


SITE DATA

LOCATION: 825 19TH AVE S, NASHVILLE, TN
NTS

X020	RENDERINGS
X021	RENDERINGS
DD-AG201	AREA PLAN LEVEL 01
A2B1	LEVEL B1 - PARKING FLOOR PLAN
A2B2	LEVEL B2 - PARKING FLOOR PLAN
A2B2M	LEVEL B2M - PARKING FLOOR PLAN
A201	LEVEL 01 - 19TH AVE FLOOR PLAN
A201M	LEVEL 01M - CHET AVE FLOOR PLAN
A202	LEVEL 02 - PARKING FLOOR PLAN
A203	LEVEL 03 - PARKING FLOOR PLAN
A205	LEVEL 04 - 05 TYP. PARKING FLOOR PLAN
A206	LEVEL 06 - PARKING FLOOR PLAN
A207	LEVEL 07 - PARKING FLOOR PLAN
A207M	LEVEL 07M PARKING FLOOR PLAN
A211	LEVEL 11,13,15 TYP. OFFICE FLOOR PLAN
A301	EXTERIOR ELEVATION - EAST
A302	EXTERIOR ELEVATION - WEST
A303	EXTERIOR ELEVATION - NORTH
A304	EXTERIOR ELEVATION - SOUTH
A320	BUILDING SECTIONS
A321	BUILDING SECTIONS
A322	BUILDING SECTIONS
A323	BUILDING SECTIONS
A410	SYSTEM SHEET - RETAIL EAST
A411	SYSTEM SHEET - PORTE COCHERE
A412	SYSTEM SHEET - PORTE COCHERE
A414	SYSTEM SHEET - RETAIL SOUTH
A420	SYSTEM SHEET - GARAGE - FINIS
A422	SYSTEM SHEET - SKY LOBBY EAST
A423	SYSTEM SHEET - AMENITY TERRACE

SEE C3.1 CIVIL NOTES SHEET.

ARCHITECTURE
GRESHAM SMITH & PARTNERS
222 2ND AVE, SUITE 1400
NASHVILLE, TN 37201
(615) 770-8100

SWGR# 2019041013
BUILDING PERMIT# 2020005603
 METRO CASE # 2017SP-095-005
METRO CASE # 2017SP-095-003
SEWER PROJECT: #19SL0157
WATER PROJECT: #19WL0068

CO.0

[illegible]

SITE GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE PROXIMITY OF THE CONSTRUCTION AREA AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
4. THE CURB SHALL BE THE FACE OF CURB, EDGE OF CONCRETE AND FACE OF BUILDING UNLESS NOTED OTHERWISE.
5. PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC PURPOSES ONLY. CONTRACTOR SHALL USE THE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING STAKEOUT AND VERIFY THAT THERE ARE NO DISCREPANCIES WITH THESE.
6. AUTOCAD FILE TO BE PROVIDED FOR SPECIFIC COORDINATIONS.

SITE CONSTRUCTION NOTES

- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE REQUIREMENTS AND ORDINANCES.
- THE PROJECT:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE AND BUILDING LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND SEWER, SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY WORK. THE DEPTHS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL EXISTING POSSIBLE UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUALLY EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE PLANS, IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UTILITIES BE KNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND TOOLS TO OTHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF ALL UTILITIES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE CITY ENGINEER. THEREFORE, THE CONTRACTOR SHALL FIELD AND INSTALL ALL NECESSARY SAFETY DEVICES AND SIGNALS FOR PROTECTION OF THE WORK, INCLUDING BARRIERS, WARNING SIGNS, AND LIGHTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSPECTION AND FINAL APPROVAL OF THE LOCAL PLANNING, CODES, WATER AND SEWER DEPARTMENTS (AND/OR OTHER AGENCIES) PRIOR TO THE BEGINNING OF ANY WORK.
6. IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A UTILITY IS LOCATED OR EXPOSED, THE CONTRACTOR SHALL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER, OR OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE COMPLETED.
7. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT AND MATERIALS IN THE VICINITY OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS WORK. THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK AND FOR PROPER SAFETY MEASURES TAKEN. THE CONTRACTOR SHOULD MAKE A THOROUGH EXAMINATION OF THE VERTICALS AND THE CONTRACTOR SHOULD MAKE A THOROUGH EXAMINATION OF THE VERTICALS AND THE CONTRACTOR SHOULD MAKE A THOROUGH EXAMINATION OF THE VERTICALS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OF THE OWNER OR TO THE CURB OR GUTTER OR TO ANY CURB OR GUTTER CARELESSNESS OF ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS, OR TO ANY CURB OR GUTTER CARELESSNESS OF ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS, OR TO ANY CURB OR GUTTER CARELESSNESS OF ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS.
9. ELEVATION OF THE CURB AND GUTTER IS THE RESPONSIBILITY OF THE CONTRACTOR BUT ONLY IN THE EVENT THAT THE CURB OR GUTTER IS DAMAGED OR DESTROYED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY FLOW TO THE STORM DRAIN SYSTEM. NO POOLING OF DRAINAGE IN THE ROADWAY WILL BE TOLERATED.
10. THE PUBLIC SIDEWALK ALONG THE ROADWAY MUST FOLLOW THE GRADE OF THE ROADWAY AND WILL NOT BE ADJUSTED TO MEET PRIVATE SIDEWALK CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SIDEWALK.

