

AMENDED PRELIMINARY SP

1908 LEBANON PIKE RESIDENTIAL

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

2021SP-037-003
CATALYST PROJECT NO. 20210002
APRIL 28, 2021; JUNE 2, 2021; JUNE 11, 2021, DECEMBER 08, 2022

DEVELOPMENT SUMMARY

- SP NAME: 1908 LEBANON PIKE RESIDENTIAL
- SP NUMBER: 2021SP-037-001
- COUNCIL DISTRICT: 15
- COUNCIL MEMBER: JEFF SYRACUSE

OWNER: RICHARD GILES AND NICK ORY PRIDE
ADDRESS: 616 AYERS STREET
SPRING HILL, TN 37174

PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP
ADDRESS: 5100 TENNESSEE AVENUE
NASHVILLE, TN 37209
PHONE NO.: 615.622.7200
CONTACT NAME: JEFFREY D. HEINZE
CONTACT E-MAIL ADDRESS: jheinze@catalyst-dg.com

DEVELOPER: RED SEAL DEVELOPMENT
ADDRESS: 5202 CENTENNIAL BLVD., #107
NASHVILLE, TN 37209
PHONE NO.: 847.417.5610
CONTACT NAME: TODD FISHBEIN
CONTACT E-MAIL ADDRESS: tfishbein@redsealhomes.com

- FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" ACCORDING TO COMMUNITY PANEL NO. 47037C0262H, APRIL 5, 2017, COMMUNITY NAME: FEMA COMMUNITY NAME.

DEVELOPMENT SITE DATA

PARCEL ID.: 09509001100 & 09509001200
SITE ADDRESS: 1908 LEBANON PIKE
NASHVILLE, TN 37210

SITE ACREAGE:
PARCEL 11: 1.05 Ac. (45,717 SQ. FT.)
PARCEL 12: 4.58 Ac. (199,697 SQ. FT.)
TOTAL SITE ACREAGE: 5.63 Ac. (245,414 SQ. FT.)
R.O.W. DEDICATION:
OMOHUNDRO DRIVE: 0.10 Ac. (4,169 SQ. FT.)
ROAD 'A': 0.48 Ac. (20,894 SQ. FT.)
TOTAL ADJUSTED SITE ACREAGE: 5.05 Ac. (220,351 SQ. FT.)
EXISTING ZONING: RS10 (RESID. SINGLE FAMILY 10,000 S.F. LOTS)
ZONING OVERLAY: OV-AIR
FALLBACK ZONING: RM20-A (MULTI-FAMILY RESIDENTIAL)
EXISTING LAND USE: VACANT RESIDENTIAL LAND
PROPOSED LAND USE: 9 SINGLE-FAMILY RESIDENTIAL LOTS AND 40 MULTI-FAMILY RESIDENTIAL UNITS
PROPOSED DENSITY: 8.7 UNITS / ACRE

BUILDING DATA
PROPOSED LAND USE: 9 SINGLE-FAMILY RESIDENTIAL LOTS AND 40 MULTI-FAMILY RESIDENTIAL UNITS

BUILDING SQUARE FOOTAGE:
TOWNHOME RESIDENCES: 100,000 SQ. FT. (MAXIMUM)
SINGLE-FAMILY RESIDENCES: 35,000 SQ. FT. (MAXIMUM)

FAR: 0.55
BUILDING HEIGHT: 45' MAX.
(MEASURED PER METRO ZONING CODE)

PARKING REQUIREMENTS:
METRO CODE REQUIRED:
SINGLE-FAMILY LOTS (2 SP./LOT=9x2): 18 SPACES
3 BR. TOWNHOMES (2.5 SP./BR.=40x2.5): 100 SPACES
TOTAL PARKING REQUIRED: 118 SPACES

PARKING PROVIDED:
GARAGE PARKING: 98 SPACES
SURFACE PARKING: 9 SPACES
TANDEM COMPACT PARKING (BLDG. A,B & F): 11 SPACES
TOTAL PARKING PROVIDED: 118 SPACES
TOTAL PARKING RATIO: 2.41 SPACES / UNIT

DEVELOPMENT NOTES

- THE PURPOSE OF THIS PLAN IS FOR PRELIMINARY APPROVAL OF SPECIFIC PLAN ZONING TO PERMIT 49 RESIDENTIAL UNITS.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
ADA: <http://www.ada.gov/>
U.S. Justice Dept.: http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm
- TRASH AND RECYCLING SERVICE SHALL BE CONTRACTED THROUGH A PRIVATE COLLECTION SERVICE.

ARCHITECT

CENTRIC ARCHITECTURE, INC.

