

GENERAL SP NOTE:

THE DEVELOPER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO SITE LAYOUT, LANDSCAPE, GRADING, AND UTILITY FEATURES AS NEEDED TO RESPOND TO BASIC DEVELOPMENT OF DESIGN INTENT, UNFORESEEN CONDITIONS, OR EXISTING CONDITIONS.

PLANNING NOTES:

- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASES THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS EMITTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT APPROVED.
- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF M.U.L. A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOOR/SWICH) AND A MINIMUM OF 15% GLAZING.
- WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
- EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
- PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

SP PURPOSE NOTE:

THE PURPOSE OF THIS SP IS TO REZONE 0.53± ACRES FROM IWD TO SP TO ALLOW FOR A 6,000 SF OFFICE BUILDING WITH TWO MULTIFAMILY UNITS ABOVE.

USES ALLOWED:
 ALL USES ALLOWED UNDER IWD ZONING
 MULTIFAMILY RESIDENTIAL

SITE DATA TABLE

OWNER:	BROUSSARD PLUMBING, INC. 117 LEMUEL RD. NASHVILLE, TN, 37207
PROPERTY ADDRESS:	117 LEMUEL RD. NASHVILLE, TN, 37207
PROPERTY DESCRIPTION:	PT OF LOT 11 LEN K HART SUB
EXISTING PROPERTY ZONING:	IWD
COUNCIL DISTRICT:	2nd (Kyanah Toombs)
PROPOSED LAND USE:	OFFICE, BUILDING CONTRACTOR SUPPLY, AND MULTIFAMILY RESIDENCE
TOTAL ACREAGE OF SITE:	0.53± ACRES
PROPOSED F.A.R.:	1.00
MINIMUM REQUIRED BUILDING SETBACKS	
FRONT SETBACK REQ'D/PROVIDED:	10'
SIDE SETBACK REQ'D/PROVIDED:	5'
REAR SETBACK REQ'D/PROVIDED:	20'
PROPOSED BUILDING AREA:	--- ± SF
MAXIMUM BUILDING HEIGHT:	2 STORY (35' HIGH FROM FFE)
BUILDING HEIGHT PROVIDED:	1 STORIES
ON-SITE PARKING:	
ALL USES TO BE PARKED ON SITE PER METRO ZONING ORDINANCE	
REQUIRED PARKING FOR GENERAL OFFICE USE:	2921 SQ FT, 300 ± SPACES
ACCESSIBLE PARKING SPACES REQUIRED = 1	
REQUIRED PARKING FOR MULTIFAMILY USE = 2	
PROPOSED PARKING STANDARD PARKING PROVIDED = 10 SPACES	
ACCESSIBLE PARKING PROVIDED = 1 VAN ACCESSIBLE SPACE	
TOTAL PARKING SPACES PROVIDED = 11 SPACES	

Note:
 IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TENNESSEE
SITE LOCATION:	117 LEMUEL ROAD NASHVILLE, TN 37207
OWNER:	BROUSSARD PLUMBING, INC. 117 LEMUEL ROAD NASHVILLE, TN 37207
APPLICANT:	BARGE CAUTHEN & ASSOCIATES, INC.

- STORMWATER NOTES:**
- 78-840 NOTE: ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE STORM WATER MANAGEMENT ORDINANCE NO. 28 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - PRELIMINARY PLAN NOTE: THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THE SITE.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15' CMP. STORMWATER QUALITY CONCEPT WILL BE A COMBINATION OF LID (BIORETENTION & PAVES) AND/OR WATER QUALITY VAULT IF APPROVED BY VARIANCE.

- FIRE MARSHAL NOTES:**
- New commercial developments shall be protected by a fire hydrant that complies with the 2008 edition of NFPA 1, Table H.
 - To see Table H go to: <http://www.nashfire.org/revtableH1.htm>
 - Project Engineer needs to meet with the Fire Marshals office concerning this project.
 - No part of any building shall be more than 500 ft from a fire hydrant via hard surface road. Metro Ordinance 095-1541 Sec. 1568.020B.
 - All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.6 feet.
 - All dead end roads over 150 ft in length require a 100 ft diameter turnaround, this includes temporary turnarounds.
 - Temporary T-type turnarounds that last no more than one year shall be approved by the Fire Marshal's Office.
 - If more than three stories above grade, Class 1 standpipe system shall be installed.
 - If more than one story below grade, Class 1 standpipe system shall be installed.
 - When a bridge is required to be used as part of a fire department access road, it shall be constructed and maintained in accordance with nationally recognized standards.
 - A fire hydrant shall be provided within a 100 ft of the fire department connection.
 - Fire hydrants shall be in-service before any combustible material is brought on site.

