

WILLIAM CHURCH TOWNHOUSES

212 SUNSET DRIVE, NASHVILLE, TN 37207 ACRES = 0.52 PARCEL ID: 06012003700 CASE# 2022SP-017-001

"PURPOSE NOTE":

TO PERMIT FIVE (5) MULTI-FAMILY RESIDENTIAL UNITS.

FAIR HOUSING RIGHTS AND OBLIGATIONS

1. IT IS ILLEGAL TO DISCRIMINATE IN THE SALE OR RENTAL OF HOUSING, INCLUDING AGAINST INDIVIDUALS SEEKING A MORTGAGE OR HOUSING ASSISTANCE, OR IN OTHER HOUSING-RELATED ACTIVITIES. THE FAIR HOUSING ACT PROHIBITS THIS DISCRIMINATION BECAUSE OF RACE, COLOR, NATIONAL ORIGIN, RELIGION, SEX (INCLUDING GENDER, GENDER IDENTITY, SEXUAL ORIENTATION, AND SEXUAL HARASSMENT), FAMILIAL STATUS, AND DISABILITY, A VARIETY OF OTHER FEDERAL CIVIL RIGHTS LAWS, INCLUDING TITLE VI OF THE CIVIL RIGHTS ACT, SECTION 504 OF THE REHABILITATION ACT, AND THE AMERICANS WITH DISABILITIES ACT, PROHIBIT DISCRIMINATION IN HOUSING AND COMMUNITY DEVELOPMENT PROGRAMS AND ACTIVITIES, PARTICULARLY THOSE THAT ARE ASSISTED WITH HUD FUNDING. THESE CIVIL RIGHTS LAWS INCLUDE OBLIGATIONS SUCH AS TAKING REASONABLE STEPS TO ENSURE MEANINGFUL ACCESS TO THEIR PROGRAMS AND ACTIVITIES FOR PERSONS WITH LIMITED ENGLISH PROFICIENCY (LEP) AND TAKING APPROPRIATE STEPS TO ENSURE EFFECTIVE COMMUNICATION WITH INDIVIDUALS WITH DISABILITIES THROUGH THE PROVISION OF APPROPRIATE AUXILIARY AIDS AND SERVICES. VARIOUS FEDERAL FAIR HOUSING AND CIVIL RIGHTS LAWS REQUIRE HUD AND ITS PROGRAM PARTICIPANTS TO AFFIRMATIVELY FURTHER THE PURPOSES OF THE FAIR HOUSING ACT.

IMPERVIOUS SURFACES:

SITE DATA TABLE 0.52 ACRES (22,827 sf) WILLIAM CHURCH TOTAL PROJECT SITE AREA **212 SUNSET DRIVE** ZONING RS-10 NASHVILLE, TN 37207 PERMITTED USES RESIDENTIAL = WILLIAM Ph # 615-504-6107 MANISH Ph # 615-299-4777 060120 WILLIAM EMAIL: wchurch56@gmail.com **GROUP** = MANISH EMAIL: manish1800@gmail.com PARCEL 037.00 5,280 sf **BUILDING AREA** BUILDINGS 5,280 sf 4,849 sf **ROADWAY** IMPERVIOUS SURFACE RATIO (ISR) 2,700 sf DRIVEWAY 0.56% ISR 9,997.3 sf / .23 acres **PERVIOUS** = 12,829.3 sf / 0.29 acres **IMPERVIOUS** GRASS/LANDSCAPE 0.44% REQUIRED 9.6 UNITS PER ACRE DENSITY DWELLING UNITS RHODES ENGINEERING AND ENVIRONMENTAL **FRONT** STREET SETBACKS SHALL BE AS BUILDING SETBACKS FOR AN SP SIDE SPECIFICALLY LISTED IN THE SITE EMAIL: RhodesEngineering@gmail.co **ZONING FOR THIS PROPERTY** 1117 WHITNEY DRIVE SPECIFIC SP ORDINANCE COLUMBIA, TN 38401 REAR CIVIL ENVIRONMENTAL SITE DEVELOPMENT WATER/WASTE PRINCIPLE BUILDING HEIGHT 28'-4" COPYRIGHT © 202 FLOOR AREA RATIO (FAR) **ENTIRITY** 0.23% FLOOR AREA RATIO (FAR) PER UNIT 0.46% IMPERVIOUS SURFACE RATIO (ISR) 0.56% 1,056 sf SQUARE FOOTAGE OF EACH BLDG. HOME 1,056 SF HOME 1,056 SF 5 HOMES ARE PROPOSED, HOME 1,056 SF EXISTING IS 1 HOME. HOME 1,056 SF HOME 1,056 SF

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_NASHVILLE_AND_DAVIDSON_COUNTY/CODES/CODE_OF_ORDINANCES

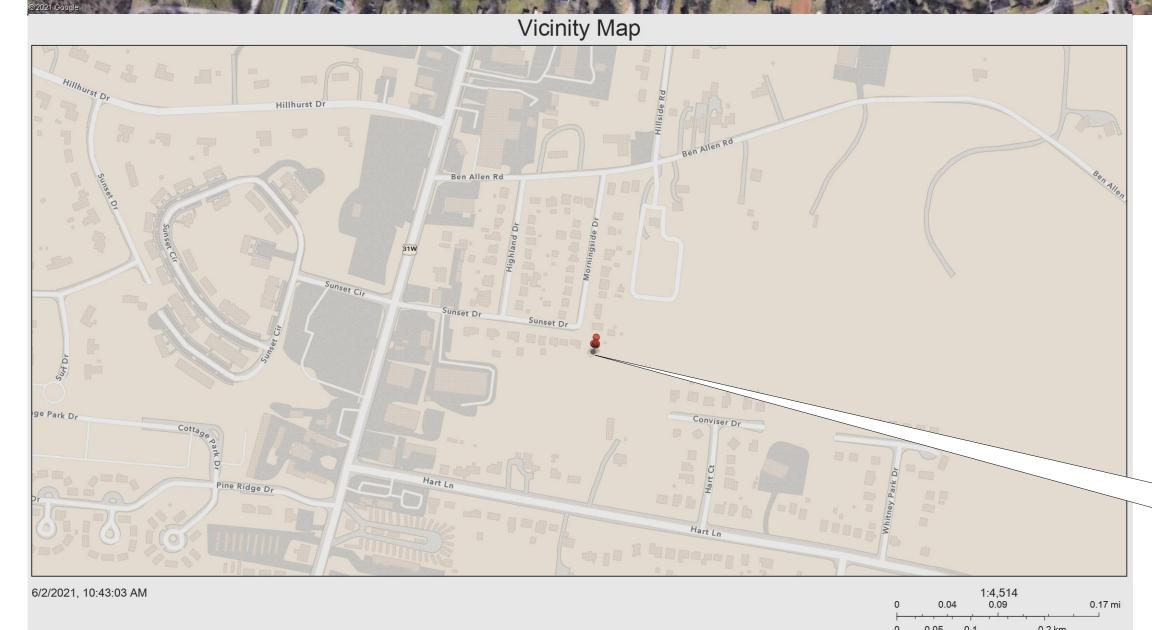
APPROVAL PWB

T4 URBAN NEIGHBORHOOD EVOLVING (T4 NE)
IS INTENDED TO CREATE AND ENHANCE URBAN RESIDENTIAL NEIGHBORHOODS THAT PROVIDE MORE HOUSING CHOICES, IMPROVED PEDESTRIAN, BICYCLE AND VEHICULAR CONNECTIVITY, AND MODERATE TO HIGH DENSITY DEVELOPMENT PATTERNS WITH SHALLOW SETBACKS AND MINIMAL SPACING BETWEEN BUILDINGS. T4 NE AREAS ARE SERVED BY HIGH LEVELS OF CONNECTIVITY WITH COMPLETE STREET NETWORKS, SIDEWALKS, BIKEWAYS AND EXISTING OR PLANNED MASS TRANSIT. T4 NE POLICY MAY BE APPLIED EITHER TO UNDEVELOPED OR SUBSTANTIALLY UNDER-DEVELOPED "GREENFIELD" AREAS OR TO DEVELOPED AREAS WHERE REDEVELOPMENT AND INFILL PRODUCE A DIFFERENT CHARACTER THAT INCLUDES INCREASED HOUSING DIVERSITY AND CONNECTIVITY. SUCCESSFUL INFILL AND REDEVELOPMENT IN EXISTING NEIGHBORHOODS NEEDS TO TAKE INTO ACCOUNT CONSIDERATIONS SUCH AS TIMING AND SOME ELEMENTS OF THE EXISTING DEVELOPED CHARACTER, SUCH AS THE STREET NETWORK AND BLOCK STRUCTURE AND PROXIMITY TO CENTERS AND

POLICY LANGUAGE

This plan is consistent with a single family residential use in the area and is presented in the same style and manner as new units added along Sunset Drive to the west, therefore this project is consistent with the existing neighborhood.