35 PEABODY STREET
NASHVILLE, TN 37210
615.385.9600

PREPARED FOR

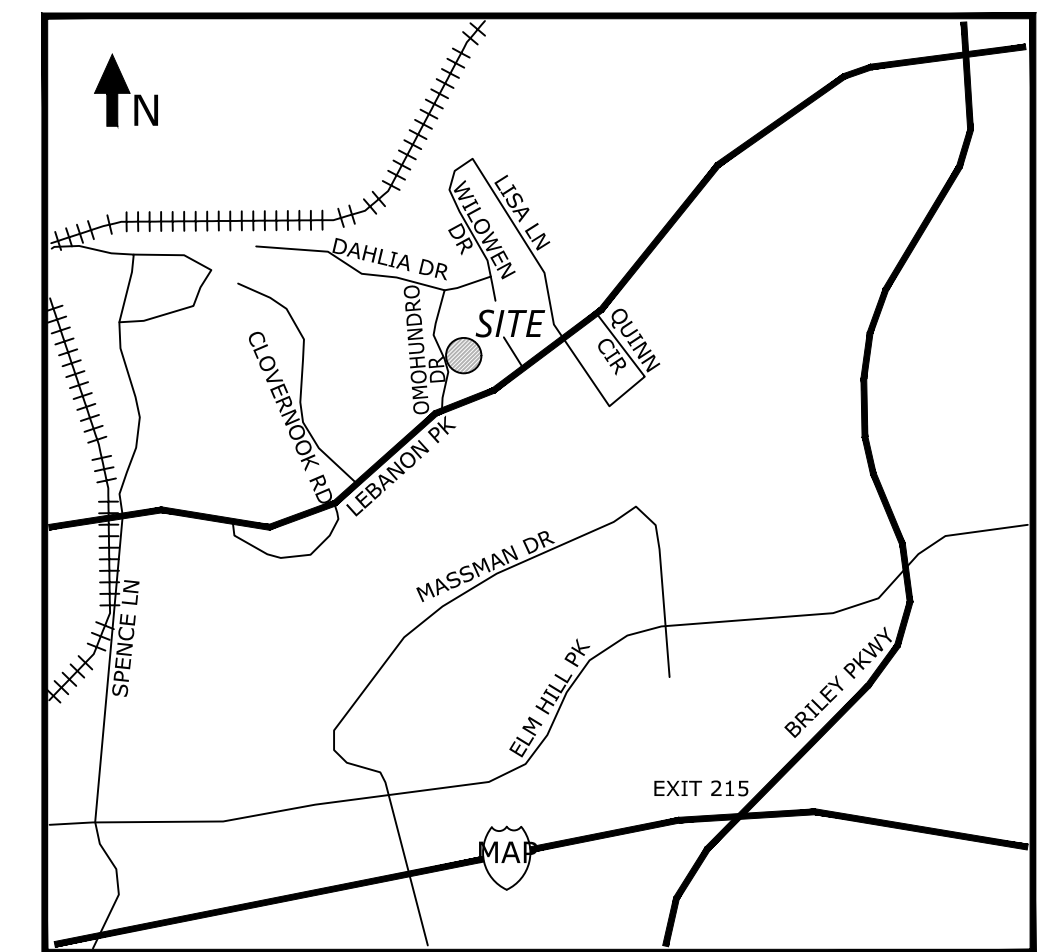
RED SEAL DEVELOPMENT

5202 CENTENNIAL BLVD., #107
NASHVILLE, TN 37209
847.417.5610



CIVIL ENGINEER/LANDSCAPE ARCHITECT

Catalyst
DESIGN GROUP
5100 TENNESSEE AVENUE
NASHVILLE, TN 37209
(615) 622-7200



VICINITY MAP
NOT TO SCALE

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER
C1.0	EXISTING CONDITIONS
C5.0	RENDERED SITE PLAN
C5.1	SITE LAYOUT
C5.2	FIRE ACCESS PLAN
C6.0	SITE GRADING & DRAINAGE
C7.0	SITE UTILITIES
L1.0	SITE LANDSCAPE
A4.1	SP ELEVATIONS

METRO STANDARD NOTES

- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- ALL CONSTRUCTION WITHIN THE R.O.W. IS TO BE PER ADA AND MPW STANDARDS AND SPECIFICATIONS.
- THERE SHALL BE NO VERTICAL OBSTRUCTIONS (POLES, SIGNS, GUY WIRES, ETC.) WITHIN THE SIDEWALKS.

DESIGN STANDARDS

- BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) FACING TOWARD ONE PRIMARY STREET (WHERE DOUBLE FRONTAGES OCCUR) AND MINIMUM GLAZING CRITERIA, AS FOLLOWS: MULTIFAMILY - 20% MIN. GLAZING WITH THE SIDE ELEVATION OF BLDG. C (FACING LEBANON PK.) MEETING A 15% GLAZING THRESHOLD. SINGLE FAMILY RESIDENCES - 15% MIN. GLAZING WITH THE SIDE ELEV. OF LOTS 1 AND 9 (FACING OMOHUNDRO DR.) MEETING A 12% GLAZING THRESHOLD.
- WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
- EIFS, VINYL SIDING, AND UNTREATED WOOD SHALL BE PROHIBITED.
- PORCHES SHALL PROVIDE A MINIMUM OF FIVE FEET OF DEPTH.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

