



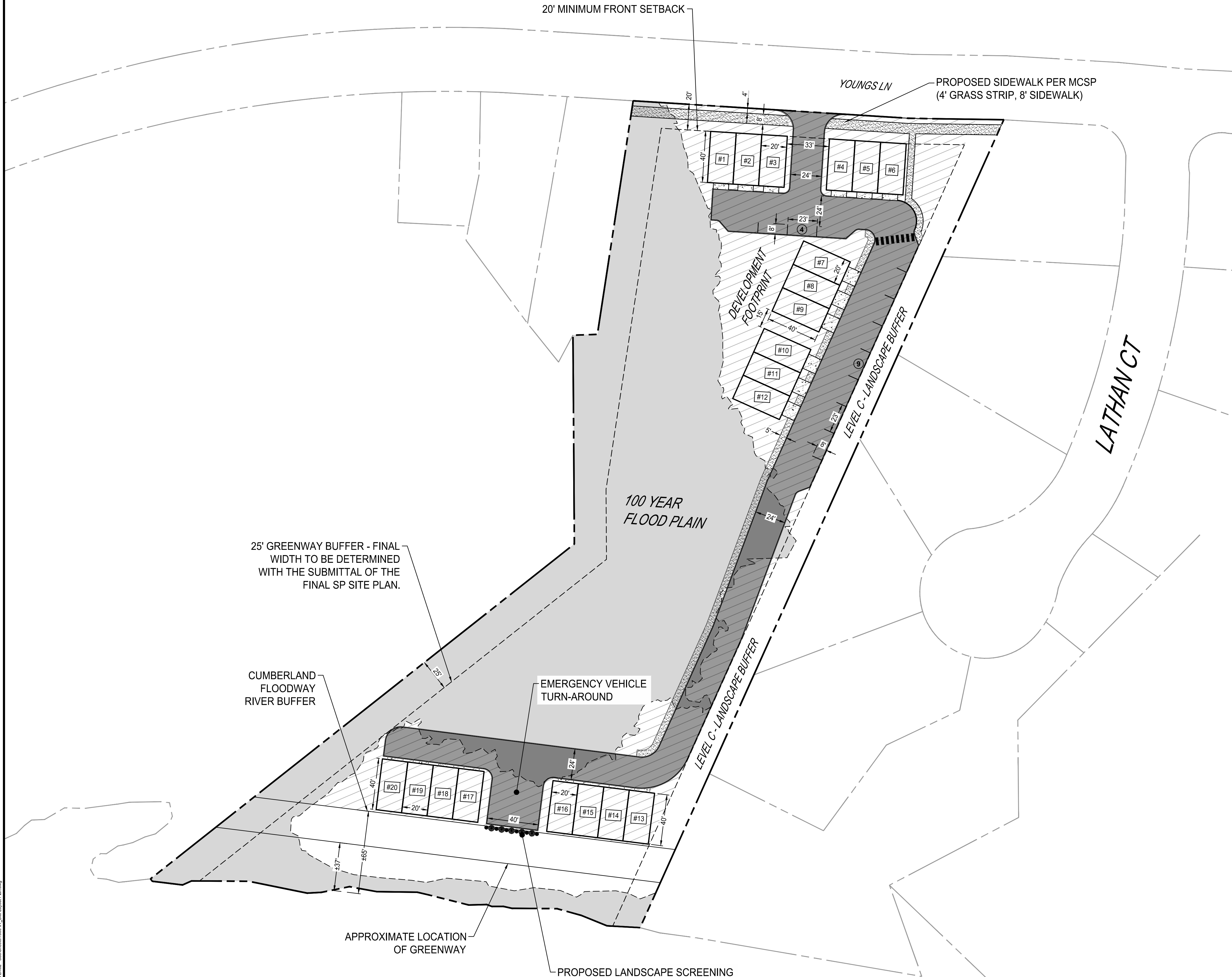
Know what's below.
Call before you dig.

SP #: 2023SP-062-001	PROJECT NAME: 840 YOUNGS LN SP
MAP/PARCEL #: MAP: 70-08 PARCEL: 212, 213, & 246	EXAMINER:

USE	
PERMITTED USE	MULTIFAMILY (20 UNIT MAXIMUM)
EXISTING ZONING	R8 (ONE AND TWO-FAMILY RESIDENTIAL)
PROPOSED ZONING	SP
USE CHARTS: P	P - PERMITTED
SITE CRITERIA	
MAP & PARCEL NO.	MAP 105-14 PARCEL 77.00
COUNCIL DISTRICT	02 - KYONZTE TOOMBS
LOT SIZE:	4.22 AC
STREET SETBACK/STREET TYPE(S)	20'
SIDE YARD	20'
REAR YARD	20'
HEIGHT STANDARDS	3 STORIES IN 35'
PARKING AND ACCESS	
PARKING REQUIREMENTS	PER METRO CODE
SIDEWALKS REQUIRED-INTERNAL/PUBLIC	MCSP SIDEWALK SHOWN ON YOUNGS LN FRONTAGE
LANDSCAPING STANDARDS	
C-LEVEL BUFFER REQUIRED ALONG EASTERN PROPERTY LINE. NO BUFFER TO BE INSTALLED WITHIN 100-YEAR FLOOD PLAIN	

