PRELIMINARY
SPECIFIC DEVELOPMENT PLAN
FOR
A+ SELF STORAGE

2811 PATRIOT WAY
NASHVILLE, TN. 37214
CASE NO.: 2024SP-032-001
[PARCEL ID: 09613021500]

SHEET LIST TABLE	
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C-3.0	SITE UTILITY PLAN
L-1.0	LANDSCAPE PLAN

DEVELOPMENT SUMMARY:

• SP NAME:	A+ SELF STORAGE
• SP NUMBER:	2024SP-032-001
• COUNCIL DISTRICT:	15
• COUNCIL MEMBER:	JEFF GREGG
• OWNER OF RECORD:	NASHVILLE HANSHIN COMMUNITY CHURCH 937 ALLEN ROAD NASHVILLE, TN. 37214
• PROJCET REPRESENTATIVE:	JOSH KING JTP, LLC. JOSHTHEPLANNER@GMAIL.COM
• CIVIL DESIGN PROFESSIONAL:	DANIEL J. SMOLA, P.E. HARPETH CIVIL, INC. PO BOX 313 PEGRAM, TN. 37143 (615) 730-3502
• DEVELOPER:	A+ SELF STORAGE 6200 HOSPITALITY DRIVE FRANKLIN, TN. 37067 SDRUMM@PHBCO.COM
• FEMA FIRM PANEL NUMBER:	THIS SITE DOES NOT LIE WITHIN THE 100-YR PLAIN AND IS DETERMINED TO BE LOCATED IN THE ZONE 'X' PER FEMA PANEL: 47034C0268H - ZONE X

DEVELOPMENT SITE DATA:

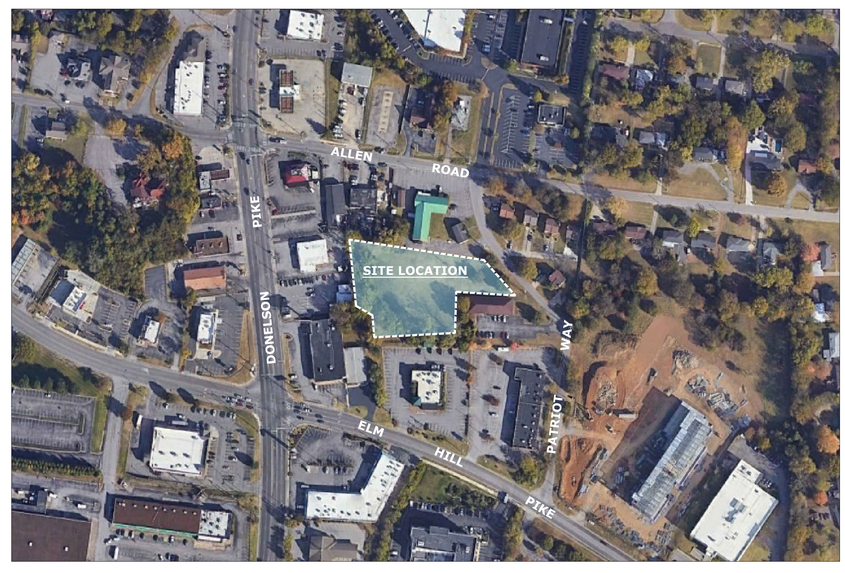
• PARCEL ID:	09613021500
• SITE ADDRESS:	2811 PATRIOT WAY NASHVILLE, TN. 37214
• SITE ACREAGE:	1.8 Ac.
• NO. OF LOTS	1 EX. / 1 PROP.
• EXISTING ZONING:	CS & OR20
• FALLBACK ZONING:	CS
• ZONING OVERLAY:	OV-AIR
• EXISTING LAND USE:	VACANT
• PROPOSED LAND USE	COMMERCIAL - SELF SERVICE STORAGE
• PROPOSED DENSITY	N/A
• DWELLING UNITS	N/A

BUILDING DATA

• BUILDING HEIGHT:	54'-6 1/8" FRONT / 65-3 3/4" REAR (SEE ARCHITECTURAL ELEVATIONS)
• NO. OF STORIES:	5 STORIES
• BUILDING GROSS FLOOR AREA:	107,310 SF
•FAR:	1.37
• SETBACKS:	
FRONT	15 FT. MIN
REAR	20 FT. MIN
SIDE	10 FT. MIN
• IMPERVIOUS SURFACE RATIO (ISR):	0.48
BUILDINGS:	21,491 SF
ROADS, DRIVES, & SIDEWALKS:	16,010 SF
OPENSPACE:	40,907 SF

PARKING REQUIREMENTS

METRO CODE REQ.:	
SELF-SERVICE STORAGE:	4 SPACES REQUIRED
TOTAL PARKING PROVIDED:	9 SPACES PROVIDED (INC. 1 ACCESSIBLE STALL)



VICINITY MAP

SCALE: 1" = 400'

0 400 800 1200

SURVEY NOTE:
THE BASE INFORMATION CONTAINED HERE WITHIN WAS PROVIDED BY CROW LAND SURVEYING, INC. IN ELECTRONIC FORMAT AND DATED 03/01/2024. HARPETH CIVIL, INC. (HCI) AND ANY OF THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY, COMPLETENESS, OR ERROR, AND OMISSIONS RESULTING FROM SUCH.

PRELIMINARY SP NOTES:

1. THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY SP APPROVAL TO PERMIT THE DEVELOPMENT OF A OF A 107,310 SQUARE FOOT SELF STORAGE BUILDING.
2. THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
3. BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
4. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
5. OVERALL BUILDING HEIGHT TO BE MEASURED PER METRO CODE.
6. OVERALL LANDSCAPING TO BE PROVIDED PER METRO CODE.
7. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
8. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
9. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
10. FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
11. APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
12. IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN SPRING OF 2025 AND BE COMPLETED BY FALL OF 2026.

ISSUANCE / REVISIONS:

NO.	DESCRIPTION	DATE
1	PRELIMINARY SP SUBMITTAL	07/30/2024
2	PRELIMINARY SP RESUBMITTAL	08/21/2024
3	PRELIMINARY SP RESUBMITTAL	10/1/2024
4	PRELIMINARY SP RESUBMITTAL	10/18/2024

DEVELOPER:
SCOTT DRUMM
A+ SELF STORAGE
6200 HOSPITALITY DRIVE
FRANKLIN, TN. 37067
SDRUMM@PHBCO.COM

CIVIL ENGINEER:
DANIEL SMOLA, P.E.
HARPETH CIVIL, INC.
PO BOX 313
PEGRAM, TN. 37143
DAN@HARPETHCIVIL.COM

ARCHITECT:
PAUL BASS
CONSORTIUM
1104 WEST MAIN STREET
FRANKLIN, TN. 37064
PAULB@CORSORTI4.COM

LANDSCAPE ARCHITECT:
AL WILKINSON LANDSCAPE ARCHITECT
3057 LIGHTS CHAPEL ROAD
GREENBRIAR, TN. 37073
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HCI PN 0563-23A

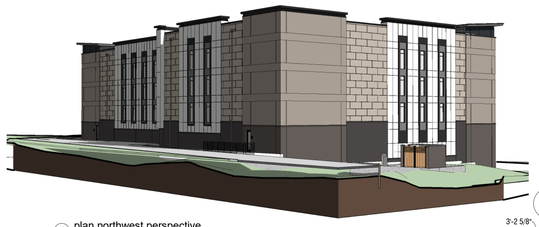
COVER SHEET

C-0.0

1 plan north elevation
1/8" = 1'-0"

1/8" = 1'-0" SCALE 5 0 5 10 15 20 FEET

3 plan northeast perspective



4 plan northwest perspective

glazing percentage - north & east face

plan north elevation		
	overal buildng	
glazing area (sf)	face area (sf)	% of glazing
473.50	10,236.33	4.63%

plan east elevation		
	overal buildng	
glazing area (sf)	face area (sf)	% of glazing
818.09	6,836.87	11.97%

exterior material general note:

BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.

elevation keynotes

1. PREFINISHED METAL COPING - COLOR: PAC-CLAD TRADITIONAL BLACK OR EQUAL.
2. MISC. METAL STUD FRAMED PARAPET WRAPPED IN FORMED METAL COPING - COLOR: PAC-CLAD TRADITIONAL BLACK OR EQUAL. REFER TO DETAIL XX/XXXX
3. MASONRY CONTROL JOINT REFER TO DETAIL 21/g200
4. BRICK ROWLOCK | | COLOR: CHARCOAL GRAY VELOUR
5. BRICK ROWLOCK | | COLOR: FRENCH GRAY WIRECUT
6. PREFINISHED ALUMINUM DOWNSPOUT. COLOR: PAC-CLAD CITYSCAPE OR EQUAL.
7. PREFINISHED ALUMINUM COLLECTOR HEAD. COLOR: PAC-CLAD CITYSCAPE OR EQUAL.
8. ALUMINUM TRIM AT OVERFLOW SCUPPER. COLOR: PAC-CLAD CITYSCAPE OR EQUAL.
9. REVEAL PANEL SYSTEM - RECESSED HORIZONTAL TRIM - REFER TO DETAIL XX/XXX
10. REVEAL PANEL SYSTEM - HORIZONTAL JOINT AT SUBSTRATE CHANGE - REFER TO DETAIL XX/XXX
11. REVEAL PANEL SYSTEM - VERTICAL EXPANSION JOINT - REFER TO DETAIL XX/XXXX
12. REVEAL PANEL SYSTEM - SURROUND VERTICAL TRIM - REFER TO DETAIL XX/XXX
13. ENTRY CANOPY - REFER TO DETAIL XX/XXXX
14. EXTERIOR LIGHTING - REFER TO ELECTRICAL
15. STANDING SEAM METAL ROOF
16. EXTERIOR BUILDING SIGNAGE - **REFER TO DETAIL XX/XXXX**

