

# PRELIMINARY SP

# 839 WEST TRINITY LANE TOWNHOMES

## NASHVILLE, DAVIDSON COUNTY, TENNESSEE

CASE NO. 2021SP-051-001  
CATALYST PROJECT NO. 20210107  
08/03/2021

### DEVELOPMENT SUMMARY

- SP NAME: 839 W. TRINITY LANE TOWNHOMES
- SP NUMBER: 2021SP-051-001
- COUNCIL DISTRICT: 02
- COUNCIL MEMBER: KYONZTÉ TOOMBS

OWNER: JERRY E. & BOBBIE B. CHATMAN  
ADDRESS: 6406 THOROUGHbred LOOP  
ODESSA, FL 33556

PROJECT REPRESENTATIVE: ANDREW WISEMAN  
ADDRESS: 5100 TENNESSEE AVENUE  
NASHVILLE, TN 37209  
PROJECT REPRESENTATIVE PHONE: ANDREW WISEMAN  
CONTACT NAME: awiseman@catalyst-dg.com  
CONTACT E-MAIL ADDRESS:

DEVELOPER: RHYTHM DEVELOPMENT  
ADDRESS: 500 CREATIVE WAY #24  
MADISON, TN 37115  
(615) 584-8996  
CONTACT NAME: RYAN MCLAURY  
CONTACT E-MAIL ADDRESS: ryan@rhythmhd.com

- FEMA PANEL:  
THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" ACCORDING TO COMMUNITY PANEL NO. 47037C0233H, APRIL 5, 2017, COMMUNITY NAME: DAVIDSON COUNTY.

### DEVELOPMENT SITE DATA

PARCEL ID.: 07004009500, 07004009600, 07004009800  
SITE ADDRESS: 839 WEST TRINITY LN  
NASHVILLE, TN 37207

SITE ACREAGE:  
PARCEL 95: 2,000 AC. (87,157.33 FT²)  
PARCEL 96: 2,001 AC. (87,140.12 FT²)  
PARCEL 98: 4,760 AC. (207,342.10 FT²)  
TOTAL SITE ACREAGE: 8,761 AC. (381,639.55 SQ. FT.)  
R.O.W. DEDICATION:  
ROAD NAME TBD (N/S): 0.317 AC. (13,820.12 SQ. FT.)  
ROAD NAME TBD (E/W): 0.490 AC. (21,345 SQ. FT.)  
TOTAL ADJUSTED SITE ACREAGE: 7,954 AC. (346,476.24 SQ. FT.)  
EXISTING ZONING: R57.5 (RESID. SINGLE FAMILY 7,500 S.F. LOTS)  
FALLBACK ZONING: RM15 (MULTI-FAMILY RESIDENTIAL)

EXISTING LAND USE: VACANT RESIDENTIAL LAND  
NUMBER OF LOTS: 3 (DUE TO PUBLIC RIGHT OF WAY DEDICATION)  
PROPOSED LAND USE: 81 MULTI-FAMILY RESIDENTIAL UNITS  
PROPOSED DENSITY: 10.18 UNITS / ACRE

IMPERVIOUS SURFACE AREA  
BUILDINGS: 1.49 AC. (64,800 FT²)  
DRIVES/SIDEWALKS: 2.58 AC. (112,455 FT²)  
TOTAL PROPOSED IMPERVIOUS AREA: 4.07 AC. (177,256 FT²)

ISR PROPOSED: 0.46 (177,256 S.F. / 381,640 S.F.)

OPEN SPACE: 281,675 S.F. (6.47 ACRES)

BUILDING DATA  
PROPOSED LAND USE: 81 MULTI-FAMILY TOWNHOME RESIDENTIAL UNITS  
44 3 STORY UNITS WITH BASEMENT GARAGE  
37 3 STORY UNITS WITH GARAGE

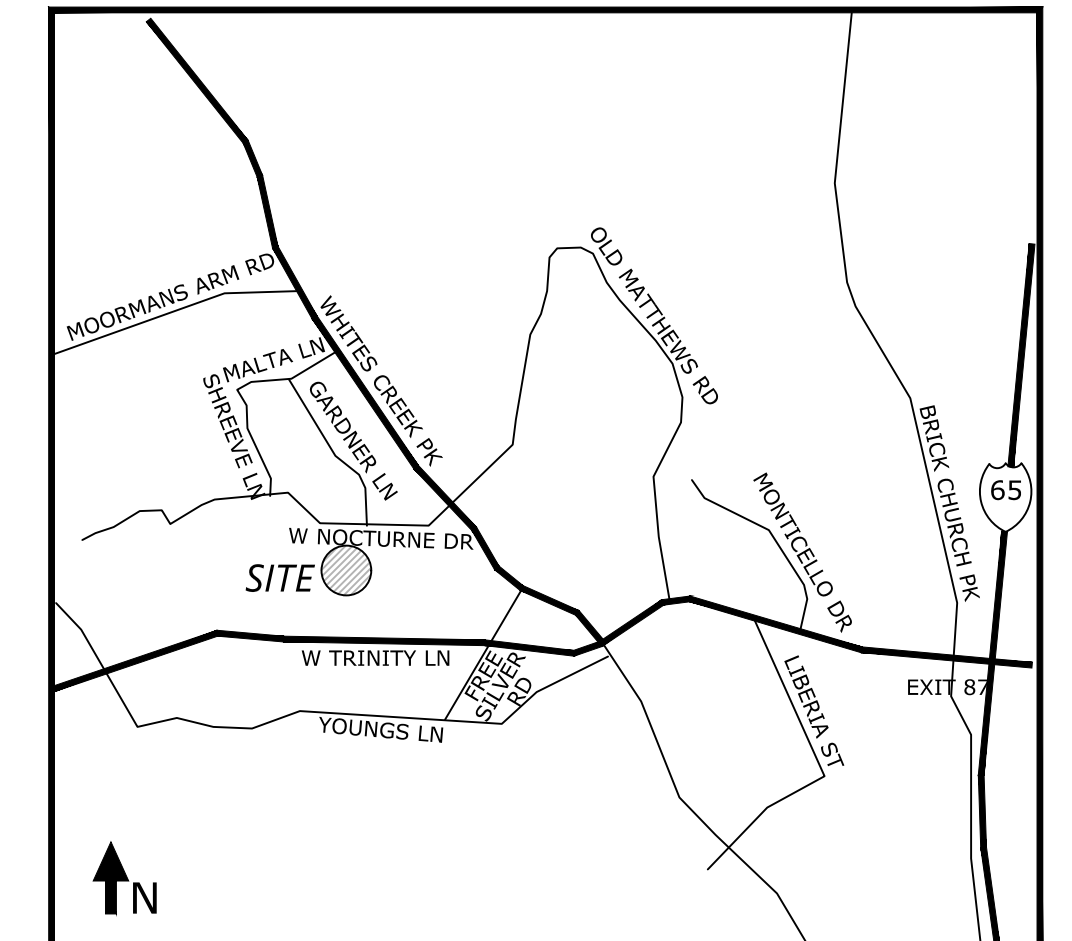
BUILDING SQUARE FOOTAGE:  
TOWNHOME RESIDENCES: 2,400 SQ. FT. (MAXIMUM AND EXCLUDES GARAGE)  
PROPOSED FAR (POST DEDICATION): 0.56 = 194,400 SQ. FT. (81X2,400)/346,476.24 SQ. FT.  
3 (CREATED BY R.O.W. DEDICATION)

