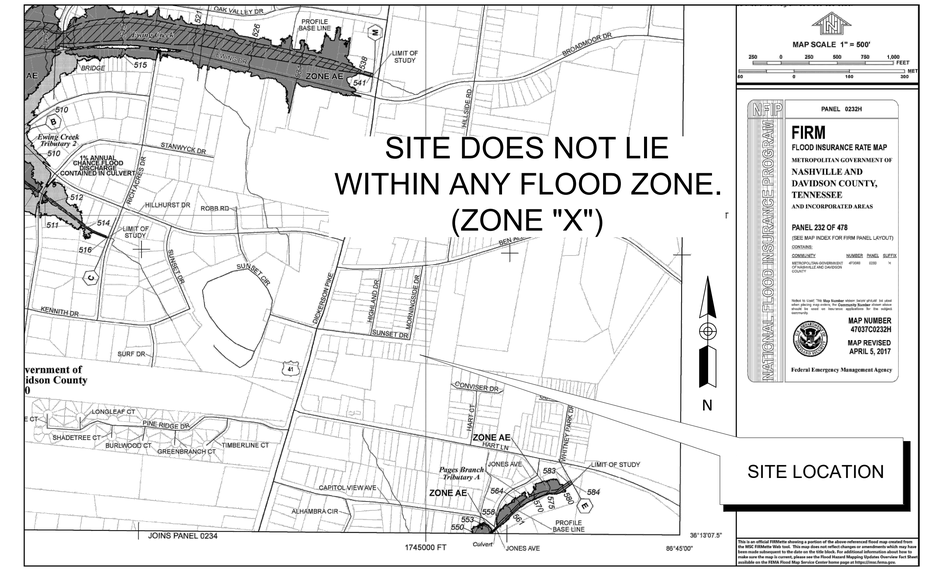
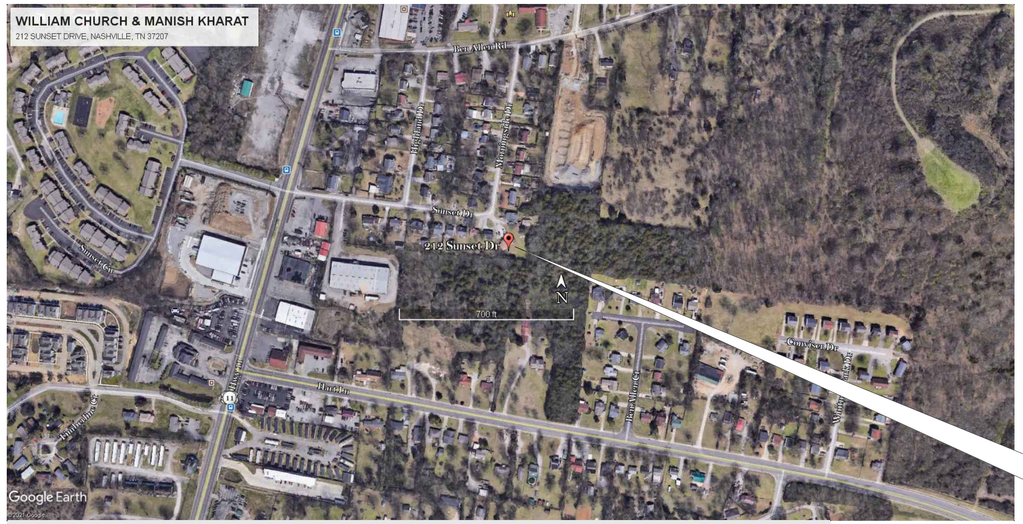
WILLIAM CHURCH TOWNHOUSES

212 SUNSET DRIVE, NASHVILLE, TN 37207
ACRES = 0.52
PARCEL ID: 06012003700
CASE# 2022SP-017-001

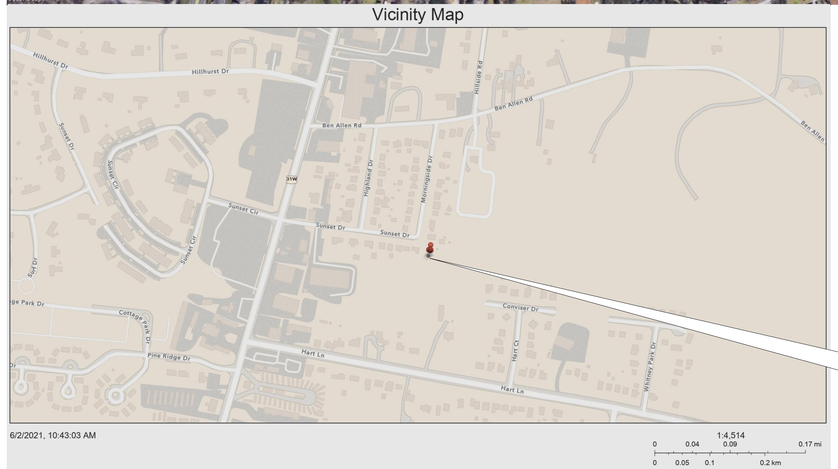
"PURPOSE NOTE":

TO PERMIT FIVE (5) MULTI-FAMILY RESIDENTIAL UNITS.





Vicinity Map



FAIR HOUSING RIGHTS AND OBLIGATIONS

1. IT IS ILLEGAL TO DISCRIMINATE IN THE SALE OR RENTAL OF HOUSING, INCLUDING AGAINST INDIVIDUALS SEEKING A MORTGAGE OR HOUSING ASSISTANCE, OR IN OTHER HOUSING-RELATED ACTIVITIES. THE FAIR HOUSING ACT PROHIBITS THIS DISCRIMINATION BECAUSE OF RACE, COLOR, NATIONAL ORIGIN, RELIGION, SEX (INCLUDING GENDER, GENDER IDENTITY, SEXUAL ORIENTATION, AND SEXUAL HARASSMENT), FAMILIAL STATUS, AND DISABILITY. A VARIETY OF OTHER FEDERAL CIVIL RIGHTS LAWS, INCLUDING TITLE VI OF THE CIVIL RIGHTS ACT, SECTION 504 OF THE REHABILITATION ACT, AND THE AMERICANS WITH DISABILITIES ACT, PROHIBIT DISCRIMINATION IN HOUSING AND COMMUNITY DEVELOPMENT PROGRAMS AND ACTIVITIES, PARTICULARLY THOSE THAT ARE ASSISTED WITH HUD FUNDING. THESE CIVIL RIGHTS LAWS INCLUDE OBLIGATIONS SUCH AS TAKING REASONABLE STEPS TO ENSURE MEANINGFUL ACCESS TO THEIR PROGRAMS AND ACTIVITIES FOR PERSONS WITH LIMITED ENGLISH PROFICIENCY (LEP) AND TAKING APPROPRIATE STEPS TO ENSURE EFFECTIVE COMMUNICATION WITH INDIVIDUALS WITH DISABILITIES THROUGH THE PROVISION OF APPROPRIATE AUXILIARY AIDS AND SERVICES. VARIOUS FEDERAL FAIR HOUSING AND CIVIL RIGHTS LAWS REQUIRE HUD AND ITS PROGRAM PARTICIPANTS TO AFFIRMATIVELY FURTHER THE PURPOSES OF THE FAIR HOUSING ACT.

IMPERVIOUS SURFACES:

BUILDING FOOTPRINT----------1,056 SQ.FT. x 5 = 5,280 SQ. FT.
PARKING & DRIVE AREAS----------7,549 SQ. FT.

TOTAL IMPERVIOUS SURFACES----------12, 829 SQ.FT.

TOTAL IMPERVIOUS SURFACE 12, 829 sq. ft. DIVIDED BY
LOT AREA 22, 827 sq. ft. = IMPERVIOUS SURFACE RATIO %----------0.56%

N

POLICY LANGUAGE
This plan is consistent with a single family residential use in the area and is presented in the same style and manner as new units added along Sunset Drive to the west, therefore this project is consistent with the existing neighborhood.

NOTES:

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORM WATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
4. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15' RCP).

N

811
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SITE DATA TABLE		
TOTAL PROJECT SITE AREA	=	0.52 ACRES (22,827 sf)
ZONING	=	RS-10
PERMITTED USES	=	RESIDENTIAL
MAP	=	060120
GROUP	=	
PARCEL	=	037.00
BUILDING AREA	=	5,280 sf
IMPERVIOUS SURFACE RATIO (ISR)	BUILDINGS	5,280 sf
	ROADWAY	4,849 sf
	DRIVEWAY	2,700 sf
	ISR	0.56%
PERVIOUS	=	9,997.3 sf / .23 acres
IMPERVIOUS	=	12,829.3 sf / 0.29 acres
GRASS/LANDSCAPE	=	0.44%
REQUIRED	=	0%
DENSITY	=	9.6 UNITS PER ACRE
DWELLING UNITS	=	5
BUILDING SETBACKS FOR AN SP ZONING FOR THIS PROPERTY	FRONT	STREET SETBACKS SHALL BE AS SPECIFICALLY LISTED IN THE SITE SPECIFIC SP ORDINANCE
	SIDE	
	REAR	
PRINCIPLE BUILDING HEIGHT	=	28'-4"
FLOOR AREA RATIO (FAR)	ENTIRITY	0.23%
FLOOR AREA RATIO (FAR)	PER UNIT	0.46%
IMPERVIOUS SURFACE RATIO (ISR)	=	0.56%
SQUARE FOOTAGE OF EACH BLDG.	=	1,056 sf
5 HOMES ARE PROPOSED, EXISTING IS 1 HOME.	=	1. HOME 1,056 SF
		2. HOME 1,056 SF
		3. HOME 1,056 SF
		4. HOME 1,056 SF
		5. HOME 1,056 SF

HTTPS://LIBRARY.MUNICODE.COM/TN/METRO_GOVERNMENT_OF_NASHVILLE_AND_DAVIDSON_COUNTY/CODES/CODE_OF_ORDINANCES

T4 URBAN NEIGHBORHOOD EVOLVING (T4 NE)
IS INTENDED TO CREATE AND ENHANCE URBAN RESIDENTIAL NEIGHBORHOODS THAT PROVIDE MORE HOUSING CHOICES, IMPROVED PEDESTRIAN, BICYCLE AND VEHICULAR CONNECTIVITY, AND MODERATE TO HIGH DENSITY DEVELOPMENT PATTERNS WITH SHALLOW SETBACKS AND MINIMAL SPACING BETWEEN BUILDINGS. T4 NE AREAS ARE SERVED BY HIGH LEVELS OF CONNECTIVITY WITH COMPLETE STREET NETWORKS, SIDEWALKS, BIKEWAYS AND EXISTING OR PLANNED MASS TRANSIT. T4 NE POLICY MAY BE APPLIED EITHER TO UNDEVELOPED OR SUBSTANTIALLY UNDER-DEVELOPED "GREENFIELD" AREAS OR TO DEVELOPED AREAS WHERE REDEVELOPMENT AND INFILL PRODUCE A DIFFERENT CHARACTER THAT INCLUDES INCREASED HOUSING DIVERSITY AND CONNECTIVITY. SUCCESSFUL INFILL AND REDEVELOPMENT IN EXISTING NEIGHBORHOODS NEEDS TO TAKE INTO ACCOUNT CONSIDERATIONS SUCH AS TIMING AND SOME ELEMENTS OF THE EXISTING DEVELOPED CHARACTER, SUCH AS THE STREET NETWORK AND BLOCK STRUCTURE AND PROXIMITY TO CENTERS AND CORRIDORS.

