## **NOTES:**

#### Specific Plan Notes

#### Purpose and Intent

The purpose of this specific plan is to change the existing zoning of R8 and AR2A to a residential specific single-family lots.

#### **Development Plan**

The developer of this project intends to develop a 114 unit residential project with a mix of unit sizes

#### Existing Conditions

The existing site currently includes residential buildings, concrete sidewalks, driveways, and low grasses 5. All utility boxes located in the right of way or in the sidewalk shall be and trees.

#### Applicability to the General Plan

This property is within the Antioch / Priest Lake Community Plan area adopted June 22, 2015 and amended August 24, 2017. The community character plan for this property identifies this area as T3 NE Suburban Neighborhood Evolving.

#### Permitted Uses

Uses permitted in this development shall include residential single-family and all uses allowed within the RM6 zoning district.

#### Development Standards

- Minor modifications to the SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or equirements contained in the plan as adopted through this enacting ordinance, or add vehicular cess points not currently present or approved.
- The required fire flow, emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
- Approval of any specific plan does not exempt any parcel shown on the plan or any developmen within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with stormwater management ordinance 78-840 and approved by the Metro Department of Water Services.
- The developer of this project shall comply with the requirements of the SP adopted tree ordinance 2008-328 (Metro Code Chapter 17.24)
- 6. Bicycle parking shall be provided in accordance with Section 17.20.135 of the Metro Zoning Code. All surface parking areas must meet the "parking area screening and landscaping" requirements
- specified in the Metro Zoning Code.
- According to FEMA's current flood maps (47037C0403H, dated April 5, 2017), as well as Metro's GIS
  information, there is no 100-year floodplain within the SP boundary.
- 9. According to the NRCS Soils Map, the soils on the property are Talbott silt loam while the majority of the site consists of Talbott-Rock outcop complex. These soils are/are not "problem soils" as noted in section 17.28.050 of the Metro Zoning Code.

10. Site slopes range from 1-12%.

- 11. Any known wetlands are depicted on this site plan.
- 12. Signage shall meet Metro design standards. A detailed signage plan will be submitted with the Final SP documents, if required.
- 13. All development within the boundaries of this plan shall be based on the requirements of the Americans with Disabilities Act and the Fair Housing Act
- 14. All proposed public utilities and services shall be installed underground
- 15. For development standards, regulations and requirements not specifically shown on the SP plan and /or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RM6 zoning district as of the date of the applicable request or application.
- 16. Trash & Recycling service shall be provided by private hauler.
- 17. The parking requirements shall be based on the lesser of the current zoning code at the time that building permits are applied for or the zoning code in affect at the time of the Preliminary SP approval.
- 18. The final site plan / building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- 19. Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval/comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.
- 20. Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and renair utilities in this site
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (minimum driveway culvert in Metro ROW is 15" CMP).

#### Developer Commitments

In addition to the obligations per the Specific Plan (SP) application, Meritage Homes will commit to the following additional terms with regard to the proposed development.

- 1. For every 100', Meritage will plant the following landscape buffer along the Northern and Western laries: 4.5 canopy trees, 1.8 understory trees, and 18 shrubs
- 2. For the first twelve newly constructed homes. Meritage will commit to building six all brick homes, or a material substantially similar in form and function, and six all committee building as an other to be a material substantially similar in form and function, and six all committious siding/hardie board homes, or a material substantially similar in form and function (with 3' brick, or similar, water table along the front). Future home elevations will be based upon which elevation has better sales and higher consumer demand.
- 3. Meritage will commit to offering a ranch plan on the front-loaded single family homes
- 4. Meritage will offer double-paned windows with divided lites as standard.
- 5. Meritage will offer a "Ring" style doorbell system. "Ring" is a trademark brand and Meritage is not obligated to use Ring, but has the option to use another brand, with the similar features
- Meritage will offer pre-wired wi-fi capability in all homes, as standard.
- A pre-blast survey, in a radius mandated by the State of Tennessee, shall be performed prior to
- blasting activity on the site. 8. Entry monumentation with lighting and landscaping shall be provided. See exhibit on elevations
- Meritage will include traffic calming measures on the proposed public roads within the development, such as speed humps or speed bumps, as allowed by NDOT.

#### Public Works Construction Notes

- Proof rolling of all public street sub-grades is required in the presence of the Public Works' inspector. This request is to be made 24 hours in
- 2. Stop signs to be 30 inch x 30 inch.
- 3. Street signs to have six inch white letters on a nine inch green aluminum
- 4 All signs to have 3M reflective coating
- approved by the MPW inspector prior to installation
- 6. All of the public sidewalk along the roadway shall follow the grade of the roadway and shall not be adjusted to meet private sidewalk connections. The adjustments shall be made out of the right of way.
- 7. Drainage shall not flow over the sidewalk
- Curb ramps shall have detectable warning strips.
- 9. Driveway width can be sight adjusted at the discretion of the MPW inspector
- 10. Elevation of the curb and gutter is the responsibility of the contractor but once in place shall function as designed
- 11. Curb and gutter installed may be tested to verify flow to the storm drain system. Drainage shall not pool in roadways.
- 12. Replace stormwater grates within public right of way with bike friendly
- 13. Final construction plans and road grades shall comply with the design regulations established by the Dept. of Public Works. Slopes along roadways shall not exceed 3:1.

#### **MWS Standard Private Utility Plan** Notes

- 1. All water and/or sewer services, along with appurtenances, shall be nstalled in accordance with specifications and standard details of the Metro Water Services
- 2. All connection to existing manholes shall be by coring and resilient
- 3. Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- 4. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- 5. Irrigation line shall be copper from the meter to the backflow preventer
- 6. The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approve
- 7 All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly
- Backflow device to remain accessible at all times
- 9. Plan size shall be 24"x36", and shall show contours around meter boxes

#### **Metro Water & Sewer Notes**

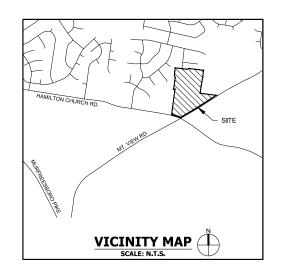
- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Servic
- 2. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection
- 3. The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section, All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- 7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable Mylar in reverse and in digital (\*.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered pans and be served by a factored procession angineer or regulated and surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made
- 9. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- 10. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 ps
- 11. All water mains must be located within the paved area including all blow-off assemblies.

The contractor shall provide the record drawing information noted above to the engineer.

# PRELIMINARY SP

# 6103 MT. VIEW RD.

NASHVILLE DAVIDSON COUNTY, TN PARCEL 1500008800 CASE # 2021SP-006-001



## SHEET INDEX

	COVER SHEET	
C1.00	<b>EXISTING CONDITIONS &amp; DEMOLITION</b>	PLAN
C2.00	SITE LAYOUT PLAN	
C3.00	UTILITY PLAN	
C4.00	GRADING AND DRAINAGE PLAN	
C5.00	CIVIL NOTES	
A1.00	ARCHITECTURAL ELEVATION	
L1.0	LANDSCAPE ORDINANCE PLAN	
L1.1	LANDSCAPE ORDINANCE PLAN	
L1.2	MITIGATION PLAN	
L1.3	MITIGATION PLAN	
L2.0	LANDSCAPE NOTES & DETAILS	Sumou
L2.1	LANDSCAPE NOTES & DETAILS	Survey
		Base informatio

#### e information was taken from a survey prepa Associates, dated September 14, 2020. CSDG a consultants shall not be held responsible for the completeness of that information shown hereor omissions resulting from such.

#### Flood Plain

By graphic plotting, this property is in Zone X of t Rate Map, Community Panel No. **47037C0403H** 5, 2017. Zone X is defined as areas determined 500-year floodplain.

- Develo Summ Council Distr Council Merr Owner of Re Case No.: Designer:

- U.S. FEMA F



Planning | Engineering Landscape Architecture

#### OWNER

THERESE MCCLURG 2842 E. DIVISION ST. MT. JULIET, TN 37122 PH: 615 585 3088 EMAIL: tmcclurg52@gmail.com

PHILIP BURGESS PO BOX 140293 NASHVILLE, TN 37214 PH: 615.892 9725 EMAIL: pd.burgess@yahoo.com

#### DEVELOPER

MERITAGE HOMES OF TENNESSEE 5217 MARYLAND WAY, SUITE 222 BRENTWOOD, TN 37027 PH: 615.992.2050 CONTACT: KRIS KEOWN, VP LAND DEVELOPMENT E-MAIL: kris.keown@meritagehomes.com

### **PLANNER | LANDSCAPE ARCHITECT**

CSDG 2305 KLINE AVE, STE 300 NASHVILLE, TN 37211 PH: 615.248.9999 CONTACT: HAL CLARK, PLA, LEED AP E-MAIL: halc@csdgtn.com

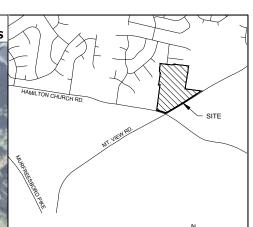
#### **CIVIL ENGINEER**

CIVIL SITE CLARKSVILLE 130 HILLCREST DRIVE, SUITE 110 CLARKSVILLE, TN 37043 PH 614 248 9999 CONTACT: RYAN LOVELACE, PE E-MAIL: ryanl@csdgtn.com

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ber Name:	Antoinette Le	e	AGRICULTURE	
cord:	2021SP-006 CSDG, PLLC	venue, Suite 300 N 37211	1990 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 1090 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 100 50 1000 500 5	ISSUE SET: PRELIM SP SUBMITTAL ISSUE DATE: 12.22.2020
IRM:	Contact: Rya			REVISION SCHEDULE: No.   Description Date Metro Planning Comments   1/19/2021 Metro Stormwater Comments   1/29/2021
red by Wilso nd any of th accuracy an or any errors	n & eir d/or		Know where below. Call before your dip.	Preliminary SP Submittal 6/15/2021 Stormwater Variance Sub. 6/30/2021 Stormwater Var. Resubmittal 7/06/2021 Preliminary SP Resubmittal 10/1/2021 Developer commitments 10/8/2021
he Flood Ins effective dat to be outside	te of April	Stormwater Grading Stormwater Variand Metro Sewer Project Metro Water Project Building Permit Nur	ct Number:	REVISION: DRAWN: CHECKED: PROJECT NO.: 20-526-01



#### REFER TO SHEET C5.00 FOR APPLICABLE NOTES





# TBR = TO BE REMOVED

#### Survey

Base information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020. CSDG and any of their consultants shail not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.

