

LICENSE AGREEMENT FOR PRIVATE ENCROACHMENTS
INTO THE PUBLIC RIGHT OF WAY

I/We, Midtown Hotel Partners, LLC, in consideration of the Resolution No. _____, to construct, maintain, install and/or operate an encroachment into, onto, over, or under the public right of way located at in Nashville, Davidson County, Tennessee, do hereby, for myself, my agents, customers, and assigns, waive and release and hold harmless The Metropolitan Government of Nashville and Davidson County, its agents, employees, and assigns from any and all claims, rights, or demands for damages that may arise from my/our use, construction and/or maintenance of the encroachment, to wit: (SEE ATTACHED DESCRIPTION OF ENCROACHMENT). I/We hereby certify to the Metropolitan Government of Nashville and Davidson County that I/We have executed a bond or liability insurance policy in such amount as agreed upon by the Director of Public Works and the Metropolitan Attorney, and in the form approved by the Metropolitan Attorney (per Metropolitan Code Section 38-1-1), which operates to indemnify and save The Metropolitan Government of Nashville and Davidson County harmless from all claims or demands that may result to persons or property by reason of the construction, operations or maintenance of the encroachment. I/We further agree that my/our obligations hereunder may not be assigned except upon approval of the Director of Public Works and the Metropolitan Attorney. I/We further acknowledge that any action that results in a failure to maintain said bond or liability insurance for the protection of The Metropolitan Government of Nashville and Davidson County shall operate to the granting of a lien to The Metropolitan Government of Nashville and Davidson County in the amount of the last effective bond/insurance policy. Said insurance or bond may not be cancelable or expirable except on 30 days notice to the Director of Public Works.

I/We further recognize that the license granted hereby is revocable by The Metropolitan Government upon recommendation of the Director of Public Works and approval by resolution of the Metropolitan County Council if it is determined to be necessary to the public welfare and convenience. In the event the Metropolitan Government revokes this license as contemplated by this paragraph, licensee will not be entitled to any compensation of any kind. This license shall also be strictly subject to the right of way easement owned by The Metropolitan Government. I/We agree to maintain, construct and use the encroachment in such a way as will not interfere with the rights and duties of the Metropolitan Government

as owner of the right of way. Said interference shall be additional grounds for revocation of the license for encroachment. I/We agree to pay the cost of construction, maintenance, use, as well as relocations cost of said encroachment. Licensee's failure to complete construction of the contemplated encroachment within 36 months of the date of approval by the Metropolitan Council will cause this license to terminate automatically. In the event the encroachment contemplated by this license is substantially destroyed, this license shall terminate unless fully restored by licensee within 36 months from the date of such destruction. In the event this license is revoked or terminated for any reason, licensee shall restore all public property to the condition obtaining at the time the license became effective at licensee's sole cost and expense.

DATE: 6-26-2020



Midtown Hotel Partners, LLC

(Owner of Property)

109 29th Ave N

(Address of Property)

Nashville, TN 37203

(City and State)

STATE OF TENNESSEE)
Knox
COUNTY OF DAVIDSON)