SITE LOCATION



NOTES:

- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- 2. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORM WATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15' RCP).

SITE LOCATION



		SHEE	T INDE	& REVISIONS		DRAWN DESIGN	PWB ATD		00/0000
	DRAWING NO. DRAWING DESCRIPTION SHEET DATE ISSUED CURRENT REVISION DESCRIPTION		CURRENT REV. DATE	CHECKED APPROVED	CAR CAR		00/00		
ſ	C-0.0	COVER SHEET	2/9/2022	X	3/29/2023				
Ī	C-1.0	EXISTING CONDITIONS	2/9/2022	X	3/29/2023				
	C-2.0	PROP SITE PLAN & DRVEWAY EASEMENTS	2/9/2022	X	3/29/2023				
ſ	C-3.0	GRADING PLAN	2/9/2022	X	3/29/2023			_	
	C-3.1	INITIAL EROSION CONTROL PLAN	2/9/2022	Х	3/29/2023	IRAT		I 37207	
	C-3.2	INTERMEDIATE & FINAL EROSION CONTROL PLAN	2/9/2022	X	3/29/2023	WILLIAM CHURCH & MANISH KHARAT	(A)	LE, TN	
	C-3.3	EROSION CONTROL DETAILS	2/9/2022	X	3/29/2023	MANIS	TOWNHOMES	NASHVILLE,	SHEET
	A-1.1	ELEVATIONS (FRONT)	2/9/2022	X	3/29/2023	SCH &	VNH	_	ER S
	A-1.2	ELEVATIONS (FRONT)	2/9/2022	X	3/29/2023	CHUF	10V	ET DRIVE,	COVER
	A-1.3	ELEVATIONS (SIDE)	2/9/2022	X	3/29/2023	ILLIAM		SUNSET	
	A-1.4	ELEVATIONS (SIDE)	2/9/2022	X	3/29/2023	Ä		212	
	A-1.5	ELEVATIONS (REAR)	2/9/2022	X	3/29/2023				
	A-2.0	FLOOR PLAN "A"	2/9/2022	N/A	3/29/2023				
	A-2.1	FLOOR PLAN "B"	2/9/2022	N/A	3/29/2023				
	A-2.2	FLOOR PLAN "C"	2/9/2022	N/A	3/29/2023	DWG. No.			
	A-2.3	FLOOR PLAN "D"	2/9/2022	N/A	3/29/2023	C-(0.0		
	L-1.1	LANDSCAPE PLAN	3/29/2023	X	3/29/2023	SCALE: NO		n Church_03-2	29-2023
	L-1.2	LANDSCAPE NOTES & DETAILS	3/29/2023	Х	3/29/2023	JOE	3 No.		REV.

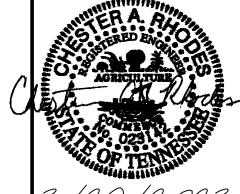
COVER SHEET





WILLIAM Ph # 615-504-6107 MANISH Ph # 615-299-4777

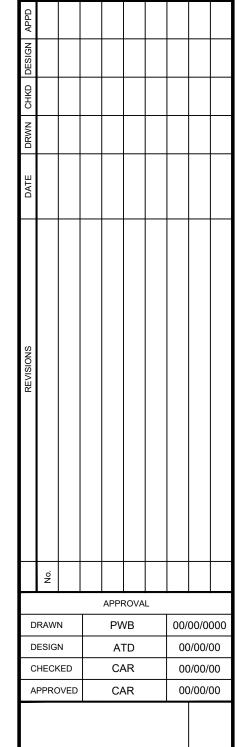
WILLIAM EMAIL: wchurch56@gmail.com MANISH EMAIL: manish1800@gmail.com



RHODES ENGINEERING

AND ENVIRONMENTAL SERVICES, LLC PHONE: 615.480.7535 EMAIL: RhodesEngineering@gmail.com 1117 WHITNEY DRIVE COLUMBIA, TN 38401 CIVIL ENVIRONMENTAL
SITE DEVELOPMENT WATER/WASTEV

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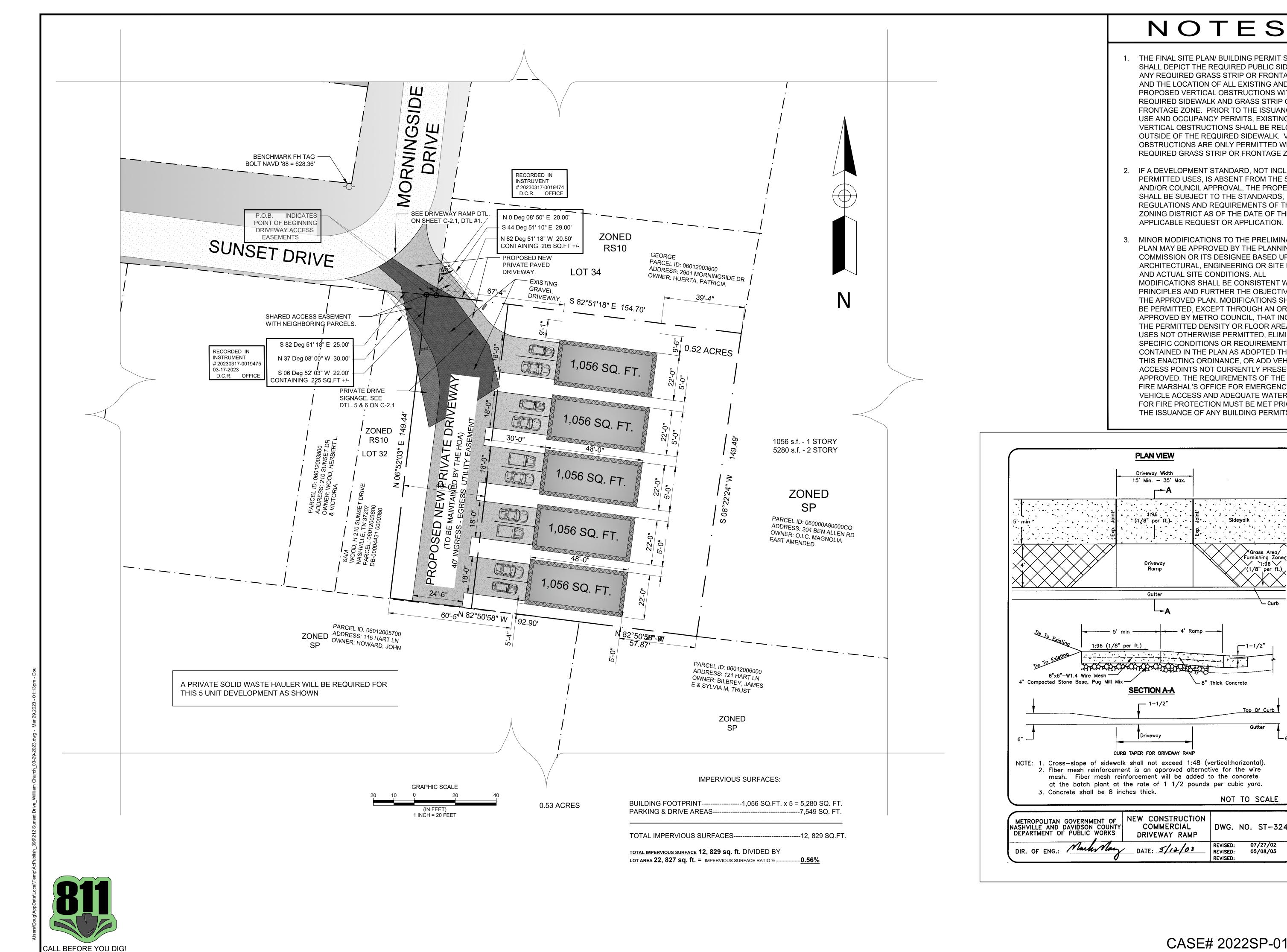
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CALE: NOTED

ADFILE: 212 Sunset Drive_William Church_03-29-2023

CASE# 2022SP-017-001

EXISTING CONDITIONS



NOTES

- THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- 2. IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM9 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL, THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.

✓ Furnishing Zone (

/(1/8" per ft.)

Top Of Curb

Gutter

NOT TO SCALE

DWG. NO. ST-324

REVISED:

07/27/02

05/08/03

─ 8" Thick Concrete

PLAN VIEW

Driveway Width 15' Min. — 35' Max.

1:96 (1/8" per ft.)

3. Concrete shall be 8 inches thick.

EXPERIENCE CONTRACTOR CONTRACTOR

SECTION A-A

Driveway

2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete

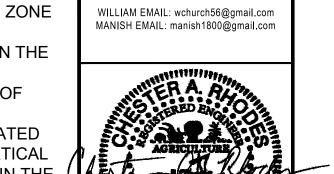
at the batch plant at the rate of $1 \frac{1}{2}$ pounds per cubic yard.