#### Flood Plain

By graphic plotting, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. **47037C0403H** effective date of April 5, 2017. Zone X is defined as areas determined to be outside of the 500-year floodplain.

PARCEL 15000008800

0 SCALE: 1"=60'

1 N 630,181.0247 E 1,788,804.4416 EL 570.011 10' NAIL 2 N 630,199.1702 E 1,788,467,8309 EL 579.200 10' NAIL 3 N 630,692.6748 E 1,789,610.3262 EL 575.364 10' NAIL 4 N 631,505.6937 E 1,788,479 1411 EL 611 1435 10' NAIL 5 N 631,518.6076 E 1,789,200.5424 EL 620,489 10' NAIL



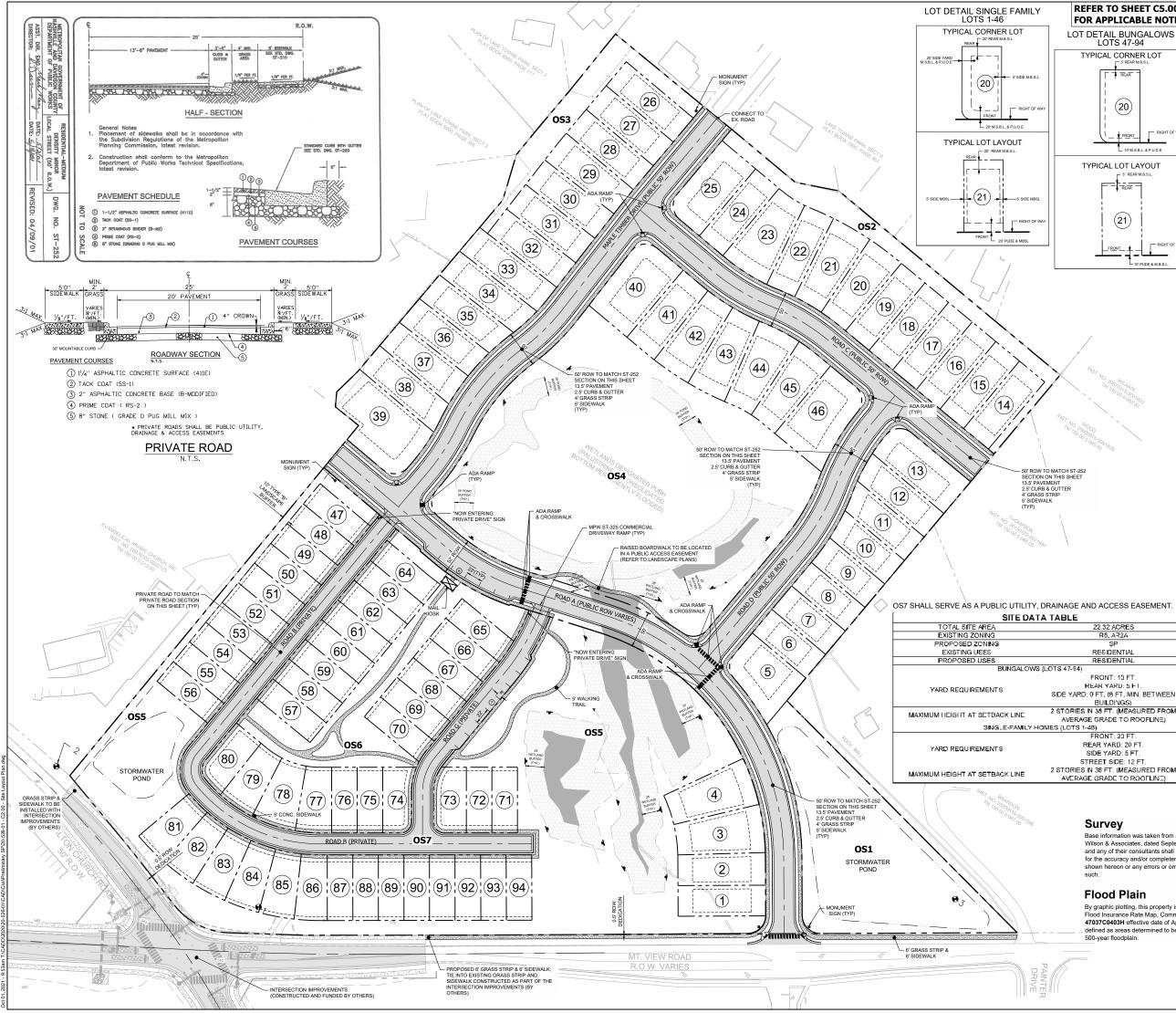


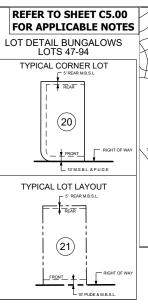
# 6103 MT. VIEW RD. Antioch, Davidson

Antioch, Davidson County, Tennessee

ISSUE SET:	ISSUE SET:			
PRFLIM SE	n n			
PRELIN SP	-			
SUBMITTA				
SUDIVITTA	L			
ISSUE DATE: 12.22.2020				
REVISION SCHEDULE:				
No.   Description	Date			
Metro Planning Comments	1/19/2021			
Metro Stormwater Comments				
Preliminary SP Submittal	6/15/2021			
Stormwater Variance Sub.	6/30/2021			
Stormwater Var. Resubmittal				
Preliminary SP Resubmittal	9/21/2021			
Preliminary SP Resubmittal	10/1/2021			
	<u> </u>			
REVISION: DRAWN: CHECKED:				







ABLE
22.32 ACRES
R8, AR2A
SP
RESIDENTIAL
RESIDENTIAL
S 47-94)
FRONT: 10 FT.
REAR YARD: 5 FT.
IDE YARD: 0 FT. (6 FT. MIN. BETWEEN
EUILDINGS)
STORIES IN 38 FT. (MEASURED FROM
AVERAGE GRADE TO ROOFLINE)
3 (LOTS 1-46)
FRONT: 20 FT.
REAR YARD: 20 FT.
SIDE YARD: 5 FT.
STREET SIDE: 12 FT.
STORIES IN 38 FT. (MEASURED FROM
AVERAGE GRADE TO ROOFLINE)

Su	r	V	ey

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By graphic plotting, this property is in Zone X of the Pload Insurance Rate Map, Community Panel No. 47037C0403H effective date of April 5, 2017. Zone X is defined as areas determined to be outside of the

AFEESBORD PINE					
	V		ТҮ М N.T.S.		)
F	Parcel Tab	le	F	Parcel Tab	le
Parcel #	Area (Sq. Ft.)	Area (Ac.)	Parcel #	Area (Sq. Ft.)	Area (Ac.)
1	5,040.00	0.12	48	3,150.00	0.07
2	5,201.88	0.12	49	3,150.00	0.07
3	6,526.57	0.15	50	3,150.00	0.07
4	6,526.57	0.15	51	3,150.00	0.07
5	6,634.01	0.15	52	3,150.00	0.07
6	4,032.30	0.09	53	3,150.00	0.07
7	4,032.30	0.09	54	3,150.00	0.07
8	4,032.30	0.09	55	3,150.00	0.07
9	4,064.26	0.09	56	3,150.00	0.07
10	4,281.94	0.10	57	3,325.00	0.08
11	4,736.82	0.11	58	3,325.00	0.08
12	5,219.82	0.12	59	3,325.00	0.08
13	7,176.27	0.16	60	3,325.00	0.08
14	5,347.52	0.12	61	3,325.00	0.08
15	5,038.80	0.12	62	3,325.00	0.08
16	5,038.80	0.12	63	3,325.00	0.08
17	5,038.80	0.12	64	3,356.64	0.08
18	5,038.80	0.12	65	3,282.53	0.08
19	5,038.80	0.12	66	3,324.82	0.08
20	5,772.85	0.13	67	3,325.00	0.08
21	5,973.20	0.14	68	3,325.00	0.08
22	5,119.40	0.12	69	3,325.00	0.08
23	6,848.06	0.16	70	3,337.19	0.08
24	5,038.80	0.12	71	3,150.00	0.07
25	7,074,52	0.16	72	3,150.00	0.07
26	5,121.94	0.12	73	3,887.73	0.09
27	5,107.20	0.12	74	3,582.17	0.08
28	5,107.20	0.12	75	3,150.00	0.07
29	5,371.62	0.12	76	3,150.00	0.07
30	5,107.20	0.12	77	3,837.84	0.09
31	5,107.20	0.12	78	4,399.70	0.10
32	5,107.20	0.12	79	3,945.18	0.09
33	5,715.58	0.13	80	3,851.88	0.09
34	5,613.80	0.13	81	3,838.49	0.09
35	5,290.91	0.12	82	3,838.49	0.09
36	5,099.07	0.12	83	3,838.49	0.09
37	5,350.74	0.12	84	3,838.49	0.09
39	5,468.33	0.13	85	3,838.49	0.09
39	10,258.75	0.24	86	3,648.53	0.08
40	8,278,20	0.19	87	3,148.56	0.07
41	5,544.43	0.13	88	3,146.70	0.07
42	5,832.18	0.13	89	3,144.84	0.07
43	5,832.18	0.13	90	3,142.98	0.07
44	6,157.19	0.14	91	3,141.13	0.07
45	5,721.85	0.13	92	3,158.99	0.07
46	8,563.77	0.20	93	3,137.42	0.07
47	3,196.02	0.07	94	3,135.56	0.07