SHEET INDEX & REVISIONS

DRAWING NO.	DRAWING DESCRIPTION	SHEET DATE ISSUED	CURRENT REVISION DESCRIPTION	CURRENT REV. DATE
C-0.0	COVER SHEET	2/9/2022	X	3/29/2023
C-1.0	EXISTING CONDITIONS	2/9/2022	X	3/29/2023
C-2.0	PROP SITE PLAN & DRVEWAY EASEMENTS	2/9/2022	X	3/29/2023
C-3.0	GRADING PLAN	2/9/2022	X	3/29/2023
C-3.1	INITIAL EROSION CONTROL PLAN	2/9/2022	X	3/29/2023
C-3.2	INTERMEDIATE & FINAL EROSION CONTROL PLAN	2/9/2022	X	3/29/2023
C-3.3	EROSION CONTROL DETAILS	2/9/2022	X	3/29/2023
A-1.1	ELEVATIONS (FRONT)	2/9/2022	X	3/29/2023
A-1.2	ELEVATIONS (FRONT)	2/9/2022	X	3/29/2023
A-1.3	ELEVATIONS (SIDE)	2/9/2022	X	3/29/2023
A-1.4	ELEVATIONS (SIDE)	2/9/2022	X	3/29/2023
A-1.5	ELEVATIONS (REAR)	2/9/2022	X	3/29/2023
A-2.0	FLOOR PLAN "A"	2/9/2022	N/A	3/29/2023
A-2.1	FLOOR PLAN "B"	2/9/2022	N/A	3/29/2023
A-2.2	FLOOR PLAN "C"	2/9/2022	N/A	3/29/2023
A-2.3	FLOOR PLAN "D"	2/9/2022	N/A	3/29/2023
L-1.1	LANDSCAPE PLAN	3/29/2023	X	3/29/2023
L-1.2	LANDSCAPE NOTES & DETAILS	3/29/2023	X	3/29/2023

WILLIAM CHURCH
212 SUNSET DRIVE
NASHVILLE, TN 37207

WILLIAM Ph # 615-504-6107
MANISH Ph # 615-299-4777

WILLIAM EMAIL: wchurch56@gmail.com
MANISH EMAIL: manish1800@gmail.com

CHESTER A. RHODES, JR. REGISTERED ENGINEER AGRICULTURE No. 102311 STATE OF TENNESSEE
3/29/2023

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SITE DEVELOPMENT WATER/WASTEWATER

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No.	REVISIONS	DATE	DRWN	CHKD	DESIGN	APPD

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207
COVER SHEET

DWG. No.
C-0.0

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

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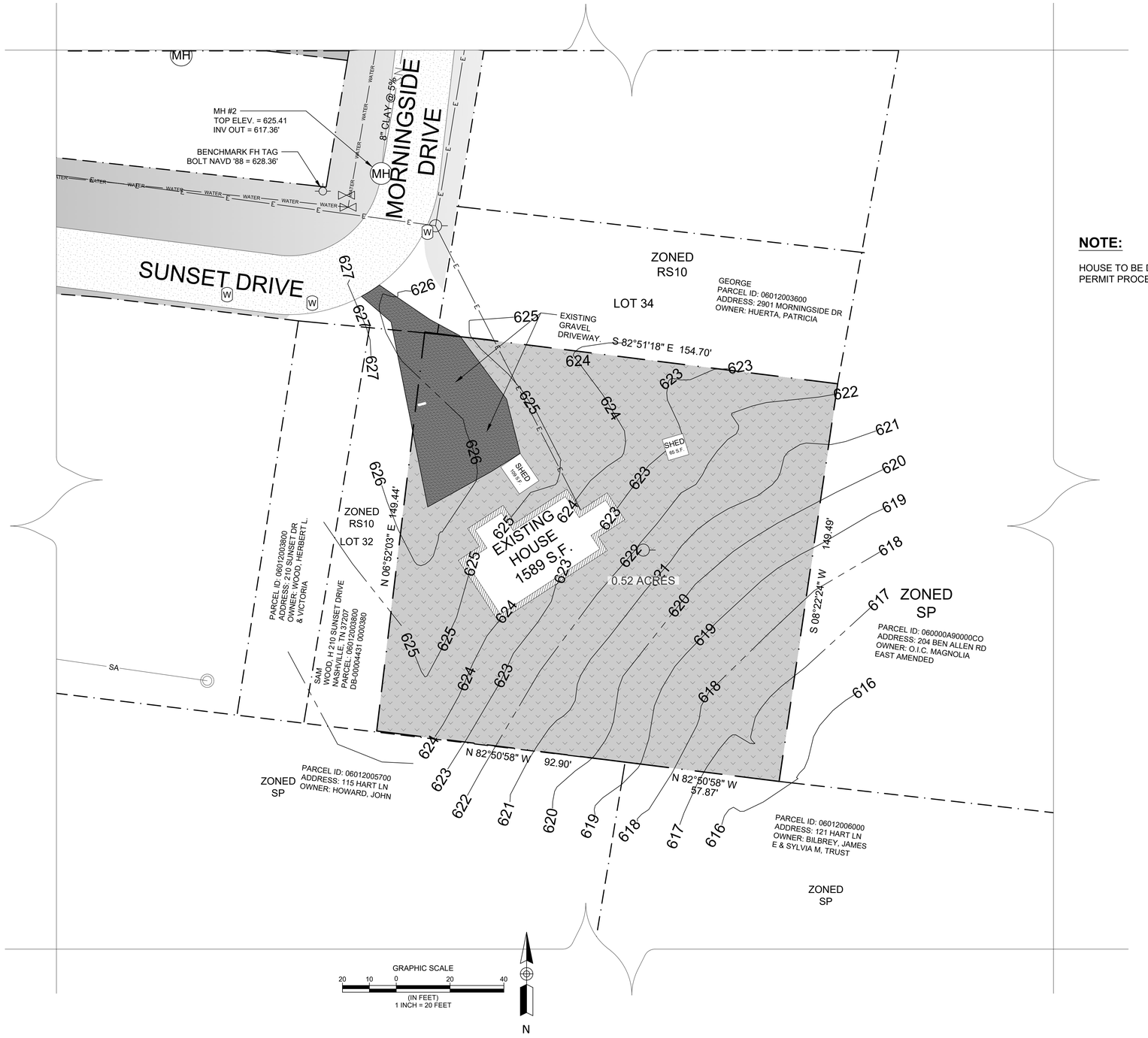
CALL BEFORE YOU DIG!



NOTE:

HOUSE TO BE DEMOLISHED PER METRO PERMIT PROCESS.

CASE# 2022SP-017-001

EXISTING CONDITIONS

NOTED

WILLIAM CHURCH
212 SUNSET DRIVE
NASHVILLE, TN 37207

WILLIAM Ph # 615-504-6107
MANISH Ph # 615-299-4777

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CHESTER A. RHODES
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AGRICULTURE
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3/29/2023

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No.	REVISIONS	DATE	DRWN	CHKD	DESIGN	APPD

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

EXISTING CONDITIONS

DWG. No.
C-1.0

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

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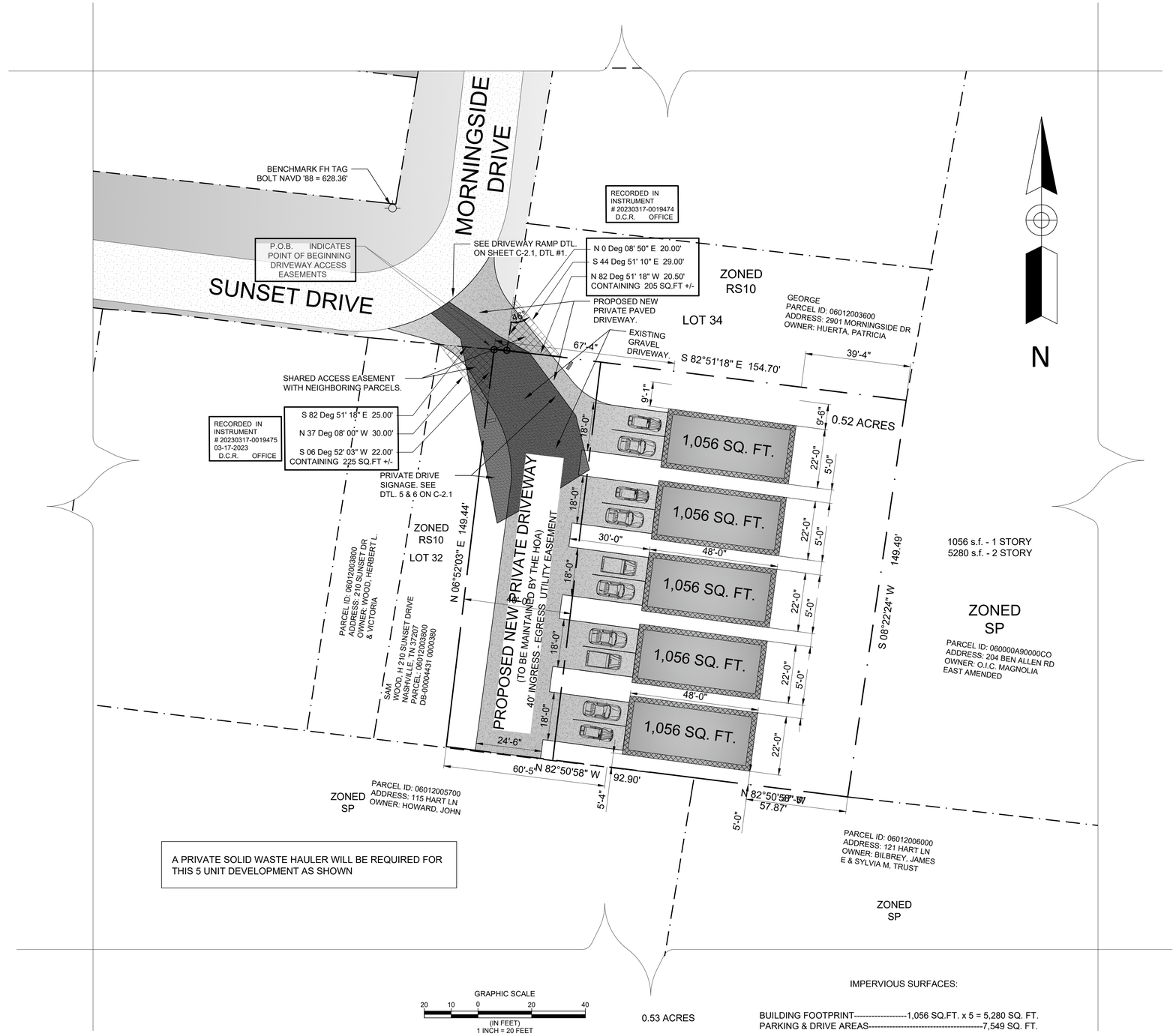

A PRIVATE SOLID WASTE HAULER WILL BE REQUIRED FOR THIS 5 UNIT DEVELOPMENT AS SHOWN

GRAPHIC SCALE
20 10 0 20 40
(IN FEET)
1 INCH = 20 FEET

0.53 ACRES

IMPERVIOUS SURFACES:

BUILDING FOOTPRINT----------1,056 SQ.FT. x 5 = 5,280 SQ. FT.
PARKING & DRIVE AREAS----------7,549 SQ. FT.