NEW CONSTRUCTION

COMMERCIAL

DRIVEWAY RAMP

DATE: 5/12/03



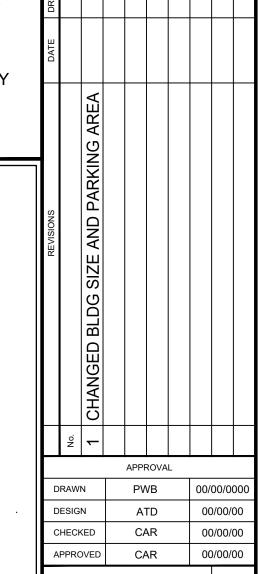
WILLIAM CHURCH **212 SUNSET DRIVE** NASHVILLE, TN 37207 WILLIAM Ph # 615-504-6107

MANISH Ph # 615-299-4777

RHODES ENGINEERING

AND ENVIRONMENTAL SERVICES, LLC PHONE: 615.480.7535 EMAIL: RhodesEngineering@gmail.cor 1117 WHITNEY DRIVE COLUMBIA, TN 38401

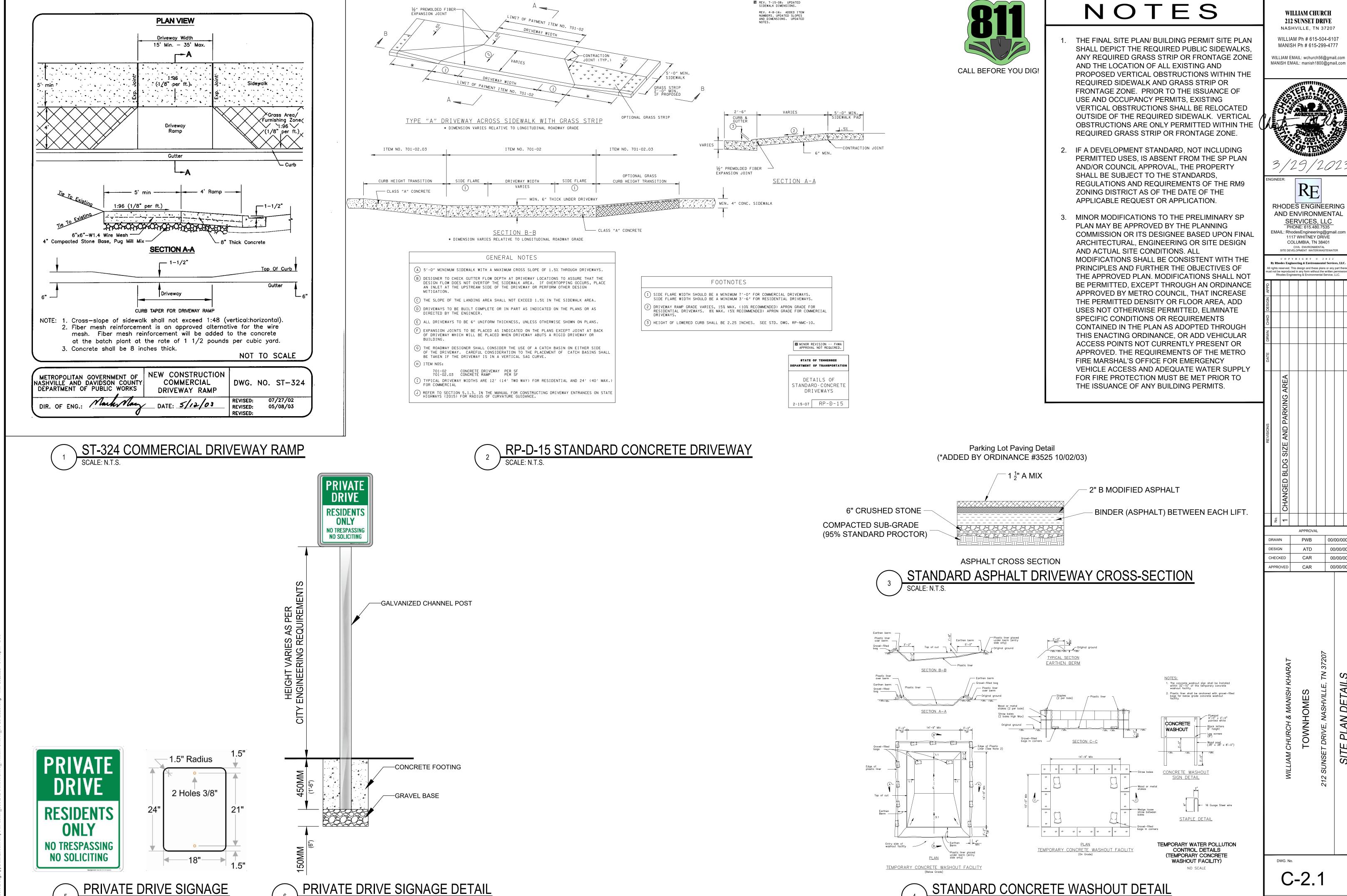
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C-2.0 ALE: NOTED DFILE: 212 Sunset Drive William Church 03-29-2023