BUILDING HEIGHT: 35' MAX.  
(PER METRO ZONING ORDINANCES)  
FOR BASEMENT UNITS HEIGHT WOULD BE MEASURED FROM FIRST FLOOR LEVEL

PARKING REQUIREMENTS:  
METRO CODE REQUIRED: 1 SPACE PER BEDROOM UP TO 2 BEDROOMS; .5 SPACES PER BEDROOM FOR EACH ADDITIONAL BEDROOM

3 BR. TOWNHOMES (2.5 SP./UNIT.=81x2.5) 203 SPACES  
TOTAL PARKING REQUIRED: 203 SPACES

PARKING PROVIDED: 162 SPACES  
GARAGE PARKING: 33 SPACES  
SURFACE PARKING: 8 SPACES  
PUBLIC ON-STREET PARKING (.5 SPACES/ 1 SPACE=16x.5) 203 SPACES  
TOTAL PARKING PROVIDED: 203 SPACES  
TOTAL PARKING RATIO: 2.5 SPACES / UNIT



VICINITY MAP  
NOT TO SCALE

### Sheet List Table

| Sheet Number | Sheet Title             |
|--------------|-------------------------|
| C0.0         | COVER                   |
| C1.0         | EXISTING CONDITIONS     |
| C2.0         | RENDERED SITE PLAN      |
| C2.1         | LAYOUT PLAN             |
| C3.0         | GRADING & DRAINAGE PLAN |
| C4.0         | UTILITY PLAN            |
| L1.0         | L1.0 LANDSCAPE PLAN     |

### METRO STANDARD NOTES

- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- ALL CONSTRUCTION WITHIN THE R.O.W. IS TO BE PER ADA AND MPW STANDARDS AND SPECIFICATIONS.
- THERE SHALL BE NO VERTICAL OBSTRUCTIONS (POLES, SIGNS, GUY WIRES, ETC.) WITHIN THE SIDEWALKS.

### DESIGN STANDARDS

- BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 15% GLAZING.
- WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1:5:1 OR GREATER, EXCEPT FOR DORMERS.
- EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
- PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

### DEVELOPMENT NOTES

- THE PURPOSE OF THIS PLAN IS FOR PRELIMINARY APPROVAL OF SPECIFIC PLAN ZONING TO PERMIT 81 RESIDENTIAL UNITS. THE PROPOSED PROJECT IS EXPECTED TO BE COMPLETED IN ONE PHASE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.  
ADA; <http://www.ada.gov/>  
U.S. Justice Dept.: [http://www.justice.gov/crt/housing/fairhousing/about\\_fairhousingact.htm](http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm)
- TRASH AND RECYCLING SERVICE SHALL BE CONTRACTED THROUGH A PRIVATE COLLECTION SERVICE.

PREPARED FOR  
**RHYTHM DEVELOPMENT**  
500 CREATIVE WAY #24  
MADISON, TN 37115  
(615) 584-8996



CIVIL ENGINEER/LANDSCAPE ARCHITECT






COVER

C0.0



30' ZONE 1 BUFFER. REQUIREMENT TO PROVIDE 30' BUFFER TO BE VERIFIED AT FINAL SP IN ACCORDANCE WITH VOLUME CHAPTER 6 OF THE MWS STORMWATER MANAGEMENT MANUAL.

DILATED/DATED FENCE  
UNLABELED DASHED LINES  
P.B. 332, PG. 46  
WIDTH NOT SPECIFIED

| <i>Number</i> | <i>Minimum Slope</i> | <i>Maximum Slope</i> | <i>Color</i>  |
|---------------|----------------------|----------------------|---|
| 1             | 15.00%               | 20.00%               |  |
| 2             | 20.00%               | 25.00%               |  |
| 3             | 25.00%               | 99.00%               |  |

PROPERTY LOCATED ON DAVIDSON COUNTY TAX MAP:  
TAX MAP 70-04, PARCELS 95, 96 & 98

CITY: NASHVILLE  
COUNTY: DAVIDSON  
STATE: TENNESSEE  
DISTRICT: 2ND

LOTS 9, 10, 11, 12 & 13  
FREE SILVER PLAN SHOWING 2ND ADDITION  
& OTHER LOTS CONVEYED  
P.B. 332, PG. 46

OWNER: JERRY E. CHATMAN & BOBBIE B. CHATMAN  
6406 THOROUGHbred LOOP  
ODESSA, FL 33556  
I.N. 200810170104610 & BK. 2104, PG. 321

## PARCEL NO.

PARCEL NO.