- NES NOTES:**
- Developer's drawing does not show any existing utility poles or easements on the properties.
 - Developer to provide a civil duct and gear (pad/switch) locations for NES review and approval. This shall cover the entire project area.
 - NES can meet with developer/engineer upon request to determine electrical service options. If a central metering room is required, NES Meter Department approval of planned location and access method.
 - NES needs any drawings that will cover any road improvements to Metro r-o-w that Public Works will require to evaluate possible relocations of existing or proposed electrical facilities for this project.
 - Developer shall work with Metro PW on street lighting. This is urban services area and must be in Metro's minimum requirements.
 - NES follows the National Fire Protection Association rules. Refer to NFPA 70 article 450-27, and NEC Section 110-152 A.2 for complete rules (see NES Construction Guidelines) under "Builders and Contractors" tab @ www.nespower.com
 - NES needs to know if the developer has other options on additional property next to this area. If so NES needs an overall concept plan.

- TO APPLY FOR SERVICE:**
- Developer to provide construction drawings and a digital .dwg file @ state plane coordinates (TNSS3) that contains the civil site information (Engineer shall provide approved plans by Metro Planning w/ any changes from other departments)
 - Developer to provide a proposed easement drawing for the electric, phone and CATV.
 - All street lighting shall meet Metro's requirements and be installed by developer.

Go to www.nespower.com click on the "BUILDERS & CONTRACTORS" tab. Next click on the "Apply for Residential Subdivision" fill out the form. Then follow the direction for sending the digital drawing and the forms.

FEMA NOTE:
 THIS PROPERTY DOES NOT LIE WITHIN FLOOD HAZARD AREAS AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL MAP NUMBERS: 470370234H, DATED: APRIL 05, 2017

- PUBLIC WORKS NOTES:**
- THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP FRONTAGE OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTION SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. WHERE FEASIBLE, VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
 - PARKING RATIOS SHALL BE PROVIDED AT OR ABOVE THE METRO ZONING CODE UOZ PARKING STANDARDS.
 - ANY REQUIRED RIGHT-OF-WAY WITHIN THE PROJECT SITE THAT IS IDENTIFIED AS NECESSARY TO MEET THE ADOPTED ROADWAY PLANS SHALL BE DEDICATED.
 - THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN, OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE.
 - THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP. THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC. ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS.
 - ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS. ALL STREETS AND ALLEYS TO BE PER METRO PUBLIC WORKS STANDARDS
 - ALL SIDEWALKS ON THE PROPERTY FRONTAGE ARE TO BE ADA COMPLIANT PRIOR TO UO PERMIT.
 - MPW TRAFFIC & PARKING CONDITIONS:
 - DEVELOPMENT WILL PROVIDE A CONTINUOUS PEDESTRIAN PATH, SEPARATED FROM VEHICULAR TRAVEL FROM WHITES CREEK PIKE TO DEVELOPMENT / GREENWAY EXTENSION
 - EXTEND SIDEWALK WITHIN FURNISHING ZONE AT THE VEGO BUS STOPS NEAR WHITE BRIDGE PIKE AT POST ROAD.
 - RELOCATE CURB RAMP IN SOUTHBOUND RIGHT-TURN SLIP LANE AT WHITE BRIDGE PIKE AT POST ROAD TO ALIGN PEDESTRIAN CURB RAMPS.

METRO WATER SERVICES NOTE:

- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 28 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