CASE# 2022SP-017-001

PROPOSED SITE PLAN & DRIVEWAY EASEMENTS

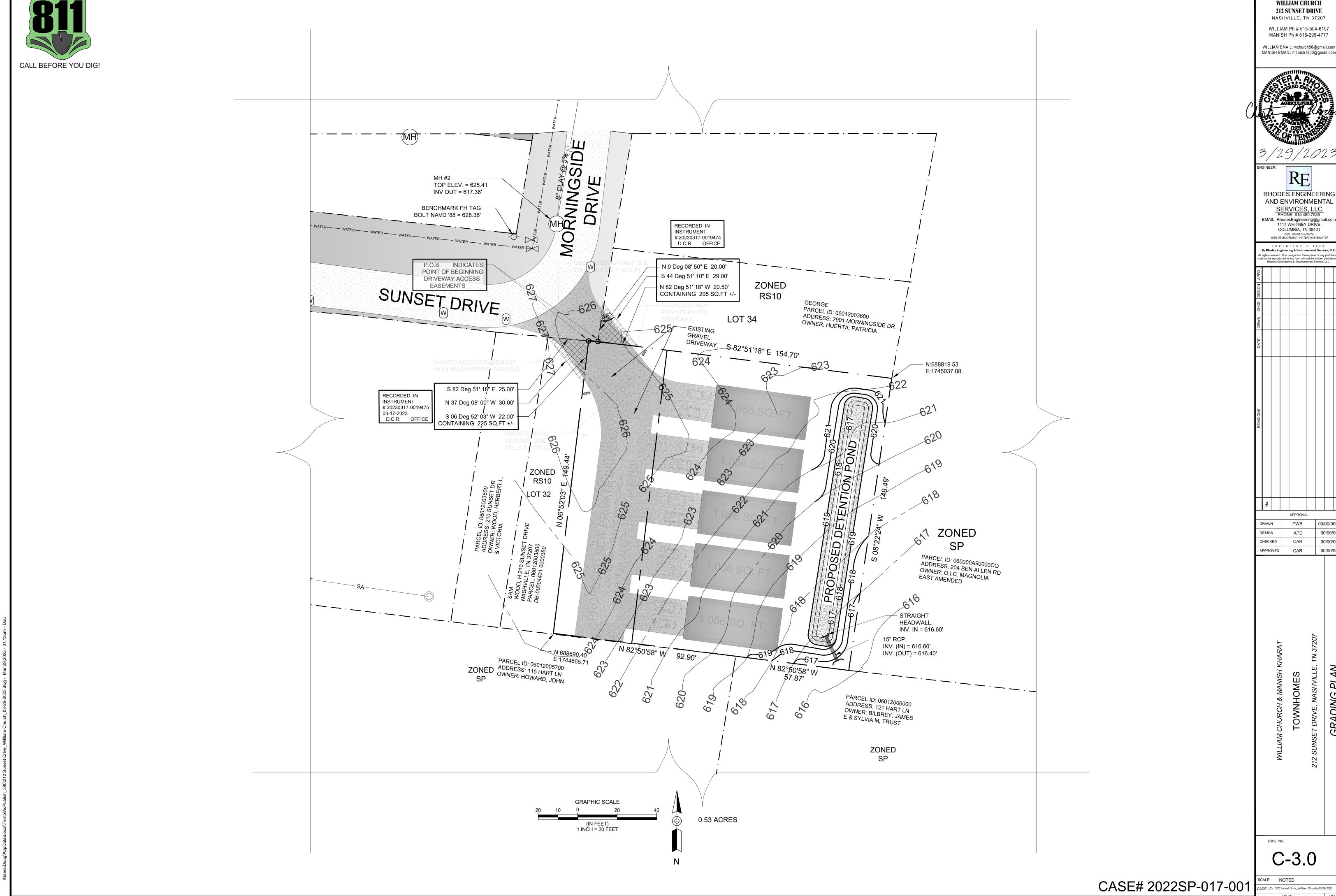


SITE PLAN DETAILS

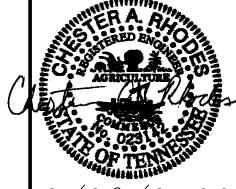


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CASE# 2022SP-017-001

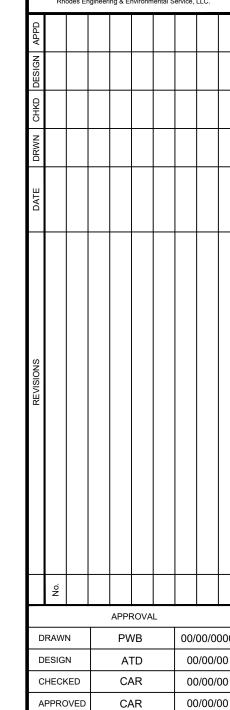


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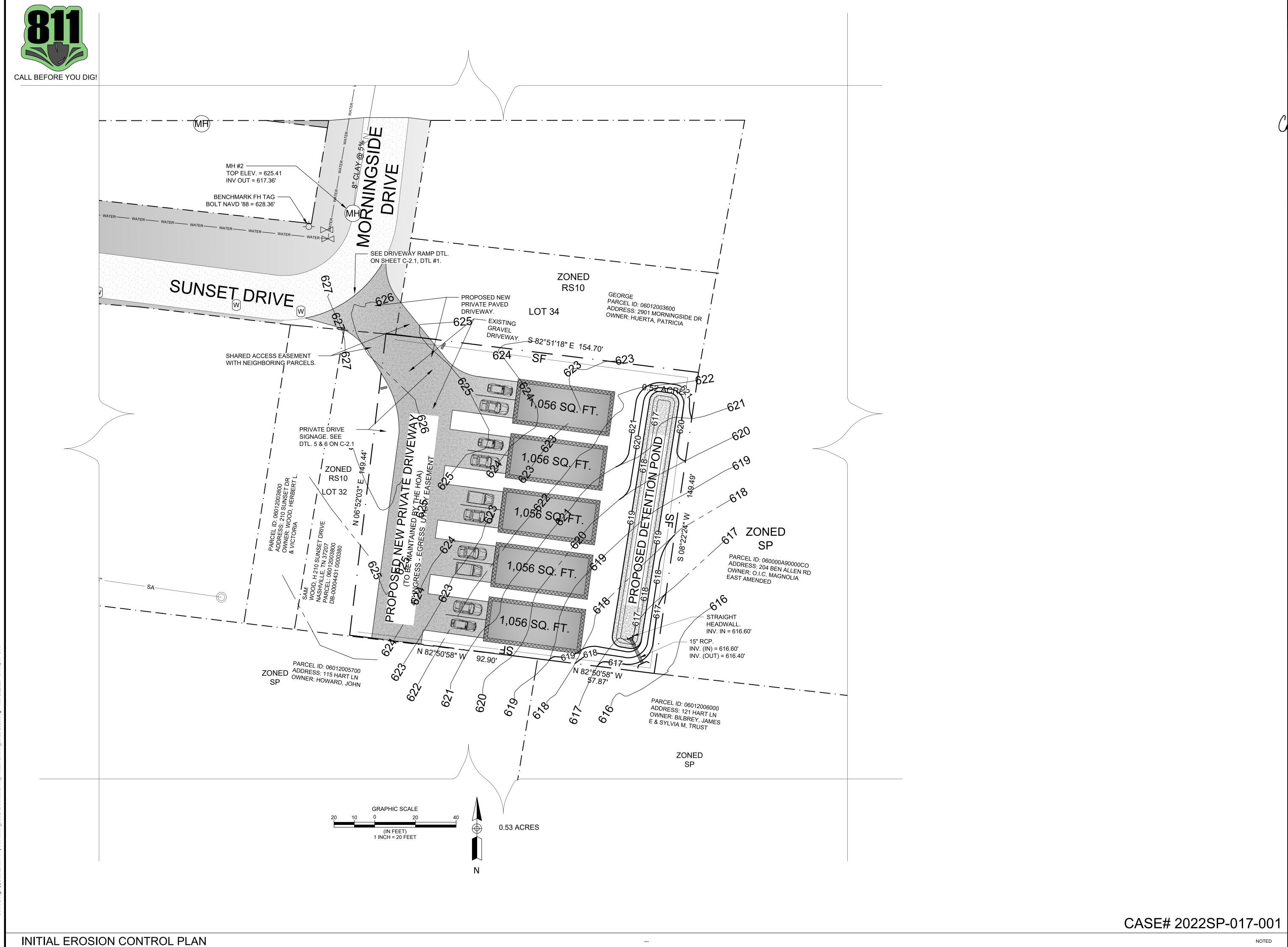
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APPROVED CAR

C-3.0

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SITE DEVELOPMENT WATERWASTEWATER

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APPROVAL PWB

ATD

CAR

CAR

CHECKED

APPROVED

WILLIAM Ph # 615-504-6107

CALE: NOTED

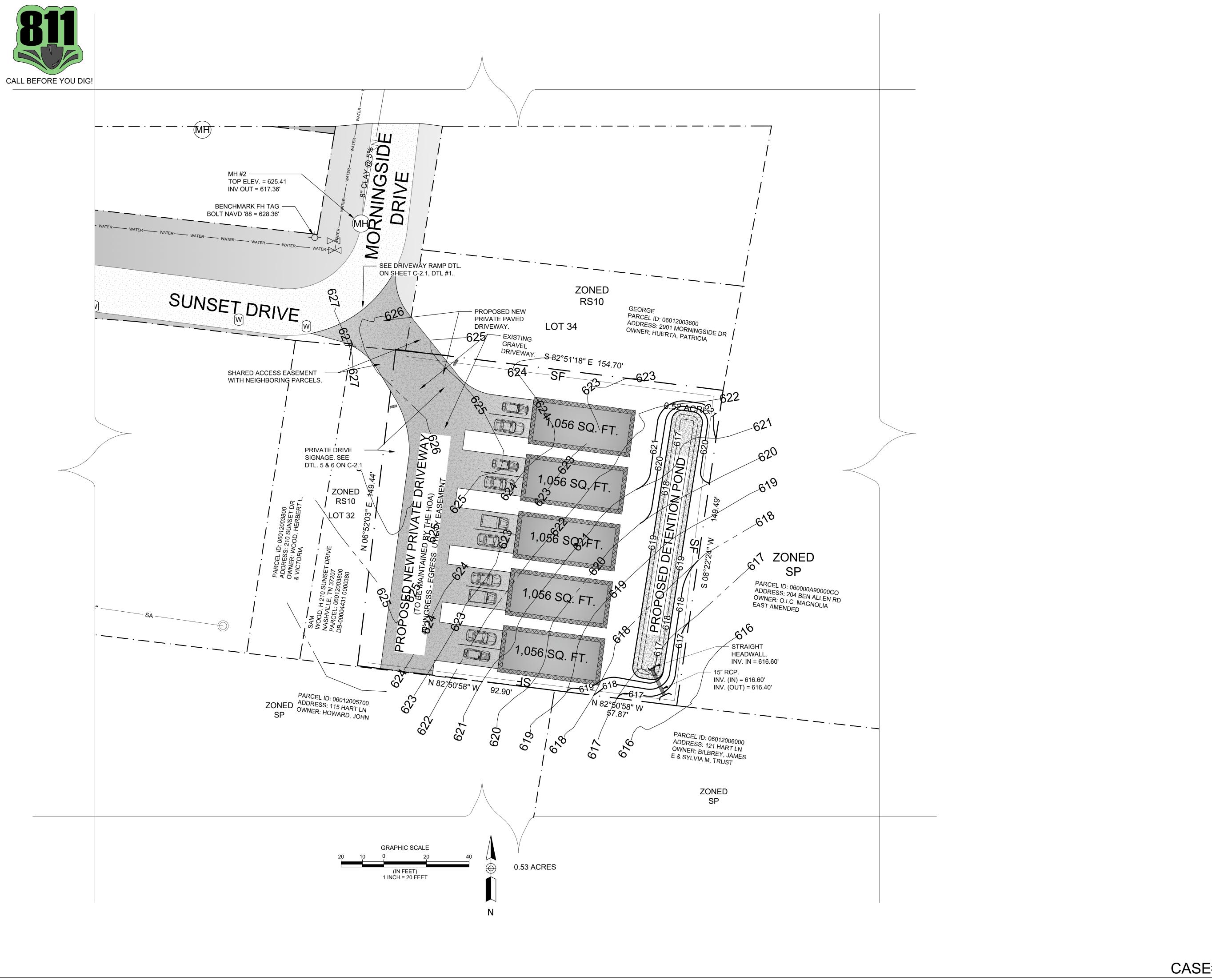
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C-3.1

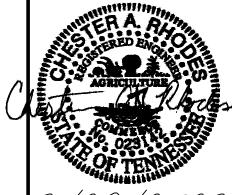
DWG. No.