Sworn to and subscribed before

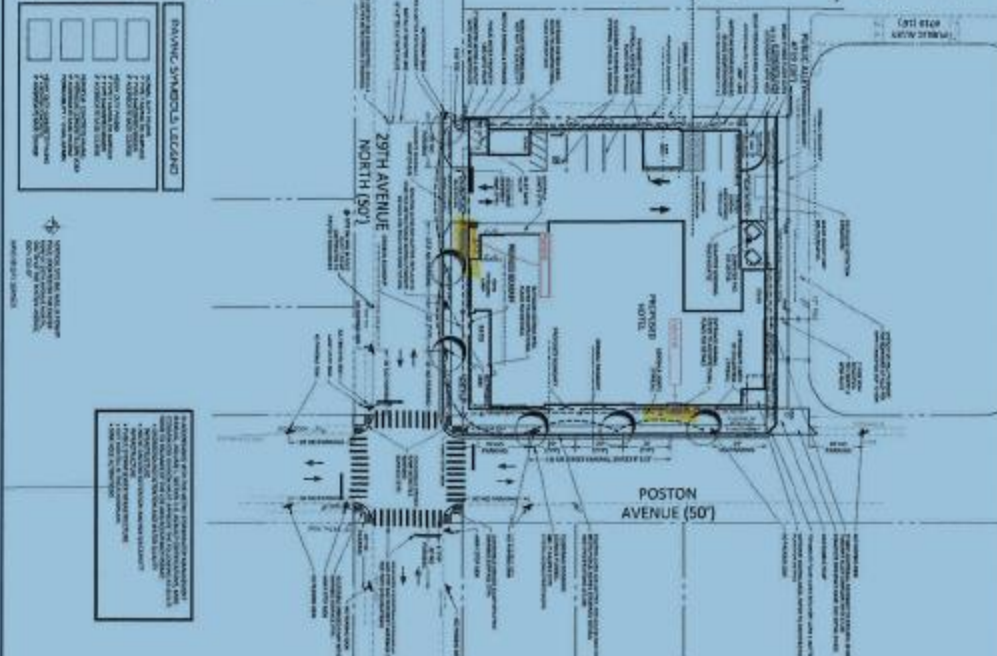
Me this 26th day of June, 2020

Kelley Lackey
(NOTARY PUBLIC)

My Commission Expires: 6-6-23



- COMMIT TO CONSTRUCTION**
1. The applicant shall obtain all necessary permits from the appropriate agencies.
 2. The applicant shall obtain all necessary approvals from the appropriate agencies.
 3. The applicant shall obtain all necessary approvals from the appropriate agencies.
 4. The applicant shall obtain all necessary approvals from the appropriate agencies.
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 20. The applicant shall obtain all necessary approvals from the appropriate agencies.



DEVELOPMENT NOTES

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FINANCIAL SUMMARY

| | |
|-----------------|--------------------|
| Item | Amount |
| 1. Construction | \$1,000,000 |
| 2. Land | \$500,000 |
| 3. Other | \$200,000 |
| Total | \$1,700,000 |

VICINITY MAP

SPECIFIC PLAN

PROJECT: Fairfield Inn & Suites
 208 Ave. N. Peckin Ave.
 Nashville, TN

Northeast Consulting
 711 EASTGATE LOOP, SUITE 80843 CHATTANOOGA, TN 37411
 423.41.1436
 en@northeastconsulting.com

C-SP
 17436
 AMPLIFYING THE STATE

CANOPY #1 on 29th

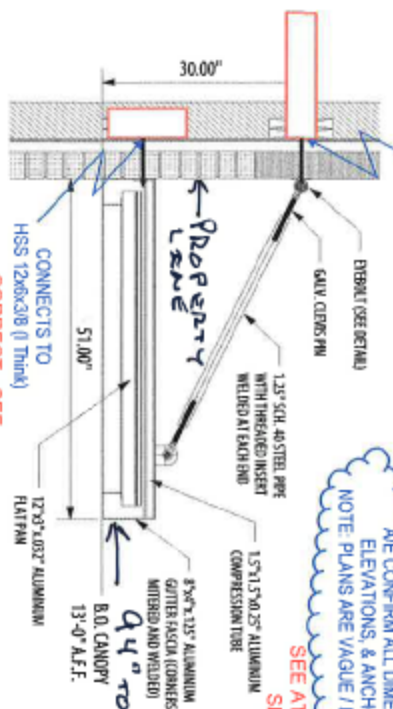
MEASUREMENTS TO BE FIELD VERIFIED
ATTACHMENTS TO BE VERIFIED BY CERTIFIED ENGINEER

VESTIBULE 1001

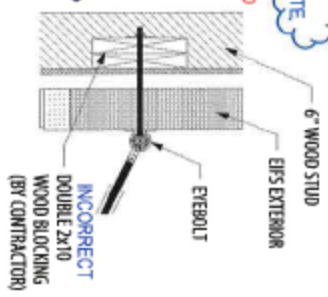
CONNECTS TO CORRECT - SEE
PT SLAB (1 Thick) DETAIL 8/54.02