BLASTING NOTES:

1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPERINTENDENCE, TRANSPORTATION, SERVICES AND OPERATIONS TO COMPLETE THE BLASTING OPERATION.
2. ALL BLASTING SHALL BE DONE IN ACCORDANCE WITH THE TENNESSEE BLASTING STANDARDS ACT OF 1975, METROPOLITAN NASHVILLE AND ANY OTHER FEDERAL STATE OR LOCAL LAWS GOVERNING BLASTING.
3. THE CONTRACTOR SHALL HAVE A REGISTRATION CERTIFICATE AND EACH EMPLOYEE ENGAGED IN THE BLASTING ACTIVITY SHALL CARRY A VALID IDENTIFICATION CARD ISSUED BY THE DIVISION OF REVENUE.
4. THE CONTRACTOR SHALL PERMIT ONLY AUTHORIZED AND QUALIFIED PERSONS TO HANDLE AND USE EXPLOSIVES.
5. ALL BLASTING SHALL BE ACCOUNTED FOR AT ALL TIMES WITH THE BLASTER RESPONSIBLE FOR MAINTAINING A DAILY LOG. EXPLOSIVES NOT BEING USED SHALL BE KEPT IN A LOCKED MAGAZINE UNAVAILABLE TO PERSONS NOT AUTHORIZED TO HANDLE THEM. THE CONTRACTOR SHALL BE RESPONSIBLE IN ADVANCING AND RECEIVING ALL EXPLOSIVES. APPROPRIATE PROPERTIES SHALL BE NOTIFIED OF ANY LOSS, THEFT OR UNAUTHORIZED ENTRY INTO A MAGAZINE. ALL EXPLOSIVES AND RELATED MATERIALS SHALL BE STORED IN APPROVED MAGAZINES, BLASTING EQUIPMENT SHALL NOT BE STORED IN THE SAME MAGAZINE WITH OTHER EXPLOSIVES OR BLASTING AGENTS.
6. ORIGINAL CONTAINERS OR APPROVED MAGAZINES SHALL BE USED FOR TANKING DYNAMOMETERS AND OTHERS. EXPLOSIVES NOT BEING USED SHALL BE KEPT IN A LOCKED MAGAZINE AND USE OF EXPLOSIVES SHALL ONLY BE MADE BY A T AUTHORIZED PERSONS INTO APPROVED MAGAZINES.
7. CONTRACTOR SHALL PROVIDE EVERY REASONABLE PRECAUTION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: A. ADEQUATE WARNING OF THE BLASTING OPERATION TO ALL PERSONS IN THE PEDESTRIAN SAFETY.
8. ALL BLASTING SHALL BE TAKEN TO PREVENT ACCIDENTAL DISCHARGE OF ELECTRIC BLASTING CAPS FROM CURRENT INDUCED BY RADAR, RADIO TRANSMITTERS, LIGHTNING, AIRCRAFT POWER LINES, DUST STORMS, OR OTHER SOURCES OF EXTRANEOUS ELECTRICITY, THESE PRECAUTIONS SHALL INCLUDE THE USE OF THE BLASTING MACHINE AND THE BLASTING WIRE WITHIN 100 FEET OF BLASTING OPERATIONS WARNING AGAINST THE USE OF MOBILE RADIO TRANSMITTERS.
9. BLASTING OPERATIONS IN THE PROXIMITY OF OVERHEAD POWER LINES, COMMUNICATION LINES, OR OTHER STRUCTURES SHALL BE CONDUCTED WITH EXTREME CARE TO PREVENT THE LOSS OF THE UTILITY OPERATIONS AND/OR OWNERS HAVE BEEN NOTIFIED AND SAFE CONTROL MEASURES HAVE BEEN TAKEN.
10. ALL BLACK POWDER SHALL BE PROHIBITED.
