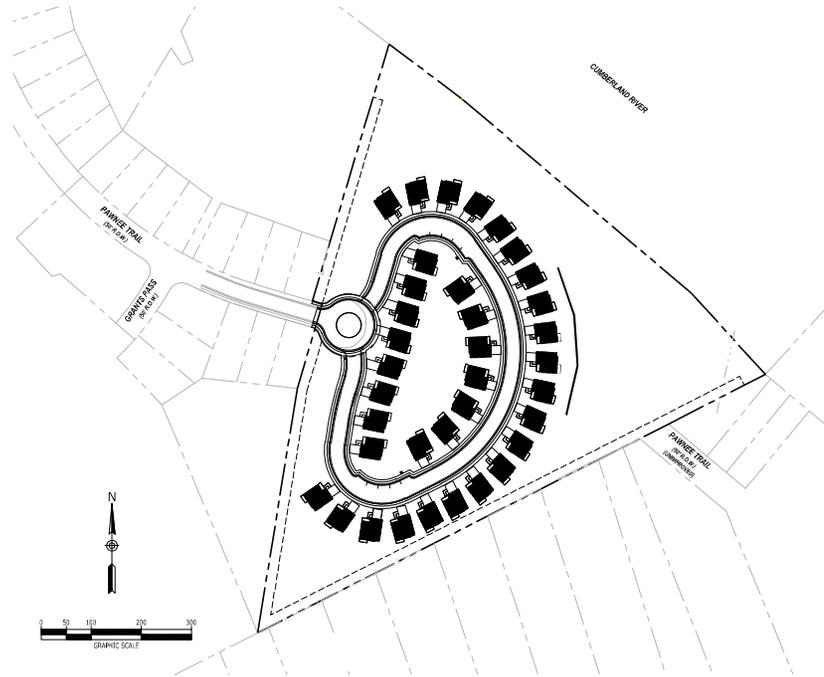


# PRELIMINARY SPECIFIC PLAN PAWNEE TRAIL RESIDENTIAL MADISON, DAVIDSON COUNTY, TENNESSEE

2023SP-036-001  
CATALYST PROJECT NO. 20230034  
MARCH 15, 2023; APRIL 4, 2023; APRIL 24, 2023



VICINITY MAP  
NOT TO SCALE



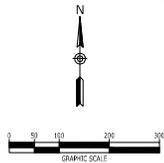
Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	LAYOUT & LANDSCAPE PLAN
C3.0	GRADING & UTILITY PLAN

#### SITE DATA

COUNCIL DISTRICT: 9  
COUNCIL MEMBER: TONYA HANCOCK  
PARCEL ID#: 030001000  
SITE ADDRESS: 1231 PAWNEE TRAIL, MADISON, TENNESSEE, 37115  
SITE ACREAGE: 15.00 AC.  
EXISTING ZONING: R010  
PROPOSED USE: MULTIFAMILY RESIDENTIAL UNITS  
PROPOSED UNITS: 36  
THREE BEDROOM: 36  
TOTAL UNITS: 36  
PROPOSED MAX. BUILDING HEIGHT: 2 STORIES + BASEMENT (35'-0")  
PROPOSED DENSITY: 245 UNITS PER AC.  
SETBACKS: 25' FRONT, 5' SIDE, 10' REAR  
TOTAL ESTIMATED FLOOR AREA: 185,000 SF  
AVERAGE ESTIMATED FLOOR AREA: 5,138.89 SF  
PROPOSED IMPAVIDUS AREA: 154,920 SF / 3.58 AC  
PROPOSED SR: 4.27  
COMMON OPEN SPACE AREA: 147,251 SF / 3.39 AC.

PARKING PROVIDED: 70 SPACES  
GARAGE: 70 SPACES  
SURFACE: 70 SPACES  
GUEST: 10 SPACES  
TOTAL: 150 SPACES PROVIDED  
PARKING RATIO: 4.28 SF/CU  
COUNTY: MONARCH DEVELOPMENT CRE  
ADDRESS: 404 BNA DRIVE, SUITE 307, NASHVILLE, TENNESSEE, 37217  
PHONE NO.: 615.808.1403  
CONTACT NAME: JARED CUMMINGS  
CONTACT EMAIL ADDRESS: jcumings@monarchcre.com  
PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP  
ADDRESS: 1010 TENNESSEE AVE., NASHVILLE, TN 37209  
PHONE NO.: 615.808.2000  
CONTACT NAME: JARED CUMMINGS  
CONTACT EMAIL ADDRESS: jcumings@monarchcre.com

FEMA PANEL: THE SUBJECT PROPERTY DOES LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 17010Z0204B, 1845-2017, COMMUNITY NAME: METRO GOVERNMENT OF NASHVILLE - DAVIDSON COUNTY.



