canopy Trees and 1 Understory Tree must be installed.) Trees must be relatively uniformly distributed. (e.g. for 300 feet of Typical Planting Area there are 14.7 trees clustered within a 50 foot area. Those trees will count for a 100 foot area. The other 200 feet of Typical Planting Area must have 4.5 Canopy Trees and 1.8 Understory Trees installed per 100 feet as required above.) If the area is heavily forested and planting shrubs is not feasible, then it is possible that a lesser number or no shrubs may be installed.



TYPICAL PLANTING 2 REQUIREMENTS PER 100 FEET

2.4 Understory Tree -- 50% or more must be Evergreen
 6 Shrubs -- 50% or more must be Evergreen

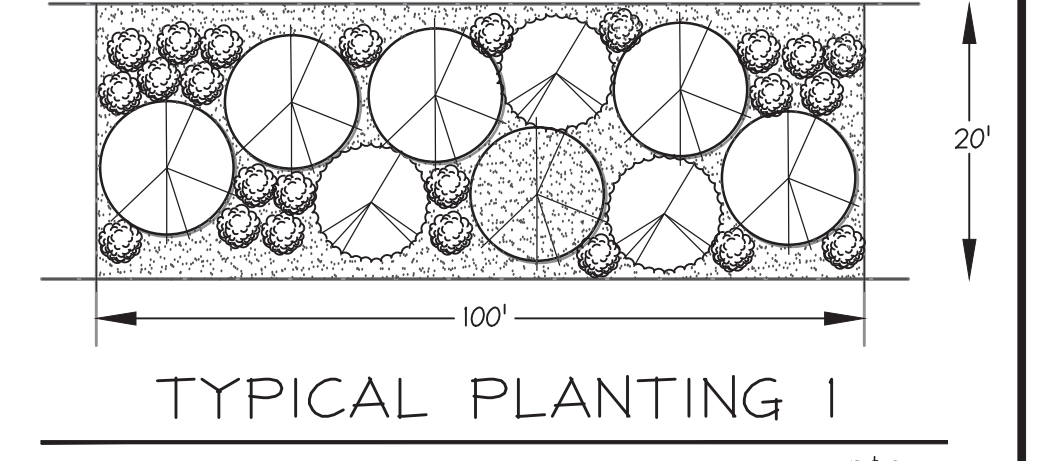
Existing Trees 4 inches in caliper DBH and greater shall count for the trees required above provided that they are in healthy condition at the time of inspection at completion of the project by the Landscape Architect. If there are not 2.4 existing trees that remain per 100' after construction, 2.4 Understory Trees must be installed for each 100 linear feet. (e.g. 1.9 existing trees remain, so 0.5 Understory Trees must be installed.) Trees must be relatively uniformly distributed. (e.g. for 300 feet of Typical Planting Area there are 7.2 trees clustered within a 50 foot area. Those trees will count for a 100 foot area. The other 200 feet of Typical Planting Area must have 2.4 Understory Trees installed per 100 feet as required above.) If the area is heavily forested and planting shrubs is not feasible, then it is possible that a lesser number or no shrubs may be installed.



TYPICAL PLANTING 1 (20') REQUIREMENTS PER 100 FEET

6 Canopy Tree -- 50% or more must be Evergreen
 3 Understory Tree -- 50% or more must be Evergreen
 24 Shrubs -- 50% or more must be Evergreen