AE CONFIRM ALL DIMENSIONS,
ELEVATIONS, & ANCHORING.
NOTE: PLANS ARE VAGUE / INCOMPLETE

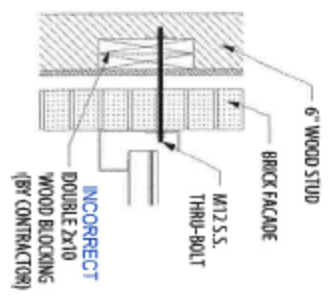
SEE ATTACHED
SK-01



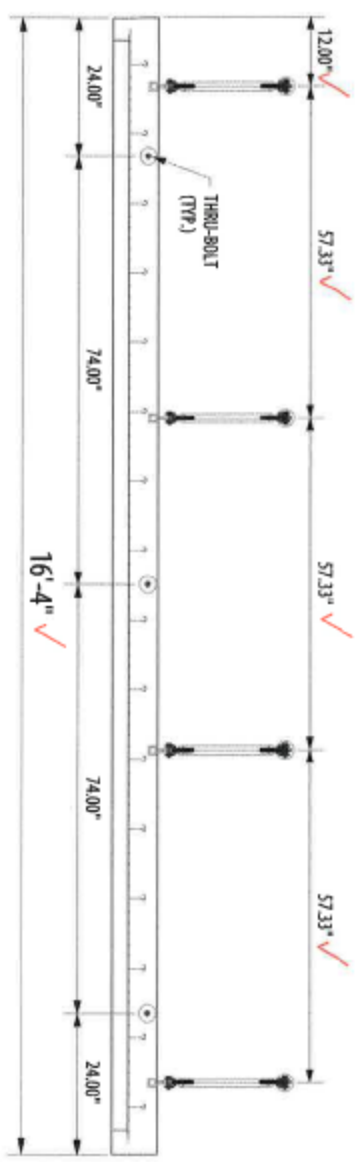
SIDE SECTION
CORRECT - SEE
DETAIL 8/54.02



EYEBOLT ATTACHMENT

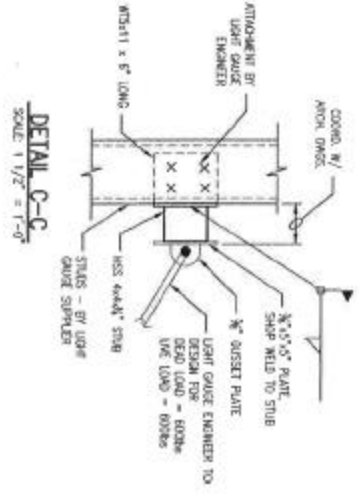
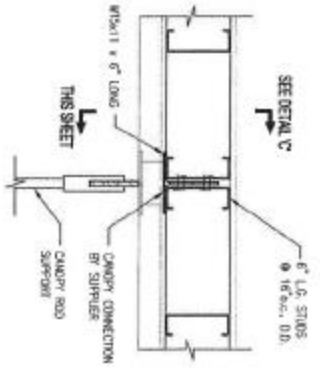
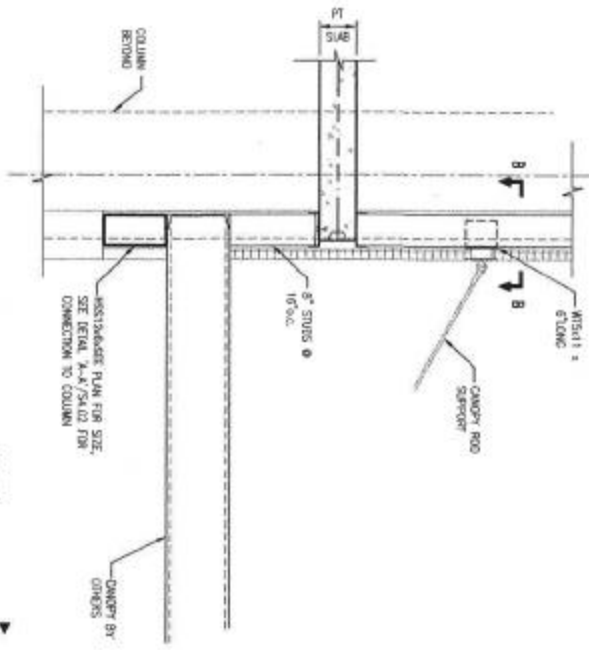


CANOPY ATTACHMENT



CANOPY ELEVATION

| | | | | |
|---|-----------|------------------------------------|----------|--|
|  <p>TENNESSEE AWNINGS 6600 NEW NASHVILLE HWY., STE 140 SMERNA, TN 37167 (615) 949-8034 WWW.TENNESSEAWNINGS.COM</p> | Customer: | HUMPHREYS & ASSOCIATES CONTRACTORS | Project: | FAIRFIELD INN & SUITES 109 29TH AVENUE NORTH NASHVILLE, TN 37203 |
| | Contact: | DAVID BOYD | Phone: | 423-421-0996 |
| | Email: | DAVIDB@HUMPHREYSASSOCIATES.COM | | |