COVER

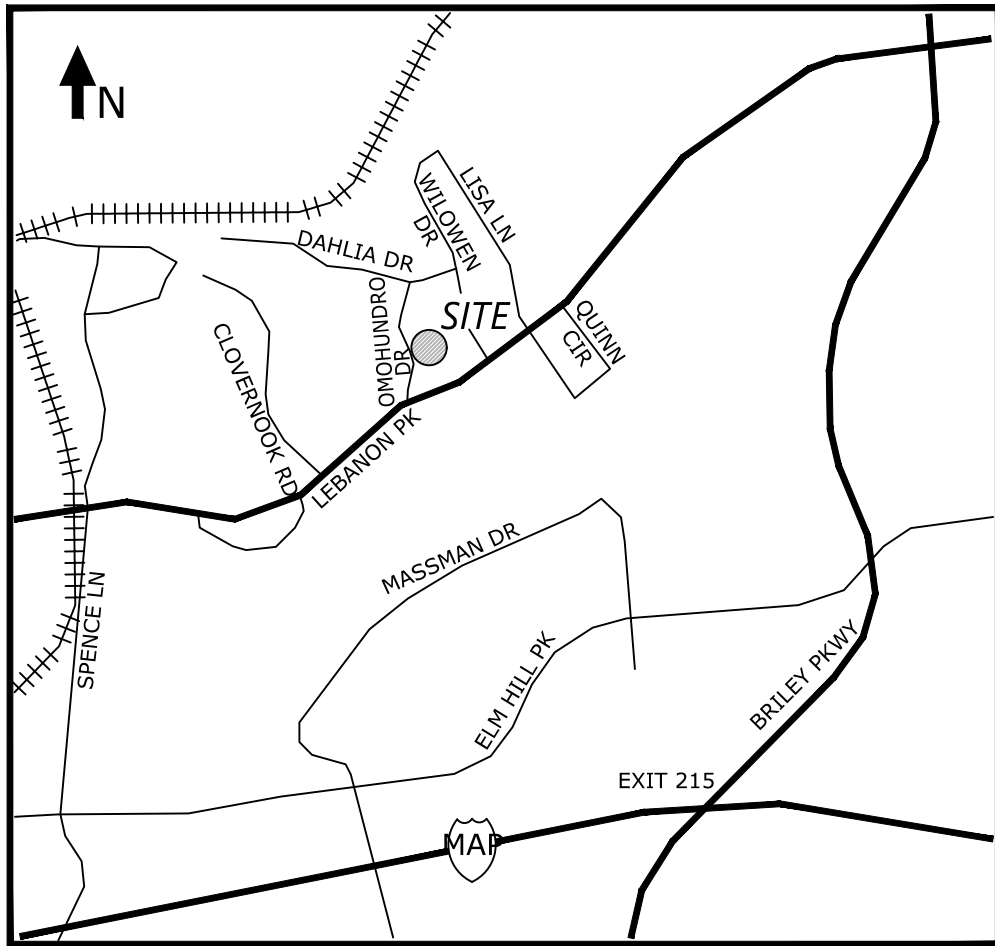
C0.0

LEGEND

PARCEL NO.	(xx)
IRON ROD (OLD)	IR(O)
IRON ROD (SET)	IR(N)
CONCRETE MON (OLD)	MON(O)
PROPERTY LINE	---
FENCE LINE	x
CONTOUR LINE	-500-
OVERHEAD POWER LINE	OH
SANITARY SEWER LINE	8" SAN
STORM SEWER LINE	15" ST
WATER LINE	8" W
GAS LINE	2" G
TELEPHONE MANHOLE	TM
UTILITY POLE	UP
GUY WIRE	GW
UTILITY POLE W/ LIGHT	UL
SANITARY SEWER MANHOLE	SM
CURB INLET	CI
CATCH BASIN	CB
FIRE HYDRANT	FD
WATER METER	WM
WATER VALVE	WV
GAS VALVE	GV
SIGN POST	SP
CONCRETE	C



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	150.08'	226.25'	38°00'20"	77.92'	N04°36'36"W	147.34'
C2	52.54'	139.42'	21°55'53"	26.59'	N12°49'00"W	52.23'

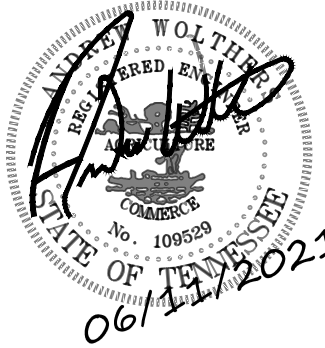


VICINITY MAP
NOT TO SCALE



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RED SEAL
DEVELOPMENT
5202 CENTENNIAL BLVD., #107
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NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37210

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04/28/2021	PRELIMINARY SP SUBMITTAL	

DRAWING TITLE

EXISTING
CONDITIONS

PROJECT NUMBER
20210002

DRAWING NUMBER

C1.0

- ◆ SITE BM: TAG BOLT #9511V3 ON FIRE HYDRANT LOCATED NEAR THE NORTHEAST ROW INTERSECTION OF LEBANON PIKE AND OMOHUNDRO DRIVE.
ELEV: 538.23
- ◆ PROJECT BM:
NAVD 88 (GPS DERIVED)

Slopes Table

Number	Minimum Slope	Maximum Slope	Area	Color
1	15.00%	20.00%	55068.48	
2	25.00%	100.00%	38759.30	

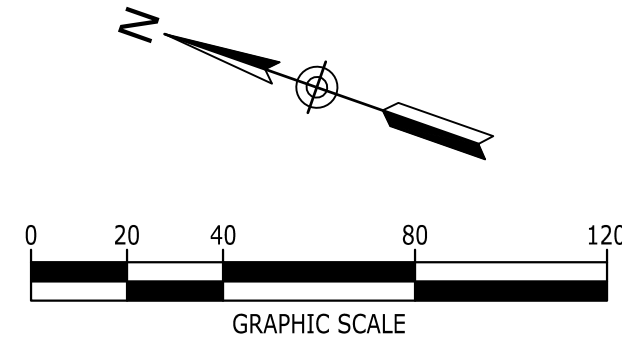
Hydrologic Soil Groups

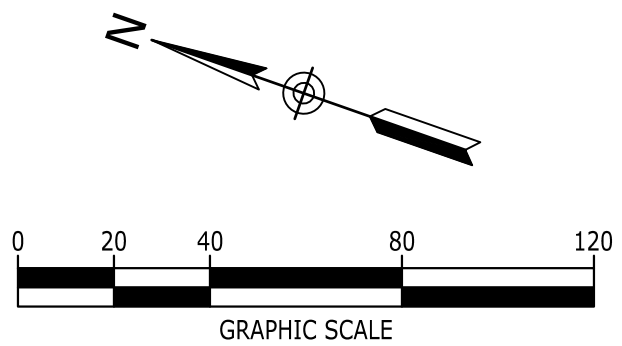
Symbol	Name and Description	Rating	Acres
SvD	Stiversville-Urban land complex, 3 to 25% slopes	A	5.6