11. ALL BLASTS SHALL BE FIRED ELECTRICALLY WITH ON-ELECTRICAL BLASTING MACHINE OR PROPERLY DESIGNED ELECTRIC POWER SOURCE.
12. ALL CARTRIDGES SHALL BE KEPT IN A CONTAINER TO AVOID ADMITTING THE INSERTION OF THE CARTRIDGES OF EXPLOSIVES. TAMPING SHALL BE DONE ONLY WITH WOOD RODS OR PLASTIC TAMPING PLOWS WITHOUT EXPOSED METAL PARTS.
13. ALL BLASTING SHALL BE CONDUCTED IN THE NEXT ROUND OF BLASTING AFTER LOADING, ALL REMAINING EXPLOSIVES AND DETONATORS SHALL BE IMMEDIATELY RETURNED TO AN AUTHORIZED MAGAZINE.
14. ALL UNUSED BLASTING MACHINES LEFT UNATTENDED OR UNPROTECTED.
15. IMMEDIATELY AFTER BLASTING, THE FIRING LINE SHALL BE DISCONNECTED FROM THE BLASTING MACHINES AND THE FIRING LINE SHALL BE KEPT UNATTENDED.
16. ALL EMPLOYEES SHALL BE ALLOWED TO REMAIN IN THE AREA UNTIL THE BLASTING OPERATION IS COMPLETED. EMPLOYEES ARE ALLOWED TO RETURN TO THE AREA OR TO RESUME, IF A MISFIRE IS FOUND, NO OTHER WORK SHALL BE DONE. EXCEPT THAT EMPLOYEES ARE REQUIRED TO REMOVE FROM THE AREA UNTIL THE BLASTING OPERATION IS COMPLETED.
17. NO EXPLOSIVE OR BLASTING AGENTS SHALL BE LEFT UNATTENDED AT THE BLAST SITE.
18. ALL BLASTING OPERATIONS SHALL TAKE PLACE BETWEEN SUN-UP AND SUN-DOWN (HOURS OF DAWNIGHT).
19. ALL BLASTING SHALL BE DESIGNED TO PREVENT FLYING ROCK. THE CONTRACTOR SHALL USE ADEQUATE, GOOD QUALITY STEMMING MATERIAL AND THE COVERING OF BLASTS WITH STEEL OR CONCRETE. ALL BLASTS SHALL BE COVERED WITH STEEL OR CONCRETE.
20. THE CONTRACTOR, AT HIS OWN EXPENSE, MAY OPT TO HAVE PRE-BLAST SURVEYS PERFORMED ON ANY ADJACENT STRUCTURES. THESE SURVEYS SHALL BE PRE-FORMED BY A CONSULTANT ENGINEER.
21. THE CONTRACTOR HEREBY ASSUMES SOLE RESPONSIBILITY FOR ALL PERSONAL INJURY OR DAMAGE TO REAL OR PERSONAL PROPERTY, OR INTERFERENCE WITH THE USE OR ENJOYMENT OF ANY ADJACENT PROPERTY OR PERSONS OR DAMAGE TO ANY ADJACENT PROPERTY OR PERSONS. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR OPERATING ALL EQUIPMENT AND PERFORMING ALL BLASTING IN COMPLIANCE WITH FEDERAL, STATE OR LOCAL LAWS AND REGULATIONS GOVERNING BLASTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LIMITING THE AMOUNT OF VIBRATION OR CONCUSSION, NOTHING PRESENTED IN ANY OF THE PRECEDING IN ANY WAY RELAYES THE CONTRACTOR OF ANY RESPONSIBILITIES FOR ANY DAMAGE TO THE EXISTING STRUCTURES OR PERSONS IN THE AREA.
22. NO BLASTING TO BE DONE WITHIN 25' OF FINISHED WATER OR SEWER LINE.
23. USE ALL PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM DAMAGE FROM FROST.