LOT NO.

IRON ROD (OLD)

**IRON ROD (SET)**

PROPERTY LINE

OVERHEAD POW.

**SANITARY SEWE**

UTILITY POLE

SANITARY SEWER MANHOLE

### EXISTING TREE COVER

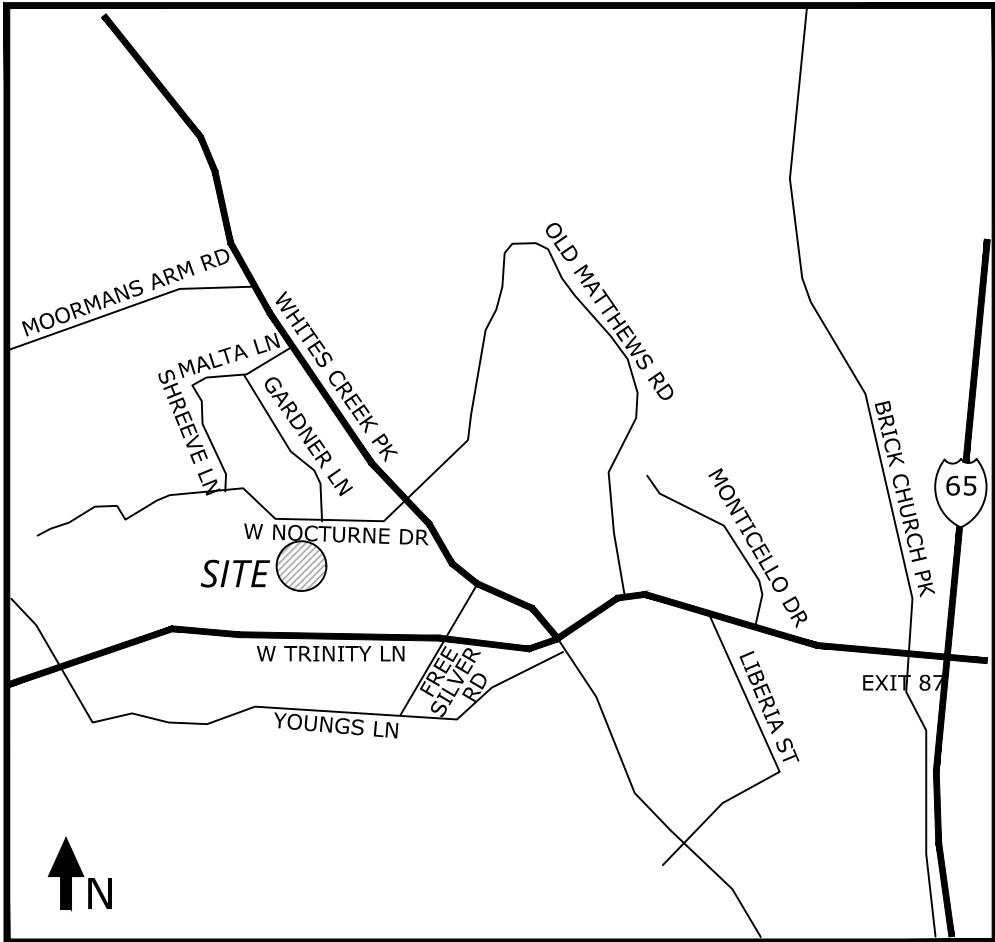
| Hydrologic Soil Groups |   |        |       |
|------------------------|---|--------|-------|
| Symbol                 | Name and Description                                  | Rating | Acres |
| BbD                    | Barfield-Rock outcrop complex, 5 to 20 percent slopes | D      | 8.8   |

NOTE: SOIL INFORMATION ON THIS SHEET WAS OBTAINED FROM NRCS ONLINE SOIL SURVEY DATA. AREAS ARE APPROXIMATE AND ARE FOR REFERENCE ONLY.

## Hydrologic Soil Groups

| Symbol | Name and Description                                  | Rating | Acres |
|--------|---|--------|-------|
| BbD    | Barfield-Rock outcrop complex, 5 to 20 percent slopes | D      | 8.8   |

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY S&ME, DATED 07/19/2021. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.