TOTAL IMPERVIOUS SURFACES----------12, 829 SQ.FT.

TOTAL IMPERVIOUS SURFACE **12, 829 sq. ft.** DIVIDED BY
LOT AREA **22, 827 sq. ft.** = IMPERVIOUS SURFACE RATIO %----------**0.56%**

NOTES

1. THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
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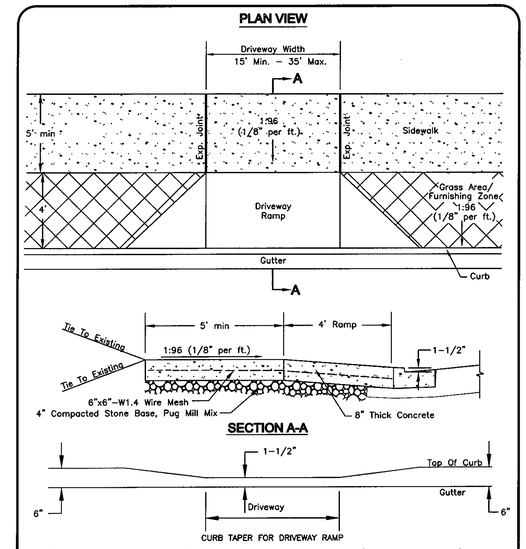

NOTE: 1. Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).
2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.
3. Concrete shall be 8 inches thick.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: Mark Macy	DATE: 5/12/03	REVISED: 07/27/02 REVISED: 05/08/03 REVISED:

WILLIAM CHURCH
212 SUNSET DRIVE
NASHVILLE, TN 37207

WILLIAM Ph # 615-504-6107
MANISH Ph # 615-299-4777

WILLIAM EMAIL: wchurch56@gmail.com
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3/29/2023

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No.	DATE	DRWN	CHKD	DESIGN	APPD	REVISIONS
1						CHANGED BLDG SIZE AND PARKING AREA

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

PROPOSED SITE PLAN & DRIVEWAY EASEMENTS

DWG. No.
C-2.0

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

CASE# 2022SP-017-001

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PROPOSED SITE PLAN & DRIVEWAY EASEMENTS

NOTED

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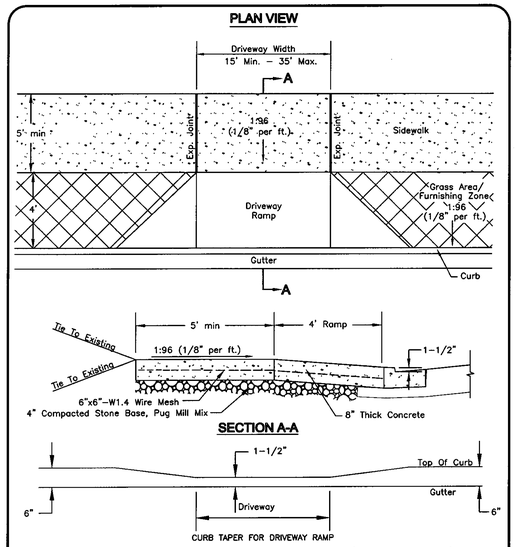
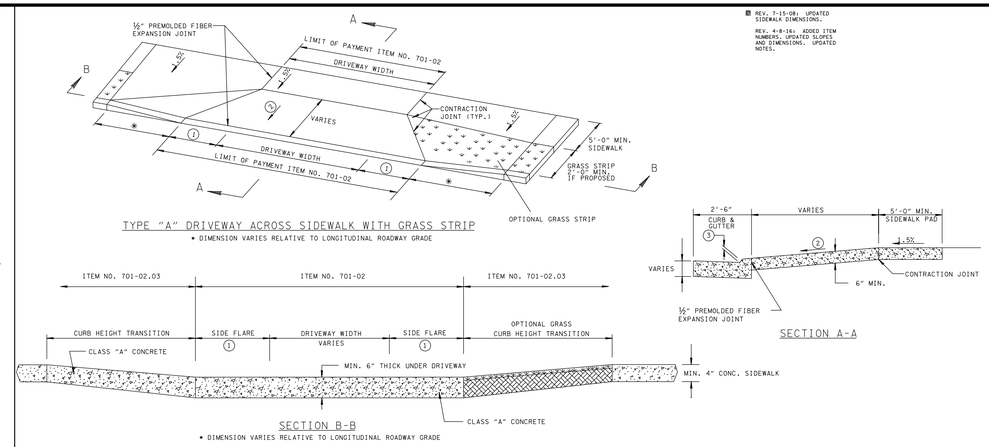


NOTE:
1. Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).
2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.
3. Concrete shall be 8 inches thick.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: Mark Sloan	DATE: 5/12/03	REVISED: 07/27/02 REVISED: 05/08/03 REVISED:

1 ST-324 COMMERCIAL DRIVEWAY RAMP
SCALE: N.T.S.



REV. 7-15-08: UPDATED SIDEWALK DIMENSIONS.

REV. 4-8-16: ADDED ITEM NUMBERS. UPDATED SLOPES AND DIMENSIONS. UPDATED NOTES.

GENERAL NOTES

(A) 5'-0" MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 1.5% THROUGH DRIVEWAYS.

(B) DESIGNER TO CHECK GUTTER FLOW DEPTH AT DRIVEWAY LOCATIONS TO ASSURE THAT THE DESIGN FLOW DOES NOT OVERTOP THE SIDEWALK AREA. IF OVERTOPPING OCCURS, PLACE AN INLET AT THE UPSTREAM SIDE OF THE DRIVEWAY OR PERFORM OTHER DESIGN MITIGATION.

(C) THE SLOPE OF THE LANDING AREA SHALL NOT EXCEED 1.5% IN THE SIDEWALK AREA.

(D) DRIVEWAYS TO BE BUILT COMPLETE OR IN PART AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

(E) ALL DRIVEWAYS TO BE 6" UNIFORM THICKNESS, UNLESS OTHERWISE SHOWN ON PLANS.

(F) EXPANSION JOINTS TO BE PLACED AS INDICATED ON THE PLANS EXCEPT JOINT AT BACK OF DRIVEWAY WHICH WILL BE PLACED WHEN DRIVEWAY ABUTS A RIGID DRIVEWAY OR BUILDING.

(G) THE ROADWAY DESIGNER SHALL CONSIDER THE USE OF A CATCH BASIN ON EITHER SIDE OF THE DRIVEWAY. CAREFUL CONSIDERATION TO THE PLACEMENT OF CATCH BASINS SHALL BE TAKEN IF THE DRIVEWAY IS IN A VERTICAL SAG CURVE.

(H) ITEM NOS:
701-02 CONCRETE DRIVEWAY PER SF
701-02.03 CONCRETE RAMP PER SF

(I) TYPICAL DRIVEWAY WIDTHS ARE 12' (14' TWO WAY) FOR RESIDENTIAL AND 24' (40' MAX.) FOR COMMERCIAL

(J) REFER TO SECTION 5.1.3. IN THE MANUAL FOR CONSTRUCTING DRIVEWAY ENTRANCES ON STATE HIGHWAYS (2015) FOR RADIUS OF CURVATURE GUIDANCE.

FOOTNOTES

(1) SIDE FLARE WIDTH SHOULD BE A MINIMUM 7'-0" FOR COMMERCIAL DRIVEWAYS. SIDE FLARE WIDTH SHOULD BE A MINIMUM 3'-6" FOR RESIDENTIAL DRIVEWAYS.

(2) DRIVEWAY RAMP GRADE VARIES, 15% MAX. (10% RECOMMENDED) APRON GRADE FOR RESIDENTIAL DRIVEWAYS. 8% MAX. (5% RECOMMENDED) APRON GRADE FOR COMMERCIAL DRIVEWAYS.

(3) HEIGHT OF LOWERED CURB SHALL BE 2.25 INCHES. SEE STD. DWG. RP-NMC-10.

MINOR REVISION -- FHWA APPROVAL NOT REQUIRED.

STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION

DETAILS OF STANDARD CONCRETE DRIVEWAYS

2-15-07	RP-D-15

2 RP-D-15 STANDARD CONCRETE DRIVEWAY
SCALE: N.T.S.

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NOTES

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2. IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM9 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

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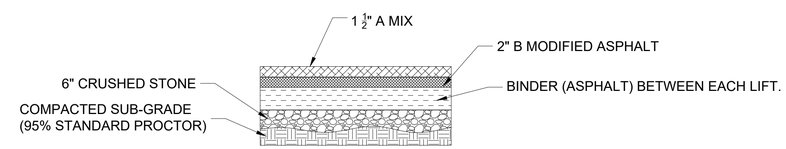
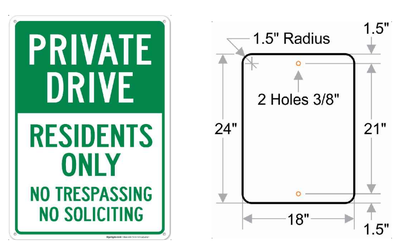
Parking Lot Paving Detail
(*ADDED BY ORDINANCE #3525 10/02/03)

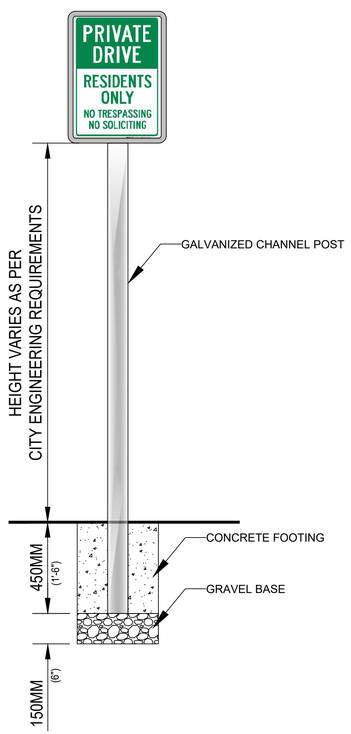


ASPHALT CROSS SECTION

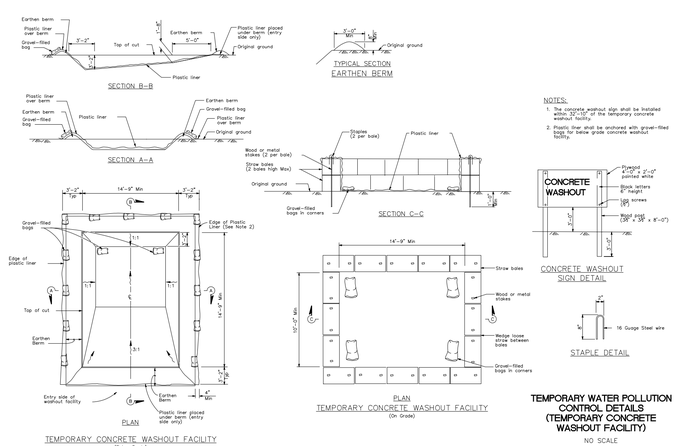
3 STANDARD ASPHALT DRIVEWAY CROSS-SECTION
SCALE: N.T.S.