zone 4 - building envelope requirements fenestration

METAL FRAMING		
FIXED FENESTRATION		0.38
OPERABLE FENESTRATION		0.45
ENTRANCE DOORS		0.77
SHGC - ALL FRAME TYPES		
ORIENTATION	**SEW**	**NORTH**
SHGC: PF < 0.20	0.36	0.48
SHGC: 0.20 < PF < 0.5	0.43	0.43
SHGC: PF > 0.5	0.58	0.58

zone 4 - building envelope requirements

ROOFS	
INSULATION ENTIRELY ABOVE DECK	R-30 CONTINUOUS
WALLS ABOVE GRADE	
METAL FRAMED (TYPE I-B)	R-13 + R-7.5 CONTINUOUS
SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	R-10 FOR 24IN. BELOW
FLOORS ABOVE GRADE	
UNDERSIDE OF PT SLAB	R-10 CONTINUOUS
OPAQUE DOORS	
SWINGING	U-0.61

general elevation notes

STOREFRONT ASSEMBLIES:

1. DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
2. GLAZING TO BE 1" INSULATED PPG SOLAR CLEAR AND SOLARBAN 60 (3) CLEAR

hvac screening

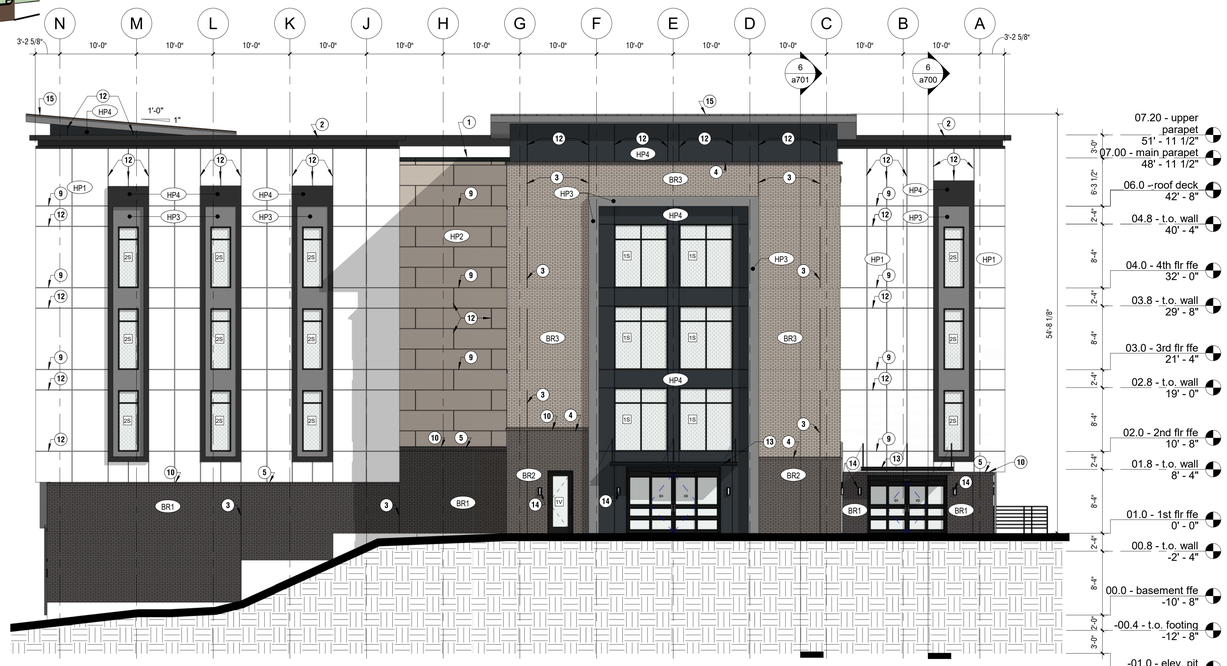
ALL HVAC EQUIPMENT WILL BE PLACED ON THE ROOF AND ADEQUATELY SCREENED BY THE CONTINUOUS PARAPET.

material legend

- BR1 — MANUFACTURER: GLEN-GERY; COLOR NAME: FRENCH GRAY WIRECUT
- BR2 — MANUFACTURER: GLEN-GERY; COLOR NAME: CHARCOAL GRAY VELOUR
- BR3 — MANUFACTURER: GLEN-GERY; COLOR NAME: CASTILE GRAY VELOUR
- HP1 — HARDIE REVEAL PANEL SYSTEM | COLOR #1; COLOR: SHERWIN WILLIAMS | SW 9582; COLOR NAME: WHITE SAND
- HP2 — HARDIE REVEAL PANEL SYSTEM | COLOR #2; COLOR: SHERWIN WILLIAMS | SW 99165; COLOR NAME: GOSSAMER VEIL
- HP3 — HARDIE REVEAL PANEL SYSTEM | COLOR #3; COLOR: SHERWIN WILLIAMS | SW 7622; COLOR NAME: HOMBURG GRAY
- HP4 — HARDIE REVEAL PANEL SYSTEM | COLOR #4; COLOR: SHERWIN WILLIAMS | SW6258; COLOR NAME: TRICORN BLACK

glazing legend

- 1" INSULATED GLAZING
- 1" INSULATED SPANDREL GLAZING



2 plan east elevation
1/8" = 1'-0"

1/8" = 1'-0" SCALE 5 0 5 10 15 20 FEET

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client:

a+ STORAGE

project:

a+ storage || donelson

multi-story self-storage facility || 5 stories above grade with basement level

2811 patriot way || nashville, tennessee 37211

revisions

date: 10.18.2024

project no.: c24010.00

building elevations

a400

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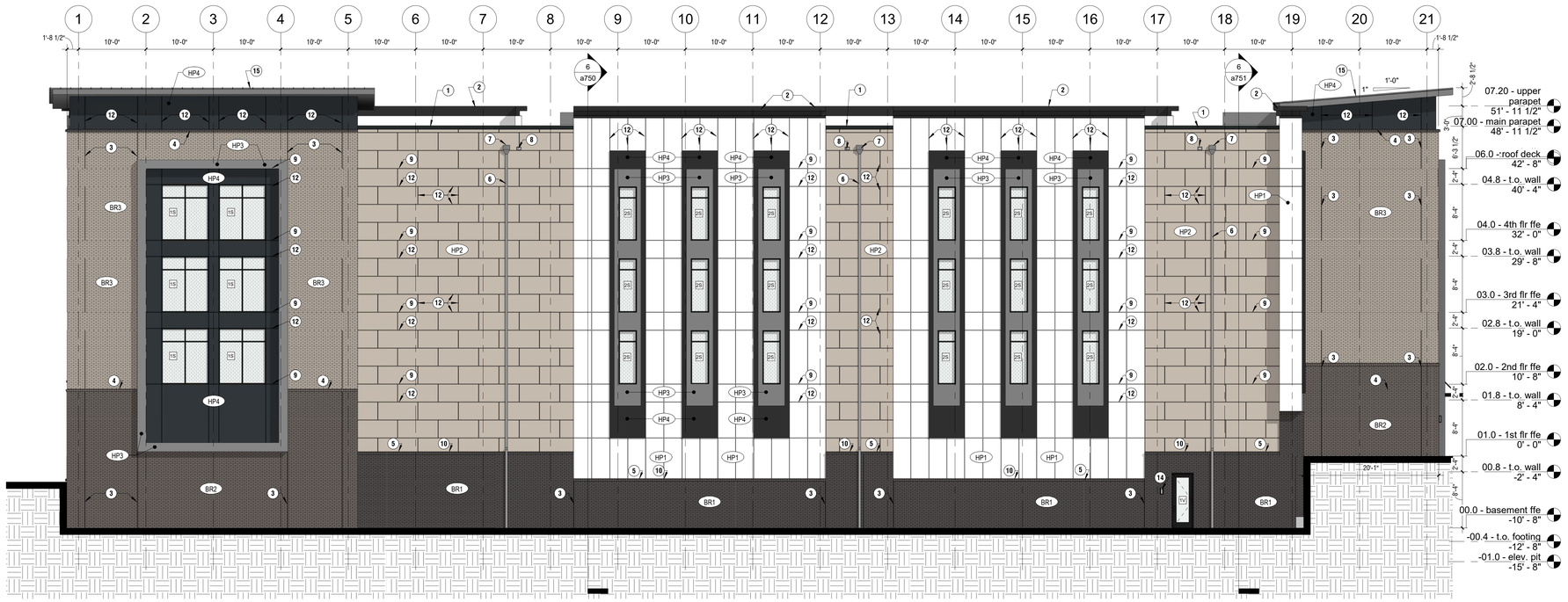

1 plan south elevation
1/8" = 1'-0"

SCALE 5 0 5 10 15 20 FEET

glazing percentage - south & west face

plan south elevation		
	overal buildng	
glazing area (sf)	face area (sf)	% of glazing
760.17	12,365.94	6.15%

plan west elevation		
	overal buildng	
glazing area (sf)	face area (sf)	% of glazing
192.00	7,004.14	2.74%

exterior material general note:

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3 plan southwest perspective

4 plan southeast perspective

elevation keynotes

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zone 4 - building envelope requirements

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FLOORS ABOVE GRADE	
UNDERSIDE OF PT SLAB	R-10 CONTINUOUS
OPAQUE DOORS	
SWINGING	U-0.61

general elevation notes

STOREFRONT ASSEMBLIES:

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hvac screening

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glazing legend

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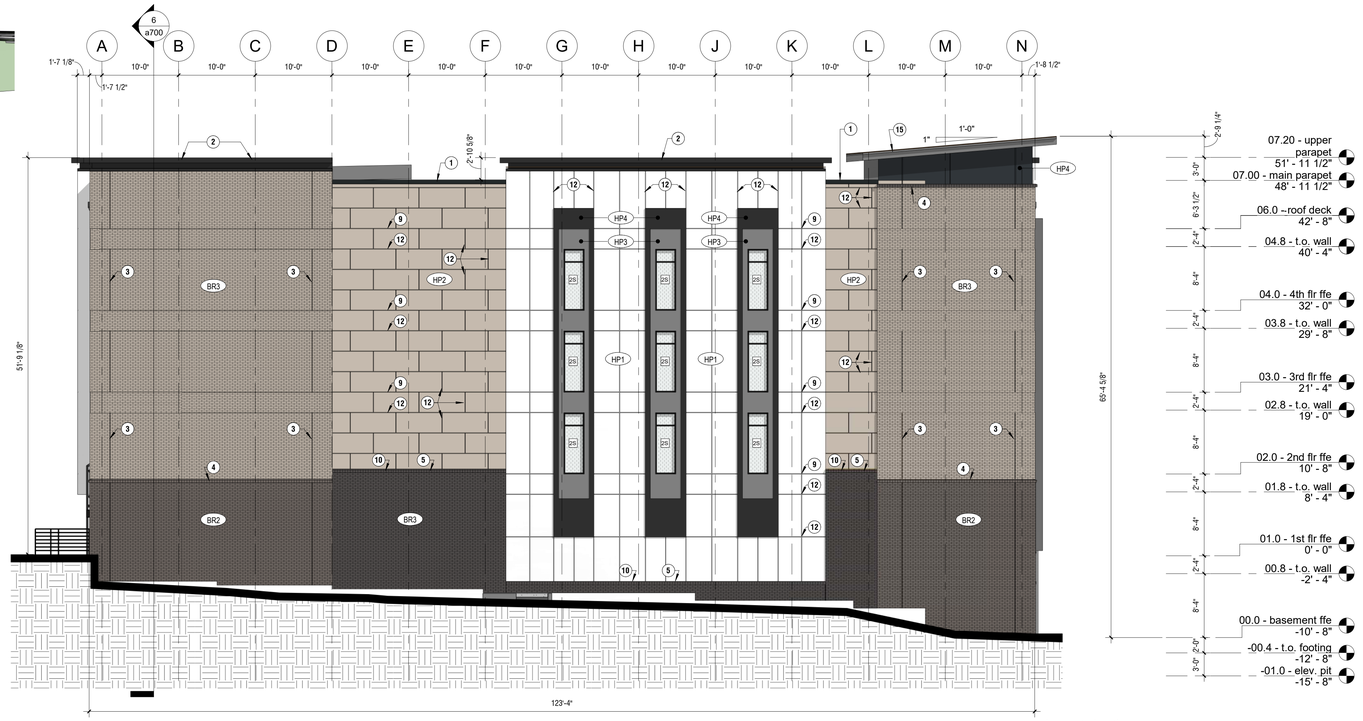

2 plan west elevation
1/8" = 1'-0"

SCALE 5 0 5 10 15 20 FEET

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multi-story self-storage facility || 5 stories above grade with basement level

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revisions

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building elevations

a401

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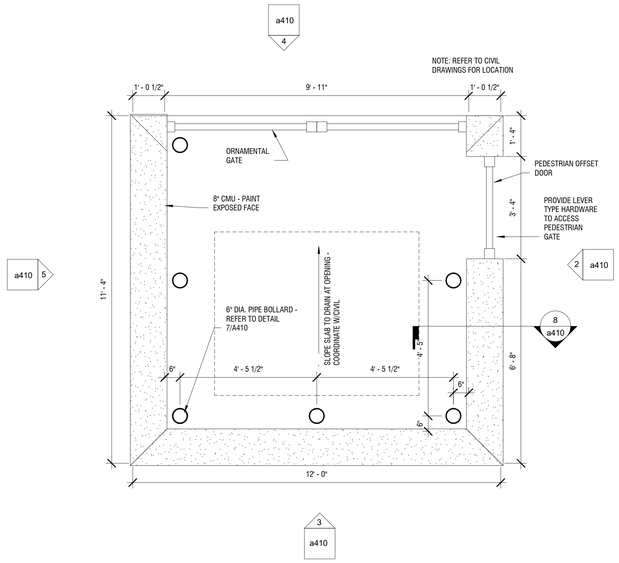
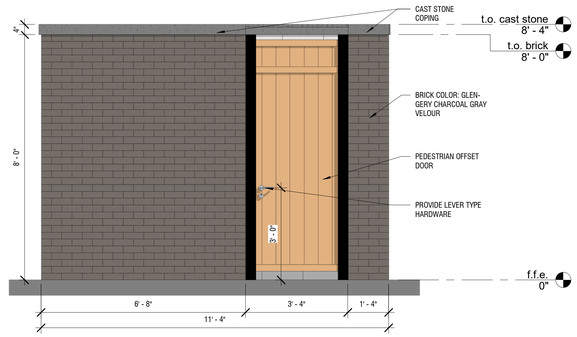
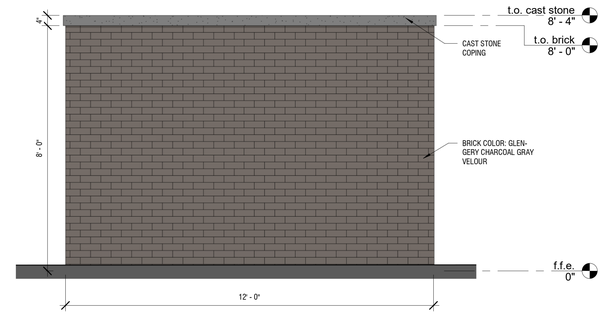


1 first floor noted plan
1/2" = 1'-0"



2 east elevation - trash enclosure
1/2" = 1'-0"



3 north elevation - trash enclosure
1/2" = 1'-0"

material legend

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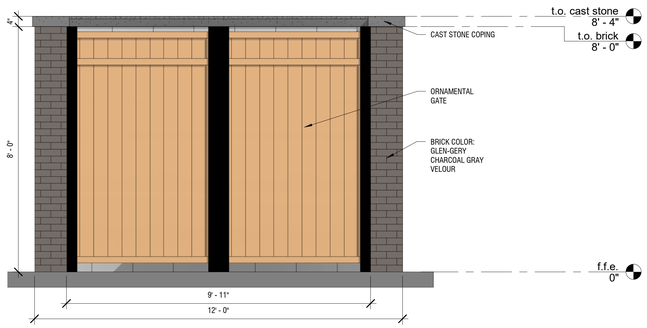
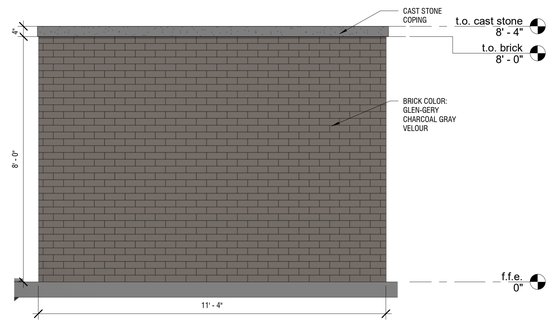
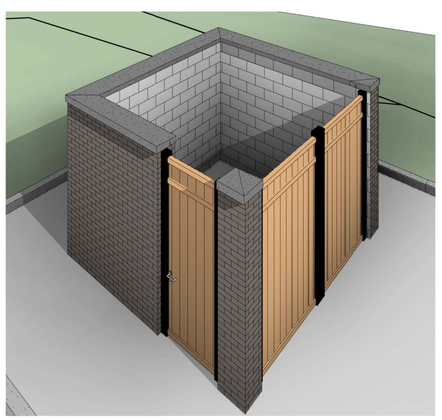


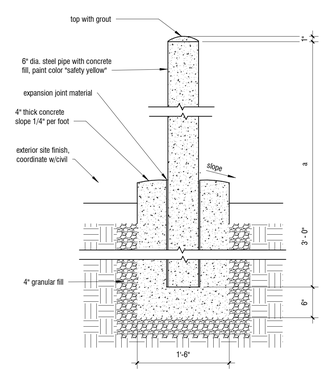
4 west elevation - trash enclosure
1/2" = 1'-0"



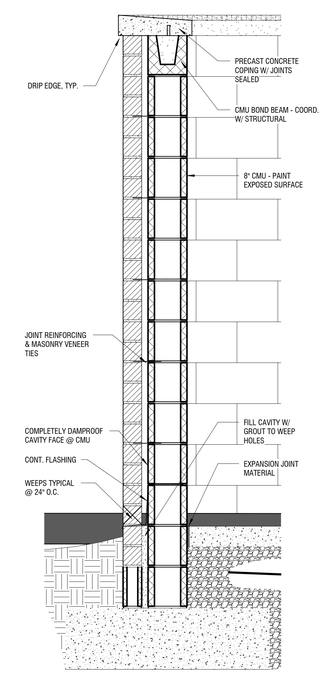
5 south elevation - trash enclosure
1/2" = 1'-0"