MANISH Ph # 615-299-4777

WILLIAM Ph # 615-504-6107

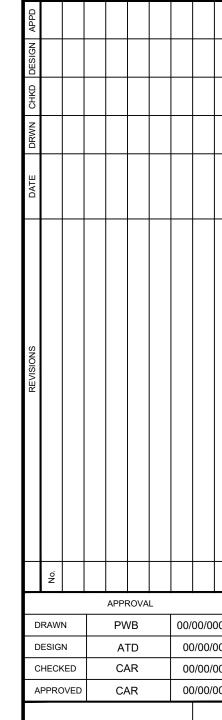
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C-3.2

CALE: NOTED

CASE# 2022SP-017-001

4" OVERLAP OF MATTING STRIPS WHERE TWO OR MORE STRIP WIDTHS ARE REQUIRED. ATTACH STAPLES ON 18" CENTERS STAPLE OUTSIDE EDGE OF MATTING ON 2'

CONSTRUCTION NOTES

1. KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6".

2. STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES. 3. BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM

CONTACT WITH THE SOIL. 4. STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER.

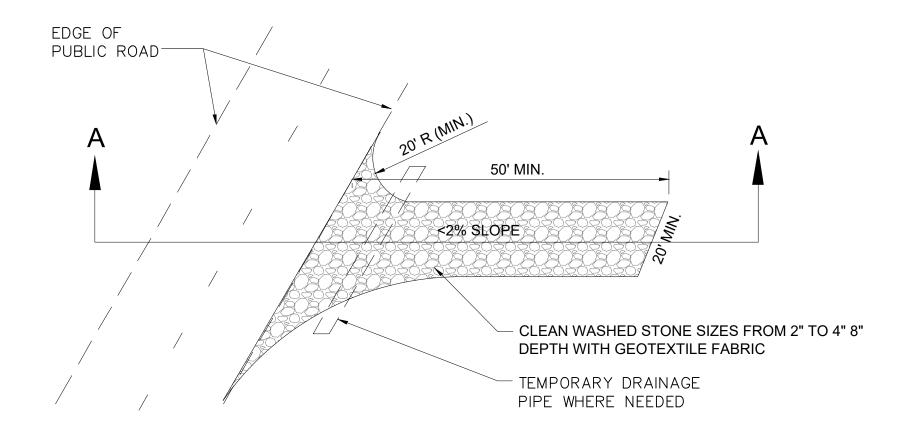
5. WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIP-LAP FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.

6. THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES. NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN.

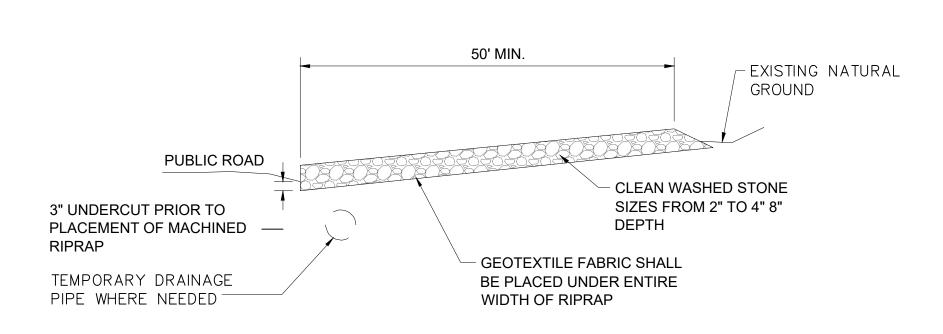
EROSION CONTROL MATTING DETAILS

TYPICAL STAPLES NO. 11 GAUGE WIRE

DETAIL C-4.2 / NOT TO SCALE



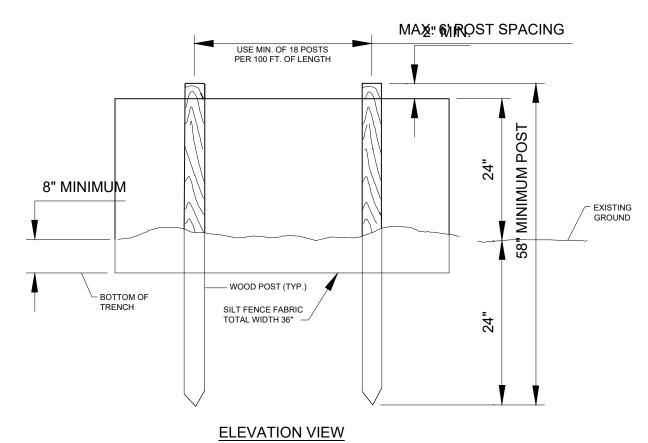
PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD

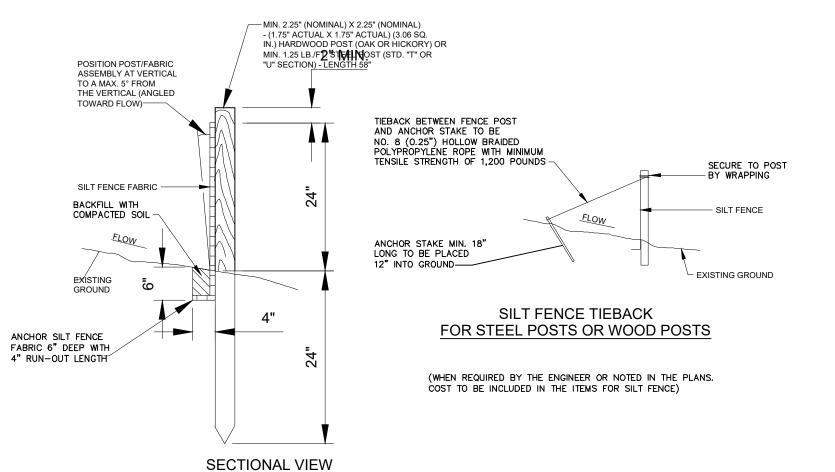


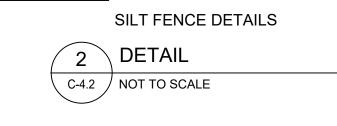
SECTION A-A

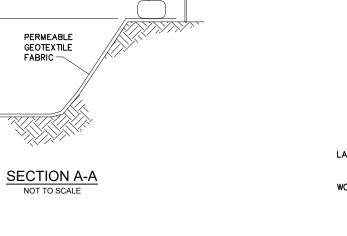
CONSTRUCTION ENTRANCE DETAIL

3 DETAIL C-4.2 NOT TO SCALE









PERMEABLE GEOTEXTILE FABRIC

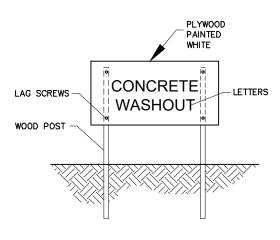
PERMEABLE

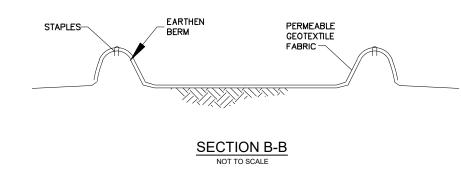
GEOTEXTILE

FABRIC

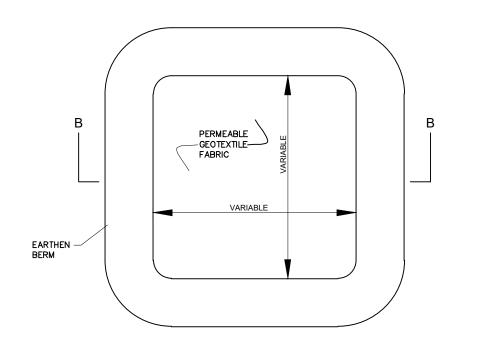
PLAN VIEW
NOT TO SCALE

TYPE "BELOW GRADE"





CONCRETE WASHOUT SIGN (OR EQUIVALENT)



NO	IES:
1. /	ACTUAL LAYOUT DETERMINED IN THE FIELD.
WAS	SIGNAGE IDENTIFYING THE CONCRETE SHOUT AREA SHALL BE INSTALLED WITHIN .OF THE WASHOUT FACILITY.