F	Parcel Tab	le
Parcel #	Area (Sq. Ft.)	Area (Ac.)
48	3,150.00	0.07
49	3,150.00	0.07
50	3,150.00	0.07
51	3,150.00	0.07
52	3,150.00	0.07
53	3,150.00	0.07
54	3,150.00	0.07
55	3,150.00	0.07
56	3,150.00	0.07
57	3,325.00	0.08
58	3,325.00	0.08
59	3,325.00	0.08
60	3,325.00	0.08
61	3,325.00	0.08
62	3,325.00	0.08
63	3,325.00	0.08
64	3,356.64	0.08
65	3,282.53	0.08
66	3,324.82	0.08
67	3,325.00	0.08
68	3,325.00	0.08
69	3,325.00	0.08
70	3,337.19	0.08
71	3,150.00	0.07
72	3,150.00	0.07
73	3,887.73	0.09
74	3,582.17	0.08
75	3,150.00	0.07
76	3,150.00	0.07
77	3,837.84	0.09
78	4,399.70	0.10
79	3,945.18	0.09
80	3,851.88	0.09
81	3,838.49	0.09
82	3,838.49	0.09
83	3,838.49	0.09
84	3,838.49	0.09
85	3,838.49	0.09
86	3,648.53	0.08
87	3,148.56	0.07
88	3,146.70	0.07
89	3,144.84	0.07
90	3,142.98	0.07
91	3,141.13	0.07
92	3,158.99	0.07
93	3,137.42	0.07
-	-	

Open Space Table

OS1

OS2

OS3

OS4

en Space # Area (Sq. Ft.) Area (Ac.) 47,587.48

14,229.12 0.33

11,879,91 0.27

135,354.17

OS5 144,071.77 3.31

OS6 24,758.26 0.57

OS7 39,639.92 0.91

PARCEL 1500008800

SCALE: 1"=60'

1 N 630,181.0247 E 1,788.804.4416 EL 570.011 10° NAIL 2 N 630,199.1702 E 1,788.467 6309 EL 579.200 10° NAIL 3 N 630,692.6748 E 1,789.610.3262 EL 575.384 10° NAIL 4 N 631,505.6375 E 1,789.200.5424 EL 620.489 10° NAIL 5 N 631,518.6076 E 1,789.200.5424 EL 620.489 10° NAIL

1.09

3.11



SITE



6103 MT. VIEW RD. Antioch, Davidson

County, Tennessee

ISSUE SET:	
PRELIM SE	
PRELIM SP	
SUBMITTAI	
SUDIVITITAL	-
ISSUE DATE: 12.22.2020	
REVISION SCHEDULE:	
No. Description	Date
Metro Planning Comments	1/19/2021
Metro Stormwater Comments	1/29/2021
Preliminary SP Submittal	6/15/2021
Stormwater Variance Sub. Stormwater Var. Resubmittal	6/30/2021
	9/21/2021
Preliminary SP Resubmittal Preliminary SP Resubmittal	10/1/2021
Preliminary SP Resubmittai	10/1/2021
REVISION: DRAWN: CH	ECKED:

## SITE LAYOUT PLAN



#### Metro Water & Sewer Notes:

- 1. All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services
- 2. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- 3. The contractor is to provide and maintain the construction identification sign for private development approved.
- 4. After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section All costs will be borne by the developer.
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- 6. Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services
- 7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- 8. Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (\*.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- 9. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- 10. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150

#### 11. All water mains must be located within the paved area including all blow-off assemblies MWS Standard Private Utility Plan Notes

- All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
   All connection to existing manholes shall be by coring and resilient connector method.
   Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire
- services. 4. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- 6. The minimum fees outlined in the capacity letter must be paid before commercial construction plans can
- be approved. 7. All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out
- assembly.
   Backflow device to remain accessible at all times.
   Plan size shall be 24"x36", and shall show contours around meter boxes.

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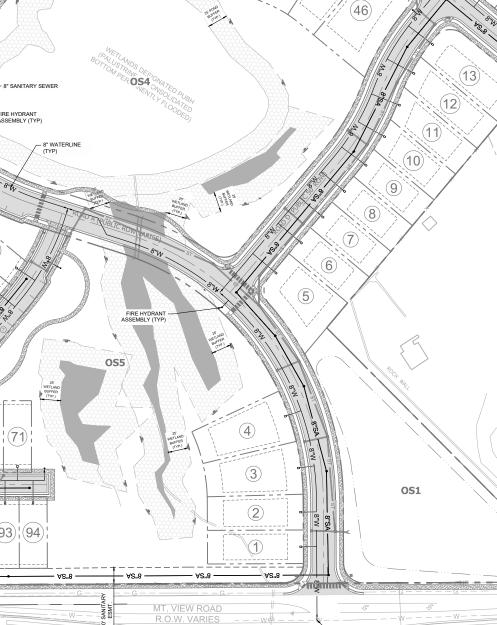
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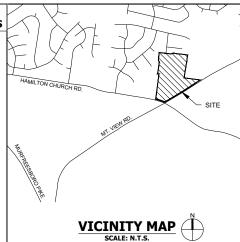
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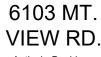
#### **REFER TO SHEET C5.00** FOR APPLICABLE NOTES

0.5









Antioch, Davidson County, Tennessee

#### Metro As-Built Note:

"In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, As-Built Certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- Underground detention and water quality infrastructure
   Above ground detention and water quality infrastructure
   Public storm sewer infrastructure
   Cut and fill in the floodplain
   Sink Hole alterations
   Bioretention

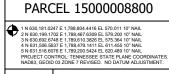
- Permeable Pavers

The engineer shall contact Stormwater Development Review staff for submittal

#### Metro As-Built Requirements:

- a. A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
   b. An as-built LID spreadsheet.
   c. Hydrologic and hydraulic calculations for as-built conditions, as required.
   d. As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
   e. Any deviations from the approved plans shall be noted on as-built drawings submitted.

- a. Any deviations from the approved plans shall be noted on as-built drawings submitted.
  Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NADB3). Data should be placed in separate layers and should be labeled/named for easy identification.
  J. Cut and file balance certification for floodplain and sinkhole alterations.
  Water quality buffers shall be surveyed and included with the as-built submittal. Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
  Additional testing may be required as/if warranted by video inspection.



SCALE: 1"=60'



SUBMITTAL ISSUE DATE: 12.22.2020

REV	ISION SCHEDULE:	
No.	Description	Date
	Metro Planning Comments	1/19/2021
	Metro Stormwater Comments	1/29/2021
	Preliminary SP Submittal	6/15/2021
	Stormwater Variance Sub.	6/30/2021
	Stormwater Var. Resubmittal	7/06/2021
	Preliminary SP Resubmittal	9/21/2021
	Preliminary SP Resubmittal	10/1/2021
RE	ISION: L DRAWN: L CH	

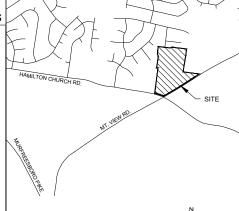
UTILITY PLAN





#### **REFER TO SHEET C5.00** FOR APPLICABLE NOTES

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#### VICINITY MAP SCALE: N.T.S.

STORMWATER NOTE: 1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT MANUAL AS AUTHORIZED BY ORDINANCE NO. 78-840 AND ANY APPLICABLE METRO CODE PROVISIONS AND BE APPROVED BY THE METRO DEPARTMENT OF WATER SERVICES.

THIS PRELIMINARY STORMWATER MANAGEMENT PLAN IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE DETAILS OF THE PLAN SHALL BE GOVERENED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL APPLICATION.

WETLAND DISTURBANCE NOTE: APPLICABLE VARIANCES AND PERMITS SHALL BE APPLIED FOR AT THE TIME OF THE FINAL SP FOR THE PROPOSED WETLAND AND BUFFER DISTURBANCE. PRELIMINARY VARIANCE REQUEST NUMBER 202100007 WAS APPROVED BY THE STORMWATER MANAGEMENT COMMITTEE ON AUGUST 5TH, 2021.

BUFFER NOTE: THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

#### Metro As-Built Note:

"In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, As-Built Certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- Underground detention and water quality infrastructure
   Above ground detention and water quality infrastructure
   Public storm sewer infrastructure
   Cut and fill in the floodplain
   Sink Hole alterations
   Bioretention
   Permeable Pavers

The engineer shall contact Stormwater Development Review staff for submittal

#### Metro As-Built Requirements:

- a. A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
   b. An as-built LID spreadsheet.
   c. Hydrologic and hydraulic calculations for as-built conditions, as required.
   d. As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
   e. Any deviations from the approved plans shall be noted on as-built drawings submitted

- a. Any deviations from the approved plans shall be noted on as-built drawings submitted.
  I. Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
  g. Cut and fill balance certification for floodplain and sinkhole alterations.
  N. Water quality buffers shall be surveyed and included with the as-built submittal.
  Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
  Additional testing may be required as/if warranted by video inspection.