6 dumpster enlcloser axon



7 pipe bollard
1" = 1'-0"



8 wall section - trash enclosure
1" = 1'-0"

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client:

a+ STORAGE

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a+ storage || donelson
multi-story self-storage facility || 5 stories above grade with basement level
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revisions

date: 10.18.2024
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trash enclosure

a410

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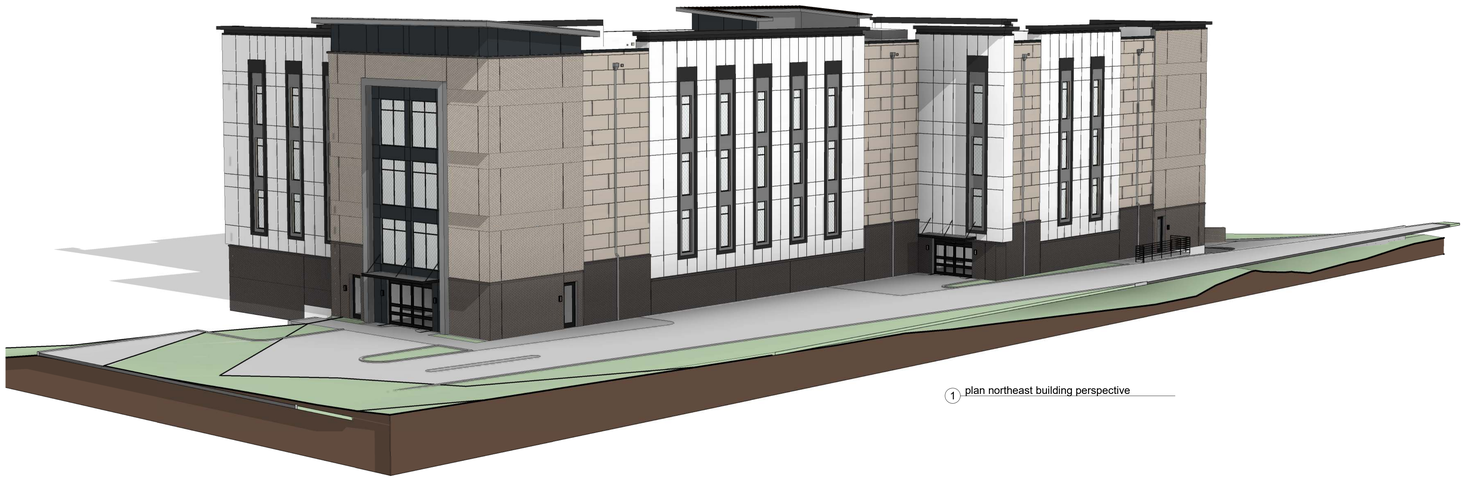

1 plan northeast building perspective

2 plan southeast building perspective

3 plan southwest building perspective

ARCHITECTURE | PLANNING

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1104 WEST MAIN STREET | FRANKLIN, TN 37064

www.consort4.com | office | 615.570.2780

IMPROVE
INFORM
INNOVATE
INSPIRE

client:

a+ STORAGE

project:

a+ storage || donelson

multi-story self-storage facility || 5 stories above grade with basement level

2811 patriot way || nashville, tennessee 37211

revisions

date: 10.18.2024

project no.: c24010.00

building perspectives

a420

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1 plan northwest building perspective

2 upper floor plan building perspective

3 view from patriot's way

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building perspectives

a421

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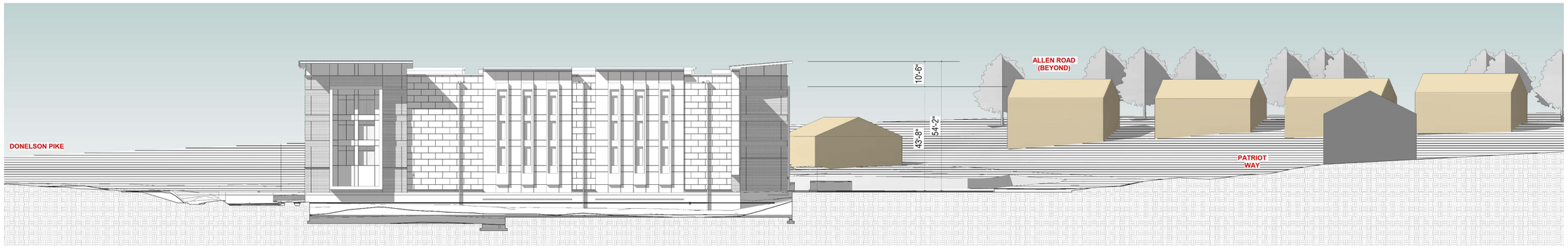
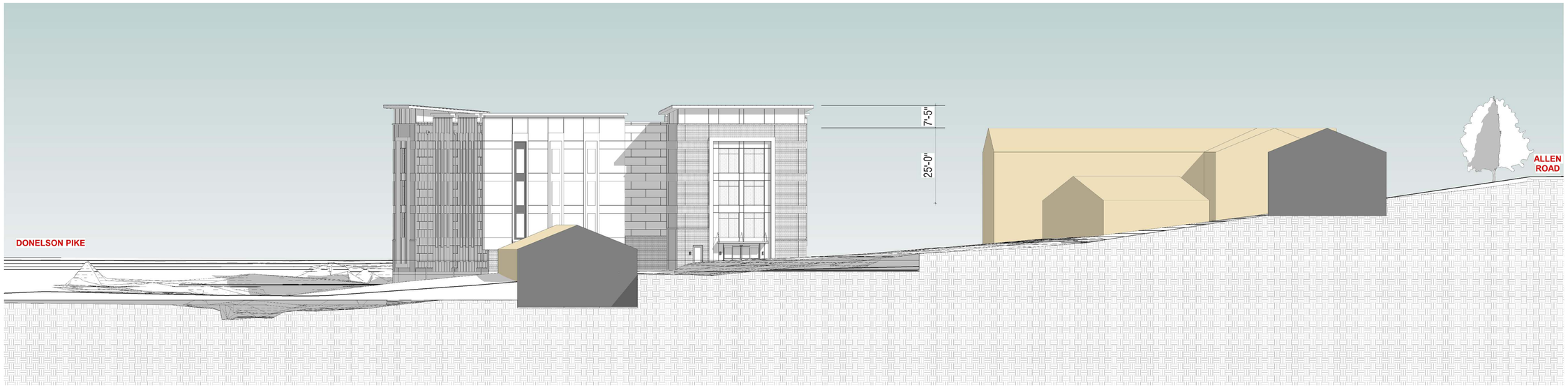
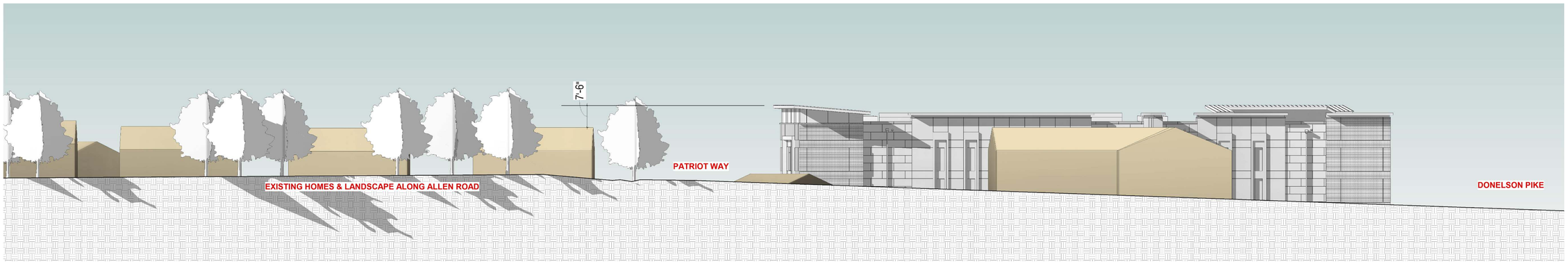


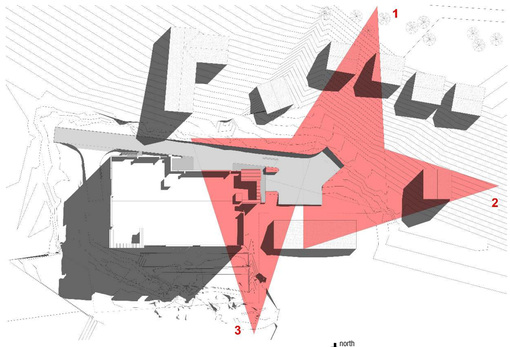
FACING NORTH TOWARD ALLEN ROAD



SECTION FACING WEST DIRECTION



SECTION FACING SOUTH (VIEW FROM ALLEN ROAD)



CAMERA VIEW KEY PLAN

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building
contextual
site sections