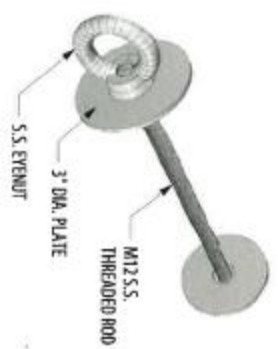


TYPICAL CONNECTION DETAIL



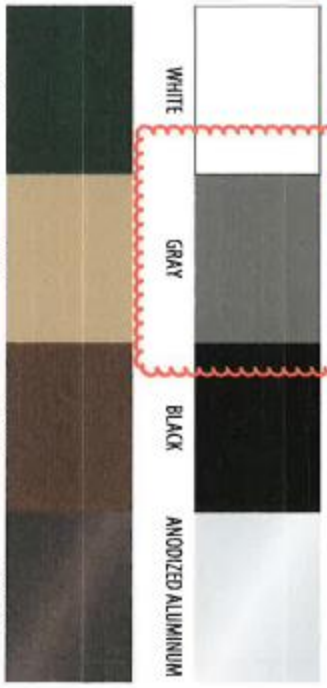
CANOPY #1

ISOMETRIC



EYEBOLT DETAIL

ARCHITECT SELECT COLOR

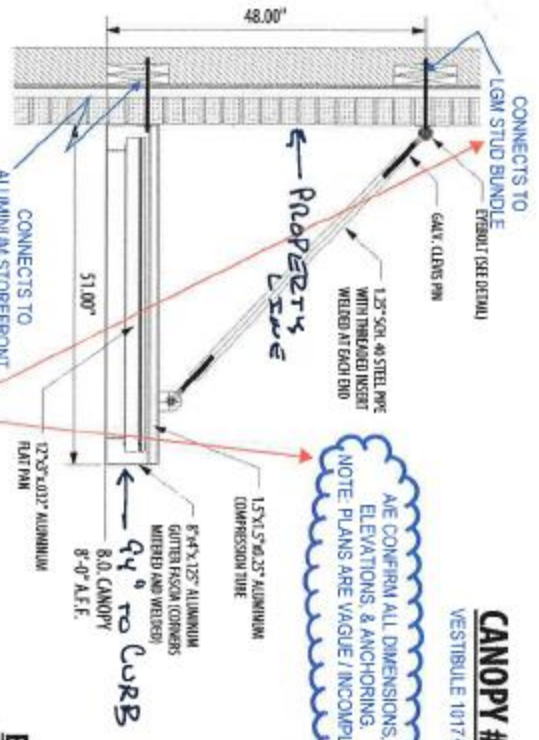


POWDER-COAT FINISH OPTIONS

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|--|--|---|--|
|  <p>TENNESSEE AWNINGS 6670 NEW NASHVILLE HWY., STE 140 SMYRNA, TN 37167 (615) 899-8034 WWW.TENNESSEAWNINGS.COM</p> | | <p>Customer: HUMPHREYS & ASSOCIATES CONTRACTORS Contact: DAVID BOYD Phone: 423-421-0996 Email: DAVIDB@HUMPHREYSASSOCIATES.COM</p> | <p>Project: FAIRFIELD INN & SUITES 109 29TH AVENUE NORTH NASHVILLE, TN 37203</p> |
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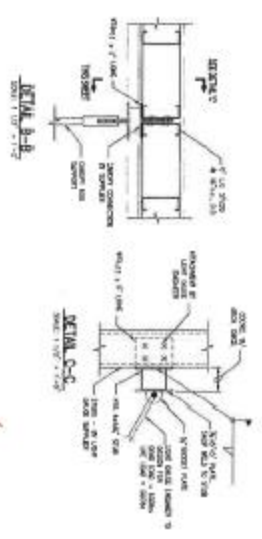
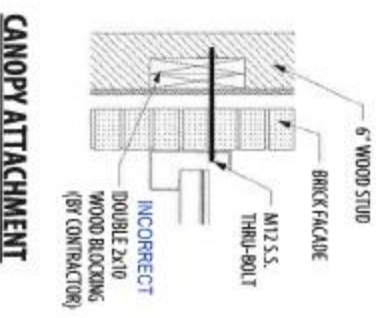
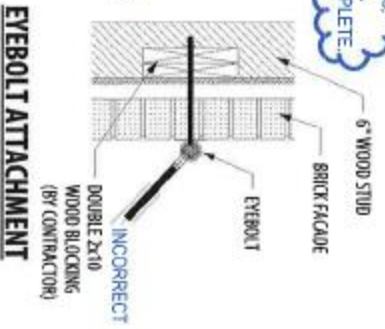
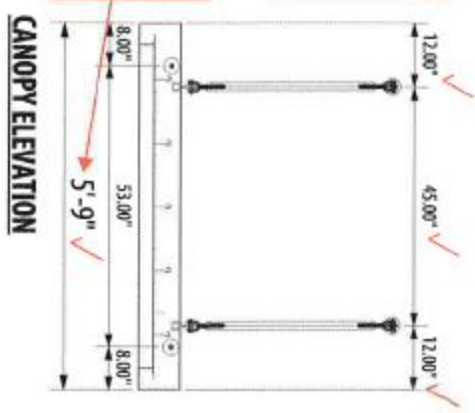
CANOPY #2 on Post on