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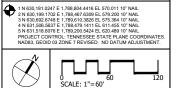
Antioch, Davidson County, Tennessee

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	Preliminary SP Resubmittal	10/1/2021
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#### GRADING AND DRAINAGE PLAN





PARCEL 1500008800

#### General Notes:

- 1. Base information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020.
- Provide a smooth transition between existing pavement and new pavement. Slight field adjustment of final grades may be necessary.
- 3. All roadway, driveway, sidewalk, and curb construction shall conform to the requirements and specifications of the local municipality codes and requirements
- 4. Concrete for curbs and sidewalks shall be 3500 PSI concrete unless equired otherwise by local code
- 5. The site layout is based on control points as noted
- 6. The contractor shall conform to all local codes and receive approval where necessary before commencement of any construct
- 7. All site related construction materials and installation shall conform to local governing agency regulations and specifications.
- 8 Handican ramps shall have a maximum slope of 1:12
- All pavement materials and construction shall conform to the local governing agency and state D.O.T. standards and specifications.
- 10. The contractor shall check all existing conditions, (i.e. inverts, utility routings, utility crossings, and dimensions) in the field prior to commencement of any utility work. Report any discrepancies to the owner's representative. The contractor shall repair any damage caused during construction to existing features (i.e. pavement, sidewalks, curbs, utilities, etc.), at his own expense, to the standards of the preconstruction
- 11. Dimensions are to face of curb and/or exterior face of building unless
- 12. Curbs shall be parallel to the centerline of drives. The curb shall be placed only after having all break points (PC & PT of curves) located at the face of curb or at a consistent offset by a land surveyor.
- 13 Any work unacceptable to the owner's representative or to the local Surv work unacceptable to the owner's representative or to the local governing authority shall be repaired or replaced by the contractor at no additional expense to the owner.
- 14. Existing pavement of private or public roadways/drives shall be patched in accordance with the local governing authority's standards wherever utility installation requires removal of the existing pavement. Coordinate pavement trenching locations with site civil, plumbing and electrical plans.
- 15. The contractor shall comply with all pertinent provisions of the "manual of accident prevention in construction" issued by AGC of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
- Contractor shall give all necessary notices and obtain all permits prior to commencement of any construction.
- 17. In the event of any discrepancies and/or errors found in these site drawings, or if problems are encountered during construction, the contractor shall be required to notify the engineer before proceeding with the work
- 18. The general contractor is particularly cautioned that the location and/or The general contractor is particularly cautioned that the location and/or elevation of the existing utilities shown hereon is based on utility company records, and where possible, field measurements. The contractor shall not rely on this information as being exact or complete. The contractor shall call the appropriate utility company at least 72 hours prior to any excavation and request field verification of utility locations. It shall be the contractor's responsibility to relocated existing utilities conflicting with improvements shown hereon in accordance with all local, state, and federal requiring such coversitions. federal regulations governing such operation
- 19. Contractor shall exercise extreme caution in the use of equipment in and Contraction shall exercise externer catalon in the use of equipment in and around overhead and underground electrical wires and services. If at any time in the pursuit of this work the contractor must work in the close proximity of the above-noted wires, the electric company shall be contacted prior to such work and the proper safety measures taken. A thorough examination of the overhead and underground wires in the project area should be made by the contractor prior to the initiation of
- 20. The owner and engineer do not assume responsibility for the possibility I he owner and engineer do not assume responsibility for the possibility that, during construction, utilities other than those shown may be encountered or that actual locations of those shown may be different from locations designated on the contract drawings. In areas where it is necessary that exact locations be known of underground utilities, the contractor shall, at his own expense, furnish all labor and tools necessary to either verify and substantiate or definitely establish the position of underground utility lines. underground utility lines
- 21. Do not scale this drawing as it is a reproduction and subject to distortion.
- 22. These plans, prepared by CSDG, do not extend to or include systems These plans, prepared by CSDG, do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents or representatives in the performance of the work. The seal of the engineering services registered professional engineer hereon does not extend to any such safety systems that may now or hereafter be incorporated into these plans. The construction contractor shall prepare or the provide the second seco obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations
- 23. In the case of conflict between this drawing and any other drawing and/or the specifications, the engineer shall be immediately notified fo clarification

#### Site Demolition Notes:

- Base Information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020. CSDG, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions 1. Base Info sulting from such
- 2. The contractor shall call Tennessee One Call (811) 72 hours prior to proceeding with any excavat
- 3. The contractor shall field verify the limits of demolition with the owner's tive prior to cor
- The contractor shall conform to local codes, obtain all permits and give all notices required for execution of the work.
- 5. Cavities left by structure removal shall be suitably backfilled and compacted accordance with these plans and specification
- 6. The contractor is responsible for all demolition and removal necessary to accomplish the proposed improvements shown on these plans.
- 7. The contractor is responsible for locating all charted and uncharted utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
- 8. In areas where existing pavement, walks, or curbs are to be removed, saw cut to provide a clean edge. Coordinate extent of pavement demolition with the limit of new improvements on the site layout plan.
- 9. All materials being removed and not relocated under the new construction. An inderenais being removed and increased under the new Construction including trees and shrubs, signs, utility structures, etc., shall be first offered to the owner's representative and if not accepted shall then be properly disposed of by the contractor.
- The contractor shall use water sprinkling and other suitable methods as necessary to control dust and dirt caused by the demolition work.
- 11. The contractor shall preserve and protect survey control points and shall be esponsible for replacement of any disturbed control points
- 12 No utility or storm sewer lines shall be demolished until the new lines have led and are placed into operation
- 13. Contractor shall coordinate phasing of the demolition with the owner's Contractor shall coordinate phasing of the demonstor with the owner's representative and local governing agency prior to beginning work. Disruption of existing utility services and traffic patterns shall be minimized to the extent possible and initiated only after approval by the local governing agency and the utility companies
- 14. Where water line and sewer line abandonment is planned, the contractor Where water line and sewer line abandonment is planned, the contractor may abandon water lines and sewer lines in place where they occur at least 24" (to top of the pipe) below final subgrade elevations. All utility lines being abandoned in place shall have all ends permanently closed using a concreted plug. Existing lines within the proposed building footprint (and 10 feet beyond the building footprint) shall be removed.
- 15.Existing lights and poles being removed shall be first offered to the owner's representative prior to disposing of them. Coordinate Lighting demolition and layout with the electrical drawings.
- 16. Existing trees to be preserved are to be barricaded before beginning ction. In accordance with the tree preservation notes and detail on the landscape plan
- 17. The contractor shall incorporate into his work any isolation valves or temporary plugs required to construct new utility lines and demolish existing utility lines.
- 18. Existing irrigation lines lie within the area affected by the proposed construction. The contractor shall rework the existing irrigation systems in accordance with directives noted on the landscape plan. Service shall be maintained during construction to the landscaped areas currently irrigated
- 19 Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on the site
- 20.Selective clearing consisting of removal of vines, saplings under 1" diameter and underbrush shall be performed in tree preservation areas internal to the project and noted on plans.

Site Utility Notes:

- 1. The sanitary sewer line shall be PVC-SDR 35. The domestic water line shall be Type K copper. The public water line and the fire service line shall be be Type K copper. The pu class 52 ductile iron pipe.
- 2. Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water departr
- 3. Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project. While some work may be required around utility facilities that will remain in place, other utility facilities may need to be adjusted concurrently with the contractor's operations.
- The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
- 5. Provide a minimum 36" of cover over all water lines unless required otherwise by the local water departmen
- All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
- 7. Coordinate the exact location of all utilities entering the building with the plumbing plans.
- 8. Safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner
- Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the local water department/district.
- 10. All connections to existing manholes shall be by the coring and resilient
- 11. Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local wate department/district specifications
- The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to allow the required bracing at bends and tees.
- 13. The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans. Provide vertical bends where necessary to allow water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or rodding at all bends and tees as required by local utility department/district.
- 14. Contractor shall mark the location of all new PVC lines with #8 wire
- 15. The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private utility lines The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility
- 16. Fire hydrant assemblies include the appropriate sized tee (with kicker), 6" line to hydrant, 6" gate valve (with valve box), and fire hydrant (with kicker). Hydrants shall be installed at locations within 7 feet of the curb, (minimum of 2 feet behind curb).
- 17. Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer recommendations prior to installation of drainage The object of the second secon
- The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
- 19. Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new con cost to the owner. n at no additional
- 20. Sanitary sewer services shall be 6° diameter PVC (SDR 35) at a minimum slope of 1.0% unless shown otherwise on the drawings. Lines shall start 5' beyond the building. Coordinate connection points with the building plumbing drawings. Provide a minimum 30° of cover over all sewer services in grass areas and 48" of cover in paved areas.
- 21. Some utilities can be located by call the "Tennessee One Call" System Inc. The contractor shall call "Tennessee One Call" (1-800-351-1111) 72 hours prior to proceeding with any excavation.
- The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick. Use 3000 PSI concrete.
- 23. The contractor shall be responsible for coordinating the sequencing of construction for all utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
- 24. All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone. Repair pavement in accordance with the local governing agency requirement
- Existing manholes located in fill/cut areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
- 26. The contractor shall maintain 10 feet horizontal separation between sanitary sewer lines and water lines. Where these criteria cannot be met. the contractor shall maintain 18" vertical separation between water and sewer lines
- 27. The fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee. The fire line shall be flushed and tested in accorda with NFPA requirements.
- 28. The proposed gas line construction and installation shall be coordinated with the local gas by the contractor.
- 29. The proposed electric line construction and installation shall be ated with the local electric company by the contractor
- 30 The proposed telephone line construction and installation shall be ed with the local telephone company by the contr
- 31. Siamese stand pipe to be galvanized steel

#### Metro Water & Sewer Notes:

- 1. All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- 2. The contractor is responsible for reimbursing the Metro Water Services the
- 3. The contractor is to provide and maintain the construction identification sign for private development approved
- 4. After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the develope
- 5. All connections to existing manholes shall be by coring and resilient
- 6. Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services
- 7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" w finished grade
- 8. Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (\*.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of comers and times and/or station and onset from sever contentine to end on service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- 11. All water mains must be located within the paved area including all blow-off assemblies

#### MWS Standard Private Utility Plan Notes

- 1. All water and/or sewer services, along with appurtenances, shall be installed n accordance with specifications and standard details of the Metro Water Services
- 2. All connection to existing manholes shall be by coring and resilient nnector method
- Vertical Double Check Valve Assemblies, that are located in interior rooms can only be used for fire services.
- 4. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade
- 5. Irrigation line shall be copper from the meter to the backflow preventer. 6. The minimum fees outlined in the capacity letter must be paid before
- cial construction plans can be ap
- All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
- 8. Backflow device to remain accessible at all times.