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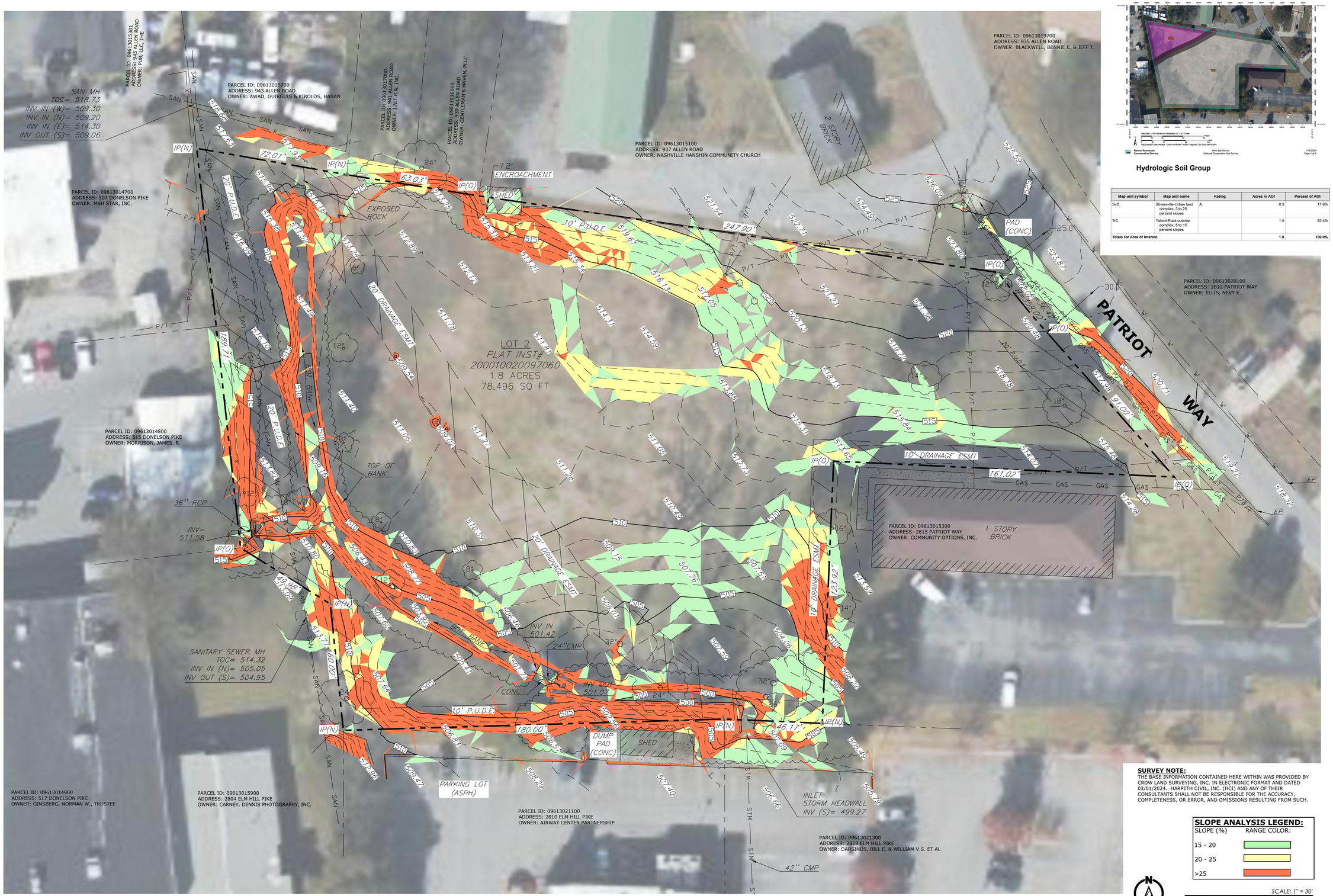

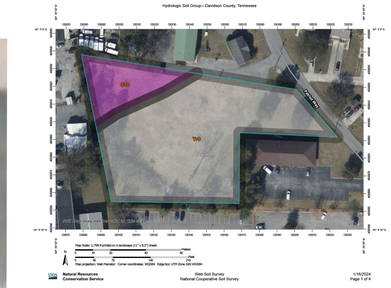

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
SvD	Stiversville-Urban land complex, 3 to 25 percent slopes	A	0.3	17.6%
TrC	Talbott-Rock outcrop complex, 5 to 15 percent slopes		1.5	82.4%
Totals for Area of Interest			**1.8**	**100.0%**

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SLOPE ANALYSIS LEGEND:

SLOPE (%)	RANGE COLOR:
15 - 20	
20 - 25	
>25	

SCALE: 1" = 30'
0 30 60 90

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HCI PN 0563-23A

10/18/2024

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PRELIMINARY SPECIFIC DEVELOPMENT PLAN

FOR

A+ SELF STORAGE

2811 PATRIOT WAY
NASHVILLE, TN. 37214
[PARCEL ID: 09613021500]

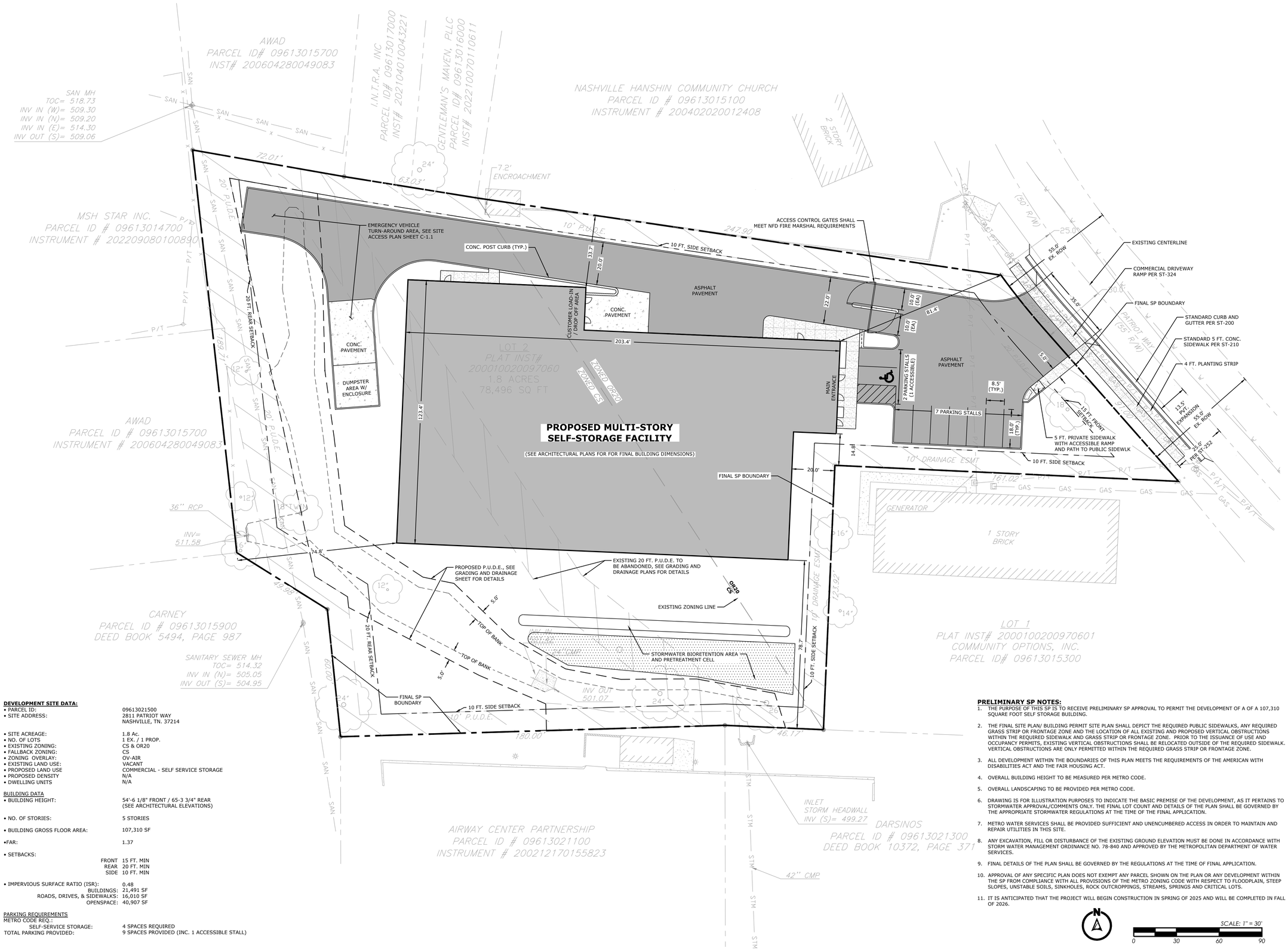
METRO SP NO.:
TBD

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY SP SUBMITTAL	07/30/2024
2	PRELIMINARY SP RESUBMITTAL	08/21/2024
3	PRELIMINARY SP RESUBMITTAL	10/1/2024
4	PRELIMINARY SP RESUBMITTAL	10/18/2024

EXISTING CONDITIONS

C-0.1



DEVELOPMENT SITE DATA:

• PARCEL ID:	09613021500
• SITE ADDRESS:	2811 PATRIOT WAY NASHVILLE, TN. 37214
• SITE ACREAGE:	1.8 Ac.
• NO. OF LOTS	1 EX. / 1 PROP.
• EXISTING ZONING:	CS & OR20
• FALLBACK ZONING:	CS
• ZONING OVERLAY:	OV-AIR
• EXISTING LAND USE:	VACANT
• PROPOSED LAND USE	COMMERCIAL - SELF SERVICE STORAGE
• PROPOSED DENSITY	N/A
• DWELLING UNITS	N/A