VICINITY MAP  
NOT TO SCALE

## NOTES

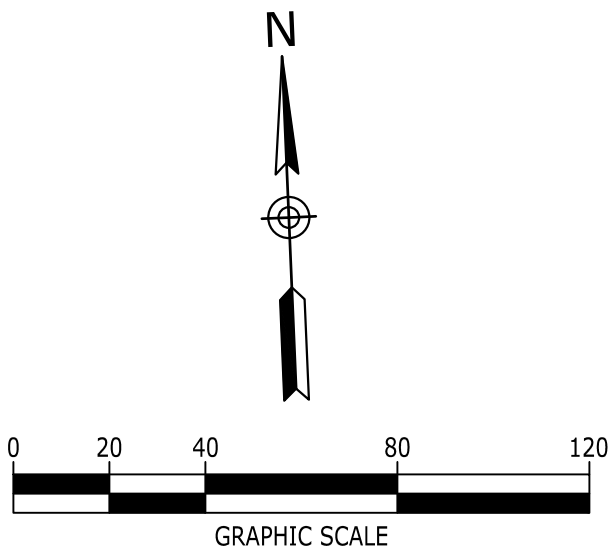
1. SURVEYOR'S LIABILITY FOR THE DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESSED RE-CERTIFICATION BY WHOSE SIGNATURE APPEARS UPON THE SURVEY.
2. PARCEL NUMBERS SHOWN AS THUS (00) REFER TO TAX MAP 70-04, DAVIDSON COUNTY, TENNESSEE, UNLESS NOTED OTHERWISE.
3. ALL DISTANCES WERE MEASURED WITH E.O.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
4. THE TENNESSEE STATE PLATE COORDINATE SYSTEM IS THE BASIS FOR THIS SURVEY. AND WAS ESTABLISHED USING RTK-GPS POSITIONAL DATA THAT WAS ACQUIRED ON THE DATE OF MAY 17, 2021 UTILIZING TRIMBLE RS8 OR RIO DUAL FREQUENCY RECEIVERS. THE GRID COORDINATES OF THE SURVEY CONTROL POINT SHOWN HEREON WERE DERIVED USING A VRS NETWORK OF CONTROL POINTS THAT COOK COUNTY HAS SUBMITTED TO THE NATIONAL DATUM OF 1983, NAD 83 (2011) (EPOCH 2010) GRID 12B. THE POSITIONAL ACCURACY OF THE GPS VECTORS DOES NOT EXCEED:  $H=0.2\sqrt{V+0.2}$ . THE COMBINED GRID FACTOR OF 0.99994702 WAS CALCULATED AT SURVEY CONTROL POINT #2 (N: 680999.55, E: 1732044.26).
5. THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS NOT DETERMINED TO BE IN A FLOOD HAZARD AREA BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM NUMBER 47037C02338, DATED APRIL 5, 2017.
6. THIS SURVEYOR WAS NOT PROVIDED WITH A TITLE COMMITMENT, THEREFORE THE PROPERTY IS SUBJECT TO THE FINDINGS OF A DETAILED TITLE SEARCH.
7. PRIOR TO ANY CONSTRUCTION, EXCAVATION OR ANY DISTURBANCE OF THE EXISTING GROUND ELEVATION, THE OWNER AND / OR CONTRACTOR SHOULD ASSUME RESPONSIBILITY OF CONTACTING THE LOCAL AUTHORITY JURISDICTIONS FOR EXACT LOCATION OF UNDERGROUND GAS LINES, TELEPHONE LINES, ELECTRIC CABLES, WATER LINES, ETC. TO AVOID ANY HAZARD OR CONFLICT. IN TENNESSEE, IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY LOCATION PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) OR MORE THAN (10) WORKING DAYS BEFORE THE DATE OF EXCAVATION. THE CONTRACTOR MAY POSSIBLE HAZARD OR CONFLICT. DIAL 811 FOR A ONE CALL CENTER.
8. UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATIONS THAT WERE APPARENT AND COPIED FROM APPROPRIATE GOVERNING AGENCIES MAPS AND ARE APPROXIMATE AT BEST. THERE MAY BE UTILITIES, THE EXISTENCE OF WHICH IS UNKNOWN TO THE SURVEYOR.
9. ALL DEED & PLAT REFERENCES ARE MADE TO THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE (RODC).
10. SURVEY FIELD DATA COLLECTED ON MAY 25, 2021.

**PROPERTY DESCRIPTION**

being a tract of land lying in the 2<sup>nd</sup> District of Davidson County, Nashville, Tennessee, and being Lots 9, 10, 11, 12 and 13 of Free Silver Plan Showing 2<sup>nd</sup> Addition and Other Lots Conveyed as recorded in Plot Book 323, Page 46, Register's Office of Davidson County, Tennessee, said lots are owned by the Plaintiff herein, and said Plaintiff has now sold said Free Silver Plan, said Lots 8 and 14 being Concrete Retaining Holdings II, LLC as recorded in Instrument Number 201903280028213, RDCD, bounded on the west by said Lot 14, on the east by said Lot 13, on the south by said Lot 9, and on the north by said Harold D. Street Eas as recorded in Book 80075, Pages 239, RDCD, by Dorothy Gentry Smith and Maria E. Hall as recorded in Instrument Number 201109280075053, RDCD, by Rosetta Miller Perry Etal as recorded in Book 8002, Page 273, RDCD, and by Lots 56, 55, 54, 53, 52, 51, 50, 49, 48, 47, 46, 45, 44, 43, 42, 41, 40, 39, 38, 37, 36, 35, 34, 33, 32, 31, 30, 29, 28, 27, 26, 25, 24, 23, 22, 21, 20, 19, 18, 17, 16, 15, 14, 13, 12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1, 0, 00, 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56 being James W. and Shirley Ann Detson as recorded in Instrument Number 200605150056648, RDCD, and bounded on the east by Lots 2, 3, 4, 5 and 29 of said Free Silver Plan, said Lots 2, 3 and 29 being REB16L, LLC as recorded in Instrument Number 201812210124367, RDCD, said Lots 4 and 5 being Pablo Martin Garcia as recorded in Instrument Number 20201009117662, RDCD. Said tract being more particularly described as follows:

[illegible]

Tract contains 381,640 square feet or 8.76 acres.  
Bearings based on Tennessee State Plane Coordinate System.