9. Plan size shall be 24"x36", and shall show contours around meter boxes.

### Site Grading, Drainage & Erosion Control Notes:

- 1. The disturbed area for this project shall be determined during Final SF
- The contractor shall comply with all pertinent provisions of the manual of accident prevention and constr issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor
- 3. The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation
- 4. If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- 5. Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or
- 6. Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative
- 7. All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- 8. Sediment removed from sediment control structures is to be placed at a site approved by the local governing sediment removed non-sediment control subcurres is to be praced at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- 9. Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted
- 10. Minimum grade on asphalt or concrete paving shall be 1.0%.
- 11. Construct silt barriers before beginning any grading operations.
- 12. This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- 13. Do not disturb vegetation or remove trees except when necessary for grading purposes
- 14. Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
- 15. Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property tullized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- 16. Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
- 17. Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- 18. All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans
- 19. Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill materials.
- 20. Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by
- 21. Contractor shall conform to all applicable codes and obtain approval as necessary before beginning
- 22. Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed
- 23. Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dir
- 24. All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his represe
- 25. All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- 26. All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- 27. It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of earth material off site. It shall also be the contractor responsibility to import suitable material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site
- 28. The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any of the existing grade as matching those shown on the plans encement of any grading work constitutes the contractor's acceptance
- 29. Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- 30. The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.
- 31. In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CRF Part 1926) shall be followed.
- 32. All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer durin construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- 33. All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this conformation in writing from the
- 34. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area
- 35. All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
- 36. The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans
- 37. The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees
- 38. The depth of foundations and/or footings for buildings and walls adjacent to bio-retention areas shall be based on the excavated depth of the bio-retention area and not the planting surface elevation.
- 39. Contractor shall install railings at top of wall as required by local and federal requirements



csdgtn.com



# 6103 MT. VIEW RD.

Antioch, Davidson County, Tennessee

ISSUE SET:
PRELIM SP
SUBMITTAL
ISSUE DATE: 12.22.2020

REV	ISION SCHEDULE:	
No.	Description	Date
	Metro Planning Comments	1/19/2021
	Metro Stormwater Comments	1/29/2021
	Preliminary SP Submittal	6/15/2021
	Stormwater Variance Sub.	6/30/2021
	Stormwater Var. Resubmittal	7/06/2021
	Preliminary SP Resubmittal	9/21/2021
	Preliminary SP Resubmittal	10/1/2021
RE	VISION: DRAWN: CH	IECKED:

**CIVIL NOTES** 























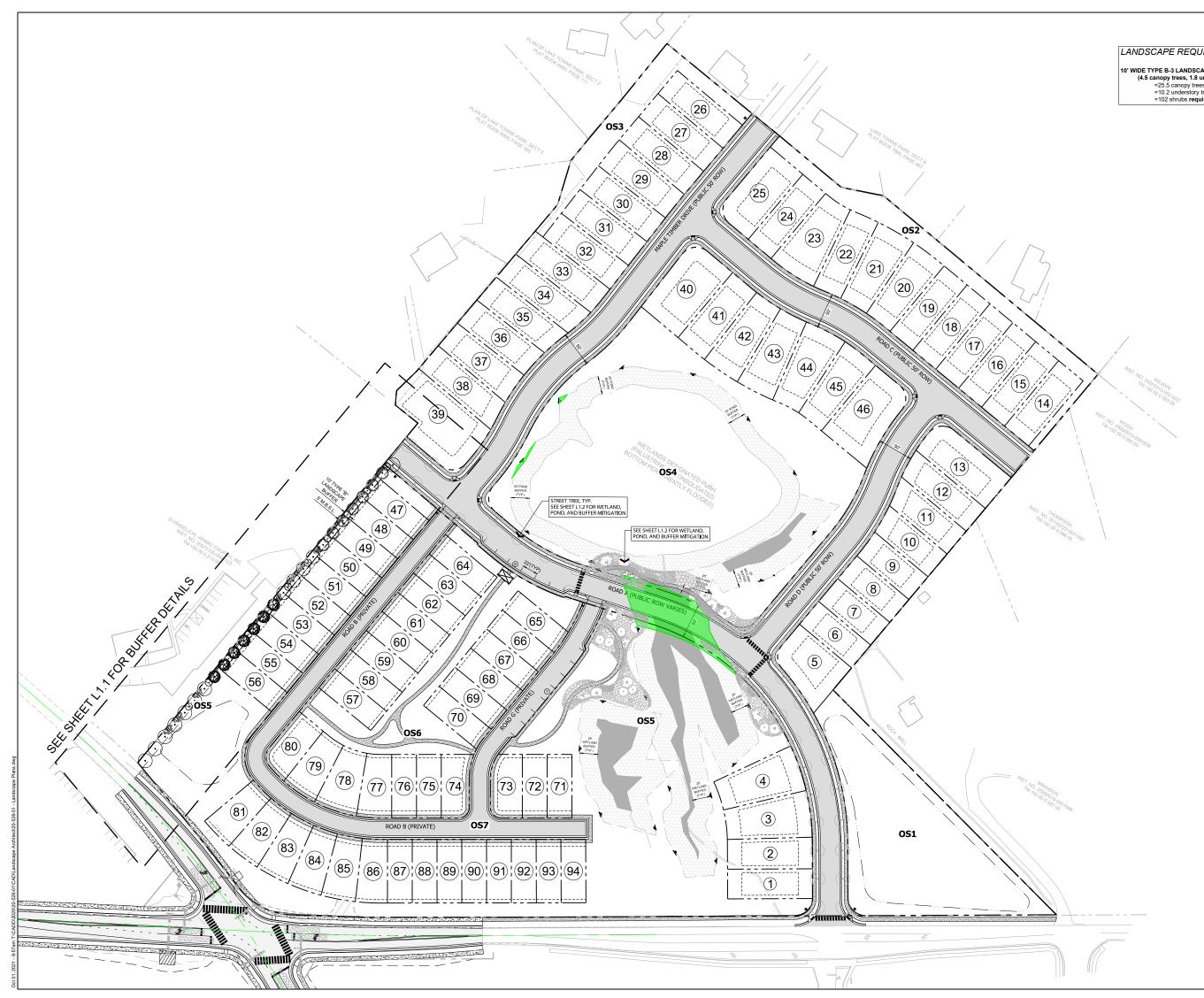


Antioch, Davidson County, Tennessee

ISSUE SET: PRELIM SP SUBMITTAL ISSUE DATE: 12.22.2020					
ISSUE DATE: 12.22.2020 REVISION SCHEDULE: No. Description Metro Planning Comments Preliminary SP Submittal Preliminary SP Resubmittal Preliminary SP Resubmittal Preliminary SP Resubmittal Developer commitments	Date 1/19/2021 1/29/2021 6/30/2021 7/06/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 10/1/2021 1				
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ARCHITECTURAL ELEVATIONS





#### LANDSCAPE REQUIREMENTS

# 10' WIDE TYPE B-3 LANDSCAPE BUFFER - 566 LF (4.5 canopy trees, 1.8 understory trees, 18 shrubs / 100 LF) =25.5 canopy trees required 26 canopy trees proposed =10.2 understory trees required 11 understory trees proposed =102 shrubs required 102 shrubs proposed



SEAL





0 SCALE: 1"=60'

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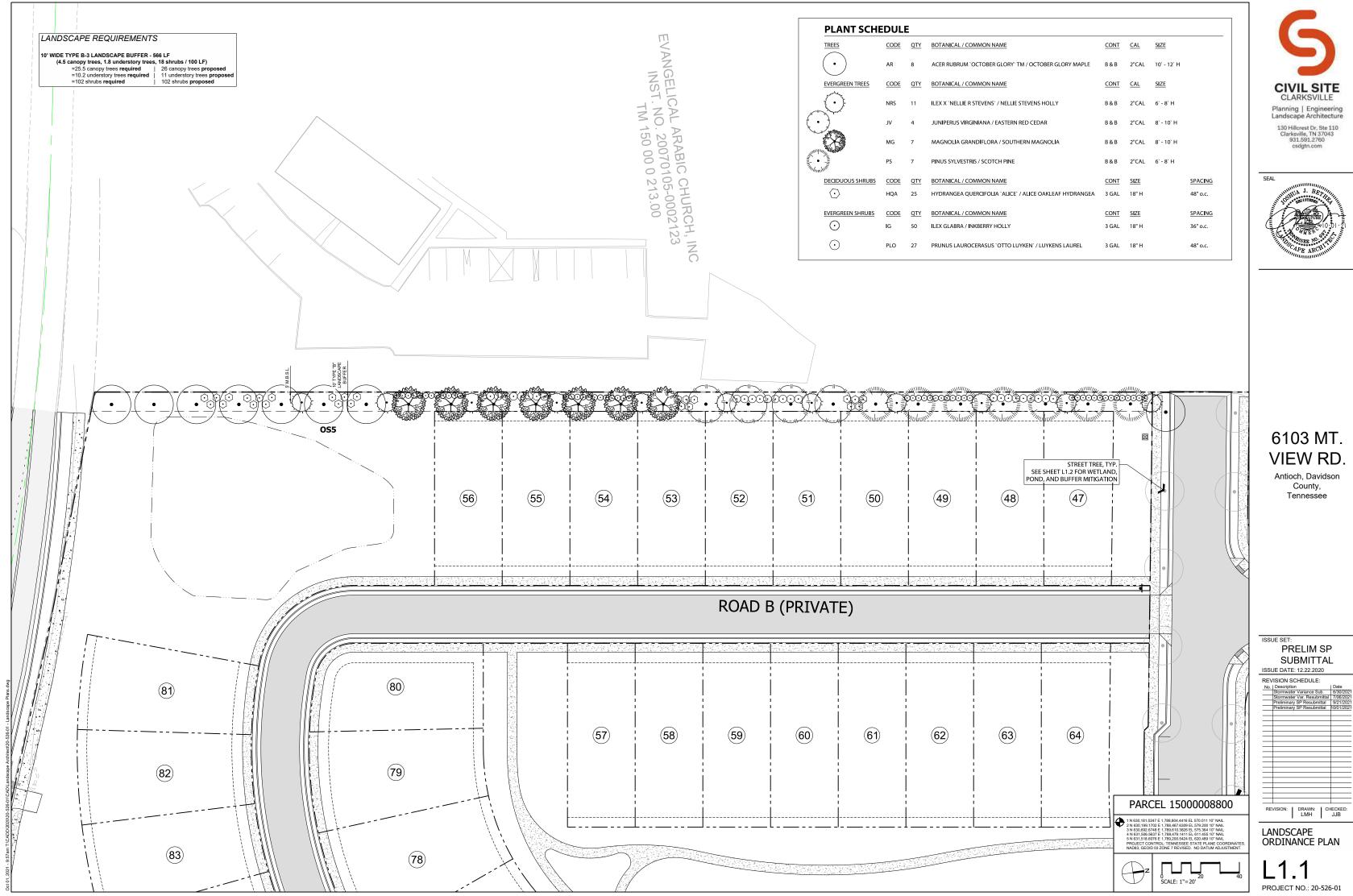