SITE GRADING NOTES

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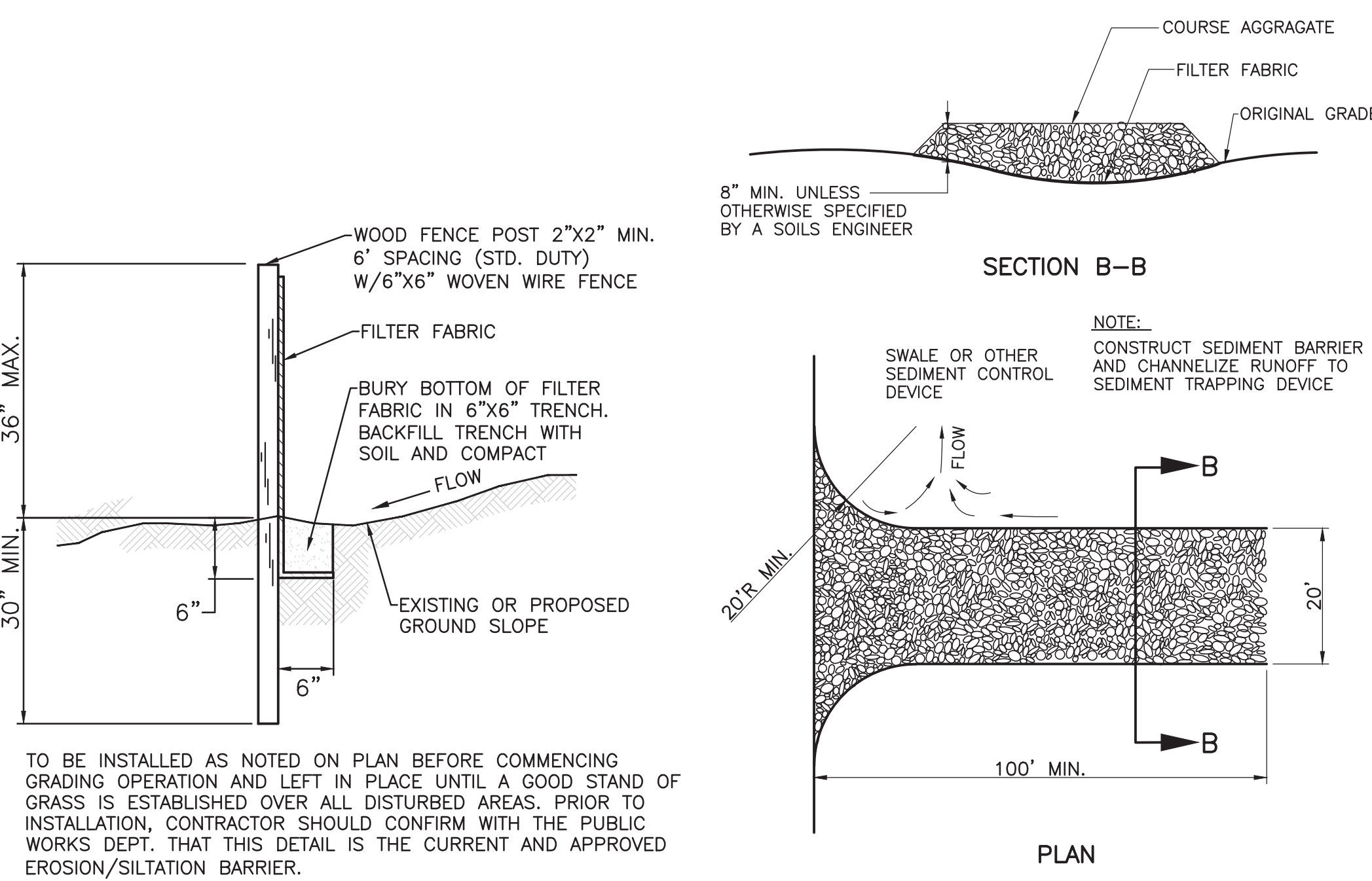
DEMOLITION NOTES

- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL EXCAVATED MATERIALS AND SUCH ITEM SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT. IT IS THE POLICY OF THE CONTRACTOR TO MAINTAIN ACCESS TO ALL ADJACENT EGRESS AND ACCESS SHALL BE PREPARED TO SUBMIT SUCH TO THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT FOR APPROVAL.
- IF ANY TIME, ROUTES TO OR FROM THE DEMOLITION WORK IS HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND APPROPRIATE GOVERNMENTAL AGENCY.
3. THE CONTRACTOR SHALL ADVISE ALL ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION. SUCH OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT. ADJACENT EGRESS AND ACCESS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. DO NOT REMOVE ANY EXISTING UTILITIES OR STRUCTURES UNLESS THE CONTRACTOR HAS BEEN NOTIFIED BY ADJACENT OWNERS OR THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT.
4. PRIOR TO THE COMMENCEMENT OF DEMOLITION/GRADING OPERATIONS, ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE IDENTIFIED AND PROTECTED. THE CONTRACTOR SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT OF DAMAGE TO ANY EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS AND BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO SUBMITTING HIS BID TO DETERMINE THE EXTENT TO WHICH UTILITY DISCONNECTIONS WILL BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR COORDINATING WITH SUCH UTILITY FACILITIES MAY NEED TO BE AGREED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS, WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ADDITIONAL COMPENSATION FOR DELAYS OR INCONVENIENCE CAUSED BY THE UTILITY COMPANIES.