**Catalyst**  
DESIGN GROUP

5100 TENNESSEE AVENUE, NASHVILLE, TN 37209  
(615) 622-7200 | [WWW.CATALYST-DG.COM](http://WWW.CATALYST-DG.COM)

**RHYTHM  
DEVELOPMENT**  
500 CREATIVE WAY #24  
MADISON, TN 37115  
(615) 584-8996



PRELIMINARY SP  
CASE NO. 2021-051-001

839 WEST TRINITY  
LANE TOWNHOMES

DAVIDSON

[illegible]

DRAWING TITLE

## EXISTING CONDITIONS

PROJECT NUMBER  
20210107

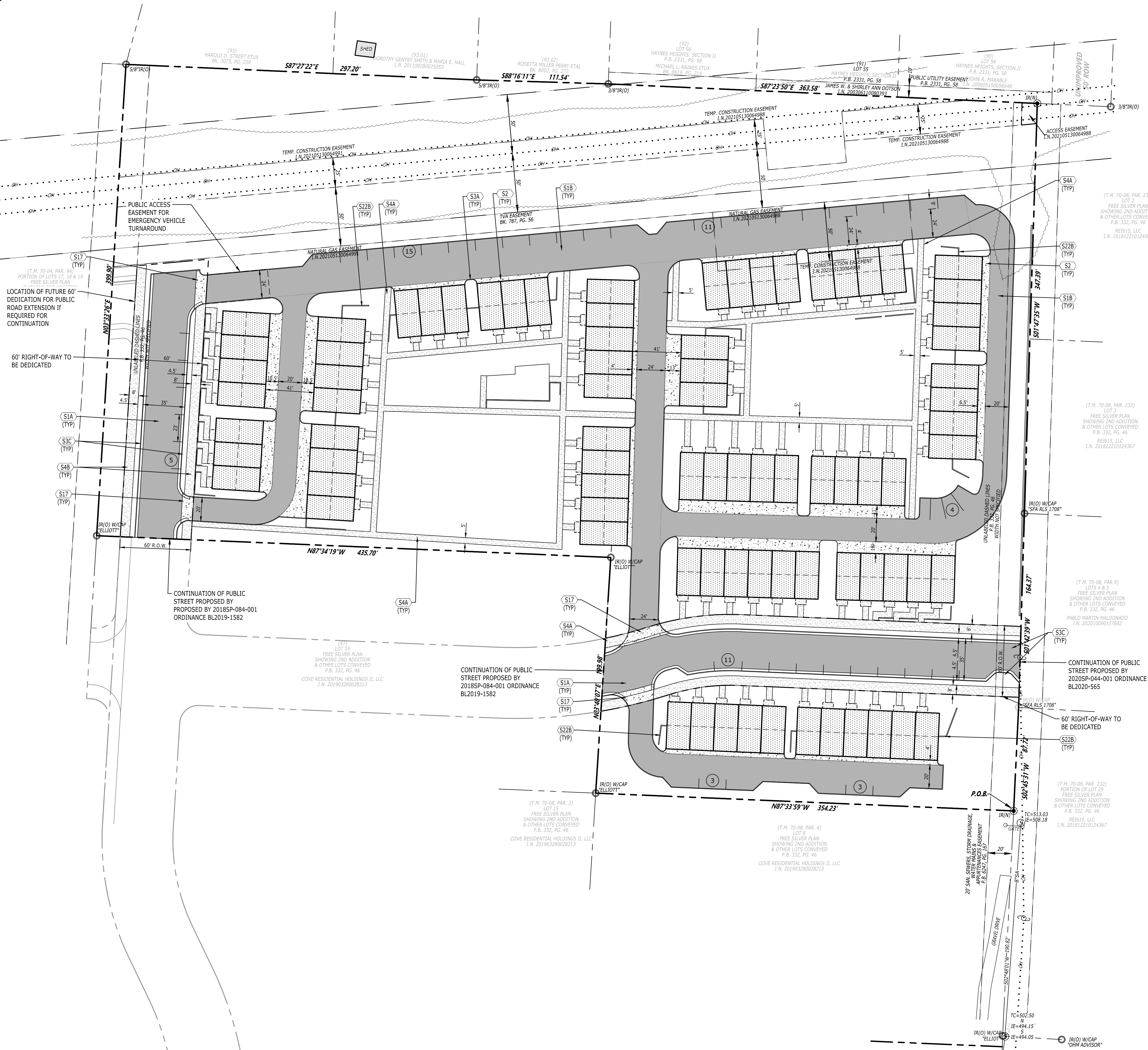
DRAWING NUMBER

# C1.0





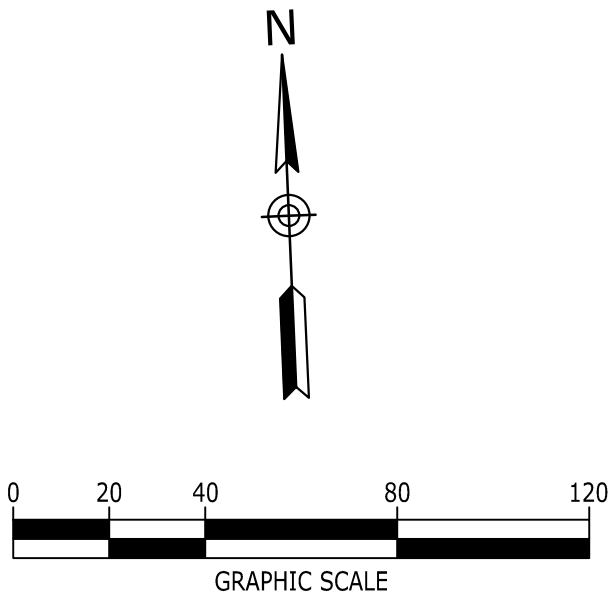




| SITE LAYOUT KEYNOTES |  |             |
|----------------------|--|-------------|
| CODE                 | DESCRIPTION                                    | DET #/SHT # |
| S1A                  | ASPHALT PAVEMENT - (PER METRO STANDARDS)       |             |
| S1B                  | ASPHALT PAVEMENT - HEAVY DUTY                  |             |
| S2                   | CONCRETE PAVEMENT                              |             |
| S3A                  | CONCRETE POST CURB                             |             |
| S3C                  | CONCRETE CURB & GUTTER - (PER METRO STANDARDS) |             |
| S4A                  | CONCRETE SIDEWALK                              |             |
| S4B                  | CONCRETE SIDEWALK - (PER METRO STANDARDS)      |             |
| S4C                  | CONCRETE SIDEWALK AT CURB & GUTTER             |             |
| S17                  | DRIVEWAY RAMP - (PER METRO STANDARDS)          |             |