#### DEVELOPMENT NOTES

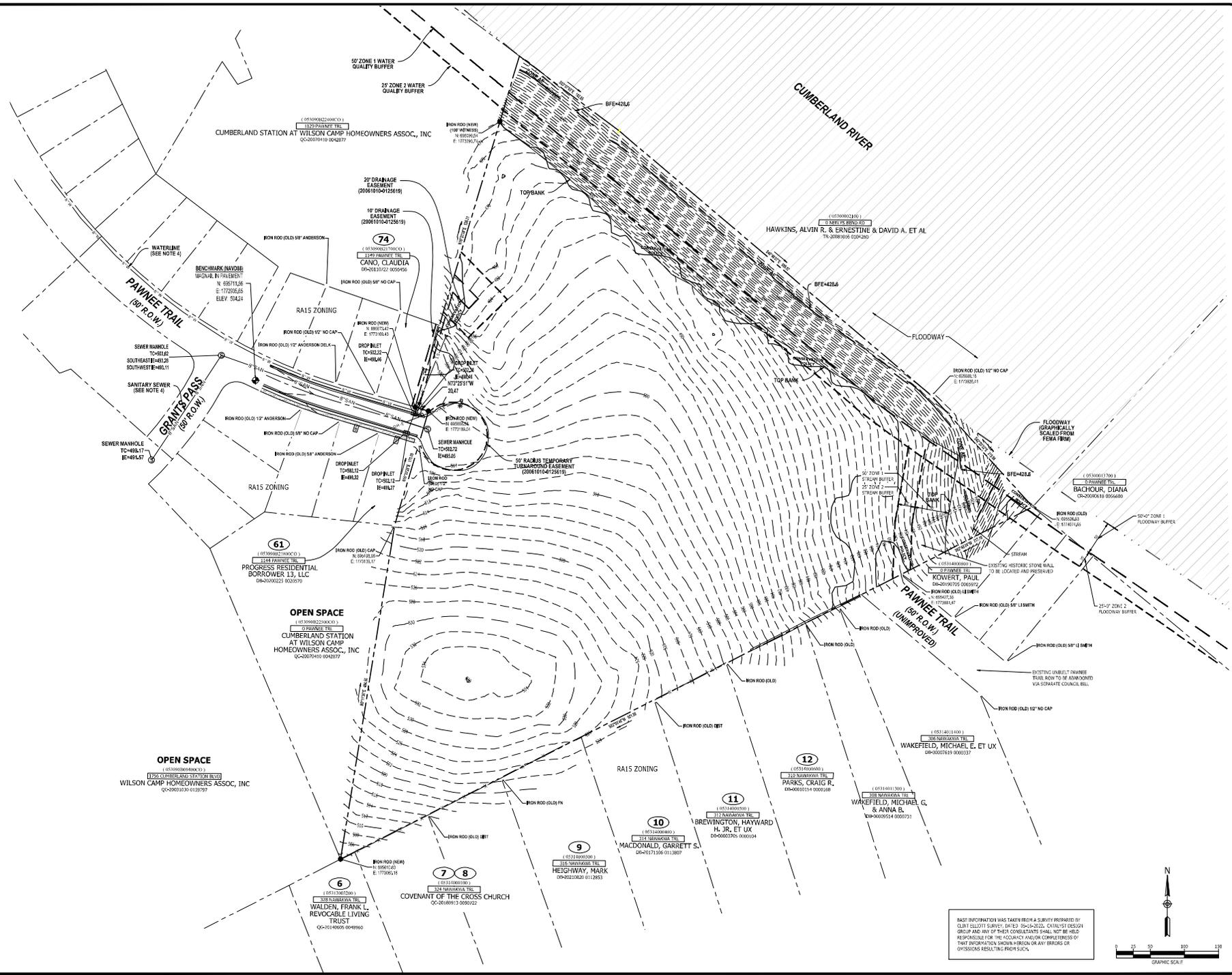
- THE PURPOSE OF THIS SPECIFIC PLAN (SP) IS TO DEVELOP 36 MULTIFAMILY RESIDENTIAL UNITS.