5 PRIVATE DRIVE SIGNAGE
SCALE: N.T.S.



6 PRIVATE DRIVE SIGNAGE DETAIL
SCALE: N.T.S.



4 STANDARD CONCRETE WASHOUT DETAIL
SCALE: N.T.S.

CASE# 2022SP-017-001

WILLIAM CHURCH
212 SUNSET DRIVE
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MANISH Ph # 615-299-4777
WILLIAM EMAIL: wchurch56@gmail.com
MANISH EMAIL: manish1800@gmail.com

CHESTER A. RHODES REGISTERED ENGINEER AGRICULTURE COMMERCE STATE OF TENNESSEE

3/29/2023

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SITE DEVELOPMENT WATER/WASTEWATER

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No.	REVISIONS	DATE	DRWN	CHKD	DESIGN	APPD
1	CHANGED BLDG SIZE AND PARKING AREA					

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207
SITE PLAN DETAILS

DWG. No.
C-2.1

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

Users\DougApp\AppData\Local\Temp\AcPublish_39812\212 Sunset Drive_William Church_03-29-2023.dwg - Mar 29,2023 - 01:13pm - Dou

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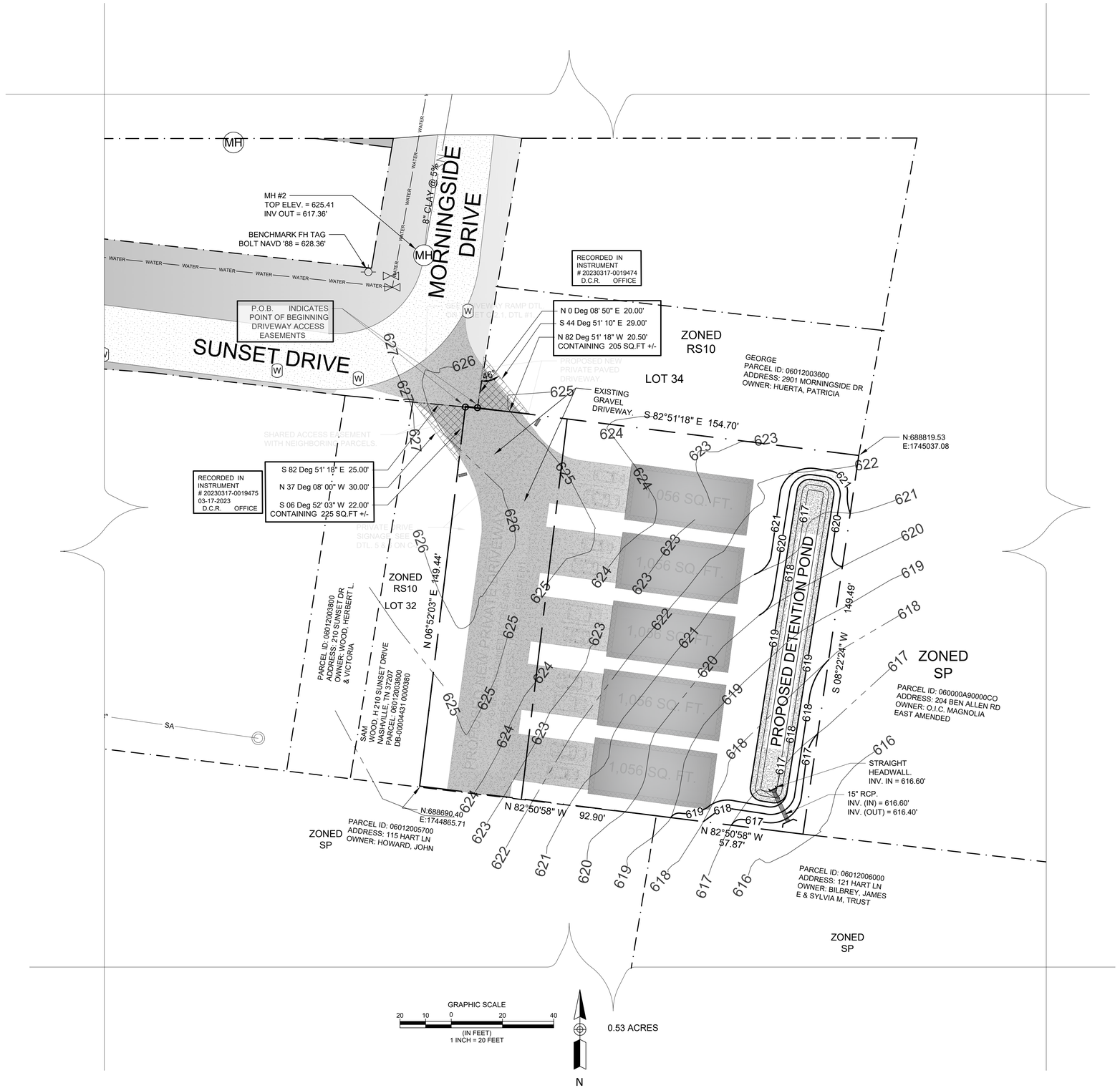

CASE# 2022SP-017-001

GRADING PLAN

NOTED

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No.	REVISIONS	DATE	DRWN	CHKD	DESIGN	APPD

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DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

GRADING PLAN

DWG. No.
C-3.0

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

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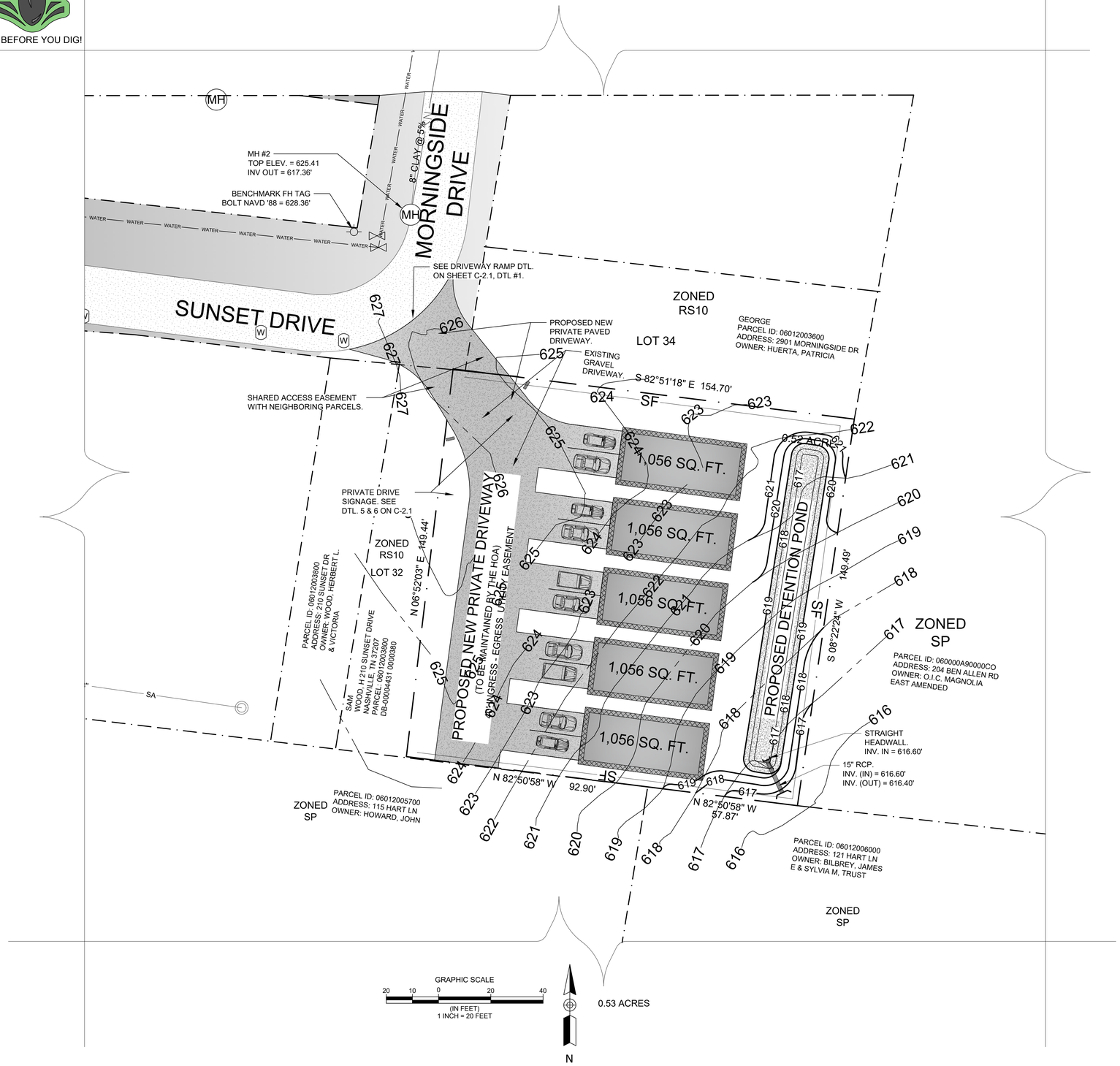

CASE# 2022SP-017-001

INITIAL EROSION CONTROL PLAN

NOTED

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CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

INITIAL EROSION CONTROL PLAN

DWG. No.
C-3.1

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
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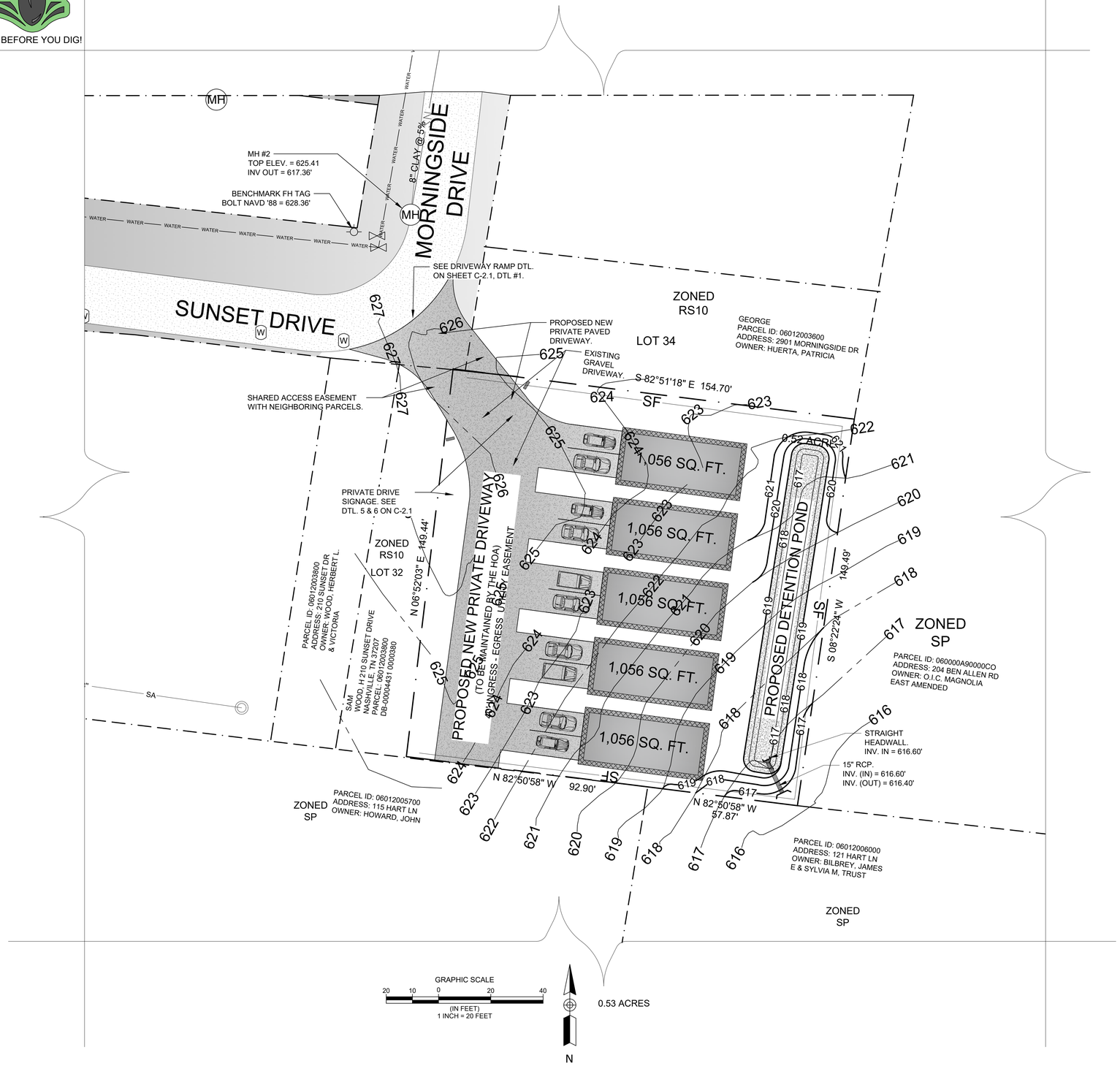