MEASUREMENTS TO BE FIELD VERIFIED
ATTACHMENTS TO BE VERIFIED BY CERTIFIED ENGINEER



CORRECT:
SEE ATTACHED SK-02 FOR STAIR 01
SEE ATTACHED SK-03 FOR VESTIBULE 1017

NOTE ON OVERALL DIMENSIONS FOR THIS TYPE:
STAIR 01 = 5'-9" OVERALL
VESTIBULE 1017 = 5'-2" OVERALL

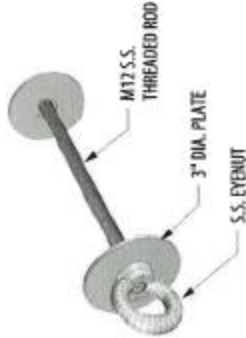
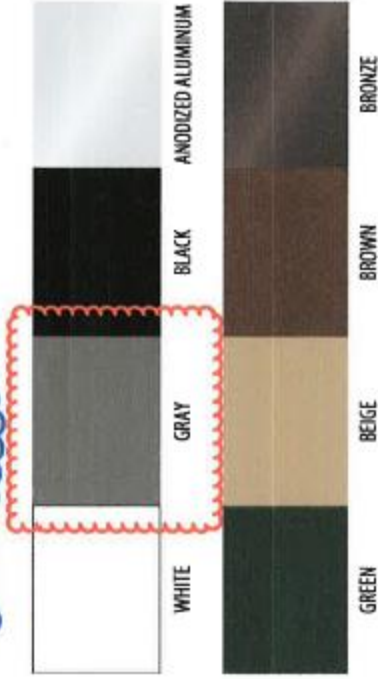


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| <p>TENNESSEE AWNINGS 6670 NEW MADISON HWY, STE 140 SMYRNA, TN 37167 (615) 849-4034 WWW.TENNESSEEAWNINGS.COM</p> | Customer: | HUMPHREYS & ASSOCIATES CONTRACTORS | Project: | FAIRFIELD INN & SUITES 109 29TH AVENUE NORTH NASHVILLE, TN 37203 |
| | Contact: | DAVID BOYD | Phone: | 423-421-0996 |
| | Email: | DAVIDB@HUMPHREYSSOCIATES.COM | | |

CANOPY #2-#3



ISOMETRIC



EYEBOLT DETAIL

POWDER-COAT FINISH OPTIONS

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|--|-----------|------------------------------------|---------------------|-----------------------|------------------------|--|
|  TENNESSEE AWNINGS 6678 NEW NASHVILLE HWY, STE 140 SNYDER, TN 37167 (615) 849-8034 WWW.TENNESSEAWNINGS.COM | Customer: | HUMPHREYS & ASSOCIATES CONTRACTORS | | Project: | FAIRFIELD INN & SUITES | |
| | Contact: | DAVID BOYD | Phone: 423-421-0996 | 109 29TH AVENUE NORTH | | |
| | Email: | DAVIDDB@HUMPHREYSASSOCIATES.COM | | NASHVILLE, TN 37203 | | |