Antioch, Davidson County, Tennessee

ISSUE SET:
PRFLIM SP
FRELINI SF
SUBMITTAL
ISSUE DATE: 12.22.2020
REVISION SCHEDULE:
No. Description Date Stormwater Variance Sub. 6/30/2021
Stormwater Variance Sub. 6/30/2021 Stormwater Var. Resubmittal 7/06/2021
Preliminary SP Resubmittal 9/21/2021
Preliminary SP Resubmittal 10/01/2021
REVISION: DRAWN: CHECKED: LMH JJB

Landscape Ordinance plan





DTANICAL / COMMON NAME	CONT	CAL	<u>SIZE</u>	
CER RUBRUM `OCTOBER GLORY` TM / OCTOBER GLORY MAPLE	B & B	2"CAL	10` - 12` H	
DTANICAL / COMMON NAME	CONT	CAL	SIZE	
EX X `NELLIE R STEVENS` / NELLIE STEVENS HOLLY	B & B	2"CAL	6`-8`H	
INIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	2"CAL	8` - 10` H	
AGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	B & B	2"CAL	8` - 10` H	
NUS SYLVESTRIS / SCOTCH PINE	B & B	2"CAL	6`-8`H	
DTANICAL / COMMON NAME	CONT	<u>SIZE</u>		SPACING
/DRANGEA QUERCIFOLIA `ALICE` / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H		48" o.c.
DTANICAL / COMMON NAME	CONT	<u>SIZE</u>		SPACING
EX GLABRA / INKBERRY HOLLY	3 GAL	18" H		36" o.c.
UNUS LAUROCERASUS `OTTO LUYKEN` / LUYKENS LAUREL	3 GAL	18" H		48" o.c.



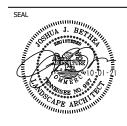




### PROPOSED MITIGATION

ITIGATION AREA MITIGATION RATE OF 1 SF DISTURBED : 2 SF MITIGATED =7,932 SF disturbed area | 16,006 SF mitigation area







Antioch, Davidson County, Tennessee

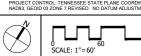
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	IN SCHEDULE:	
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	mwater Variance Sub.	6/30/2021
	mwater Var. Resubmitta	9/21/2021
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REVISIO	N: DRAWN: C	JJB

### MITIGATION PLAN















6103 MT. VIEW RD. Antioch, Davidson County,

Tennessee



MITIGATION PLAN

L1.3 PROJECT NO.: 20-526-01

#### General Notes:

- This property is located within Metro Nashville, Davidson County. Contractor shall conform to all necessary requirements outlined by the standards of the City of Metro Nashville.
   All work shall be performed by fully qualified Plantsmen. Use good Horticultural practices to keep all plants and plant material installed in a living, healthy condition up to the date of termination of the
- Contractor's responsibility for care. 3. The Contractor shall be responsible for examining fully both the site and the bid documents.
- This reparties in the documents or the actual site conditions shall be reported to the Landscape Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Contract at the time of time of the contract condition. bidding. 4. The Contractor is responsible for locating all underground utilities and shall avoid damage to existing
- utilities during the course of the work. 5. The Contractor is responsible for repairing any damage to utilities, site structures, etc., resulting from
- landscape construction.
  The Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth on this plan set and the specifications.
  The Contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the vert of the security of the vert of t
- the plan will take precedence.8. No material shall be planted before finish grading has been completed.
- No material shall be planted before finish grading has been completed.
   The plants delivered to the project site shall be planted as soon as site conditions permit. Contractor shall take care in scheduling plant deliveries and the size of the deliveries so that long periods of storage are avoided. Adequately protect plants placed in temporary storage from the sun and wind; water plants so as to maintain their appearance and health. Plants that have not been properly maintained during temporary storage may be rejected by the Landscape Architect.
   Should the Contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, he/she must advise the Owner's Representative in writing of the conditions prior to installing the plants. Otherwise, the Contractor concurates that the planting areas are suitable for proper growth and development of the plant material to be installed and Contractor shall take responsibility for the cost of any revision. ne cost of any revision
- onsibility of the Contractor to verify that each excavated tree or shrub pit will percolate 11. It is the respo (drain) prior to adding topsoil of planting mix and installing trees or shrubs. The Contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour
- bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed, or the planting relocated to an area approved by the Owner's Representative.
  12. Prior to installation of plant materials, the width and length of all parking tot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of pavement elevation. Excavated material is to be removed from the landscape areas and disposed of off site or in an area approved by the Project Engineer. No asphaltic construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking area islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the devitions indicated on the creding plants.
- planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the elevations indicated on the grading plans.
  13. All shrub and ground cover beds not in parking lot islands or median strips are to be excavated to a depth of 12 Inches and disposed of off site or in an area approved by the Project Engineer. Trees in these bed areas shall be installed per the tree planting detail. The bed area is to be backfilled with sifted topsoil to the elevations indicated on the grading plans as per the specifications.
  14. The optimum time for planting is from October 1 to April 1. Scheduling for planting at other times must be approved in writing by the Landscape Architect.
  15. Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
  16. New tree plantings are to not be staked once approved by the Landscape Architect.
  17. All deciduous trees, existing and proposed shall be proved to provide 4' minimum clear trunk unless otherwise noted.

- otherwise noted. 18. The Contractor shall stake or mark all plant material locations prior to installation. The Contractor shall
- All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species quantity and size and
- ing all plant list specifications at no expense to the Owner. Contractor shall grade planting beds, as required, to provide positive drainage and promote 20 The Cont
- optimum plant growth. 21. Chemical Weed Control (pre-emergent, i.e. Treflan) shall be applied to all landscape areas prior to any
- plant installation. 22. All planting areas shall receive a 3 inch layer of shredded hardwood bark mulch, which is to be
- watered-in after installation. 23. All plants shall be vigorous, healthy material, free of pests and disease
- All plants and trees must meet all requirements specified in the plant list, details, and notes.
   The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted on the material schedule. Trees shall be No. 1 grade specime and shrubs
- meet minimum size noted on the material schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
  Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality and size of plants, spread of roots and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock " (current edition) as published by the American Association of Nurserymen, Inc.
  All disturbed areas shall be planted with turf as indicated on the material schedule.
  Eviction sod shall be removed as precessary to accommodate new plantings. 26 Din
- Existing sod shall be removed as necessary to accommodate new plantings.
   Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be
- resodded to match existing at no expense to the Owner. 30. The Contractor is responsible for completely maintaining the work (including but not limited to: watering,
- mulching, spraying, fertilizing, of all planting areas and lawns per project specifications until total acceptance of the work by the Owner. 31. The Contractor shall completely guarantee all work for a period of one year beginning at the date of
- 32. The Contractor shall provide the Owner with written instructions on the proper care of all specified plant

#### Planting Notes:

- Any series of trees to be placed in a particular arrangement will be field checked for accuracy by the Landscape Architect. Any plants misarranged will be relocated by the Contractor at no expense to the Owner. Trees shall be placed on-center when possible unless noted otherwise on plans.
   Soil used in backfilling planting pits shall be topsoil and mixed with 25% peat by volume, except for ericaceous plants, very acid or sour soil (soil having a pH less than 6) shall be mixed with sufficient lime to produce a slightly acid reaction (a pH of 6.0 to 6.5). 10-10-10 commercial fertilizer at the rate of 2 pound per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
   Soil used in backfilling ericaceous plants shall be topsoil mixed with 50% peat by volume, 5-10-5 commercial fertilizer at the rate of 5 pounds per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
   Upon securing plant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees
- Upon securing piant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees of same species shall be matched in growth character and uniformity. Herbicide (Treflan or equivalent) shall be applied to all planting beds prior to planting for noxious weed control at a rate of 2 pounds per 1,000 square feet. Contractor shall submit a 10 ounce sample of the topsoil proposed to a testing laboratory for analysis. Test results, with recommendations for suitability, shall be submitted to the Owner's Representative for approval
- approval. Plants shall be oriented vertically and oriented for best appearance. All non-biodegradable root
- containers shall be removed and disposed of off site. Tree branches shall be selectively trimmed by 25%, maintaining natural shape. All dead and broken branches in trees and shrubs shall also be pruned. Remove tags, twine or other non-biodegradable
- material, and remove from project site.
- Scarify subsoil in planting beds to a depth of 3 inches. All planting beds shall receive a minimum of 6 nches of topsoil.

- inches of topsoil.
   Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
   Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
   All planting beds to have a minimum of 3 inch deep shredded hardwood bark mulch.
   Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality & size of plants, spread of roots, and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
   The quantities indicated on the material schedule are provided for the benefit of the Contractor, but should not be assumed to always be correct. In the event of a discrepancy, the planting plan will take precedence over the material schedule. The Contractor shall be responsible for his/her own quantity calculations. price quotations
- 14. Contractor shall warranty all material for one year after date of final acceptance.