CASE# 2022SP-017-001

INTERMEDIATE & FINAL EROSION CONTROL PLAN

NOTED

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APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

INTERMEDIATE & FINAL EROSION CONTROL PLAN

DWG. No.
C-3.2

SCALE: NOTED
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JOB No.
REV.

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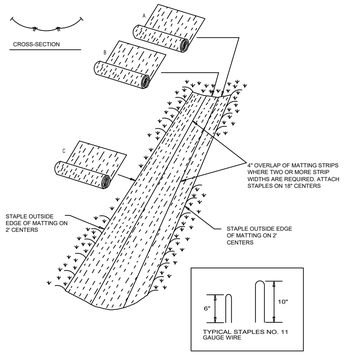
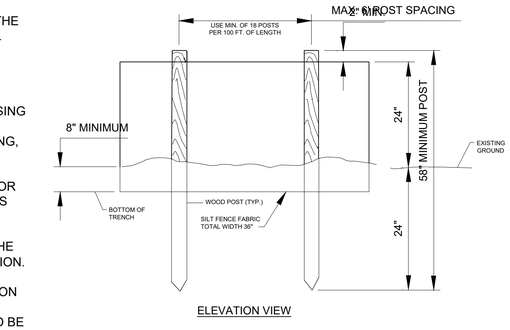
CONSTRUCTION NOTES



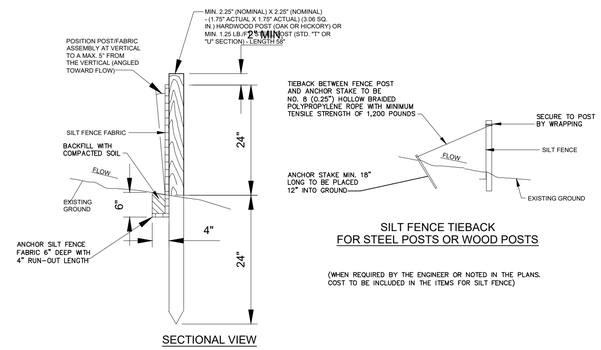
1. KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6".
2. STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES.
3. BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL.
4. STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER.
5. WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIP-LAP FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.
6. THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES. NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN.

EROSION CONTROL MATTING DETAILS

1 / C-4.2 DETAIL
NOT TO SCALE



ELEVATION VIEW



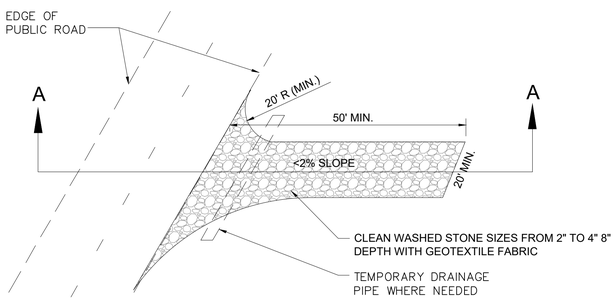
SILT FENCE TIEBACK
FOR STEEL POSTS OR WOOD POSTS

(WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS. COST TO BE INCLUDED IN THE ITEMS FOR SILT FENCE)

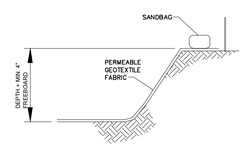
SECTIONAL VIEW

SILT FENCE DETAILS

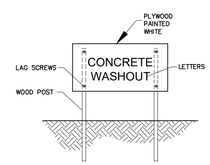
2 / C-4.2 DETAIL
NOT TO SCALE



PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD

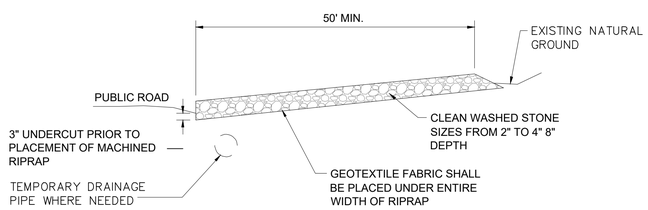


SECTION A-A
NOT TO SCALE



CONCRETE WASHOUT
SIGN (OR EQUIVALENT)

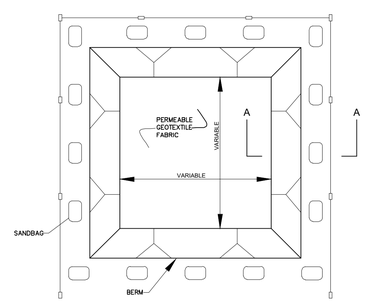
SECTION B-B
NOT TO SCALE



SECTION A-A

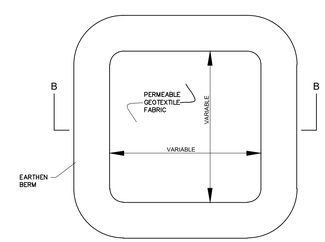
CONSTRUCTION ENTRANCE DETAIL

3 / C-4.2 DETAIL
NOT TO SCALE



PLAN VIEW
NOT TO SCALE

TYPE "BELOW GRADE"



PLAN VIEW
NOT TO SCALE

TYPE "ABOVE GRADE"
WITH EATHERN BERMS

NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5FT.OF THE WASHOUT FACILITY.

EROSION CONTROL PLAN LEGEND: CONCRETE WASHOUT — CONCRETE WASHOUT

CONCRETE WASH OUT

4 / C-4.2 DETAIL
NOT TO SCALE

CASE# 2022SP-017-001

EROSION CONTROL DETAILS

NOTED

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MANISH Ph # 615-299-4777
WILLIAM EMAIL: wchurch56@gmail.com
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CHESTER A. RHODES — REGISTERED ENGINEER — AGRICULTURE — COMMERCE — STATE OF TENNESSEE

3/29/2023

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No.	REVISIONS	DATE	DRWN	CHKD	DESIGN	APPD

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DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207
EROSION CONTROL DETAILS

DWG. No.
C-3.3

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
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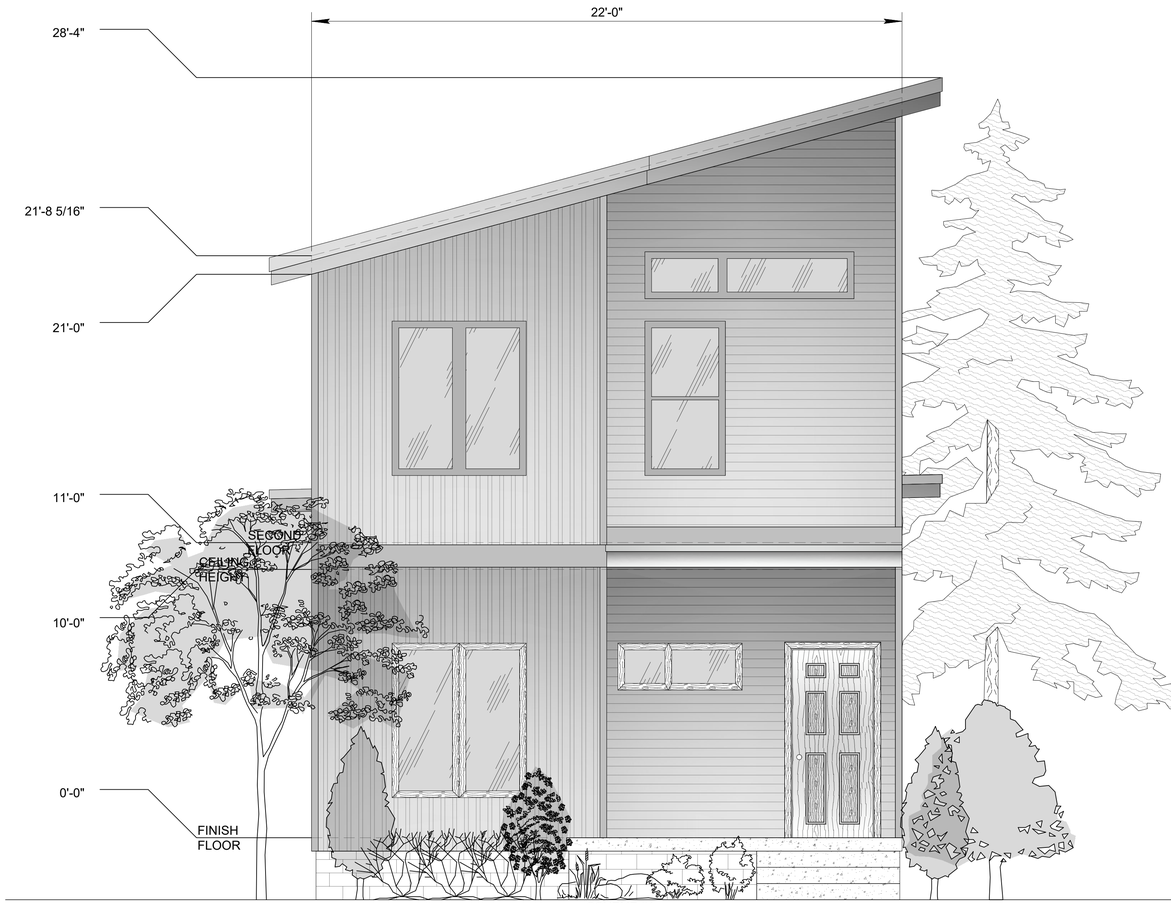
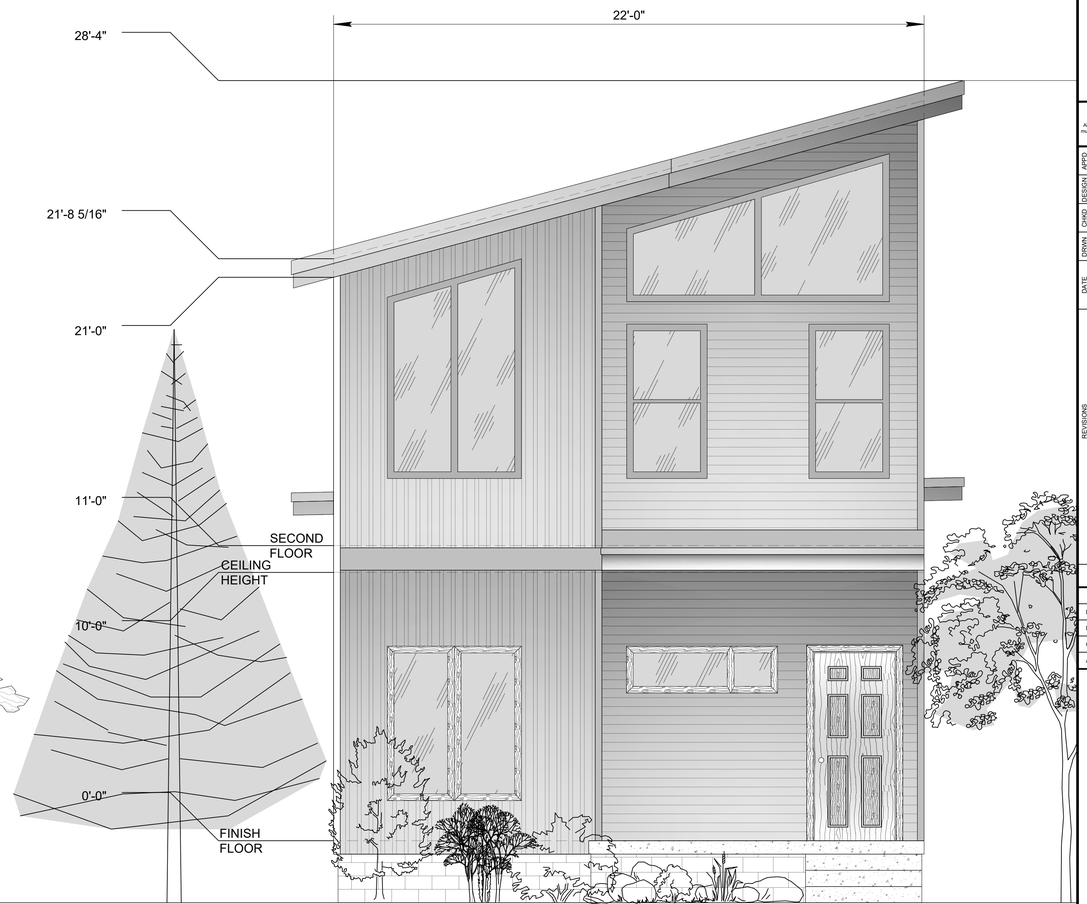