NOTES:  
THE PROPOSED SPECIFIC PLAN BOUNDARY SHALL BE THE FULL EXTENTS OF THE PRE DEDICATION PROPERTY BOUNDARY.

| LEGEND              |           |
|---------------------|-----------|
| BUILDING            | [Pattern] |
| CONCRETE PAVEMENT   | [Pattern] |
| CONCRETE SIDEWALK   | [Pattern] |
| HEAVY DUTY PAVEMENT | [Pattern] |
| LIGHT DUTY PAVEMENT | [Pattern] |
| PAINTED STRIPE      | [Pattern] |
| CONCRETE CURB       | [Pattern] |
| CENTERLINE          | [Pattern] |
| TACTILE WARNING     | [Pattern] |
| SITE BOUNDARY       | [Pattern] |



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**RHYTHM DEVELOPMENT**  
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PRELIMINARY SP  
CASE NO. 2021-051-001

**839 WEST TRINITY LANE TOWNHOMES**  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

| DRAWING TITLE  |          |
|----------------|----------|
| LAYOUT PLAN    |          |
| PROJECT NUMBER | 20210107 |
| DRAWING NUMBER | C2.1     |



CHANNEL NOTED AS BLUE LINE STREAM PER METRO GIS ONLY AND THIS WATER FEATURE IS NOT INDICATED ON THE CURRENT QUAD MAP (NASHVILLE WEST) AS A BLUE LINE STREAM. NOR INDENTIFIED ON THE NATIONAL WETLANDS INVENTORY BY THE U.S. FISH & WILD LIFE WETLANDS OR ON TDEC'S HYDROLOGIC RESOURCE MAP VIEWER AS A WATER OF THE STATE.

30' ZONE 1 BUFFER, REQUIREMENT TO PROVIDE 30' BUFFER TO BE VERIFIED AT FINAL SP IN ACCORDANCE WITH VOLUME 1 CHAPTER 6 OF THE MWS STORMWATER MANAGEMENT MANUAL.

(T.M. 70-04, PAR. 94)  
PORTION OF LOTS 17, 18 & 19  
FREE SILVER PLAN  
SHOWING 2ND ADDITION  
& OTHER LOTS CONVEYED  
P.B. 332, PG. 46  
WILLIAM N. MARTIN ETUX  
BK. 3185, PG. 47

(T.M. 70-08, PAR. 232)  
LOT 2  
FREE SILVER PLAN  
SHOWING 2ND ADDITION  
& OTHER LOTS CONVEYED  
P.B. 332, PG. 46  
REIGIS, LLC  
I.N. 201812210124367

(T.M. 70-08, PAR. 21)  
LOT 14  
FREE SILVER PLAN  
SHOWING 2ND ADDITION  
& OTHER LOTS CONVEYED  
P.B. 332, PG. 46  
COVE RESIDENTIAL HOLDINGS II, LLC  
I.N. 201903200029213

(T.M. 70-08, PAR. 4)  
LOT 8  
FREE SILVER PLAN  
SHOWING 2ND ADDITION  
& OTHER LOTS CONVEYED  
P.B. 332, PG. 46  
COVE RESIDENTIAL HOLDINGS II, LLC  
I.N. 201903200029213

(T.M. 70-08, PAR. 232)  
LOT 3  
FREE SILVER PLAN  
SHOWING 2ND ADDITION  
& OTHER LOTS CONVEYED  
P.B. 332, PG. 46  
REIGIS, LLC  
I.N. 201812210124367

EXTENSION PUBLIC STORM  
SYSTEM TO WEST TRINITY  
THROUGH EXISTING EASEMENT



Know what's below.  
Call before you dig.



#### LEGEND

|                        |  |
|------------------------|--|
| STORM PIPE & INLET     |  |
| SPOT ELEVATION         |  |
| PROPOSED CONTOUR ELEV. |  |
| DRAINAGE STRUCTURE     |  |
| SILT FENCE             |  |
| TREE PROTECTION        |  |
| INLET PROTECTION       |  |
| STRAW BALE FILTER      |  |

#### NOTES

- "SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL. (MINIMUM DRIVEWAY CULVERT IN THE METRO ROW IS 15" CMP).
- THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.)
- THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE AND OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT AND FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS

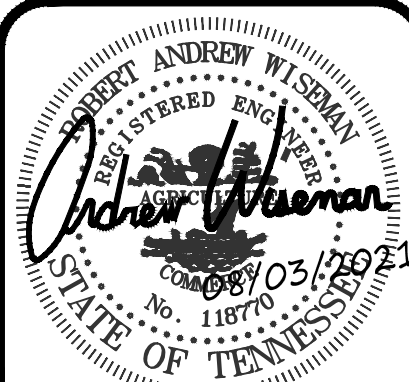
#### GRADING & DRAINAGE KEYNOTES

| CODE | DESCRIPTION                     | DET #/SHT # |
|------|---------------------------------|-------------|
| G1A  | CURB INLET                      |             |
| G2A  | CATCH BASIN                     |             |
| G3   | JUNCTION MANHOLE                |             |
| G5   | CLEANOUT                        |             |
| G6   | DETENTION POND OUTLET STRUCTURE |             |
| G7   | WATER QUALITY STRUCTURE         |             |
| G8A  | CONCRETE HEADWALL - WINGED      |             |
| G9   | RIPRAP AT HEADWALL              |             |