PREPARED FOR  
MONARCH DEVELOPMENT CRE  
404 BNA DRIVE, SUITE 307  
NASHVILLE, TENNESSEE, 37217  
615.808.1403

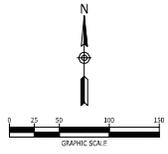


COVER SHEET

C0.0

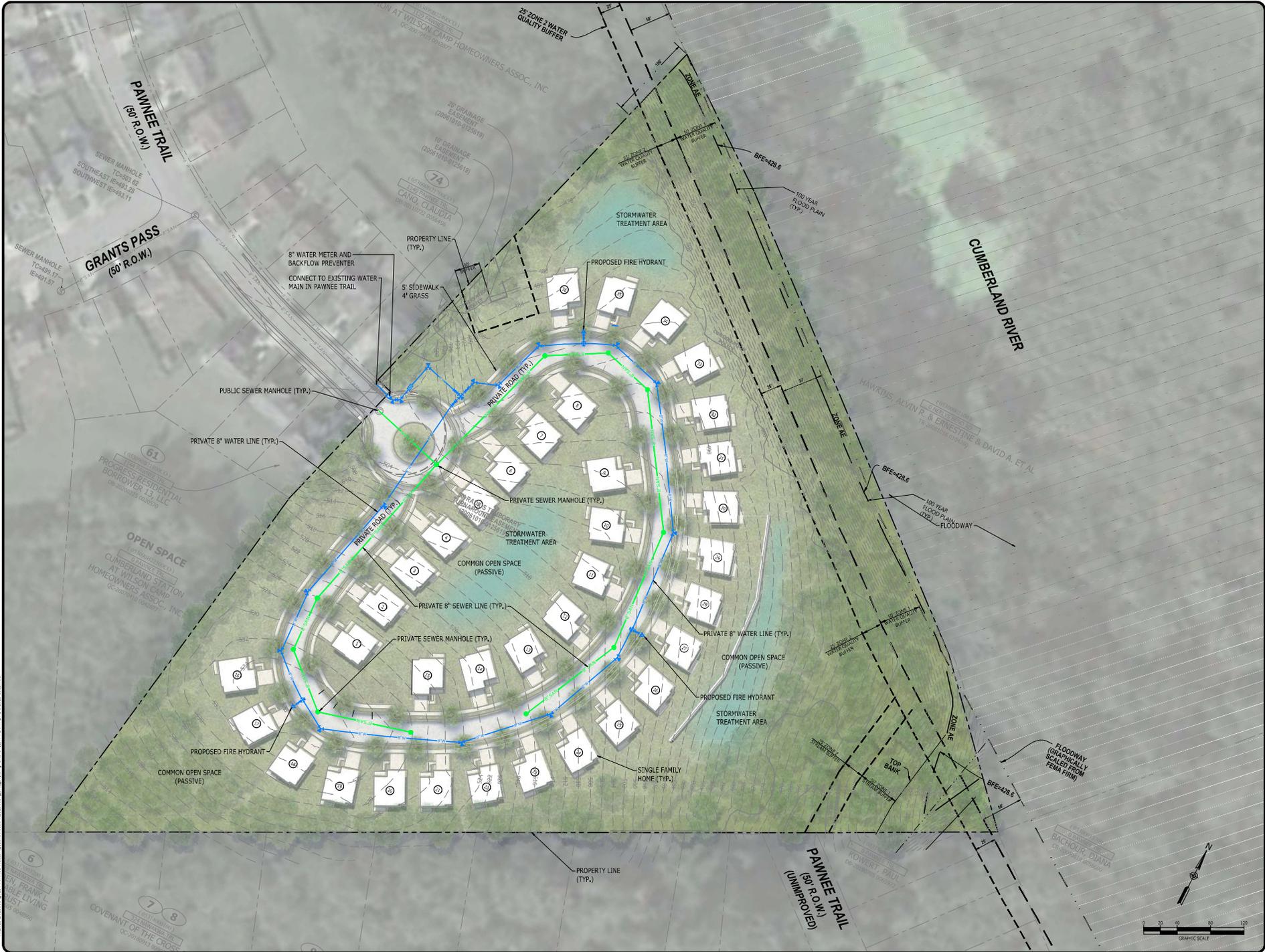


BASIS INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY CLINT SLOTT SURVEY, DATE 07-26-2022. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION UNLESS HIRSON OR ANY OTHERS OR OMISSIONS RESULTING FROM SUCH.



06/24/2023 10:00 AM C:\Users\monarch\Documents\2023SP-036-001\1231 PAWNEE TRAIL\DWG\C1.0.DWG (C:\Users\monarch\Documents\2023SP-036-001\1231 PAWNEE TRAIL\DWG\C1.0.DWG)





MONARCH  
DEVELOPMENT CRE  
1001 W. MAIN ST. SUITE 200  
MADISON, TN 37102  
615-262-1203



PRELIMINARY SPECIFIC PLAN  
**PAWNEE TRAIL RESIDENTIAL**  
202355P-036-001  
1231 PAWNEE TRAIL  
MADISON, TENNESSEE, DAVIDSON COUNTY