SCHEME #1

1 ELEVATION
A-1.1 SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'



SCHEME #2

2 ELEVATION
A-1.1 SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'

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CASE# 2022SP-017-001

ELEVATIONS

NOTED

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CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207
ELEVATIONS

DWG. No.
A-1.1

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
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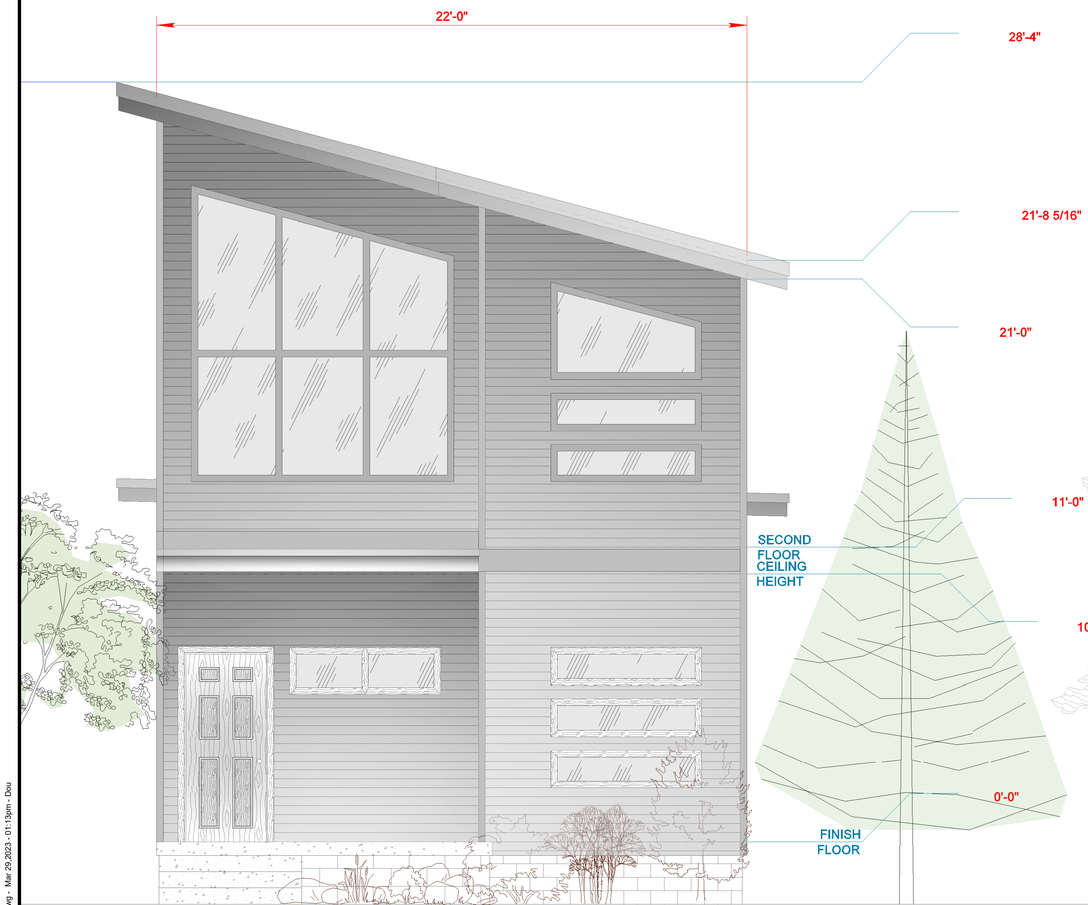
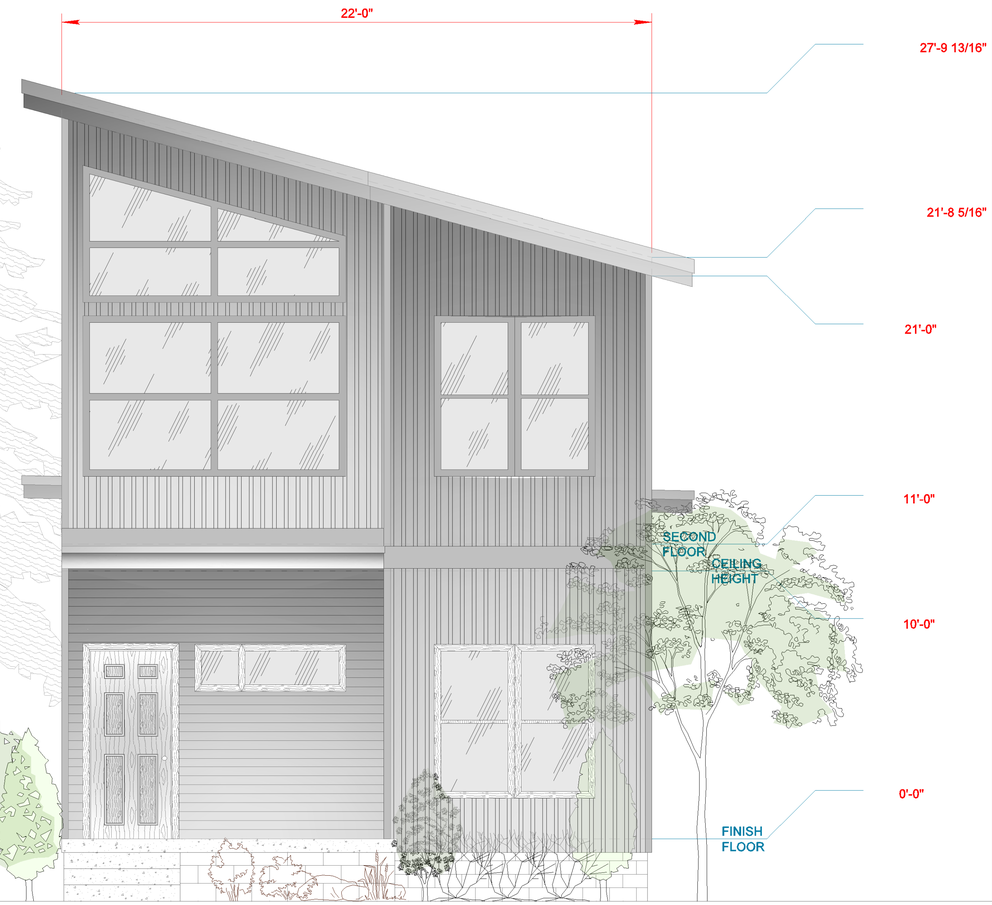


SCHEME #3

3 / A-1.2 ELEVATION
SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'



SCHEME #4

4 / A-1.2 ELEVATION
SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'

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CASE# 2022SP-017-001

ELEVATIONS

NOTED

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DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207
ELEVATIONS