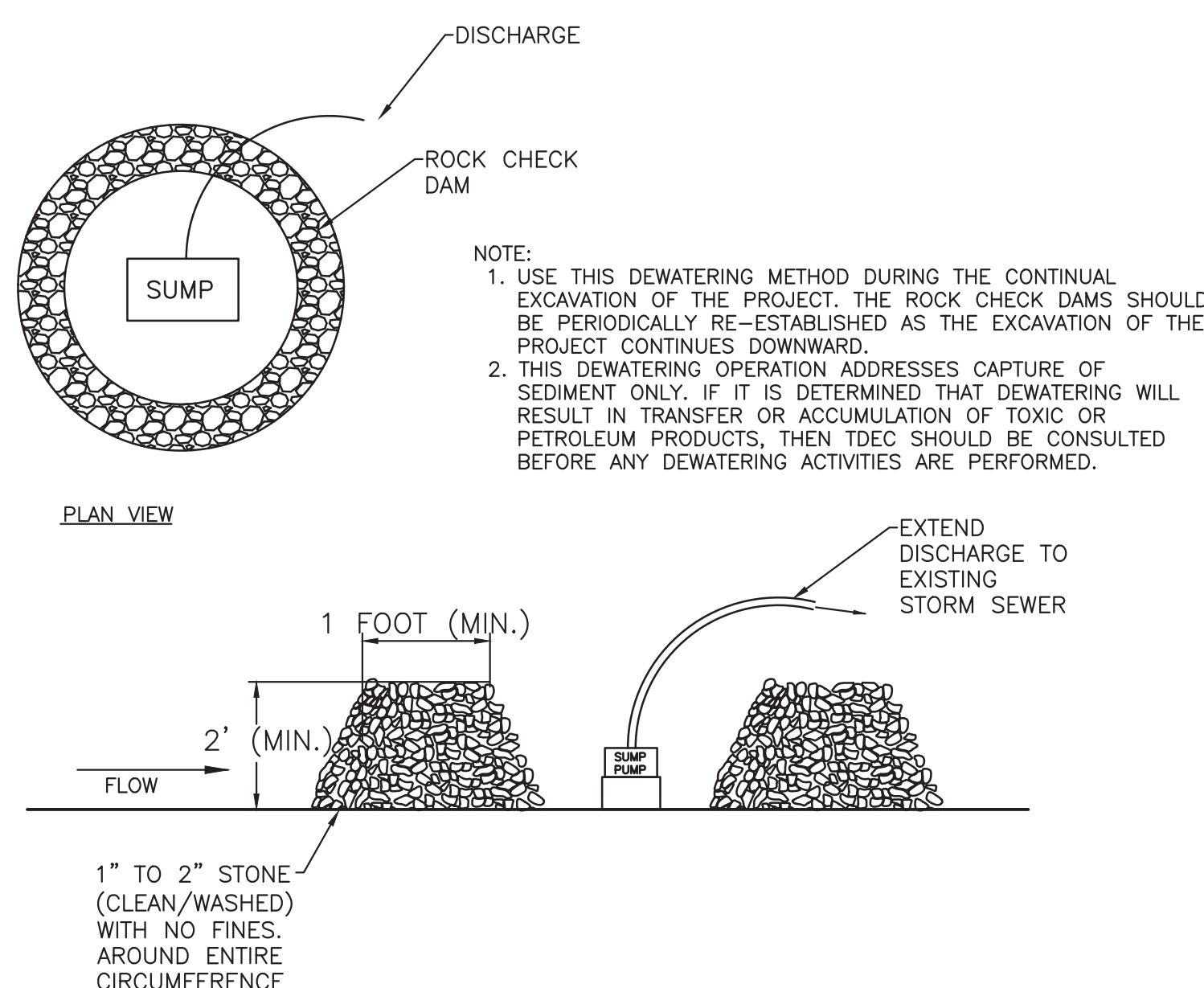
EROSION PREVENTION AND SEDIMENT CONTROLS

DESIGN, INSPECTION, AND MAINTENANCE OF BMPs DESCRIBED AND SHOWN ON THESE PLANS SHALL BE CONSISTENT OR EXCEED RECOMMENDATIONS CONTAINED IN THE CURRENT EDITION OF TDEC'S TENNESSEE EROSION CONTROL HANDBOOK.