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CASE NO. 2021-051-001

**839 WEST TRINITY  
LANE TOWNHOMES**

NASHVILLE, TENNESSEE, 37207  
DAVIDSON










**RHYTHM  
DEVELOPMENT**

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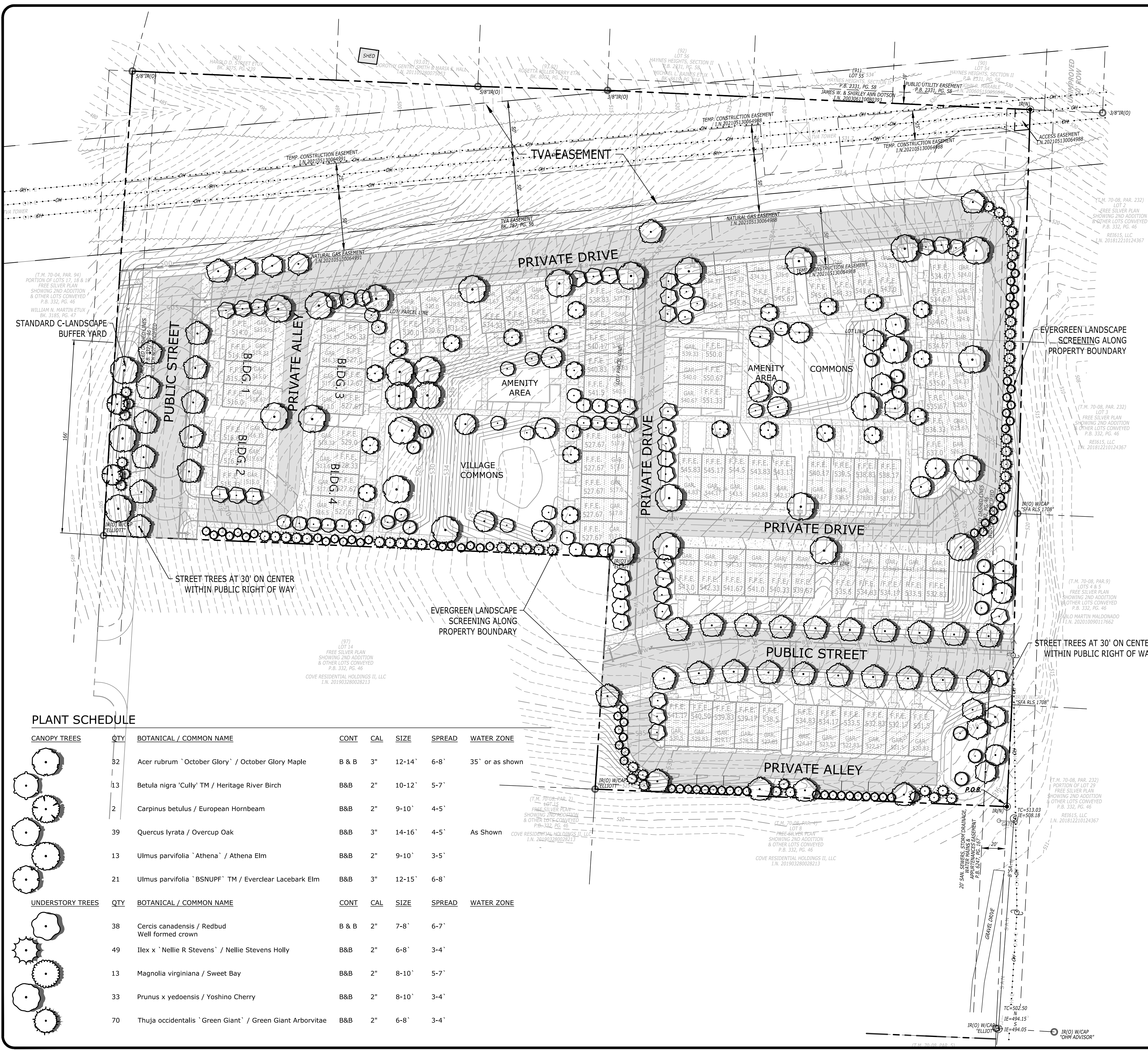
| LEGEND                          |   |
|---------------------------------|---|
| DOMESTIC WATER SERVICE          |  W   |
| FIRE SERVICE                    |  F   |
| GAS LINE                        |  GAS |
| THRUST BLOCK                    |      |
| CLEANOUT ON SANITARY SEWER LINE |      |
| PROPOSED FIRE HYDRANT           |      |
| UNDERGROUND ELECTRIC            |  UGE |

1. ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
2. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
3. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
4. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
5. IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
6. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
7. ALL SEWER SERVICES SHALL BE MINIMUM 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY
8. BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
9. PLAIN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.
10. ANY UNUSED EXISTING WATER METERS MUST BE CUT AND CAPPED AT THE PUBLIC MAIN.
11. ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FROM THE WATER MAIN TO THE METER BOX.

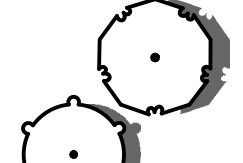
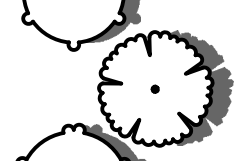

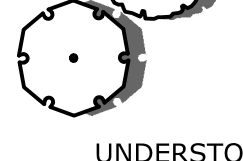
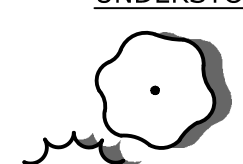
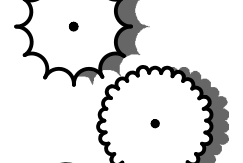

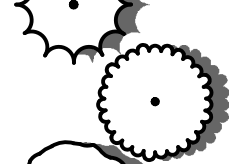
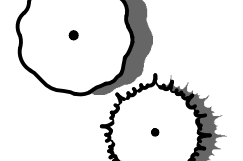


1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVIEWING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS IN DIGITAL (DWG AND PDF) FORMAT. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS TO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
  - A. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER AND/OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES.
  - B. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER AND/OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE.
9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
12. ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FROM THE WATER MAIN TO THE METER BOX.