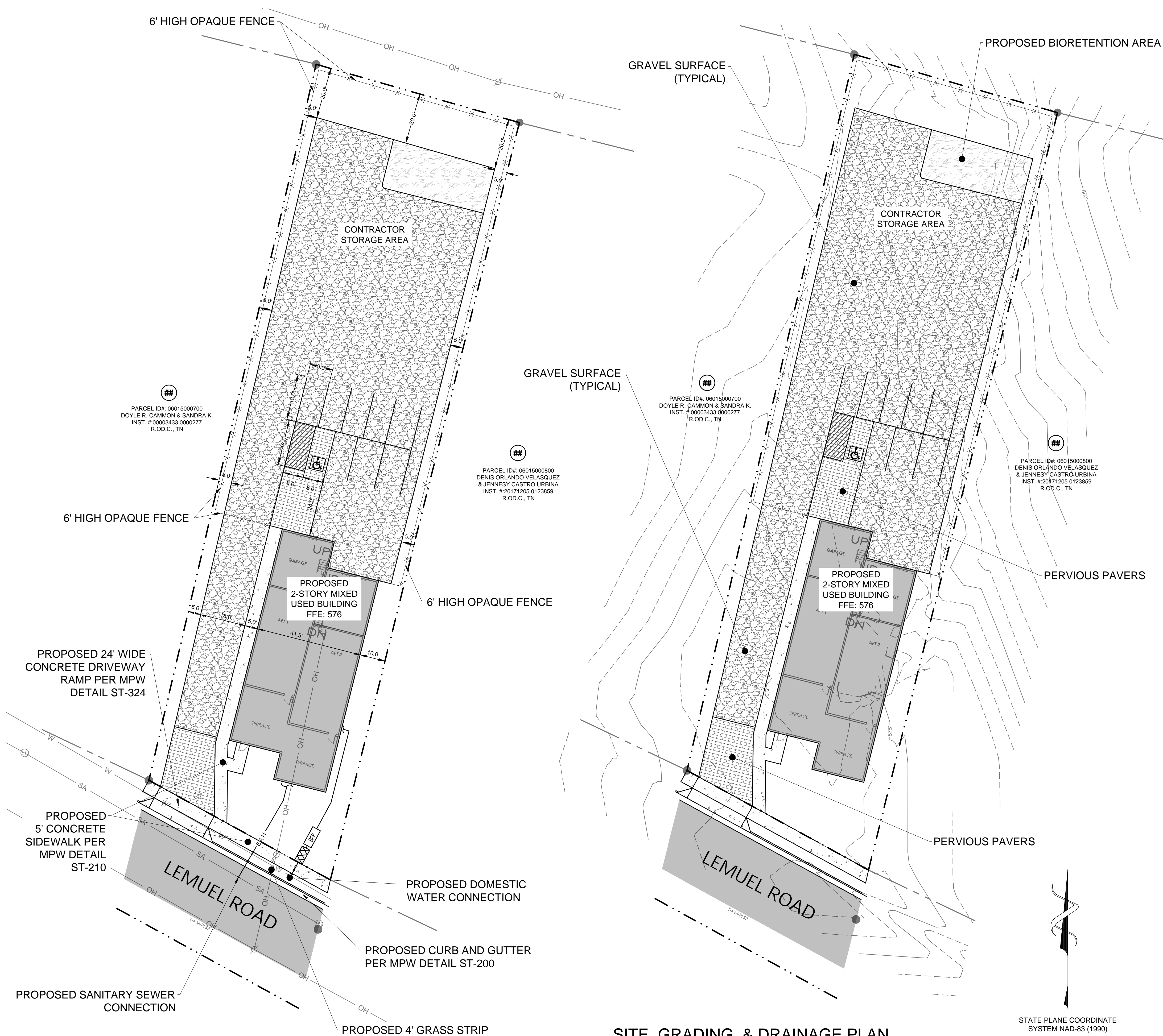
LANDSCAPE NOTE:
 THIS DEVELOPMENT SHALL MEET THE REQUIREMENTS OF SECTION 17.2A OF THE METRO ZONING ORDINANCE, LANDSCAPE, BUFFERING AND TREE REPLACEMENT.

ARCHITECT INFORMATION:
 ARCHITECT NAME: MANUEL ZEITLIN ARCHITECTS
 ARCHITECT ADDRESS: 516 HAGAN ST.
 NASHVILLE, TN 372

CIVIL ENGINEER INFORMATION:
 COMPANY NAME: BARGE CAUTHEN & ASSOCIATES, INC.
 COMPANY ADDRESS: 6606 CHARLOTTE PIKE, SUITE 210
 NASHVILLE, TENNESSEE 37209
 COMPANY PHONE: 615-356-9911

LAND SURVEYOR INFORMATION:
 COMPANY NAME: CROWE - WHEELER AND ASSOCIATES
 COMPANY ADDRESS: 2855 HALFWAY-HALFAX RD.
 SCOTTSVILLE, KY 42164

6' HIGH OPAQUE FENCE



PROPOSED 24' WIDE CONCRETE DRIVEWAY RAMP PER MPW DETAIL ST-324

PROPOSED 5' CONCRETE SIDEWALK PER MPW DETAIL ST-210

PROPOSED SANITARY SEWER CONNECTION

SITE LAYOUT & UTILITY PLAN

SITE, GRADING, & DRAINAGE PLAN

STATE PLANE COORDINATE SYSTEM NAD-83 (1990)

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0 10 20 40 60
 GRAPHIC SCALE

SHEET TITLE
BROUSSARD MECHANICAL
 117 Lemuel Road,
 Nashville, TN - 37207

DRAFT
 08-30-21
 NOT FOR
 CONSTRUCTION

MANUEL ZEITLIN ARCHITECTS 40 YEARS
 516 HAGAN STREET
 NASHVILLE, TN 37203
 615.256.2880

Civil Engineers
 6606 CHARLOTTE PIKE, STE. 210
 NASHVILLE, TENNESSEE 37209
 615.356.9911 PHONE
 615.352.6737 F A X

Barge Cauthen & ASSOCIATES

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SHEET TITLE
 SP SET
 Project Status
 DATE: Issue Date
 DRAWN BY: BCA
 PROJECT NO.: Proj. # 2973-01

SHEET NO.:
EX-1.0