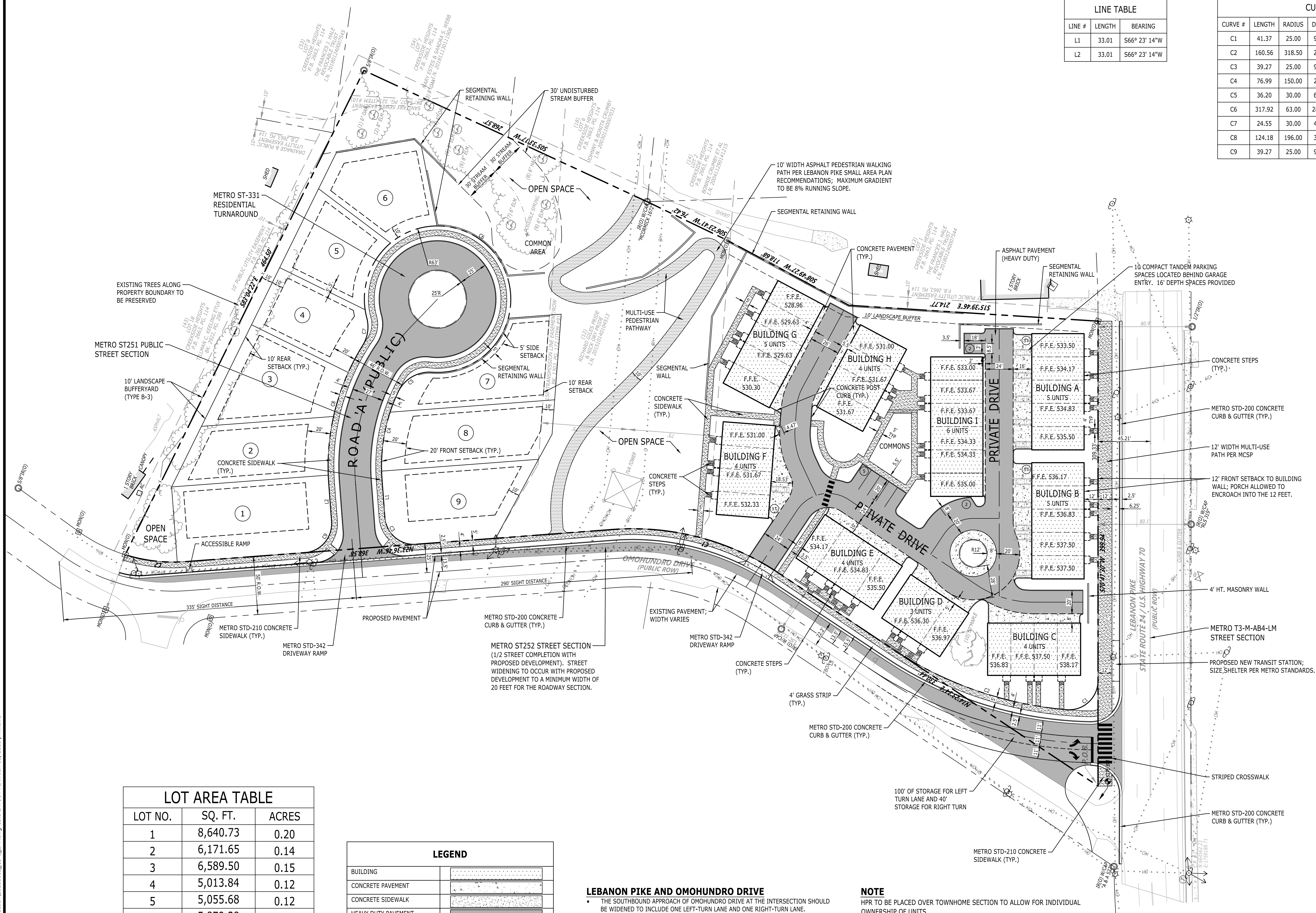
NOTE: SOIL INFORMATION ON THIS SHEET WAS OBTAINED FROM NRCS ONLINE SOIL SURVEY DATA. AREAS ARE APPROXIMATE AND ARE FOR REFERENCE ONLY.

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY S & ME, DATED 3/3/21. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM NO. 47037C0262H, DATED APRIL 5, 2017.