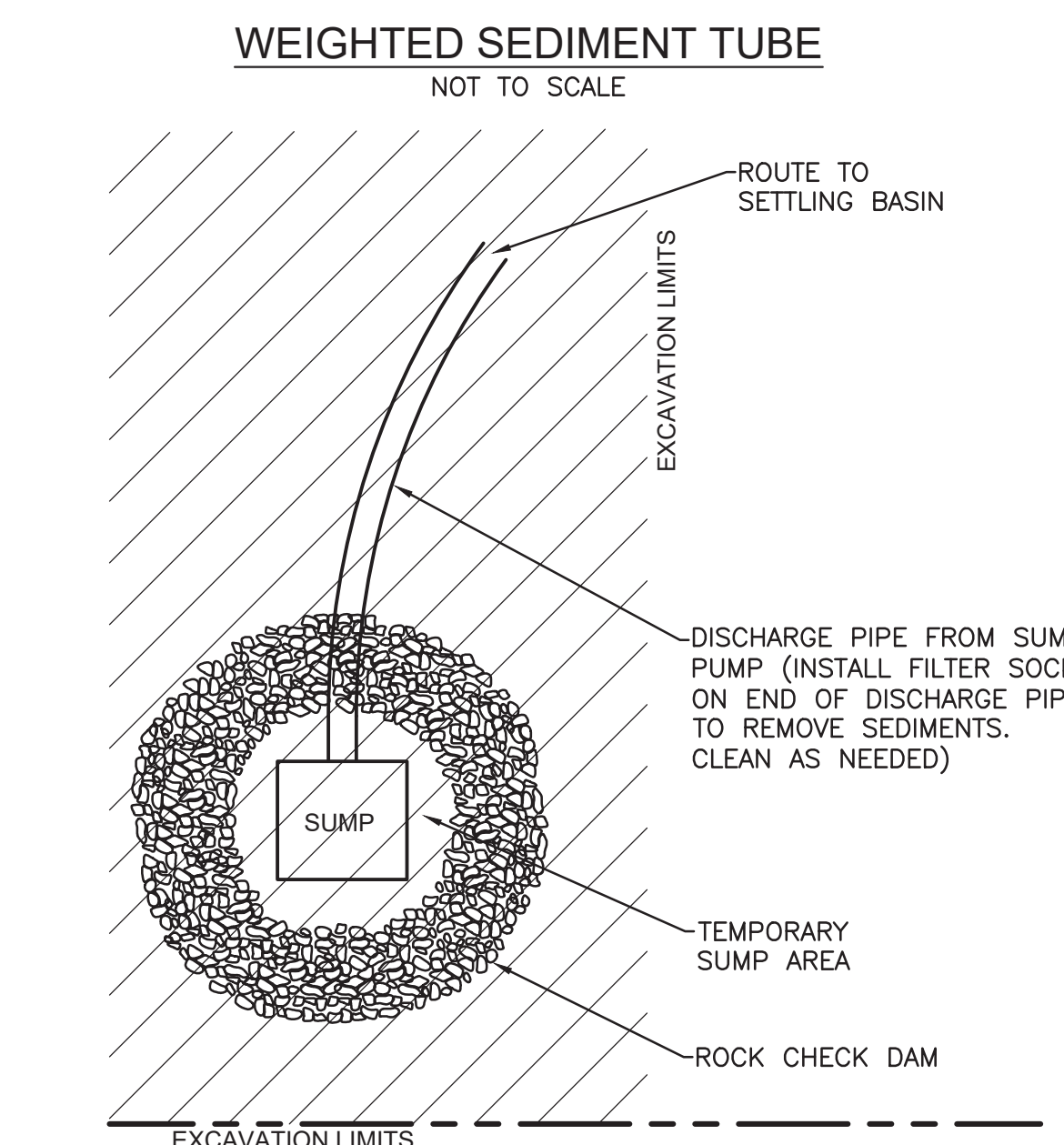
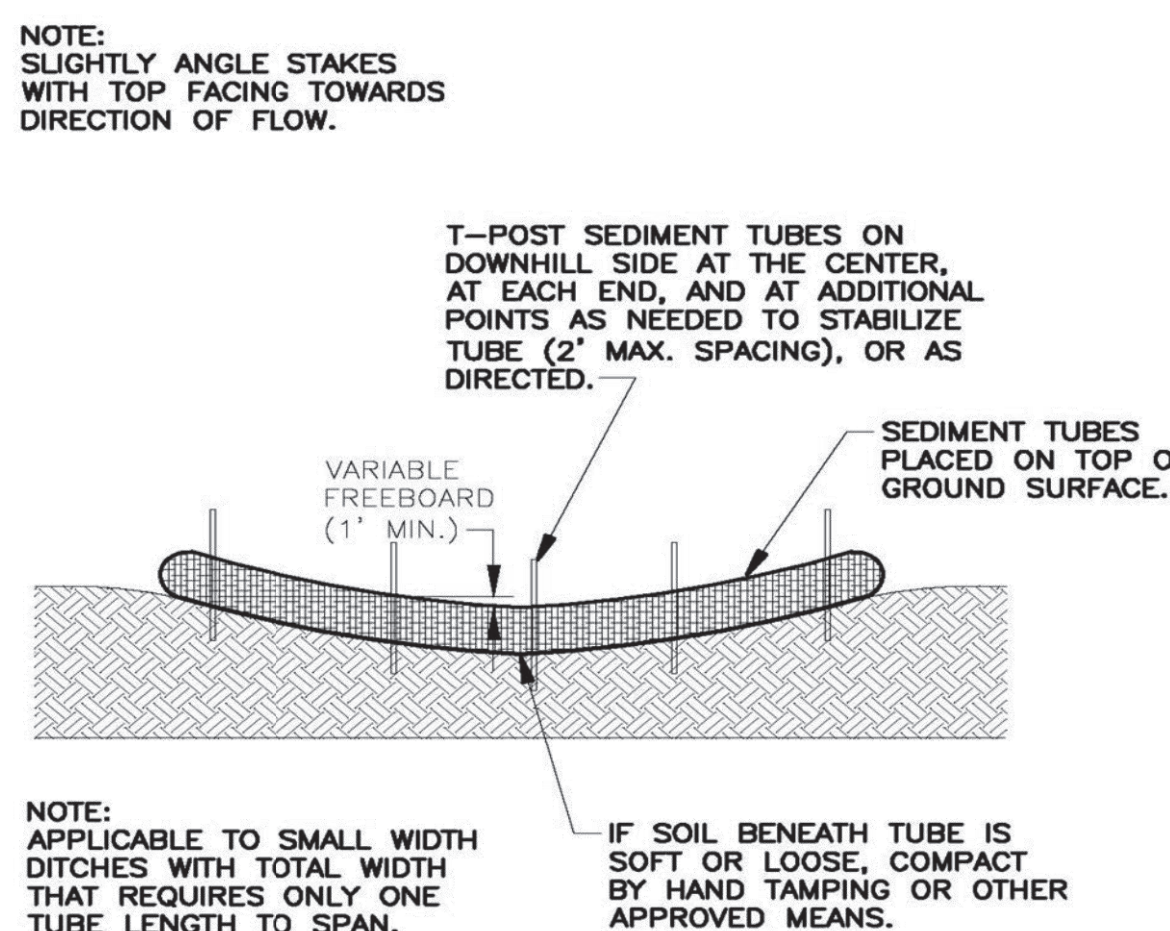