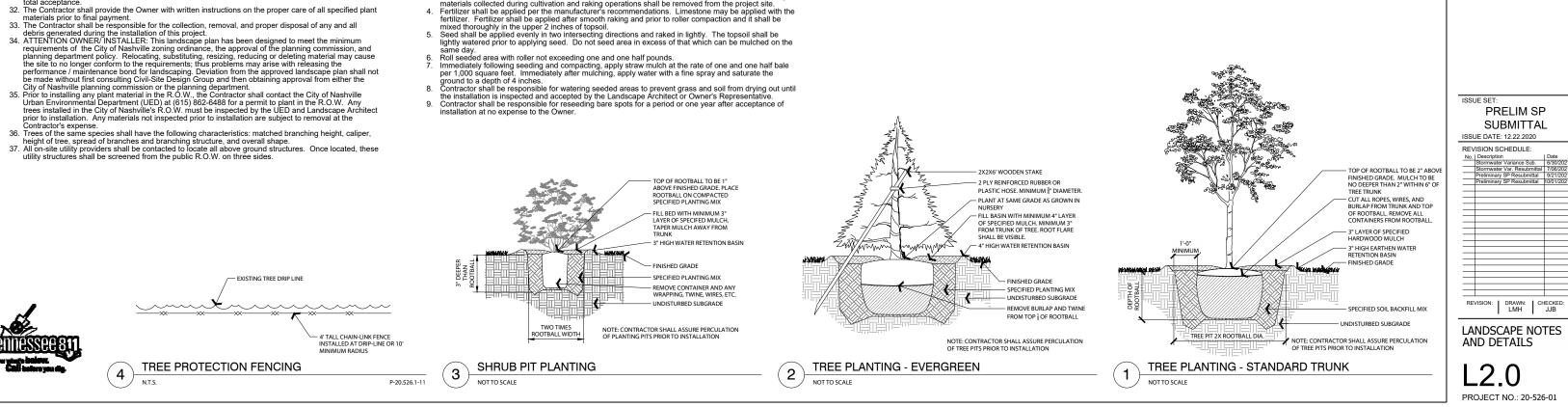
#### Sodding Notes:

- 1. Areas indicated for sod shall be Kentucky 31 Fescue, minimum age shall be 18 months, with root development that will support its own weight without tearing when suspended vertically by holding the
- development that will support its own weight without tearing when suspended vertically by holding the upper two corners. Contractor shall submit sod certification for grass species and location of sod source. Contractor shall include certification that sod is free of disease, nematodes, undesirable insects, and quarantine
- Firstrictions.
   Sod shall be delivered on pallets. Prior to installation, sod shall be stored at a location that is protected from damaging effects of sun and wind.
   6-12-12 commercial type fertilizer, with 50% of the element derived from organic sources, shall be applied at a rate recommended by the manufacturer. Apply after smooth raking of topsoil and no more than 48 hours before laying sod. Mix thoroughly in the upper 2 inches of topsoil and lightly water to aid broakdown. breakdown

- breakdown. Areas to receive so shall be lightly moistend immediately prior to laying sod. Lay sod tightly with no open joints visible and not overlapping. Stagger end joints a minimum of 12 inches and do not stretch sod pieces. On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at a maximum 2 feet on-center. Drive pegs flush with sod portion of sod. Prior to placing sod on slopes of 8 inches per foot and steeper, place jute erosion control mesh over topsoil. Securely anchor sod in place with pegs sunk firmly into the ground. Contractor shall submit 12" x 12" samples of jute mesh for review to Landscape Architect or Owner's Representative prior to installation. nstallation.
- Immediately after installation, water sodded areas to a depth of 4 inches.
   After sod and soil have dried, roll sodded areas to ensure a good bond between soil and sod. Roller
- And sou have onled, for source areas to ensure a good bond between son and sour. Roller shall not exceed 150 pounds.
   Contractor shall be responsible for maintaining (mowing, trimming, watering) the sou until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
   The Contractor shall replace sod areas that show deterioration for a period of one year after acceptance of the installation. Deteriorated material shall be replaced with sod of equal quality originally specified at no expense to the Owner.

#### Seeding Notes:

- All disturbed areas to be seeded with Kentucky 31 Fescue at the rate of 5 pounds per 1,000 square feet. All seed to be 98% pure with 85% germination and conform to all state requirements for grass seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived from organic
- seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived in on organic sources. Straw mulch shall be placed upon seeded areas. Straw shall be oats or wheat straw, free from weeds, foreign matter detrimental to plant life, and dry. Hay or chopped cornstalks an not acceptable. Contractor shall verify that the prepared soil base is ready to receive work. The topsoil shall be cultivated to a depth of 4 inches with a mechanical tiller and subsequently raked until smooth. Foreign materials collected during cultivation and raking operations shall be removed from the project site. Fertilizer shall be applied per the manufacturer's recommendations. Limestone may be applied with the fertilizer. Fertilizer shall be applied after smooth raking and prior to roller compaction and it shall be mixed thoroughly in the upper 2 inches of topsoil. Seed shall be applied evenly in two intersecting directions and raked in lightly. The topsoil shall be lightly watered prior to applying seed. Do not seed area in excess of that which can be mulched on the same day.



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DTANICAL / COMMON NAME	CONT	CAL	SIZE		
CER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	2"CAL	10` - 12` H		
DTANICAL / COMMON NAME	CONT	CAL	SIZE		
EX X `NELLIE R STEVENS` / NELLIE STEVENS HOLLY	B & B	2"CAL	6` - 8` H		
NIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	2"CAL	8` - 10` H		
AGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	B & B	2"CAL	8` - 10` H		
NUS SYLVESTRIS / SCOTCH PINE	B & B	2"CAL	6` - 8` H		
DTANICAL / COMMON NAME		SIZE		SPACING	
'DRANGEA QUERCIFOLIA `ALICE` / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H		48" o.c.	
DTANICAL / COMMON NAME	CONT	SIZE		SPACING	
EX GLABRA / INKBERRY HOLLY	3 GAL	18" H		36" o.c.	
UNUS LAUROCERASUS `OTTO LUYKEN` / LUYKENS LAUREL	3 GAL	18" H		48" o.c.	

\* PLEASE NOTE THAT OVERALL SCHEDULE INCLUDES ALL PLANTS FROM BIORETENTION PONDS AND BUFFER PLANTINGS.

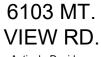
NOTE: TREE SIZES SHOWN ARE REQUIRED MINIMUMS. CONTRACTOR TO REFER TO ENHANCED LANDSCAPE PLANS FOR PRICING.

NOTE: IRRIGATION TO BE PROVIDED BY AN AUTOMATIC SYSTEM. DESIGN BY OTHERS

> \*PLEASE NOTE THAT THE BIORETENTION PLANTINGS TO BE EXCLUDED FROM AUTOMATIC IRRIGATION COVERAGE.







Antioch, Davidson County, Tennessee

DRAWN: CHECKED

#### General Notes:

- This property is located within Metro Nashville, Davidson County. Contractor shall conform to all necessary requirements outlined by the standards of the City of Metro Nashville.
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- utilities during the course of the work. 5. The Contractor is responsible for repairing any damage to utilities, site structures, etc., resulting from
- landscape construction.
  The Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth on this plan set and the specifications.
  The Contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the vert of the security of the vert of t
- the plan will take precedence.8. No material shall be planted before finish grading has been completed.
- No material shall be planted before finish grading has been completed.
   The plants delivered to the project site shall be planted as scon as site conditions permit. Contractor shall take care in scheduling plant deliveries and the size of the deliveries so that long periods of storage are avoided. Adequately protect plants placed in temporary storage from the sun and wind; water plants so as to maintain their appearance and health. Plants that have not been properly maintained during temporary storage may be rejected by the Landscape Architect.
   Should the Contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, stem of utility lines or other conditions that will jeopardize the health and vigor of the plants. Otherwise, the Contractor warrants that the planting areas are suitable for proper growth and development of the plant material to be installed and Contractor shall take responsibility for the cost of any revision. ne cost of any revisior
- onsibility of the Contractor to verify that each excavated tree or shrub pit will percolate 11. It is the respo (drain) prior to adding topsoil of planting mix and installing trees or shrubs. The Contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour
- bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed, or the planting relocated to an area approved by the Owner's Representative.
  12. Prior to installation of plant materials, the width and length of all parking tot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of pavement elevation. Excavated material is to be removed from the landscape areas and disposed of off site or in an area approved by the Project Engineer. No asphaltic construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking area islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the devitions indicated on the creding plants.
- planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the elevations indicated on the grading plans.
  13. All shrub and ground cover beds not in parking lot islands or median strips are to be excavated to a depth of 12 Inches and disposed of off site or in an area approved by the Project Engineer. Trees in these bed areas shall be installed per the tree planting detail. The bed area is to be backfilled with sifted topsoil to the elevations indicated on the grading plans as per the specifications.
  14. The optimum time for planting is from October 1 to April 1. Scheduling for planting at other times must be approved in writing by the Landscape Architect.
  15. Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
  16. New tree plantings are to not be staked once approved by the Landscape Architect.
  17. All deciduous trees, existing and proposed shall be proved to provide 4' minimum clear trunk unless otherwise noted.