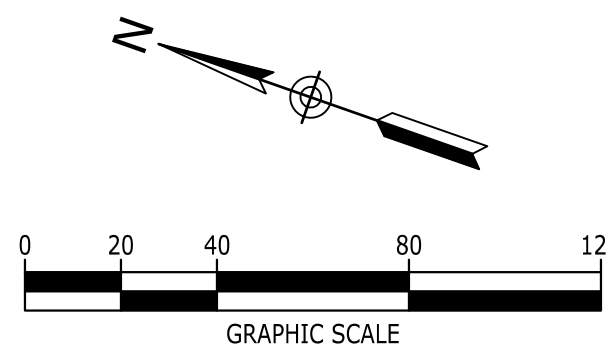


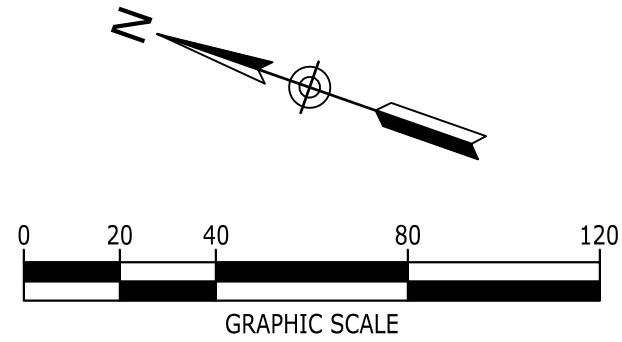
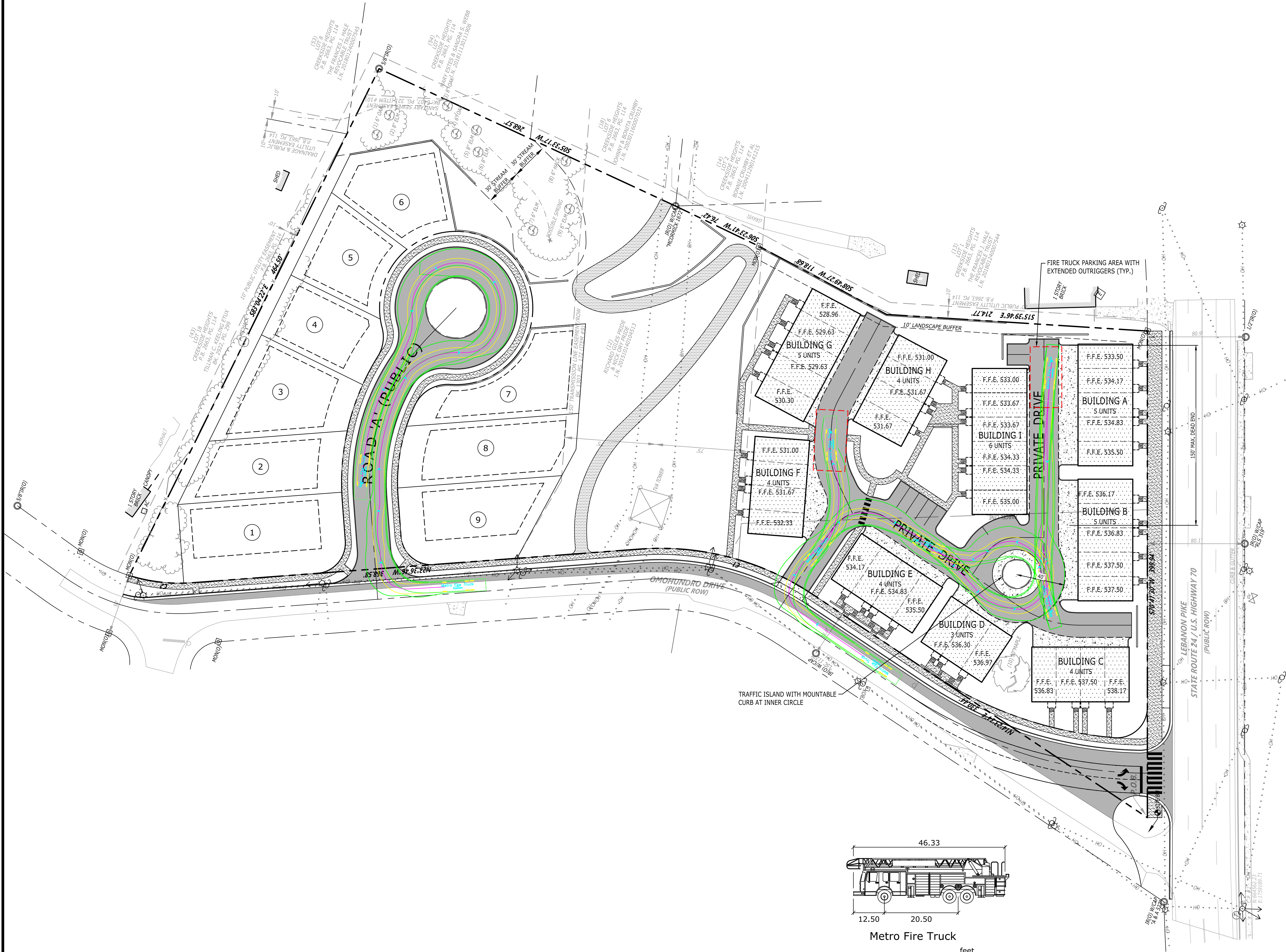


LINE TABLE		
LINE #	LENGTH	BEARING
L1	33.01	S66° 23' 14"W
L2	33.01	S66° 23' 14"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	41.37	25.00	94.82	S61° 53' 59"E	36.81
C2	160.56	318.50	28.88	N0° 02' 58"W	158.87
C3	39.27	25.00	90.00	S21° 23' 14"W	35.36
C4	76.99	150.00	29.41	S81° 05' 27"W	76.15
C5	36.20	30.00	69.14	N49° 38' 14"W	34.04
C6	317.92	63.00	289.13	N20° 21' 52"E	73.05
C7	24.55	30.00	46.89	N79° 14' 35"E	23.87
C8	124.18	196.00	36.30	S84° 32' 16"W	122.11
C9	39.27	25.00	90.00	N68° 36' 47"W	35.36

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DRAWING TITLE
FIRE ACCESS PLAN