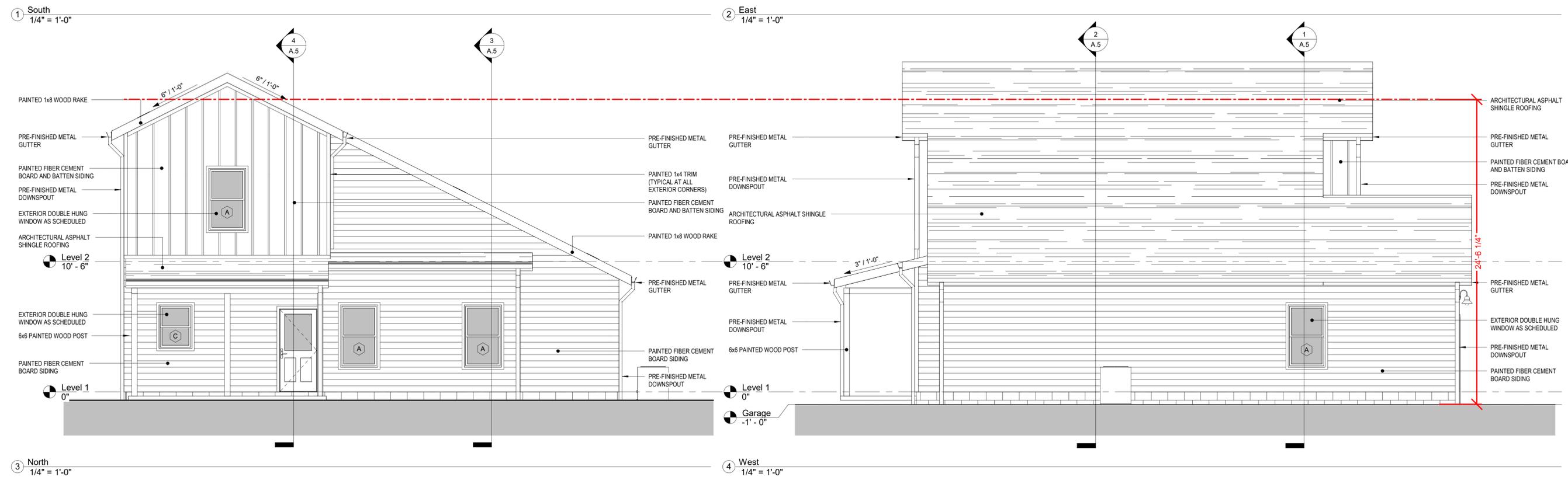
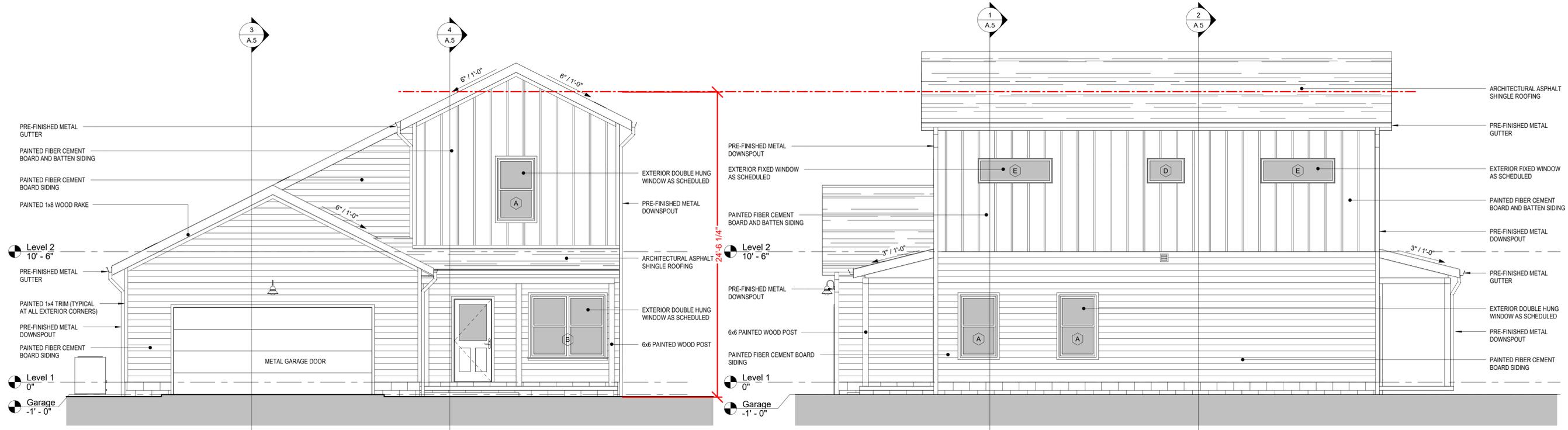
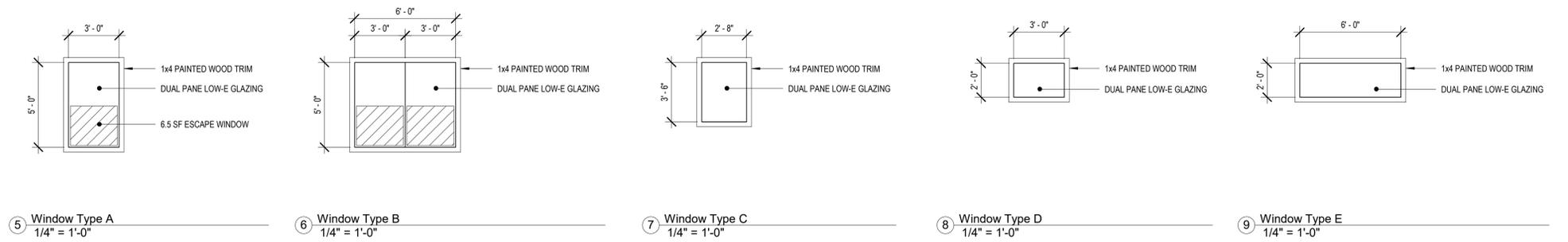
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5	REVISED PER COMMENTS	12/01/2023
6	REVISED PER COMMENTS	01/08/2024
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8	REVISED PER COMMENTS	03/04/2024
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101	REVISED PER COMMENTS	12/01/2031

DRAWING TITLE  
**GRADING & UTILITY PLAN**

PROJECT NUMBER  
202355P-036-001

DRAWING NUMBER  
**C3.0**

Window Schedule			
Mark	Width	Height	Description
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
A	3' - 0"	5' - 0"	Aluminum Clad Double Hung
B	6' - 0"	5' - 0"	Aluminum Clad Double Hung
C	2' - 8"	3' - 6"	Aluminum Clad Double Hung
D	3' - 0"	2' - 0"	Aluminum Clad Fixed
E	6' - 0"	2' - 0"	Aluminum Clad Fixed
E	6' - 0"	2' - 0"	Aluminum Clad Fixed



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Scales as stated herein are void on the original drawing only.

These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

PHASE	REVISION	DATE
SCHEMATIC DESIGN		10/23/2021
CONSTRUCTION DOCUMENTS		12/23/2021

SINGLE-FAMILY RESIDENCE  
40' WIDE | OPTION 1A

MONARCH DEVELOPMENT

PROJECT NUMBER  
2021-17  
SHEET TITLE  
exterior elevations  
SHEET NUMBER  
A.4