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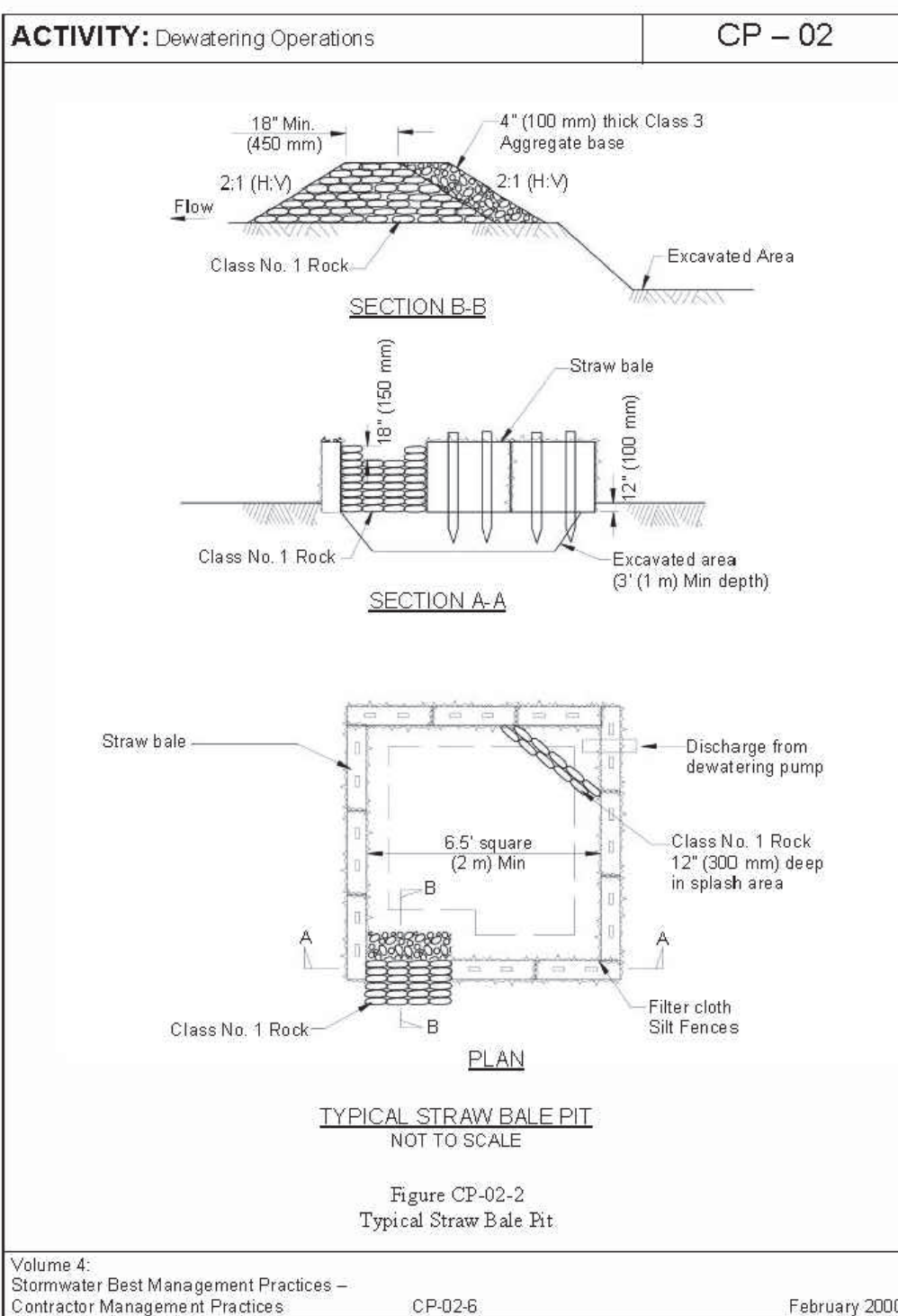
EROSION/SILTATION FENCE (TCP-13)