PLAN VIEW
NOT TO SCALE TYPE "ABOVE GRADE"
WITH EATHERN BERMS

CONCRETE WASH OUT

4 DETAIL C-4.2 / NOT TO SCALE

CASE# 2022SP-017-001

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WILLIAM CHURCH



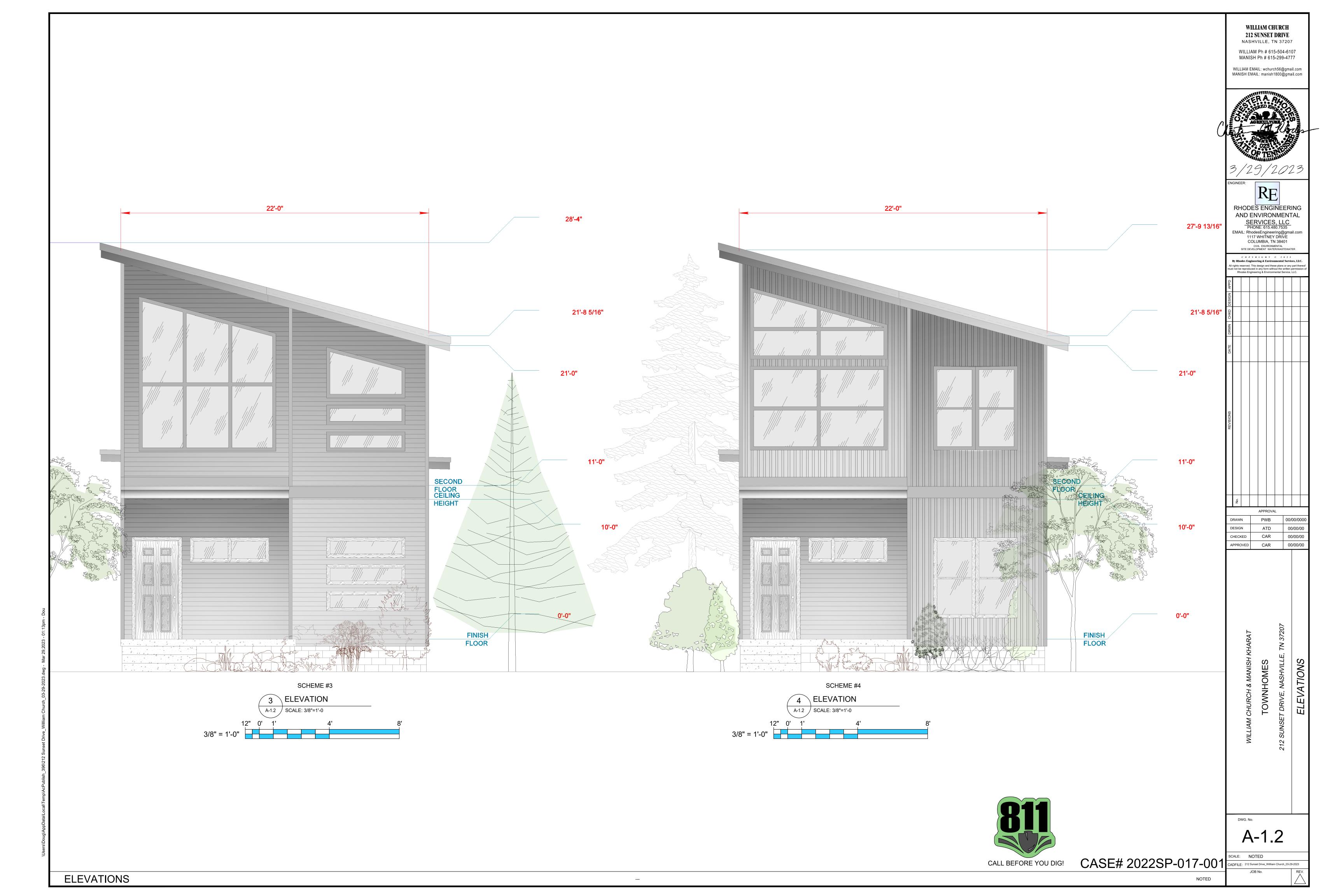
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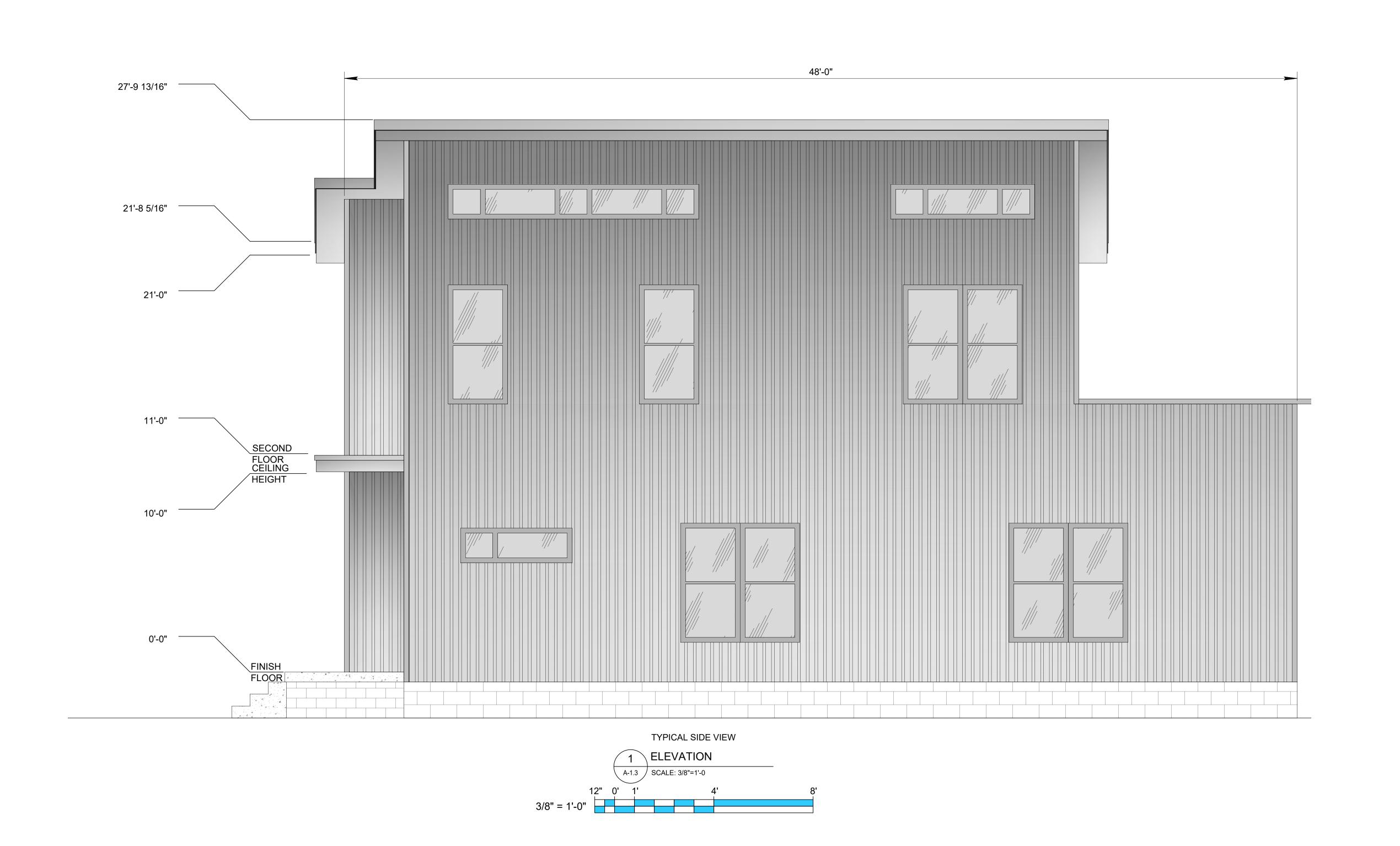
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C - 3.3CALE: NOTED

EROSION CONTROL DETAILS



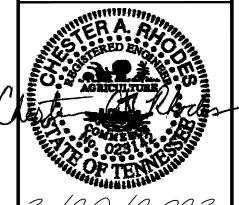




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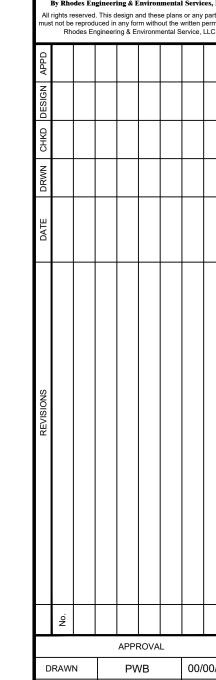