TBD  
TBD

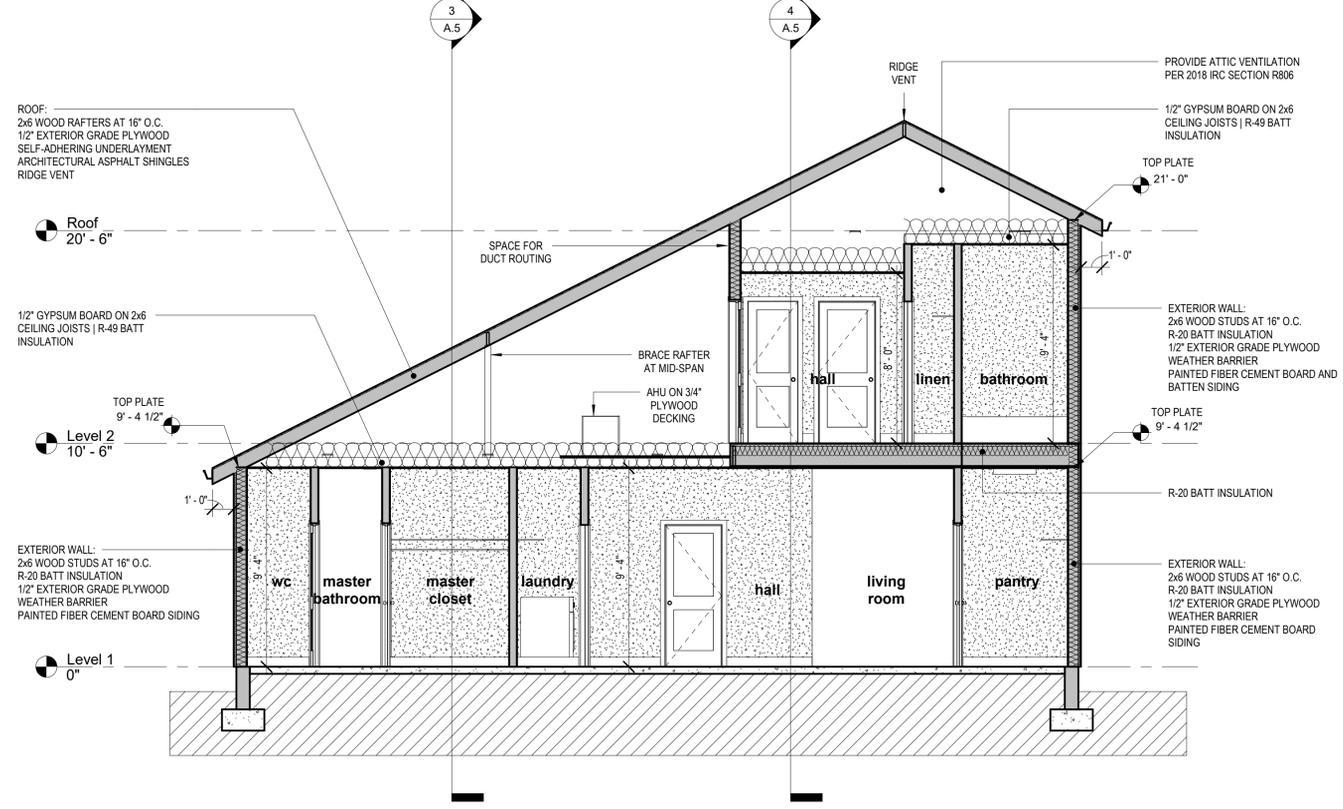
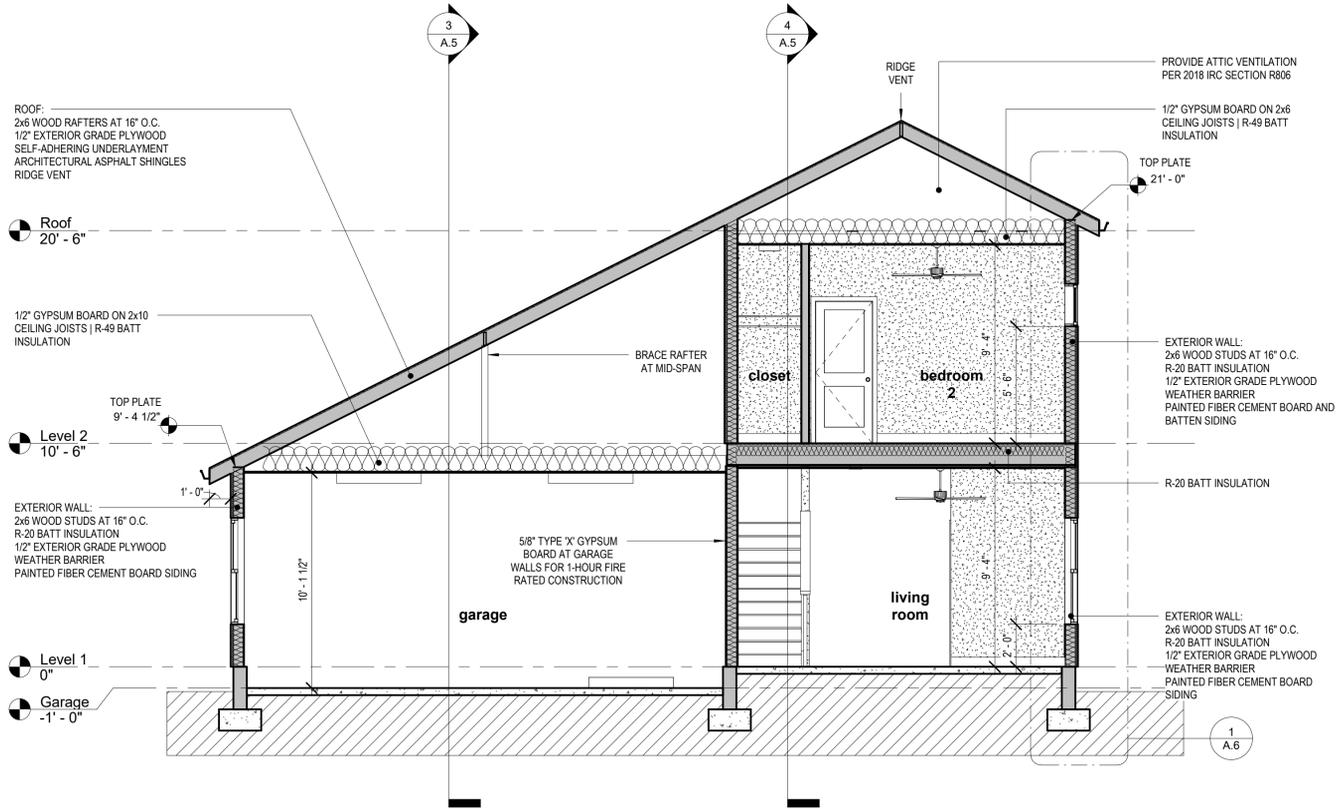