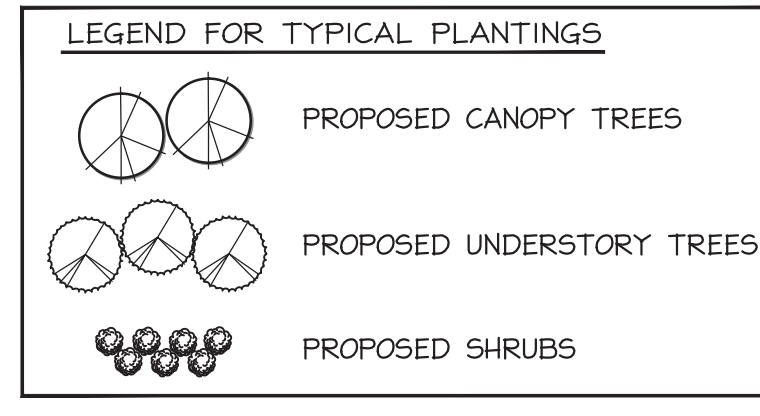
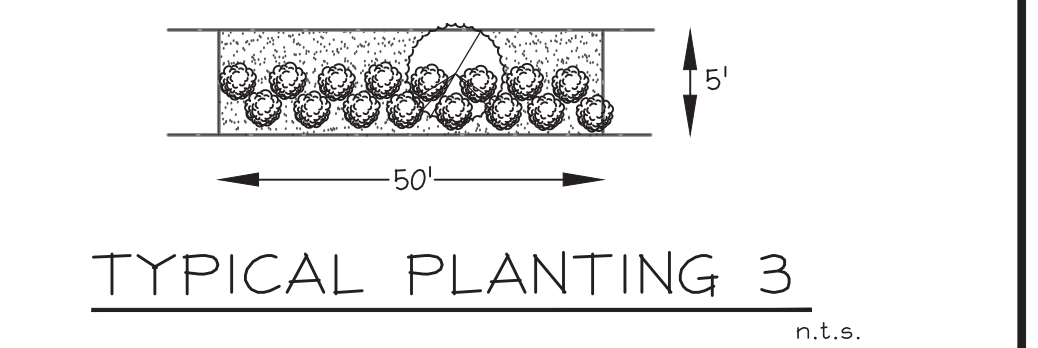
Existing Trees 4 inches in caliper DBH and greater shall count for the trees required above provided that they are in healthy condition at the time of inspection at completion of the project by the Landscape Architect. If there are not 9 existing trees that remain per 100' after construction, 6 Canopy Trees and 3 Understory Trees must be installed for each 100 linear feet. (e.g. 8 existing trees remain, so no Canopy Trees and 1 Understory Tree must be installed.) Trees must be relatively uniformly distributed. (e.g. for 300 feet of Typical Planting Area there are 14.7 trees clustered within a 50 foot area. Those trees will count for a 100 foot area. The other 200 feet of Typical Planting Area must have 6 Canopy Trees and 3 Understory Trees installed per 100 feet as required above.) If the area is heavily forested and planting shrubs is not feasible, then it is possible that a lesser number or no shrubs may be installed.



TYPICAL PLANTING 3 REQUIREMENTS PER 50 FEET

Evergreen shrubs shall be planted to screen the parking area. All shrubs shall be a minimum of 2 feet, 6 inches in height at the time of installation, forming a hedge that provides screening year round. Vegetation shall be maintained at a maximum height of 2.5 feet.

A minimum of one tree shall be preserved or planted for each 50 feet of parking area perimeter, or portion thereof. Trees shall be a minimum of 2 inches in caliper and 6 feet in height at planting.



SP Development Summary

● COUNCIL DISTRICT:	33rd
● COUNCIL MEMBER:	Ms. Antoinette Lee
● DEVELOPER:	The Grandview Eight, LLC 7175 Nolensville Road, Suite 207 Nolensville, TN 37135 (615) 776-7375 contact : Mr. Fred Yazdian
● OWNER:	Map 183, Parcel 13 The Grandview Eight, LLC 7175 Nolensville Road, Suite 207 Nolensville, TN 37135 Instr. No. 20210209-0163575 Register's Office, Davidson Co., TN
● OVERLAY DISTRICT:	Ov-FLO (Floodplain Overlay)
● SP NAME:	Kersey Property
● SP NUMBER:	2025S-046-001
● PLAN PREPARATION DATE:	08-20-2025
● REVISIONS:	02-24-2026
	03-16-2026
	03-25-2026
● SCALE:	1" = 50'
● SHEET NUMBER:	SHEET 3 OF 3
● PLANNER/SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0110 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0413J, Zone "X" (Dated 2/25/2022)

Case No. 2025S-046-001

Preliminary Development Plan

Kersey Property SP

Sheet 3 of 3

Proposed SP Development

33rd Councilmanic District

Nashville, Davidson County, Tennessee

developer

The Grandview Eight, LLC

7175 Nolensville Road, Suite 207
Nolensville, TN 37135

Date: 08 - 20 - 25 Scale : 1" = 50'

Anderson, Delk, Epps & Associates Inc.

618 Grassmere Park Drive, Suite 4
Nashville, Tennessee 37211
(615) 331-0809