BUILDING DATA

• BUILDING HEIGHT:	54'-6 1/8" FRONT / 65-3 3/4" REAR (SEE ARCHITECTURAL ELEVATIONS)
• NO. OF STORIES:	5 STORIES
• BUILDING GROSS FLOOR AREA:	107,310 SF
•FAR:	1.37
• SETBACKS:	
FRONT	15 FT. MIN
REAR	20 FT. MIN
SIDE	10 FT. MIN
• IMPERVIOUS SURFACE RATIO (ISR):	0.48
BUILDINGS:	21,491 SF
ROADS, DRIVES, & SIDEWALKS:	16,010 SF
OPENSPACE:	40,907 SF

PARKING REQUIREMENTS

METRO CODE REQ.:	
SELF-SERVICE STORAGE:	4 SPACES REQUIRED
TOTAL PARKING PROVIDED:	9 SPACES PROVIDED (INC. 1 ACCESSIBLE STALL)

PRELIMINARY SP NOTES:

1. THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY SP APPROVAL TO PERMIT THE DEVELOPMENT OF A OF A 107,310 SQUARE FOOT SELF STORAGE BUILDING.
2. THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
3. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
4. OVERALL BUILDING HEIGHT TO BE MEASURED PER METRO CODE.
5. OVERALL LANDSCAPING TO BE PROVIDED PER METRO CODE.
6. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
7. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
8. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
9. FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
10. APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
11. IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN SPRING OF 2025 AND WILL BE COMPLETED IN FALL OF 2026.

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HCI PN 0563-23A

10/18/2024

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PRELIMINARY SPECIFIC DEVELOPMENT PLAN

FOR

A+ SELF STORAGE

2811 PATRIOT WAY
NASHVILLE, TN. 37214
[PARCEL ID: 09613021500]

METRO SP NO.:
TBD

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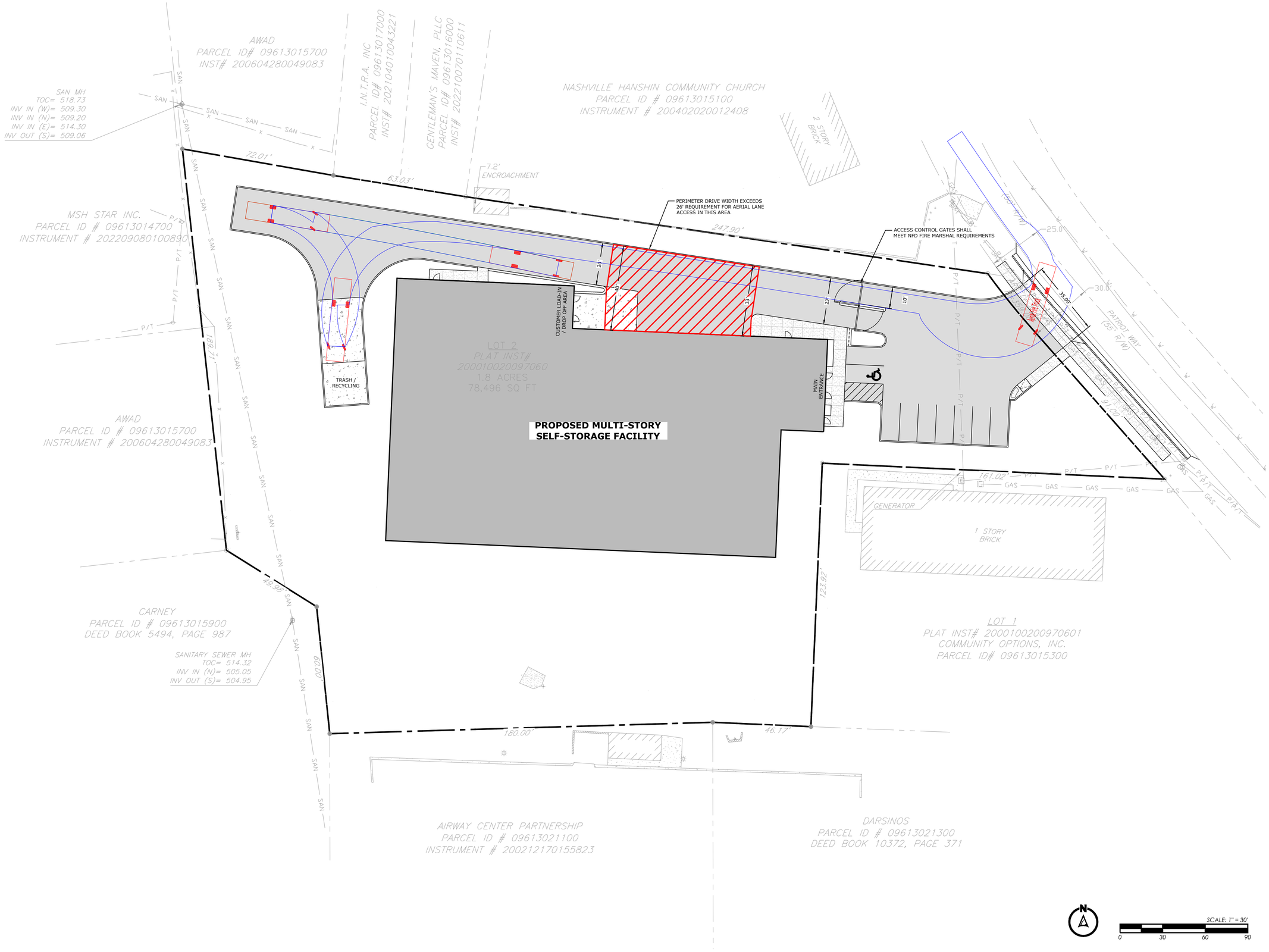
4	PRELIMINARY SP RESUBMITTAL	10/18/2024

SITE LAYOUT PLAN

C-1.0



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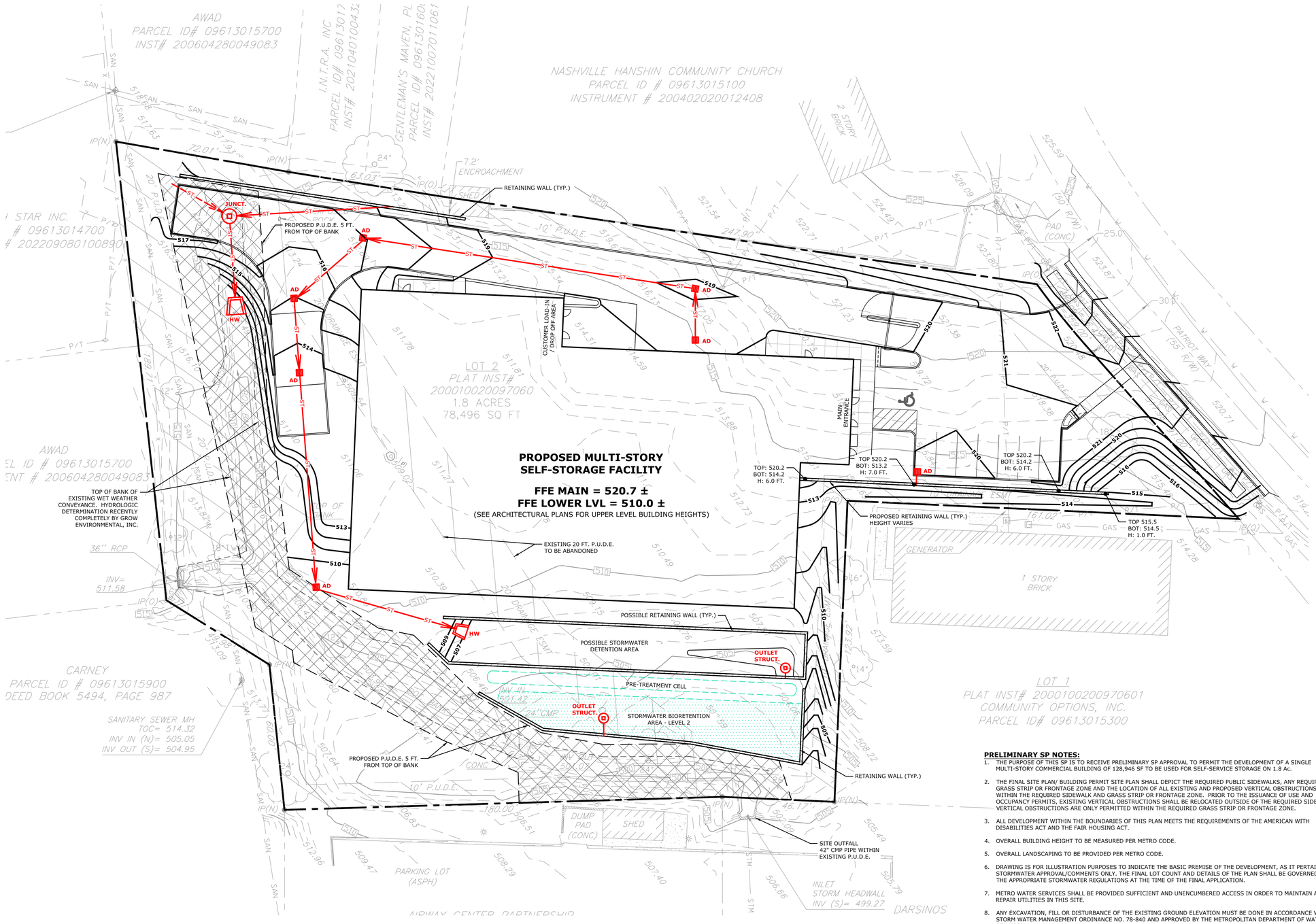
SITE ACCESS PLAN