DWG. No.
A-1.2

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
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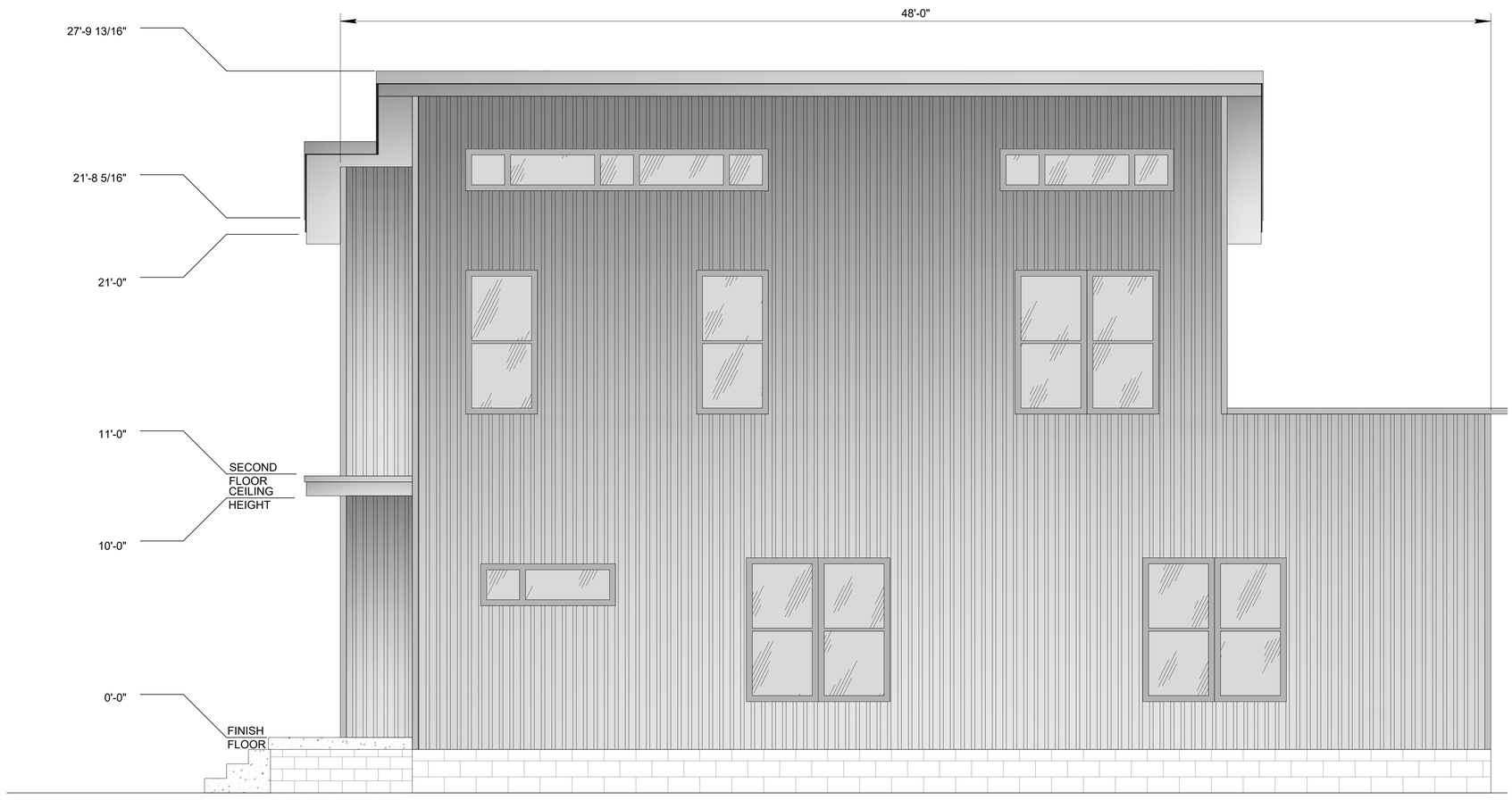

TYPICAL SIDE VIEW

1 / A-1.3 ELEVATION

SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'

CALL BEFORE YOU DIG!

CASE# 2022SP-017-001

ELEVATIONS

NOTED

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212 SUNSET DRIVE
NASHVILLE, TN 37207

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3/29/2023

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DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT

TOWNHOMES

212 SUNSET DRIVE, NASHVILLE, TN 37207

ELEVATIONS

DWG. No.

A-1.3

SCALE: NOTED

CADFILE: 212 Sunset Drive_William Church_03-29-2023

JOB No.

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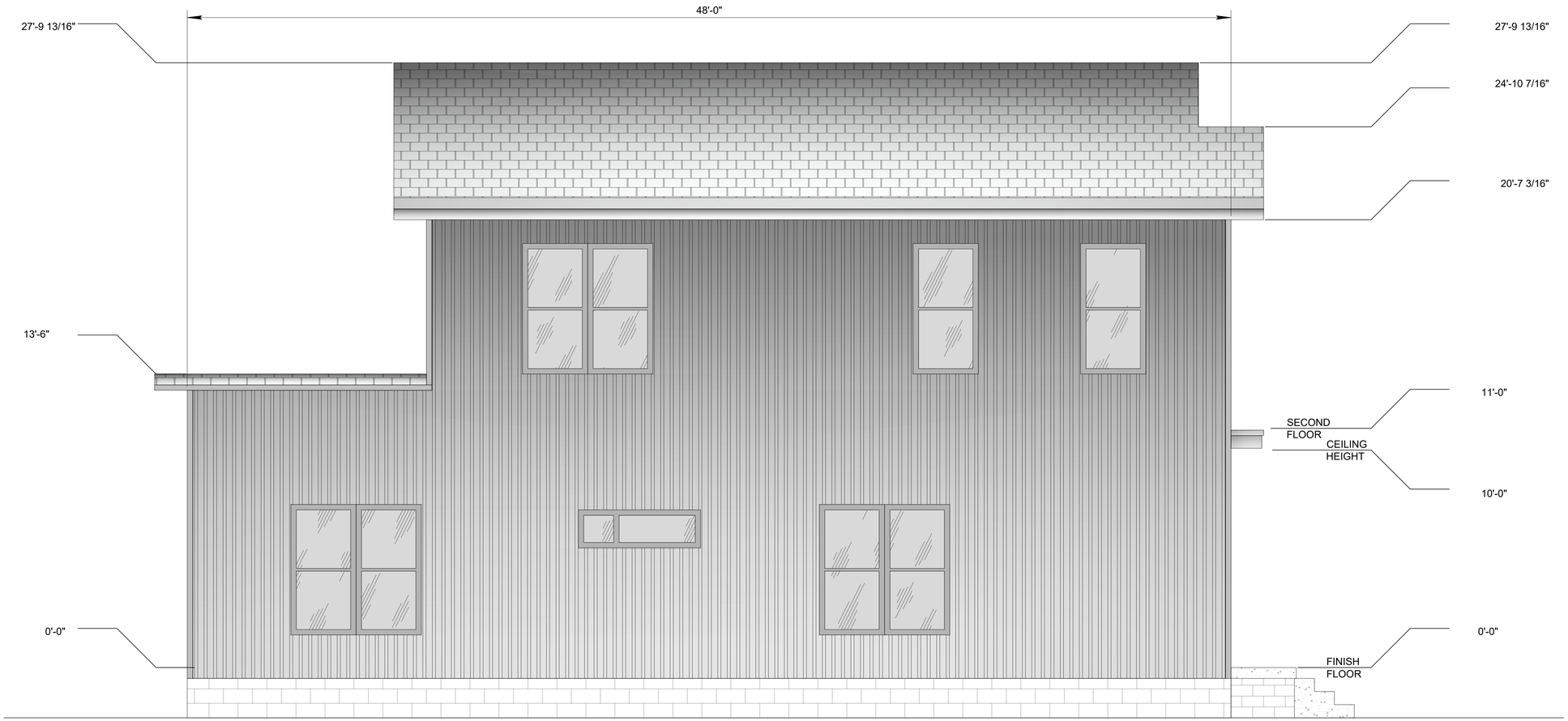
\Users\Doug\AppData\Local\Temp\AcPublish_396\212 Sunset Drive_William Church_03-29-2023.dwg - Mar 29,2023 - 01:13pm - Dou



TYPICAL SIDE VIEW

1 / A-1.4 ELEVATION

SCALE: 3/8"=1'-0

12" 0' 1' 4' 8'

3/8" = 1'-0"

CALL BEFORE YOU DIG!

CASE# 2022SP-017-001

ELEVATIONS

NOTED

WILLIAM CHURCH
212 SUNSET DRIVE
NASHVILLE, TN 37207

WILLIAM Ph # 615-504-6107
MANISH Ph # 615-299-4777

WILLIAM EMAIL: wchurch56@gmail.com
MANISH EMAIL: manish1800@gmail.com

CHESTER A. RHODES REGISTERED ENGINEER AGRICULTURE COMMERCE STATE OF TENNESSEE

3/29/2023

ENGINEER:

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1117 WHITNEY DRIVE
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CIVIL ENVIRONMENTAL
SITE DEVELOPMENT WATER/WASTEWATER

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No.	REVISIONS	DATE	DRWN	CHKD	DESIGN	APPD

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

ELEVATIONS

DWG. No.
A-1.4

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

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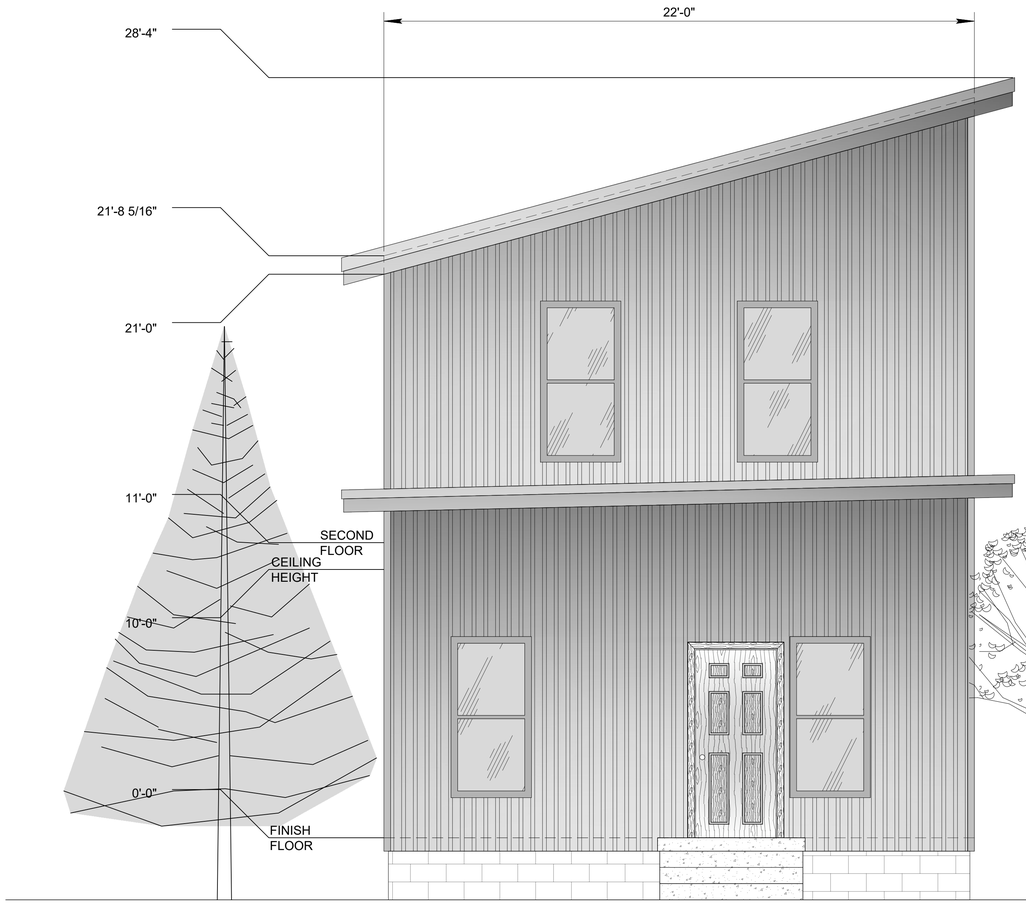
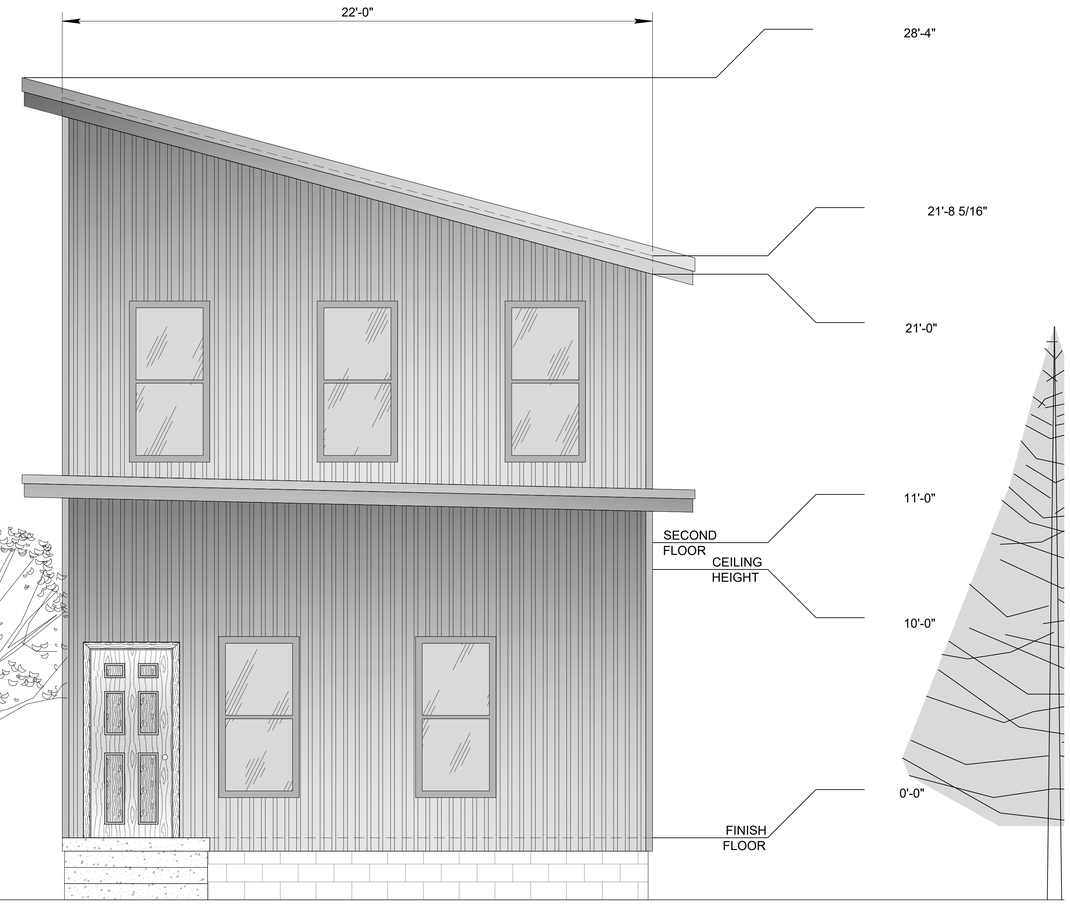