PROJECT NUMBER
20210002

DRAWING NUMBER
C5.2

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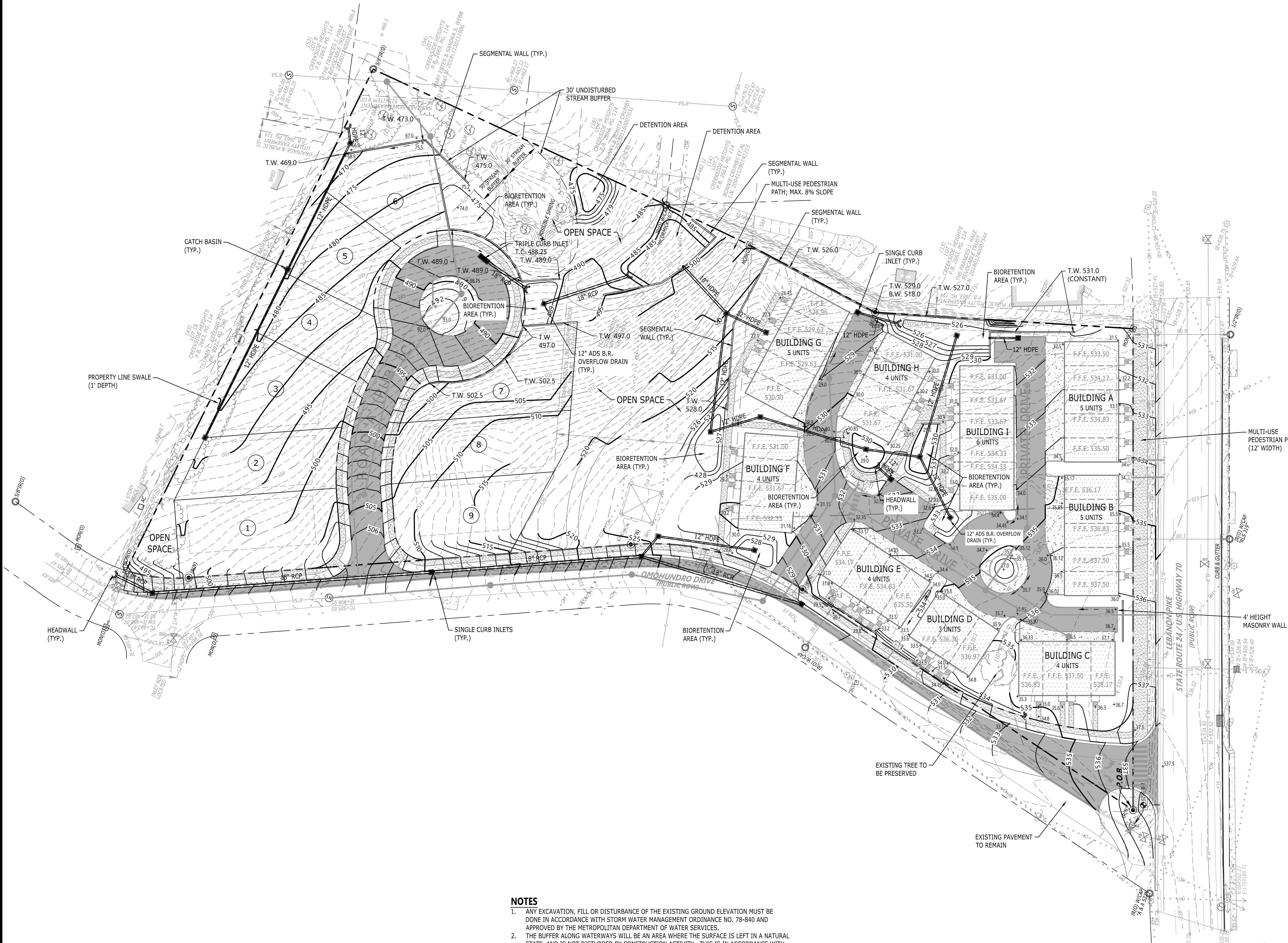
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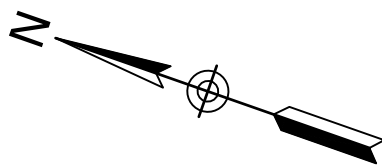
NOTES

1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.
3. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
4. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
5. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN. DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).

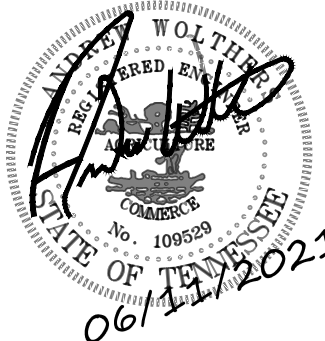
NOTE:
CONTRACTOR SHOULD ASSUME THAT ALL TOWNHOME UNITS HAVE GUTTER DOWNSPOUTS TO 8" HDPE STORM LINES AROUND EACH BUILDING WHICH WILL CONNECT TO NEARBY BIO-RETENTION AREAS.

LEGEND

STORM PIPE & INLET	
SPOT ELEVATION	+0.00
PROPOSED CONTOUR ELEV.	90
DRAINAGE STRUCTURE	
SILT FENCE	SF
TREE PROTECTION	T P
INLET PROTECTION	
STRAW BALE FILTER	



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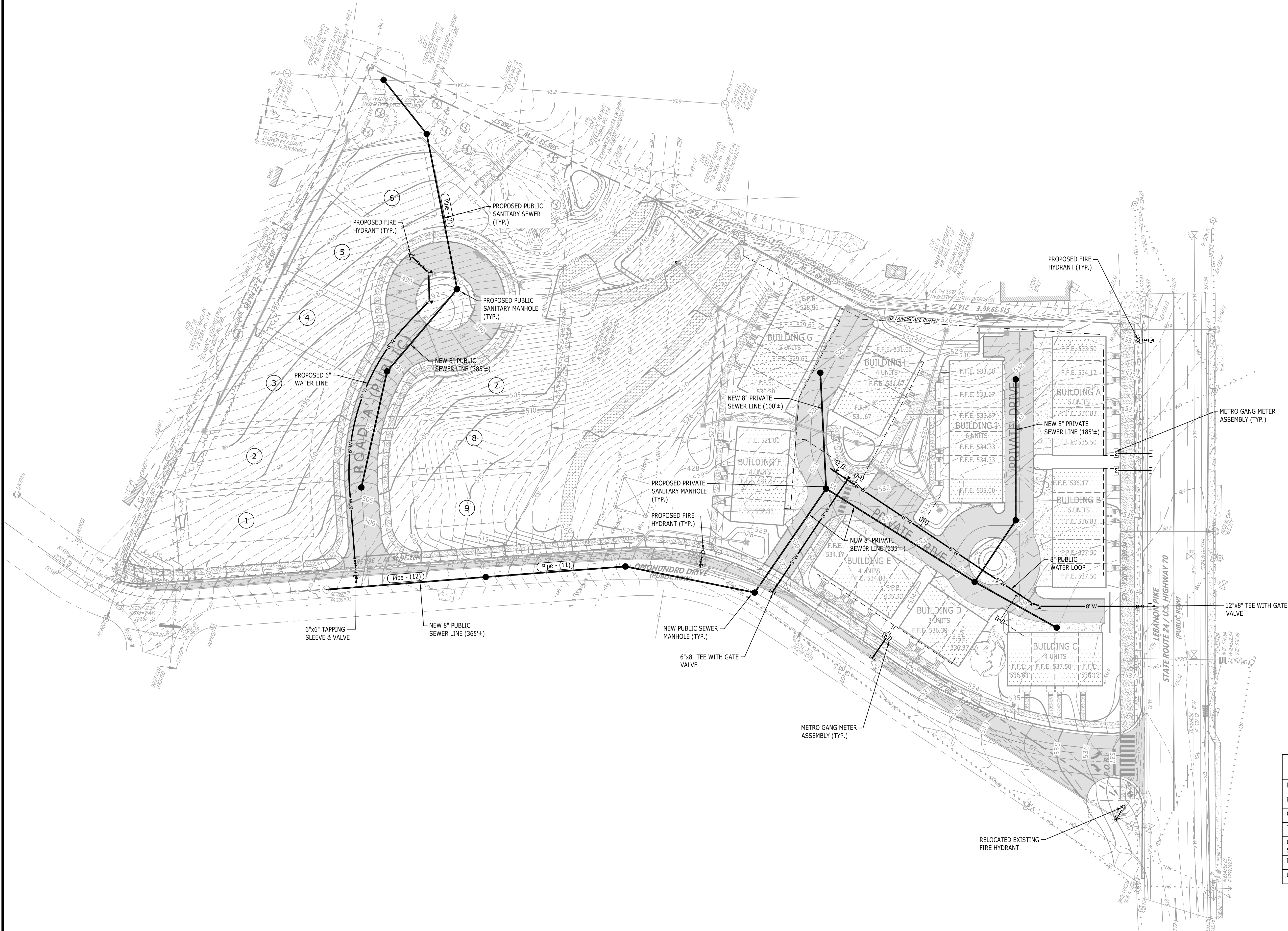
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SITE GRADING & DRAINAGE