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 346-3770



GENERAL NOTES:

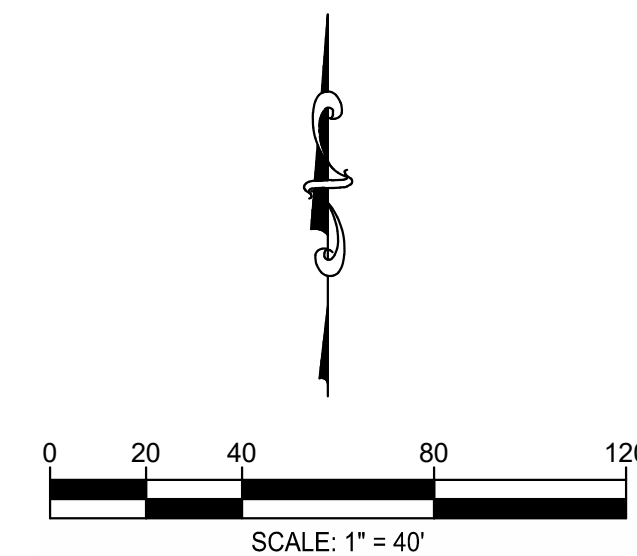
1. PERMITTED LAND USES SHALL BE LIMITED TO 20 MULTI-FAMILY RESIDENTIAL UNITS.
2. SHORT TERM RENTAL, OWNER AND NON-OWNER OCCUPIED SHALL BE PROHIBITED.
3. ALL STRUCTURES WITHIN THE 100-YEAR FLOOD PLAIN AND CUMBERLAND RIVER BUFFER SHALL BE REMOVED WITH THE SUBMITTAL OF A FINAL SP SITE PLAN. DEMOLITION PERMITS WILL BE PROVIDED PRIOR TO THE APPROVAL OF THE FINAL SP SITE PLAN.
4. A "C" LEVEL LANDSCAPE BUFFER WILL BE PROVIDED ALONG THE EASTERN PROPERTY LINE. CREDIT SHALL BE GIVEN FOR EXISTING VEGETATION.
5. THE LOCATION OF THE EXISTING DRIVEWAY WILL BE MOVED OUT OF THE 100-YEAR FLOOD PLAIN TO THE EXTENT POSSIBLE WHILE BEING ABLE TO MEET THE MINIMUM STANDARDS OF NDOT AND THE FIRE MARSHAL.
6. PARKING TO BE PROVIDED PER METRO CODE WITH THE SUBMITTAL OF THE FINAL SITE PLAN.
7. ALL UNITS WILL FRONT EITHER PUBLIC STREETS, OPEN SPACE, OR THE CUMBERLAND RIVER.
8. ALL UNITS WILL HAVE TWO CAR REAR-LOADED GARAGES.
9. MAJOR AND COLLECTOR STREET PLAN RIGHT-OF-WAY DEDICATIONS AND PLANNED CONDITIONS TO BE PROVIDED WITH FINAL SITE PLAN APPLICATION.
10. ADD A NOTE STATING ALL GREENWAY EASEMENTS WILL BE DEDICATED PRIOR TO THE APPROVAL OF THE FINAL SP SITE PLAN.
11. BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, AND GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
12. BUILDING HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (AVERAGE OF 4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE (FINAL GROUND ELEVATION). BUILDING HEIGHT SHALL BE MEASURED TO THE MIDPOINT OF THE PRIMARY ROOF PITCH (THE VERTICAL DISTANCE FROM EAVE TO MIDPOINT) OR TO THE TOP OF THE PARAPET FOR A FLAT ROOF. ANCILLARY ROOFS SHALL NOT BE TALLER THAN THE PRIMARY ROOF. DEFINE STORIES BY THE "STORY" DEFINITION IN THE CODE.
13. UNITS 13-20 SHALL ADDRESS THE GREENWAY WITH THEIR ARCHITECTURE. ARCHITECTURAL ELEVATIONS TO BE PROVIDED WITH FINAL SITE PLAN APPLICATION.

GREENWAY NOTES:

1. AN EASEMENT FOR METRO PARKS GREENWAY SHALL BE PROVIDED WITHIN 75' OF THE REAR PROPERTY LINE WITH THE SUBMITTAL OF THE FINAL SP PLAN.

HATCH LEGEND

	100-YEAR FLOOD PLAIN
	DEVELOPMENT FOOTPRINT



SURVEY INFO
PROVIDED BY: ---
DATUM: TENNESSEE STATE PLANE (NAD83 & NAVD 88)

SITE DEVELOPMENT PLANS FOR:
840 YOUNGS LN

840 YOUNGS LN
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37207

SR.	DATE	DESCRIPTION

SITE LAYOUT
PLAN

C1.0