- otherwise noted. 18. The Contractor shall stake or mark all plant material locations prior to installation. The Contractor shall
- All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species quantity and size and
- ing all plant list specifications at no expense to the Owner. Contractor shall grade planting beds, as required, to provide positive drainage and promote 20 The Cont
- optimum plant growth. 21. Chemical Weed Control (pre-emergent, i.e. Treflan) shall be applied to all landscape areas prior to any
- plant installation. 22. All planting areas shall receive a 3 inch layer of shredded hardwood bark mulch, which is to be
- watered-in after installation. 23. All plants shall be vigorous, healthy material, free of pests and disease
- All plants and trees must meet all requirements specified in the plant list, details, and notes.
   The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted on the material schedule. Trees shall be No. 1 grade specime and shrubs
- meet minimum size noted on the material schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
  Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality and size of plants, spread of roots and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock " (current edition) as published by the American Association of Nurserymen, Inc.
  All disturbed areas shall be planted with turf as indicated on the material schedule.
  Eviction sod shall be removed as precessary to accommodate new plantings. 26 Din
- Existing sod shall be removed as necessary to accommodate new plantings.
   Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be
- resodded to match existing at no expense to the Owner. 30. The Contractor is responsible for completely maintaining the work (including but not limited to: watering,
- mulching, spraying, fertilizing, of all planting areas and lawns per project specifications until total acceptance of the work by the Owner. 31. The Contractor shall completely guarantee all work for a period of one year beginning at the date of
- 32. The Contractor shall provide the Owner with written instructions on the proper care of all specified plant

- Any series of trees to be placed in a particular arrangement will be field checked for accuracy by the Landscape Architect. Any plants misarranged will be relocated by the Contractor at no expense to the Owner. Trees shall be placed on-center when possible unless noted otherwise on plans.
   Soil used in backfilling planting pits shall be topsoil and mixed with 25% peat by volume, except for ericaceous plants, very acid or sour soil (soil having a pH less than 6) shall be mixed with sufficient lime to produce a slightly acid reaction (a pH of 6.0 to 6.5). 10-10-10 commercial fertilizer at the rate of 2 pound per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
   Soil used in backfilling ericaceous plants shall be topsoil mixed with 50% peat by volume, 5-10-5 commercial fertilizer at the rate of 5 pounds per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
   Upon securing plant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees
- Upon securing piant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees of same species shall be matched in growth character and uniformity. Herbicide (Treflan or equivalent) shall be applied to all planting beds prior to planting for noxious weed control at a rate of 2 pounds per 1,000 square feet. Contractor shall submit a 10 ounce sample of the topsoil proposed to a testing laboratory for analysis. Test results, with recommendations for suitability, shall be submitted to the Owner's Representative for approval
- approval. Plants shall be oriented vertically and oriented for best appearance. All non-biodegradable root
- containers shall be removed and disposed of off site. '' Tree branches shall be selectively trimmed by 25%, maintaining natural shape. All dead and broken branches in trees and shrubs shall also be pruned. Remove tags, twine or other non-biodegradable
- material, and remove from project site.
- Scarify subsoil in planting beds to a depth of 3 inches. All planting beds shall receive a minimum of 6 nches of topsoil.
- inches of topsoil.
   Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
   Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
   All planting beds to have a minimum of 3 inch deep shredded hardwood bark mulch.
   Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality & size of plants, spread of roots, and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
   The quantities indicated on the material schedule are provided for the benefit of the Contractor, but should not be assumed to always be correct. In the event of a discrepancy, the planting plan will take precedence over the material schedule. The Contractor shall be responsible for his/her own quantity calculations.
- price quotations
- 14. Contractor shall warranty all material for one year after date of final acceptance.

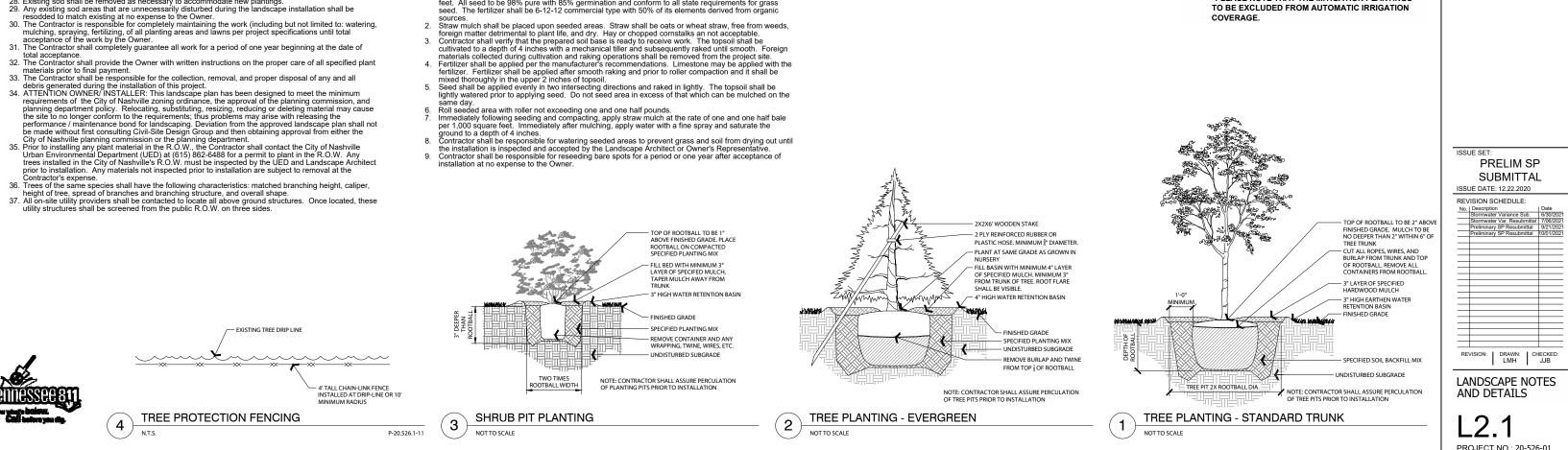
#### Sodding Notes:

- 1. Areas indicated for sod shall be Kentucky 31 Fescue, minimum age shall be 18 months, with root development that will support its own weight without tearing when suspended vertically by holding the
- development that will support its own weight without tearing when suspended volucing or notang as upper two corners. Contractor shall submit sod certification for grass species and location of sod source. Contractor shall include certification that sod is free of disease, nematodes, undesirable insects, and quarantine
- Firstrictions.
   Sod shall be delivered on pallets. Prior to installation, sod shall be stored at a location that is protected from damaging effects of sun and wind.
   6-12-12 commercial type fertilizer, with 50% of the element derived from organic sources, shall be applied at a rate recommended by the manufacturer. Apply after smooth raking of topsoil and no more than 48 hours before laying sod. Mix thoroughly in the upper 2 inches of topsoil and lightly water to aid broakdown. breakdown

- breakdown. Areas to receive so shall be lightly moistend immediately prior to laying sod. Lay sod tightly with no open joints visible and not overlapping. Stagger end joints a minimum of 12 inches and do not stretch sod pieces. On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at a maximum 2 feet on-center. Drive pegs flush with sod portion of sod. Prior to placing sod on slopes of 8 inches per foot and steeper, place jute erosion control mesh over topsoil. Securely anchor sod in place with pegs sunk firmly into the ground. Contractor shall submit 12" x 12" samples of jute mesh for review to Landscape Architect or Owner's Representative prior to installation. nstallation
- Immediately after installation, water sodded areas to a depth of 4 inches.
   After sod and soil have dried, roll sodded areas to ensure a good bond between soil and sod. Roller
- And sou have onled, for source areas to ensure a good bond between son and sour. Roller shall not exceed 150 pounds.
   Contractor shall be responsible for maintaining (mowing, trimming, watering) the sou until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
   The Contractor shall replace sod areas that show deterioration for a period of one year after acceptance of the installation. Deteriorated material shall be replaced with sod of equal quality originally specified at no expense to the Owner.

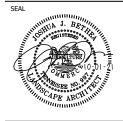
#### Seeding Notes:

- All disturbed areas to be seeded with Kentucky 31 Fescue at the rate of 5 pounds per 1,000 square feet. All seed to be 98% pure with 85% germination and conform to all state requirements for grass seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived from organic



PLANT SCH	DULE						
TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
· ( • )	AR	29	ACER RUBRUM `OCTOBER GLORY` TM / OCTOBER GLORY MAPLE	B & B	2"CAL	10` - 12` H	
*	BN	7	BETULA NIGRA `DURAHEAT` / DURAHEAT RIVER BIRCH	B & B	2"CAL	10` - 12` H	
EVERGREEN TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
and the second s	ю	6	ILEX OPACA / AMERICAN HOLLY	B & B	2"CAL	6`-8`H	
UNDERSTORY TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
60000000000000000000000000000000000000	MV	7	MAGNOLIA VIRGINIANA / SWEET BAY	B & B	2"CAL	7` - 9` HT	
DECIDUOUS SHRUBS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SIZE		
$(\mathbf{f})$	CA	108	CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY	3 GAL	18" H		60" o.c.
$\langle \cdot \rangle$	HQA	28	HYDRANGEA QUERCIFOLIA `ALICE` / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H		48" o.c.
$\bigcirc$	HQP	161	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA	3 GAL	18" H		42" o.c.
$\odot$	HYP PRO	142	HYPERICUM PROLIFICUM / BROOMBRUSH	3 GAL	18" H		36" o.c.
O	IVH	53	ITEA VIRGINICA `HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	3 GAL	18" H		48" o.c.
$\bigotimes$	LB	21	LINDERA BENZOIN / SPICEBUSH	3 GAL	24" - 30"H		96" o.c.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE		
$\odot$	IG	136	ILEX GLABRA / INKBERRY HOLLY	3 GAL	18" H		36" o.c.
GRASSES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	<u>SIZE</u>		
$\odot$	CAR STR	86	CAREX STRICTA / TUSSOCK SEDGE	1 GAL	18" H		24" o.c.
$\odot$	JUN EFF	67	JUNCUS EFFUSUS / SOFT RUSH	1 GAL	18" H		24" o.c.
$\odot$	PVN	52	PANICUM VIRGATUM `NORTH WIND` / NORTHWIND SWITCH GRASS	1 GAL	18" - 24" H		48" o.c.
<del>&amp;</del>	SCH LIT	107	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	18" H		24" o.c.

**CIVIL SITE** CLARKSVILLE Planning | Engineering Landscape Architecture 130 Hillcrest Dr, Ste 110 Clarksville, TN 37043 931.591.2760



\* PLEASE NOTE THAT OVERALL SCHEDULE INCLUDES ALL M MITIGATION PLANT

NOTE: TREE SIZES SHOWN ARE REQUIRED MINIMUMS. CONTRACTOR TO REFER TO ENHANCED LANDSCAPE PLANS FOR PRICING.

NOTE: IRRIGATION TO BE PROVIDED BY AN AUTOMATIC SYSTEM. DESIGN BY OTHERS

> \*PLEASE NOTE THAT THE MITIGATION PLANTINGS TO BE EXCLUDED FROM AUTOMATIC IRRIGATION COVERAGE

## 6103 MT. VIEW RD. Antioch, Davidson

County, Tennessee

PROJECT NO.: 20-526-01