TYPICAL REAR VIEW

1 ELEVATION
A-1.5 SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'



TYPICAL REAR VIEW

2 ELEVATION
A-1.5 SCALE: 3/8"=1'-0

3/8" = 1'-0" 12" 0' 1' 4' 8'

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CASE# 2022SP-017-001

ELEVATIONS

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WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207

ELEVATIONS

DWG. No.
A-1.5

SCALE: NOTED
CADFILE: 212 Sunset Drive_William Church_03-29-2023
JOB No.
REV.

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LANDSCAPE NOTES:

1. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
2. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
4. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA LANDSCAPE DESIGN (615) 469-1222.
5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. SOD 5' BEHIND CURBS AND ISLANDS ADJACENT TO BUILDING. USE EROSION CONTROL ON SLOPES 3:1 AND GREATER. SEED AND STRAW ALL OTHER DISTURBED AREAS.
7. SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH I POUND OF FERTILIZER PER CUBIC YARD.
   A. SAND SHALL BE CLEAN MASONRY SAND.
   B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
   C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
9. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
17. SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDED AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED.
18. CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
19. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
20. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
21. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
22. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
23. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
    PLANTING DATES
    SPRING: MARCH 15 - APRIL 15
    FALL: OCTOBER 1 - NOVEMBER 30
24. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
25. NEW LANDSCAPING TO BE WATERED BY NEW AND EXISTING HOSE BIBS ON THE BUILDING.

LANDSCAPE CALCULATIONS

SITE AREA:	22,826 SF	(0.52 AC)
(SUBTRACT) BUILDING AREA:	-5,280 SF	(-0.12 AC)
ADJUSTED AREA:	17,546 SF	(0.40 AC)
	REQUIRED	PROVIDED
TDU: (ADJUSTED AREA X 22)	8.9	
EXISTING TREES: (TDU)	-	0.0
PROPOSED TREES: (TDU)		9.0
TREE BANK (0) TREES		0.0
TOTAL TDU TREES:	8.9	9.0
INTERIOR PARKING SPACES:	-	23
1 TREE / 15 SPACES:	2	2
INTERIOR PARKING AREA:	-	6,634 SF
PLANTING AREA: (MIN.)	8%	19.9%
PLANTING AREA: (SQ. FT.)	531 SF	1,320 SF
STREET FRONTAGE: (0')	N/A	N/A
1 TREE/30'	0.0	0
EVERGREEN SHRUB ROW	N/A	N/A
PERIMETER YARDS:	YES	YES
BUFFER YARDS: (TYPE "B-5")	YES	YES

"B-5" BUFFER	5' WIDE	123 LF
	REQUIRED	PROVIDED
EXISTING TREES	-	-
CANOPY TREES	3.7	4
UNDERSTORY TREES	1.2	1
SHRUBS	12.3	12
6' WALL OR FENCE	YES	YES

"B-5" BUFFER	5' WIDE	123 LF
	REQUIRED	PROVIDED
EXISTING TREES	-	-
CANOPY TREES	3.7	4
UNDERSTORY TREES	1.2	1
SHRUBS	12.3	12
6' WALL OR FENCE	YES	YES

PLANT SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	COMMENTS
CANOPY TREES					
2	'Green Vase' Japanese Zelkova	Zelkova serrata 'Green Vase'	10' - 12'	2" Cal.	B&B
6	'Green Giant' Arborvitae	Thuja (standish x plicata) 'Green Giant'	7' Min.	2" Cal.	B&B
2	Red Maple	Acer rubrum	10' - 12'	2" Cal.	B&B
6	Tulip Poplar	Liriodendron tulipifera	10' - 12'	2" Cal.	B&B
1	Willow Oak	Quercus phellos	10' - 12'	2" Cal.	B&B
17	TOTAL - CANOPY TREES				
UNDERSTORY/COLUMNAR TREES					
2	Redbud	Cercis canadensis	8' - 10'	2" Cal.	B&B
2	TOTAL - UNDERSTORY TREES				
19	TOTAL - ALL TREES				
SHRUBS					
10	Glossy Abelia	Abelia grandiflora	24" Min.	5 Gal.	Container
14	Schip Laurel	Prunus laurocerasus 'Schipkaensis'	30" Min.	5 Gal.	Container
24	TOTAL - SHRUBS				
GRASSES, PERENNIALS AND GROUND COVER					
TURF					
-	Hybrid Fescue Seed/Sod	Drought tolerant fescue blend			

KITA designs
Beauty | Economy | Sustainability

Kevin Reff, RLA
KITA Sustainable Designs, LLC
2101 Masters Drive
Springfield, TN 37172
(615) 469 - 1222 Ofc.
(615) 594 - 7333 Cell.
kreff@kitadesign.biz

Know what's below. Call before you dig.

GRAPHIC SCALE - 1 inch = 20 ft.

PARCEL ID: 06012003700

CASE# 2022SP-017-001

LANDSCAPE PLAN

1"=20'

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Kevin J. Reff
LICENSED LANDSCAPE ARCHITECT
3-15-23

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DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
212 SUNSET DRIVE, NASHVILLE, TN 37207
LANDSCAPE PLAN

DWG. No.
L-1.1

SCALE: NOTED
CADFILE: 212 Sunset - LDSC
JOB No.
REV.

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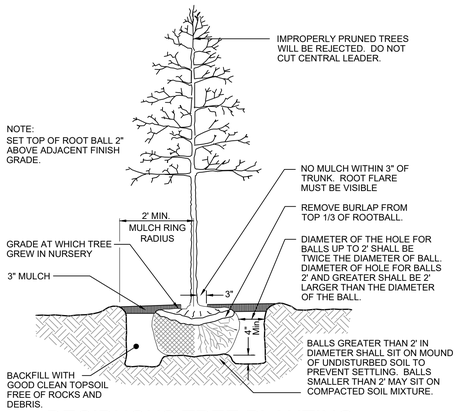

DECIDUOUS TREE PLANTING

NOT TO SCALE

TREE DENSITY UNIT (TDU) WORKSHEET (Ordinace 94-1104) REV Sept-2019

Date	3/15/2023		
Map	60-12	Parcel - 37	06012003700
Application number:		2022SP-017-001	
Project Name		Church Townhomes	
Address	212 Sunset Drive, Nashville, TN 37207		

1 Acreage (area of parcel including bulidng site)
2 Minus Buliding Coverage Area
3 Equals Adjusted Acrage
4 **Multiply by Required Tree Density Unit per acre**
choose one
5 Required TDU for Project

	0.52 AC	22,826 SF		
(-)	0.12 AC	5,280 SF		
(=)	0.40 AC	17,546 SF		
(x)	22	All but single Family and 1 & 2 Family	14	Single Family and 1 & 2 Family
(=)	8.9 TDU	(=)		

HERITAGE TREE(S) RETAINED

DBH	# OF TREES	VAULE	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
*Greater than 24" equals DBH x .5 per inch			
		total	0
			add total to line 6

RETAINED TREE(S)

DBH	# OF TREES	VAULE	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
		total	0
			add total to line 6

RETAINED TREE(S)

DBH	# OF TREES	VAULE	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
		total	0
			add total to line 6

RETAINED TREE(S)

DBH	# OF TREES	VAULE	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
		total	0
			add total to line 6

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES

CAL	# OF TREES	VAULE	TDU
2"	17	x 0.5	8.5
3"		x 0.6	0
4"		x 0.7	0
5"		x 0.9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
		total	8.5
			add total to line 7

EXAMPLES but not limited to:

Deciduous- Oak Maple, Poplar, Planetree, Ginko

Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar

Mature height greater than 30'

REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*

CAL	# OF TREES	VAULE	TDU
2"	2	x 0.25	0.5
3"		x 0.3	0
4"		x 0.4	0
5"		x 0.5	0
6"		x 0.5	0
7"		x 0.6	0
8"		x 0.7	0
		total	0.5
			add total to line 7

EXAMPLES but not limited to:

Columnar (Fastigiate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Gingko
Understory Deciduous - Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple
Understory Evergreen - Dwf. Magnolia, Hybrid Holly, Cherry Laurel (tree form)
Mature height avg. 30' or less.
Small Understory Columnar varieties receive no TDU credit

6 Total TUD Retained on-site		0		
7 Total TUD for Replacement Trees- On Site	(+)	9		
8 Total Credits Paid to Tree Mitigation Bank*	(+)	0	1 Credit = 1 TDU = $725.00	$0.00
9 Total Density Units Provided	(=)	9	total must exceed lines 5	8.9 TDU

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

All Retained and Replacement trees must be shown on site plan.
Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.
Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit.
* Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.

PARCEL ID: 06012003700

CASE# 2022SP-017-001

LANDSCAPE NOTES AND DETAILS

1"=20'

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LANDSCAPE NOTES AND DETAILS

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L-1.2

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