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 CAR
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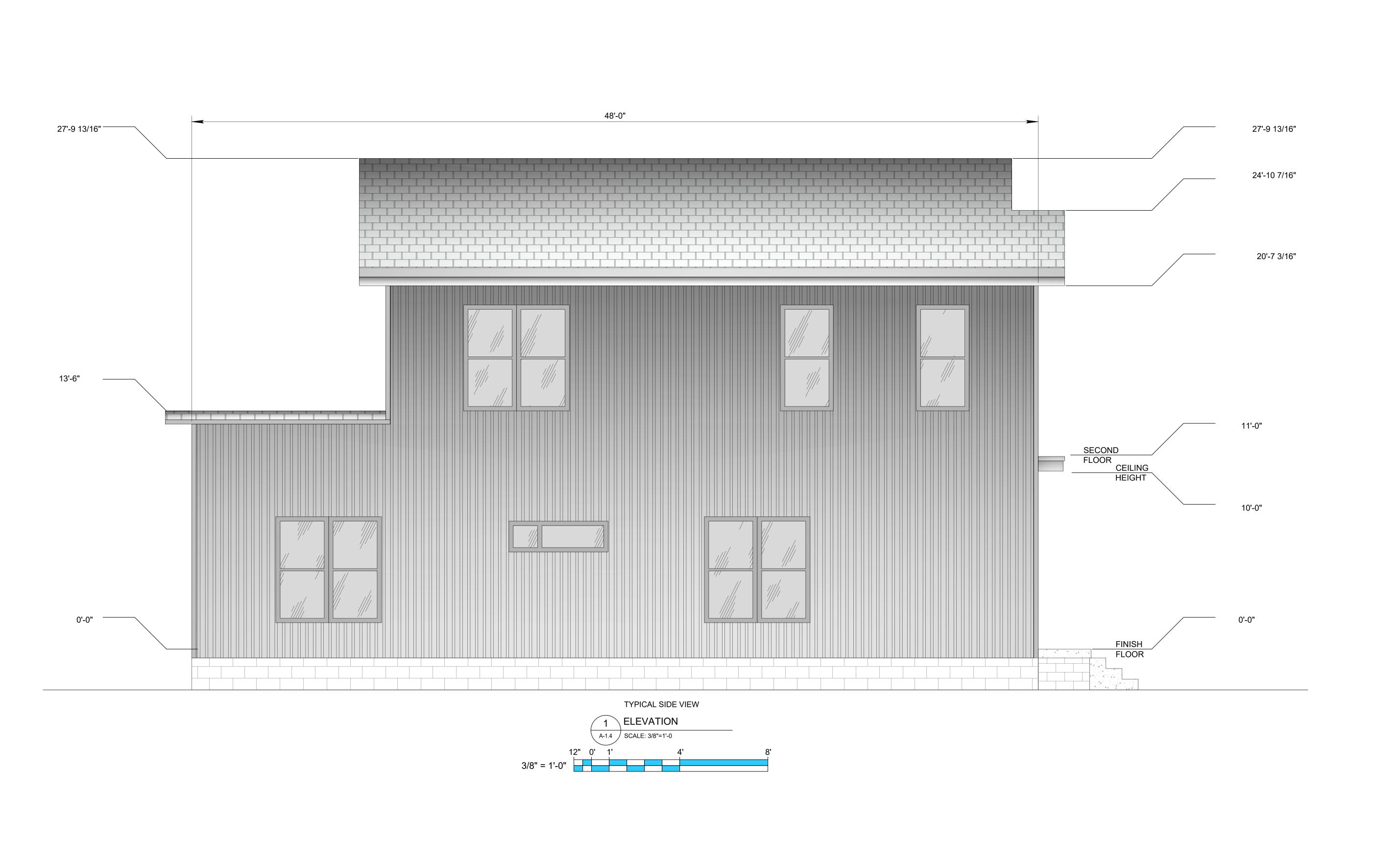
A-1.3

SCALE: NOTED

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ELEVATIONS



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APPROVED CAR

A-1.4

SCALE: NOTED

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ELEVATIONS



WILLIAM CHURCH

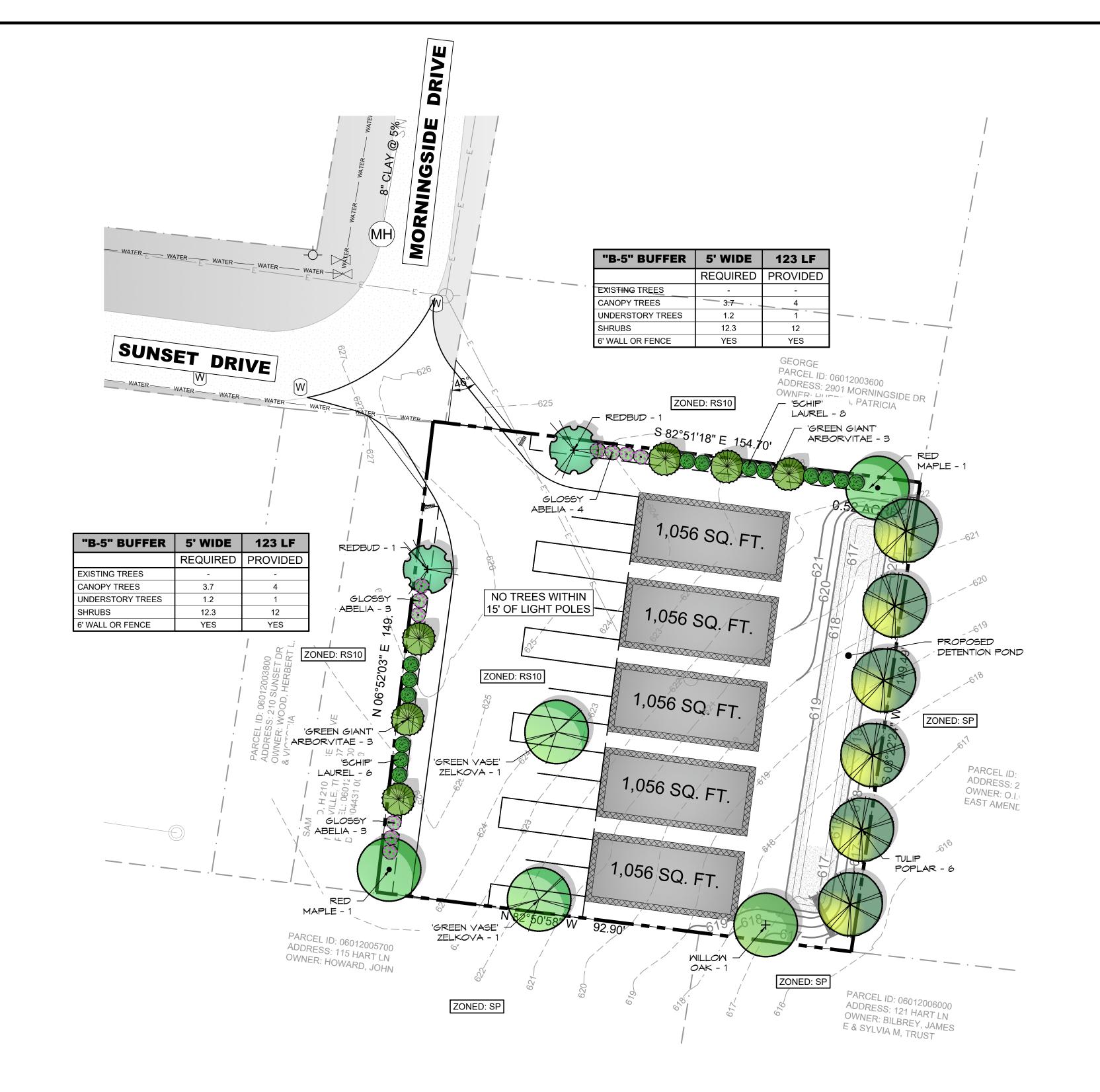
ELEVATIONS

- WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF
- THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA LANDSCAPE DESIGN (615) 469-1222.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- SOD 5' BEHIND CURBS AND ISLANDS ADJACENT TO BUILDING. USE EROSION CONTROL ON SLOPES 3:1 AND GREATER. SEED AND STRAW ALL OTHER DISTURBED AREAS.
- SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH I POUND OF FERTILIZER PER CUBIĆ YÁRD. A. SAND SHALL BE CLEAN MASONRY SAND. B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS. C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
- ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
- 10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
- 11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
- 12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
- 13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
- 14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
- 15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
- 17. SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDED AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED.
- 18. CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
- 19. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
- 20. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 21. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
- 22. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
- 23. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE. PLANTING DATES
 - SPRING: MARCH 15 APRIL 15 FALL: OCTOBER 1 - NOVEMBER 30
- 24. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- 25. NEW LANDSCAPING TO BE WATERED BY NEW AND EXISTING HOSE BIBS ON THE BUILDING.