C-1.1



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PRELIMINARY SP NOTES:

1. THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY SP APPROVAL TO PERMIT THE DEVELOPMENT OF A SINGLE MULTI-STORY COMMERCIAL BUILDING OF 128,946 SF TO BE USED FOR SELF-SERVICE STORAGE ON 1.8 ac.
2. THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
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N

SCALE: 1" = 30'
0 30 60 90

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HCI PN 0563-23A

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FOR

A+ SELF STORAGE

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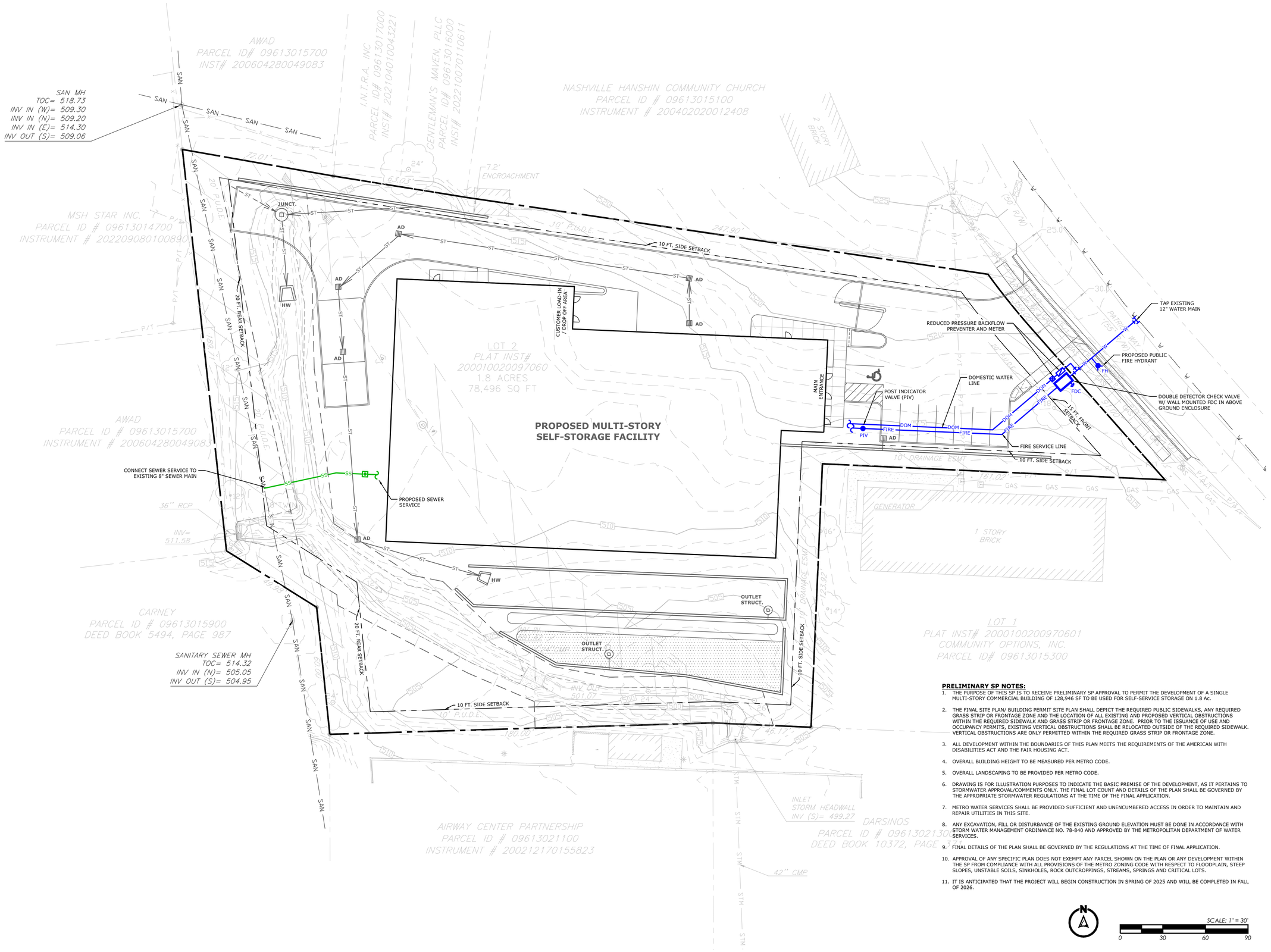
GRADING AND DRAINAGE PLAN

C-2.0



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UTILITY PLAN

C-3.0

TREE DENSITY UNIT (TDU) WORKSHEET (Ordinance 94-1104) REV Sept-2019

Date: 9-18-2024	
Map:---	Parcel: ID #09613021500
Application Number: TBD	
Project Name: A+ Storage	
Address: 2811 Patriot Way	

1	**Acreage** (area of parcel including building site)		1.8		
2	**Minus Building Coverage Area**	(-)	0.49		
3	**Equals Adjusted Acreage**	(=)	1.31		
4	**Multiply by Required Tree Density Unit per acre** choose one	(x)	22	All but Single Family and 1 & 2 Family	Single Family and 1 & 2 Family
5	**Required TDU for Project**	(=)	**28.82**	(=)	

HERITAGE TREE(S) RETAINED

DBH	# of Trees	Value	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	**0**
24"		x 9.6	**0**
*Greater than 24" equals DBH x .5 per inch			
		total	0

add total to line 6

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"	2	x 3.6	7.2
14"		x 4.2	0
16"	1	x 4.8	4.8
18"	1	x 5.4	5.4
20"		x 6.0	0
22"		x 6.6	0
		total	17.4

add total to line 6

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
24"	1	x 8.4	8.4
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
		total	8.4

add total to line 6

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
		total	0

add total to line 6

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES

DBH	# of Trees	Value	TDU
2"	7	x .5	3.5
3"		x .6	0
4"		x .7	0
5"		x .9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
		total	3.5

add total to line 7

EXAMPLES but not limited to:

Deciduous- Oak, Maple, Poplar, Planetree, Gingko

Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar

Mature height greater than 30'

REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*

DBH	# of Trees	Value	TDU
2"	13	x .25	3.25
3"		x .3	0
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
		total	3.25

add total to line 7

EXAMPLES but not limited to:

Columnar (Fastigiate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Gingko

Understory Deciduous-Deciduous- Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple

Understory Evergreen- Dwf. Magnolia, Hybrid Holly, Cherry Laurel (tree form)

Mature height avg. 30' or less.

Small Understory Columnar varieties receive no TDU credit

6	Total TUD Retained on-site		25.8	
7	Total TDU for Replacement Trees- On-site	(+)	6.75	
8	Total Credits Paid to Tree Mitigation Bank*	(+)		1 Credit = 1 TDU = $725.00
9	**Total Density Units Provided**	(=)	**32.55**	total must exceed lines 5

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

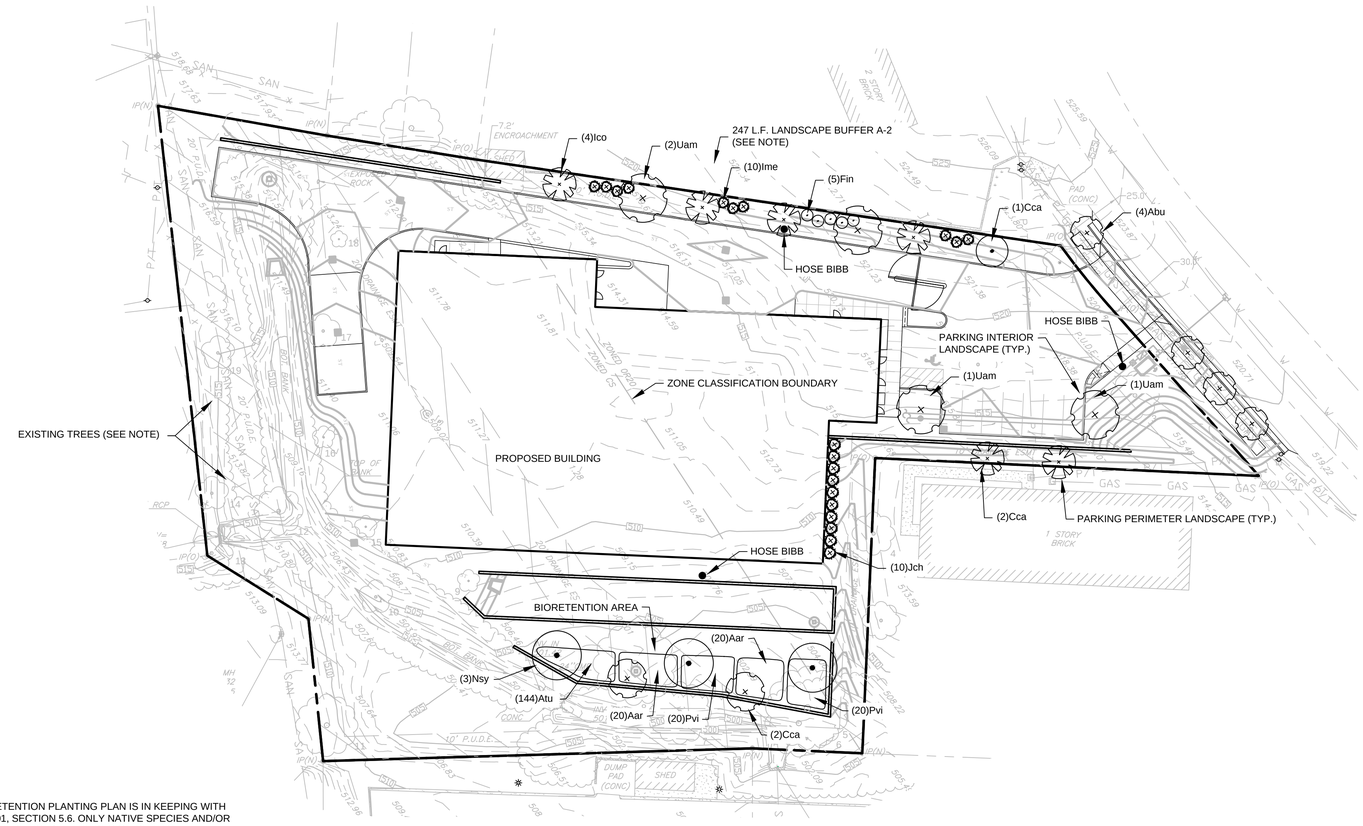
All Retained and Replacement trees must be shown on site plan.
Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.
Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit.
* Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.