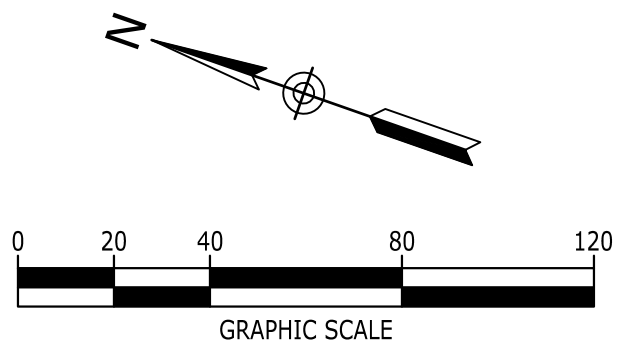
PROJECT NUMBER
20210002

DRAWING NUMBER

C6.0

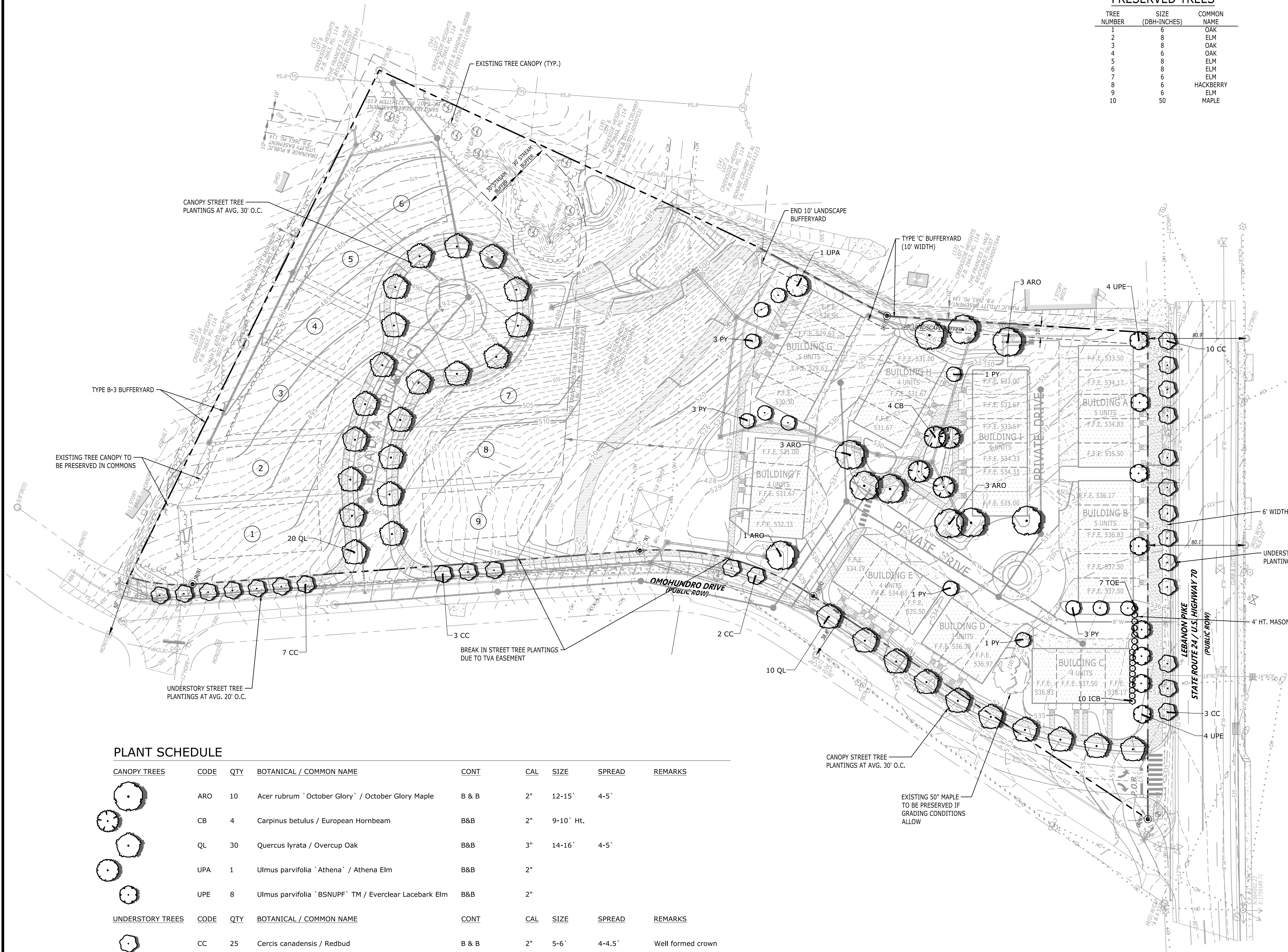


LEGEND			
DOMESTIC WATER SERVICE	— W —		
FIRE SERVICE	— F — F —		
GAS LINE	— GAS —		
THRUST BLOCK	— T —		
CLEANOUT ON SANITARY SEWER LINE	— C —		
PROPOSED FIRE HYDRANT	— F —		
UNDERGROUND ELECTRIC	— UGE — UGE —		



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PRESERVED TREES

TREE NUMBER	SIZE (DBH-INCHES)	COMMON NAME
1	6	OAK
2	8	ELM
3	8	OAK
4	6	OAK
5	8	ELM
6	8	ELM
7	6	ELM
8	6	HACKBERRY
9	6	ELM
10	50	MAPLE

TREE DENSITY UNIT WORKSHEET

DATE	04.28.2021
MAP & PARCEL	MAP 95-09, PARCELS 11 & 12
APPLICATION NUMBER	TO BE ASSIGNED
PROJECT NAME	1908 LEBANON PIKE RESIDENTIAL
ADDRESS	1908 LEBANON PIKE
ACREAGE	5.63 AC.
BUILDING COVERAGE	1.20 AC.
REQUIRED DENSITY	SINGLE FAM. 14; TOWNHOMES 22
TOTAL REQUIRED TDU	(SINGLE FAM.) 2.46 x 14 = 34.44 (TOWNHOMES) 1.97 x 22 = 43.34

RETAINED HERITAGE TREES

DBH	#	VALUE	TDU
50"	1	20.0	20.0

RETAINED TREES

DBH	#	VALUE	TDU
6"	5	1.8	9.0
8"	4	2.4	9.6
10"		3	0
12"		3.6	0
14"		4.2	0
16"		4.8	0
18"		5.4	0
20"		6	0
22"		6.6	0
24"		8.4	0
26"		9.1	0
28"		9.8	0
30"		10.5	0

REPLACEMENT TREES - LARGE & MEDIUM CANOPY TREES

DBH	#	VALUE	TDU
2"	25	0.5	12.5
3"	30	0.6	18.0
4"		0.7	0
5"		0.9	0
6"		1	0
7"		1.2	0
8"		1.3	0

REPLACEMENT TREES - COLUMNAR & UNDERSTORY TREES

DBH	#	VALUE	TDU
2"		0.25	9.25
3"	37	0.3	0
4"		0.4	0
5"		0.5	0
6"		0.5	0
7"		0.6	0
8"		0.7	0

TOTAL RETAINED TDU	38.60
TOTAL REPLACED TDU	39.75
TOTAL TDU PROVIDED	78.35

NOTES

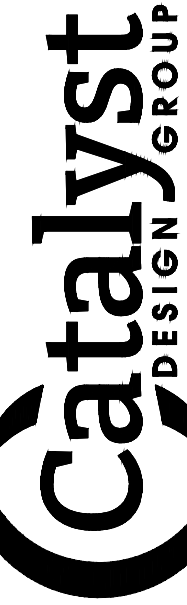
- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE SHALL BE MET.
- FINAL LANDSCAPE PLAN SHALL BE APPROVED AT FINAL SP APPROVAL.

LANDSCAPE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	
L2	IRRIGATION LIMITS	
L3	AREA TO BE SEEDED	
L4	AREA TO BE SODDED	
L5	AREA TO BE 4"-6" RIVER ROCK	

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS
	ARO	10	Acer rubrum 'October Glory' / October Glory Maple	B & B	2"	12-15'	4-5'	
	CB	4	Carpinus betulus / European Hornbeam	B&B	2"	9-10' Ht.		
	QL	30	Quercus lyrata / Overcup Oak	B&B	3"	14-16'	4-5'	
	UPA	1	Ulmus parvifolia 'Athena' / Athena Elm	B&B	2"			
	UPE	8	Ulmus parvifolia 'BSNUPF' TM / Everclear Lacebark Elm	B&B	2"			
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS
	CC	25	Cercis canadensis / Redbud	B & B	2"	5-6'	4-4.5'	Well formed crown
	PY	12	Prunus x yedoensis / Yoshino Cherry	B&B	2"	8-10'	3-4'	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS
	ICB	10	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	#7 Cont.		24-30"	27-30"	
	TOE	7	Thuja occidentalis 'Emerald' / Emerald Arborvitae	#20 Cont./B&B		6-7'		



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DRAWING TITLE
SITE LANDSCAPE

PROJECT NUMBER
20210002

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L1.0



SINGLE FAMILY - 3 STORY



SINGLE FAMILY - 2 STORY

1908 LEBANON PIKE
STREET ADDRESS | CITY | STATE | ZIP

REVISIONS

No.	Description	Date
-----	-------------	------

SP

NOT FOR
CONSTRUCTION

SP ELEVATIONS

A4.1

NOTE: ALL ELEVATIONS ARE TAKEN FROM FFE AND
STOOP ELEVATION WILL BE 18" - 36" FROM GRADE.