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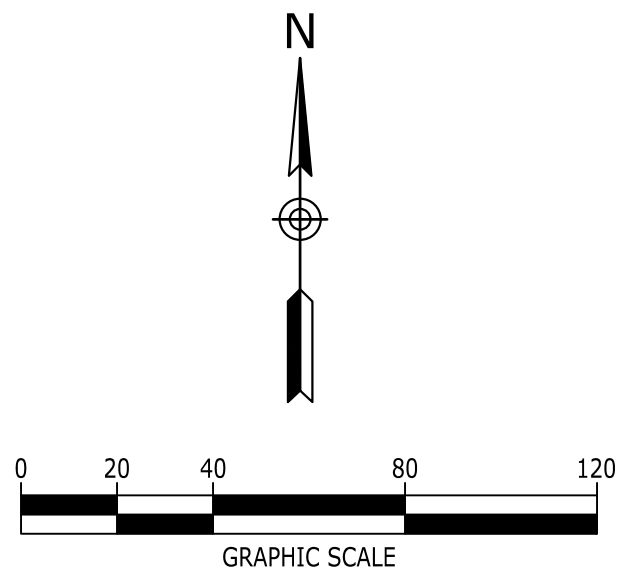


PLANT SCHEDULE

| CANOPY TREES  | QTY | BOTANICAL / COMMON NAME                                   | CONT  | CAL | SIZE   | SPREAD | WATER ZONE      |
|---|-----|---|-------|-----|--------|--------|-----------------|
|  | 32  | Acer rubrum `October Glory` / October Glory Maple         | B & B | 3"  | 12-14' | 6-8'   | 35' or as shown |
|  | 13  | Betula nigra `Cully` TM / Heritage River Birch            | B&B   | 2"  | 10-12' | 5-7'   |                 |
|  | 2   | Carpinus betulus / European Hornbeam                      | B&B   | 2"  | 9-10'  | 4-5'   |                 |
|  | 39  | Quercus lyrata / Overcup Oak                              | B&B   | 3"  | 14-16' | 4-5'   | As Shown        |
|  | 13  | Ulmus parvifolia `Athena` / Athena Elm                    | B&B   | 2"  | 9-10'  | 3-5'   |                 |
|  | 21  | Ulmus parvifolia `BSNUPF` TM / Everclear Lacebark Elm     | B&B   | 3"  | 12-15' | 6-8'   |                 |
| UNDERSTORY TREES  | QTY | BOTANICAL / COMMON NAME                                   | CONT  | CAL | SIZE   | SPREAD | WATER ZONE      |
|  | 38  | Cercis canadensis / Redbud Well formed crown              | B & B | 2"  | 7-8'   | 6-7'   |                 |
|  | 49  | Ilex x `Nellie R Stevens` / Nellie Stevens Holly          | B&B   | 2"  | 6-8'   | 3-4'   |                 |
|  | 13  | Magnolia virginiana / Sweet Bay                           | B&B   | 2"  | 8-10'  | 5-7'   |                 |
|  | 33  | Prunus x yedoensis / Yoshino Cherry                       | B&B   | 2"  | 8-10'  | 3-4'   |                 |
|  | 70  | Thuja occidentalis `Green Giant` / Green Giant Arborvitae | B&B   | 2"  | 6-8'   | 3-4'   |                 |

| TREE DENSITY UNIT WORKSHEET                             |                                       |       |           |
|---|---------------------------------------|-------|-----------|
| DATE  | JULY, 2021                            |       |           |
| PARCEL ID   | 07004009500, 07004009600, 07004009800 |       |           |
| APPLITION NUMBER  |                                       |       |           |
| PROJECT NAME  | 839 W TRINITY LANE                    |       |           |
| ADDRESS   | 839 W TRINITY LANE                    |       |           |
| ACREAGE   | 8.76                                  |       |           |
| BUILDING COVERAGE                                       | 1.50                                  |       |           |
| ADJUSTED ACREAGE<br>(Excluding 1.85 AC TVA<br>Easement) | 5.41                                  |       |           |
| REQUIRED DENSITY  | 22                                    |       |           |
| TOTAL REQUIRED TDU                                      | 5.4 X 22 = 119.02 TDU                 |       |           |
| REPLACEMENT TREES - LARGE & MEDIUM CANOPY TREES         |                                       |       |           |
| DBH   | #                                     | VALUE | TDU       |
| 2"  | 28                                    | 0.50  | 14.000000 |
| 3"  | 92                                    | 0.60  | 55.200000 |
| REPLACEMENT TREES - COLUMNAR & UNDERSTORY TREES         |                                       |       |           |
| DBH   | #                                     | VALUE | TDU       |
| 2"  | 203                                   | 0.25  | 50.750000 |
| 3"  | 0                                     | 0.30  | 0.000000  |
| TOTAL RETAINED TDU                                      | 0.00                                  |       |           |
| TOTAL REPLACED TDU                                      | 119.950000                            |       |           |
| TOTAL TDU PROVIDED                                      | 119.950000                            |       |           |
| TREE BANK PAYMENT                                       | 0 X \$725                             |       |           |

- NOTES
- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE SHALL BE MET.
  - FINAL LANDSCAPE PLAN SHALL BE APPROVED AT FINAL SP APPROVAL.



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PRELIMINARY SP  
CASE NO. 2021-051-001

**839 WEST TRINITY  
LANE TOWNHOMES**  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

DRAWING TITLE  
**LANDSCAPE PLAN**

PROJECT NUMBER  
20210107

DRAWING NUMBER  
**L1.0**