NOTE: EXISTING TREES (NOS. 10, 11, 12, 13, 19) TO BE CALCULATED FOR T.D.U. VALUE ARE LOCATED ACROSS EXISTING STREAM AND HAVE MINIMAL RISK OF DISTURBANCE BY CONSTRUCTION ACTIVITY. NO TREE PROTECTION FENCE PROVIDED.

PLANT SCHEDULE

KEY	QTY	COMMON NAME	BOTANICAL NAME	CAL.	INSTALLED HEIGHT	CONT.	TDU VALUE	REMARKS
Uam	4	American Elm	Ulmus americana 'Valley Forge'	2" Cal.	10'-12'	B&B		
Nsy	3	Blackgum	Nyssa sylvatica	2" Cal.	10'-12'	B&B		
Ico	4	Burford Holly	Ilex cornuta 'Burfordii'	2" Cal.	6'-7'	B&B		
Abu	4	Trident Maple	Acer buergerianum	2" Cal.	8'-10'	B&B		
Cca	5	Eastern Redbud	Cercis canadensis 'Forest Pansy'	2" Cal.	8'-10'	B&B		
Jch	10	Spartan Juniper	Juniperus chinensis 'Spartan'		5'-6'	B&B		
Fin	5	Border Forsythia	Forsythia X intermedia 'Lynwood Gold'		18"-24"	3 Gal.		
Ime	10	Blue Princess Holly	Ilex X meserveae 'Blue Princess'		18"-24"	3 Gal.		
Aar	40	Red Chokeberry	Aronia arbutifolia		18"-24"	3 Gal.		Install maximum 4'-0" O.C.
Pvi	40	Switchgrass	Panicum virgatum		12"-15"	1 Gal.		Install maximum 4'-0" O.C.
Atu	144	Butterfly Milkweed	Asclepsias tuberosa		8"-12"	1 Qt.		Install maximum 18" O.C.

TURF: Fescue blend 'Titan, Einstein, Rendition'



"I HEREBY CERTIFY THAT THIS BIORETENTION PLANTING PLAN IS IN KEEPING WITH THE REQUIREMENTS LISTED IN GIP-01, SECTION 5.6. ONLY NATIVE SPECIES AND/OR NON-INVASIVE SPECIES OF PLANTS WERE USED IN THE DESIGN OF THIS BIORETENTION PLANTING PLAN. THIS PLAN WILL ACHIEVE AT LEAST 75% SURFACE AREA COVERAGE WITHIN THE FIRST TWO YEARS, AND HAS THE MINIMUM AMOUNT OF REQUIRED TREES."

BIORETENTION AREA = 2,100 S.F.
AREA COVERAGE REQUIRED (2,100 x 0.75) = 1,575 S.F.
AREA COVERAGE PROVIDED= 1,580 S.F.

NOTE: LANDSCAPE CONTRACTOR TO FIELD-VERIFY LOCATION OF POWER/ LIGHT POLES AND WIRES PRIOR TO PLANT INSTALLATION TO AVOID CONFLICTS. PROPOSED TREES TO BE MINIMUM 15' DISTANCE FROM POLES.

NOTE: ISLANDS FOR PARKING INTERIOR LANDSCAPE SHALL BE FREE OF ASPHALTIC, CONSTRUCTION AND/OR TRASH MATERIALS AND GRAVEL BASE MATERIAL.

NOTE: MEDIUM SIZE EVERGREEN TREES SPECIFIED IN PLACE OF LARGE EVERGREEN TREES IN LANDSCAPE BUFFER DUE TO SPATIAL CONSTRAINTS.

BUFFER REQUIRED ONLY ALONG PORTION OF NORTHERN PERIMETER.

NOTE: STREET TREES SHALL HAVE A CLEAR HEIGHT OF 80 INCHES WHERE THE TREE CANOPY IS WITHIN A PATH OF TRAVEL. THE TREE HEIGHT SHALL BE MAINTAINED TO MEET ADA CLEARANCE REQUIREMENTS.

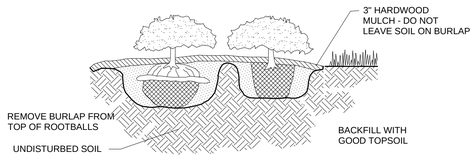
LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
2. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGE TO UTILITIES.
3. ALL PLANTING BEDS OR MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP OR HAND WEEDED (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
4. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF AGED, SHREDDED HARDWOOD BARK MULCH.
7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
9. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
10. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE PLANT SCHEDULE.
11. ONLY GRADE "A" TYPE PLANTS WILL BE ACCEPTED. PLANTS THAT ARE INFERIOR OR DAMAGED WILL NOT BE ACCEPTED.
12. PLANT MATERIAL SHALL BE IRRIGATED BY HOSE BIBBS. NO PROPOSED PLANT GREATER THAN 100' FROM WATER SOURCE.

TREE INVENTORY

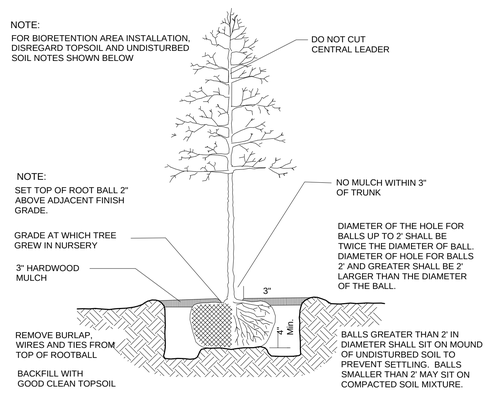
NO.	SIZE/ SPECIES
1	14" PEAR
2	14"PEAR
3	18" PEAR
4	16" OAK
5	32" COTTONWOOD
6	26" COTTONWOOD
7	24" COTTONWOOD
8	32" COTTONWOOD
9	8" PEAR
10	12" MULBERRY
11	24" COTTONWOOD
12	18" COTTONWOOD
13	16" HACKBERRY
14	12" PEAR
15	8" PEAR
16	8" PEAR
17	12" PEAR
18	6" PEAR
19	12" CEDAR

NOTE:
FOR BIORETENTION AREA INSTALLATION, DISREGARD TOPSOIL AND UNDISTURBED SOIL NOTES SHOWN BELOW



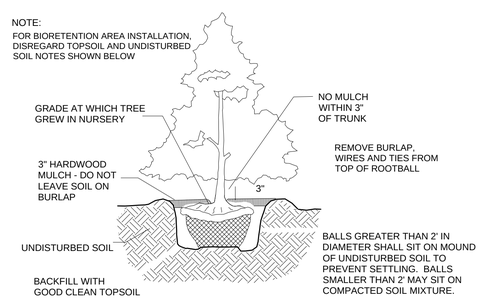
SHRUB/ GROUNDCOVER PLANTING
NOT TO SCALE

NOTE:
FOR BIORETENTION AREA INSTALLATION, DISREGARD TOPSOIL AND UNDISTURBED SOIL NOTES SHOWN BELOW



DECIDUOUS TREE PLANTING
NOT TO SCALE

NOTE:
FOR BIORETENTION AREA INSTALLATION, DISREGARD TOPSOIL AND UNDISTURBED SOIL NOTES SHOWN BELOW



EVERGREEN PLANTING
NOT TO SCALE

GRAPHIC SCALE
30' 0 30' 60'

AL WILKINSON
LANDSCAPE ARCHITECT
615-574-0252
445 FERN VALLEY ROAD
WHITE HOUSE, TENNESSEE 37188 awilkinson@awilkinsonla.com

AL WILKINSON REGISTERED AGRICULTURE ARCHITECT TENNESSEE NO. 634 LANDSCAPE ARCHITECT

PRELIMINARY SPECIFIC DEVELOPMENT PLAN
FOR
A+ SELF STORAGE
2811 PATRIOT WAY
NASHVILLE, TN 37214
[PARCEL ID: 09613021500]

NO.	DATE	ISSUE DESCRIPTION
	3-22-2024	PRELIMINARY SP
	8-21-2024	PRELIMINARY SP RESUBMITTAL
	9-19-2024	REVISED PER PLANNING COMMENTS

LANDSCAPE PLAN

L1.0

AWLA NO.: 2405-11