LANDSCAPE CALCULATIONS					
SITE AREA:	22,826 SF	(0.52 AC)			
(SUBTRACT) BUILDING AREA:	-5,280 SF	(-0.12 AC)			
ADJUSTED AREA:	17,546 SF	(0.40 AC)			
	REQUIRED	PROVIDED			
TDU: (ADJUSTED AREA X 22)	8.9				
EXISTING TREES: (TDU)	-	0.0			
PROPOSED TREES: (TDU)		9.0			
TREE BANK (0) TREES		0.0			
TOTAL TDU TREES:	8.9	9.0			
INTERIOR PARKING SPACES:	-	23			
1 TREE / 15 SPACES:	2	2			
INTERIOR PARKING AREA:	-	6,634 SF			
PLANTING AREA: (MIN.)	8%	19.9%			
PLANTING AREA: (SQ. FT.)	531 SF	1,320 SF			
STREET FRONTAGE: (0')	N/A	N/A			
1 TREE/30'	0.0	0			
EVERGREEN SHRUB ROW	N/A	N/A			
PERIMETER YARDS:	YES	YES			
BUFFER YARDS: (TYPE "B-5")	YES	YES			

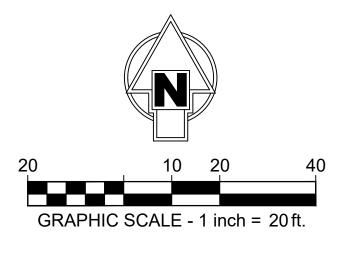


Kevin Reff, RLA KITA Sustainable Designs, LLC 2101 Masters Drive Springfield, TN 37172 (615) 469 - 1222 Ofc. (615) 594 - 7333 Cell. kreff@kitadesign.biz



PLANT SCHEDULE								
QTY.	COMMON NAME BOTANICAL NAME H		HEIGHT	TRUNK	COMMENTS			
CANOP	CANOPY TREES							
2	'Green Vase' Japanese Zelkova	Green Vase' Japanese Zelkova Zelkova serrata 'Green Vase'		2" Cal.	B&B			
6	'Green Giant' Arborvitae	Thuja (standish x plicata) 'Green Giant'	7' Min.	2" Cal.	B&B			
2	Red Maple	Acer rubrum	10' - 12'	2" Cal.	B&B			
6	Tulip Poplar	Liriodendron tulipifera	10' - 12'	2" Cal.	B&B			
1	Willow Oak	Quercus phellos	10' - 12'	2" Cal.	B&B			
17	TOTAL - CANOPY TREES		•					
UNDERSTORY/COLUMNAR TREES								
2	Redbud	Cercis canadensis	8' - 10'	2" Cal.	B&B			
2	TOTAL - UNDERSTORY TREES	3	-					
19	TOTAL - ALL TREES							
SHRUB	S							
10	Glossy Abelia	Abelia grandiflora	24" Min.	5 Gal.	Container			
14	Schip Laurel	Prunus laurocerasus 'Schipkaensis'	30" Min.	5 Gal.	Container			
24	TOTAL - SHRUBS		-					
GRASS	SES, PERENNIALS AND G	ROUND COVER						
TURF			•					
-	Hybrid Fescue Seed/Sod	Drought tolerant fescue blend						





PARCEL ID: 06012003700 CASE# 2022SP-017-001

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WILLIAM CHURCH

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CIVIL ENVIRONMENTAL SITE DEVELOPMENT WATER/WASTEWATER

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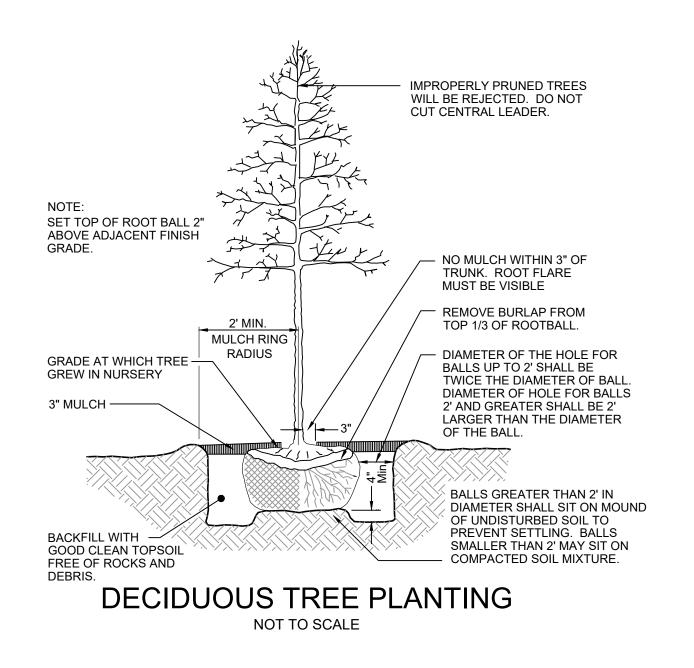
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L-1.1 CALE: NOTED



TREE DENSITY UNIT (TDU) WORKSHEET

Date 3/15/2023 60-12 06012003700 Parcel - 37 2022SP-017-001 Application number: Church Townhomes Project Name Address 212 Sunset Drive, Nashville, TN 37207

(Ordinace 94-1104) REV Sept-2019

1 Acreage (area of parcel including buliding site) 2 Minus Buliding Coverage Area 3 Equals Adjusted Acrage 4 Multiply by Required Tree Density Unit per acre choose one

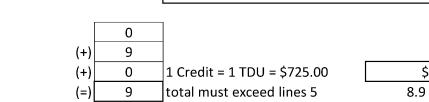
5 Required TDU for Project

HERITAGE TREE(S) RETAINED

HEMITIGE THEE(G) HEIT MITTED							
DBH	# OF TREES	VAULE	TDU				
8"		x 3.2	0				
10"		x 4.0	0				
12"		x 4.8	0				
14"		x 5.6	0				
16"		x 6.4	0				
18"		x 7.2	0				
20"		x 8.0	0				
22"		x 8.8	0				
24"		x 9.6	0				
*Greater th	nan 24" equals						
		0					

			add total to line 6
RETAINED	TREE(S)		
DBH	# OF TREES	VAULE	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
		total	0

CAL	# OF TREES	VAULE	TDU			
2"	17	x 0.5	8.5			
3"		x 0.6	0			
4"		x 0.7	0			
5"		x 0.9	0			
6"		x 1.0	0			
7"		x 1.2	0			
8"		x 1.3	0			
		total	8.5			
			add total to line 7			
XAMPLES but not limited to:						
Deciduous- Oak Maple, Poplar, Planetree, Ginko						
vergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar						



All Retained and Replacement trees must be shown on site plan.

6 Total TUD Retained on-site

9 Total Density Units Provided

7 Total TUD for Replacement Trees- On Site

8 Total Credits Paid to Tree Mitigation Bank*

Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.

Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit. * Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

add total to line 6

0.52 AC 22,826 SF 0.12 AC 5,280 SF 0.40 AC 17,546 SF All but single Family and 1 Single Family and 1 & 8.9 TDU

RETAINED TREE(S)						
DBH	# OF TREES	VAULE	TDU			
6"		x 1.8	0			
8"		x 2.4	0			
10"		x 3.0	0			
12"		x 3.6	0			
14"		x 4.2	0			
16"		x 4.8	0			
18"		x 5.4	0			
20"		x 6.0	0			
22"		x 6.6	0			
		total	0			

		add total to line 6
S)		
# OF TREES	VAULE	TDU
	x 23.1	0
	x 26.1	0
	x 27.6	0
	x 28.8	0
	x 30.0	0
	x 31.2	0
	x 35.1	0
	x 36.4	0
	x 37.7	0
	x 42.0	0
	total	0
	_	add total to line 6
	ĺ	# OF TREES VAULE x 23.1 x 26.1 x 27.6 x 28.8 x 30.0 x 31.2 x 35.1 x 36.4 x 37.7 x 42.0

REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL			
UNDERSTORY TREES and STREET TREES*			
CAL	# OF TREES	VAULE	TDU
2"	2	x 0.25	0.5
3"		x 0.3	0
4"		x 0.4	0
5"		x 0.5	0
6"		x 0.5	0
7"		x 0.6	0
8"		x 0.7	0
total			0.5
			add total to line 7

EXAMPLES but not limited to:
Columnar (Fastigiate)-Deciduous: Slender Silhouette Sweetgun Arnold Tulip Poplar, Princeton Sentry Gingko Understory Deciduous - Redbud, Dogwood, Flowering
Arnold Tulip Poplar, Princeton Sentry Gingko
Understory Deciduous - Redbud, Dogwood, Flowering
Cherry, Japanese Magnolia, Japanese Maple

Understory Evergreen - Dwf. Magnolia, Hybrid Holly, Cherry Laurel (tree form) Mature height avg. 30' or less. Small Understory Columnar varieties receive no TDU credit

\$0.00

8.9 TDU

DETAIL NOTES.

APPROVAL

00/00/0000

00/00/00

PWB

ATD

CAR

DESIGN

APPROVED

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CIVIL ENVIRONMENTAL SITE DEVELOPMENT WATER/WASTEWATER

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PARCEL ID: 06012003700

L-1.2 CALE: NOTED

CASE# 2022SP-017-001

LANDSCAPE NOTES AND DETAILS

JOB No.