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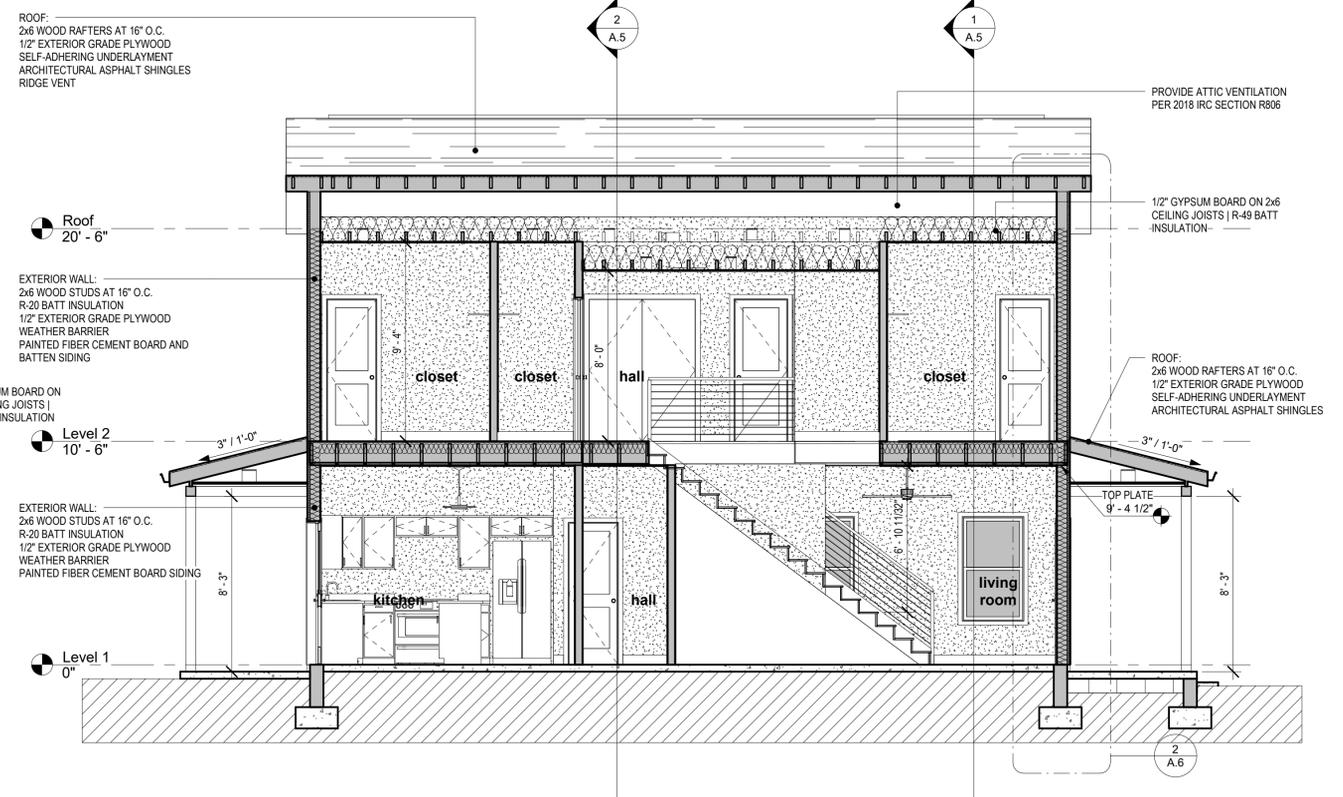
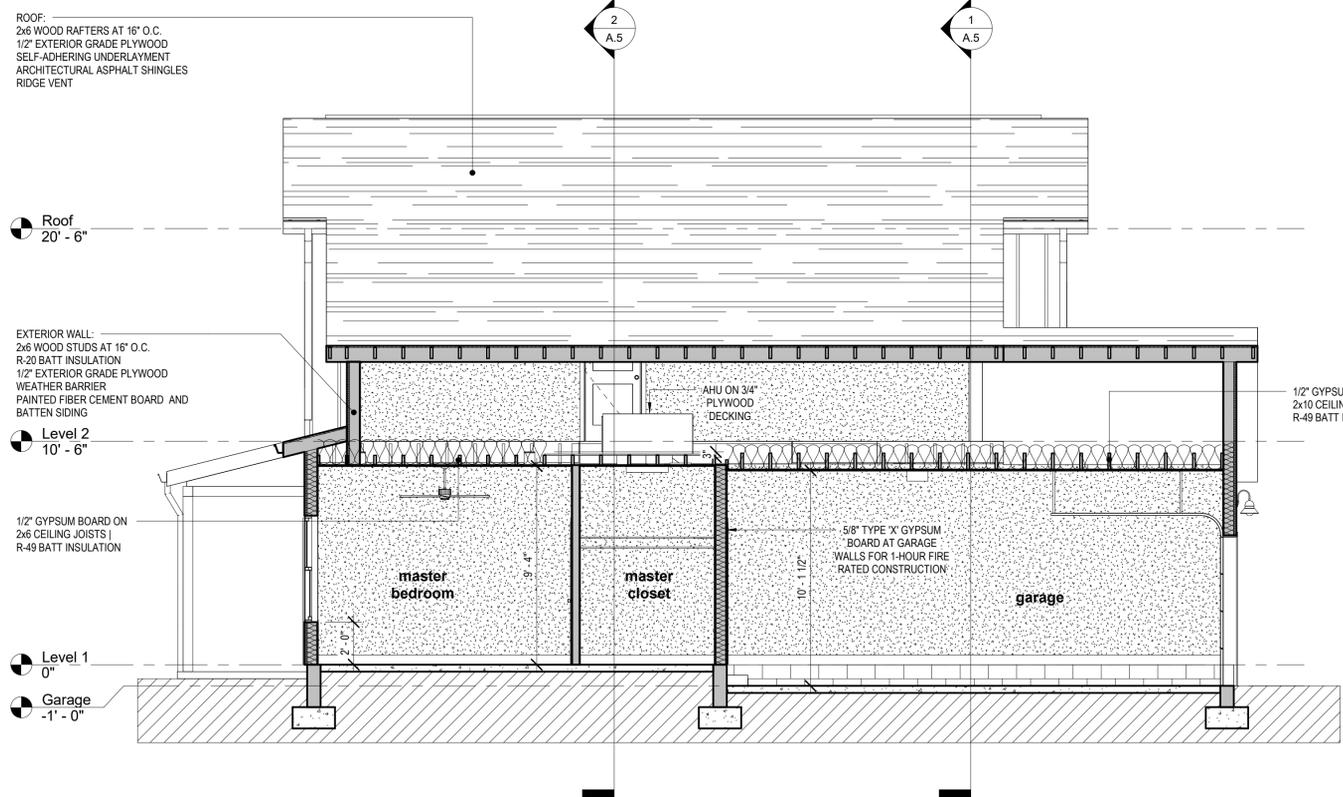
By:

PHASE	REVISION	DATE
SCHEMATIC DESIGN		10/20/2021
CONSTRUCTION DOCUMENTS		12/20/2021



1 Section 1  
1/4" = 1'-0"

2 Section 2  
1/4" = 1'-0"



3 Section 3  
1/4" = 1'-0"

4 Section 4  
1/4" = 1'-0"

SINGLE-FAMILY RESIDENCE  
40' WIDE | OPTION 1A

MONARCH  
DEVELOPMENT

PROJECT NUMBER

2021-17

SHEET TITLE  
sections

SHEET NUMBER

A.5

TBD

TBD

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By:

PHASE	REVISION	DATE
SCHEMATIC DESIGN		10/23/2021
CONSTRUCTION DOCUMENTS		12/23/2021

SINGLE-FAMILY RESIDENCE  
40' WIDE | OPTION 1A

TBD  
TBD

MONARCH  
DEVELOPMENT

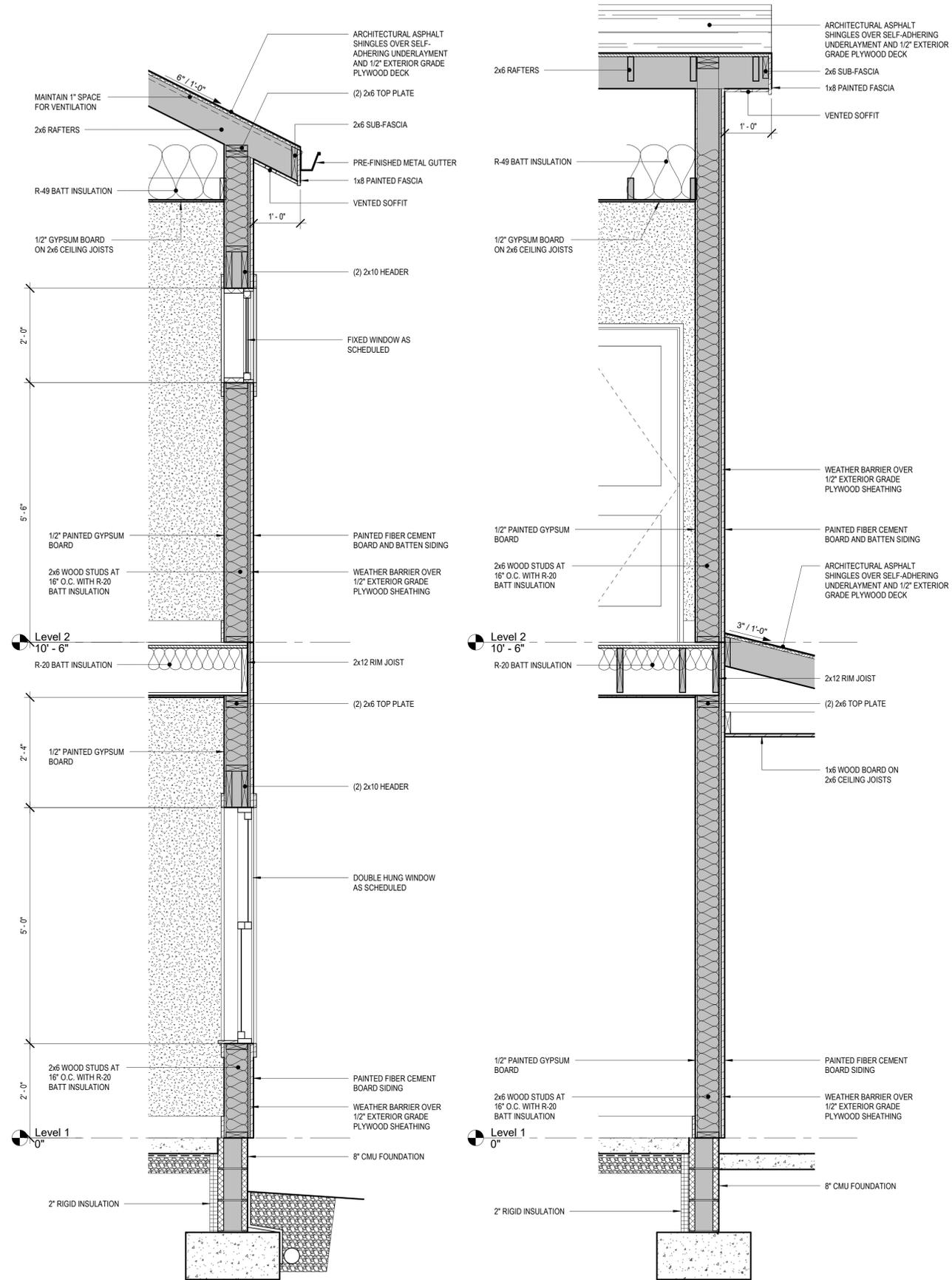
PROJECT NUMBER

2021-17

SHEET TITLE  
wall sections

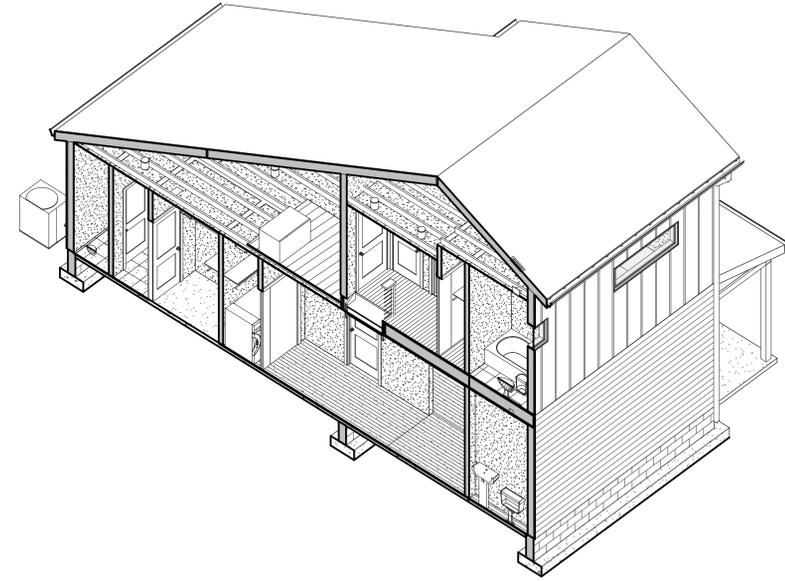
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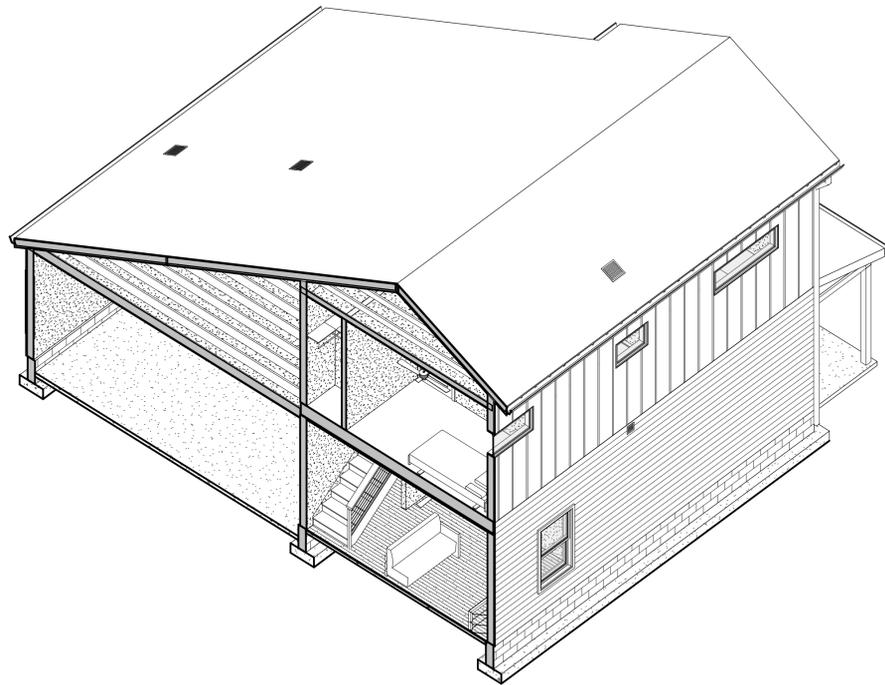


1 Wall Section 1  
3/4" = 1'-0"

2 Wall Section 2  
3/4" = 1'-0"



3 Section Axon 1



4 Section Axon 2