TEMPORARY SUMP AREA DEWATERING PIT



TEMPORARY SUMP - PLAN VIEW



TYPICAL DEWATERING PRACTICE

- Use the following formula to determine the minimum storage volume of the pit:

Pump discharge (l/s) $\times 7.3 = \text{m}^3$ of storage required.
Note: 1 l/s = 0.001 m^3/s = 15.85 gpm.

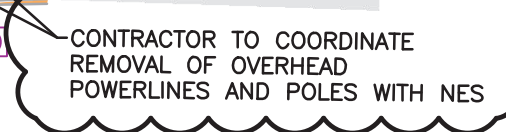
- The excavated area should be a minimum of 3 ft (1 m) below the base of the straw bales and silt fence.
- Installation guidelines can be found under TCP-13: Silt Fences and TCP-14: Straw Bale Barrier.
- Once the water level nears the crest of stone weir (emergency overflow), shut off pump while the structure drains down to the top of the wet storage pit.
- The storage pit may be dewatered only after a minimum of 4 hours of sediment settling time. Pump effluent across a well-vegetated area or through a silt fence prior to discharge.
- Once the wet storage area becomes filled to one-half of the excavated depth, accumulated sediment shall be removed and properly disposed.

TYPICAL DEWATERING PRACTICE



FLOWING HYDRANT INFORMATION
MWS ID: 14210
STATIC PRESSURE: 76 PSI
FLOW PRESSURE: 50 PSI
FLOW RATE: 1,187 GPM
DATE OF TEST: 6/5/2019

MONITORING HYDRANT INFORMATION
MWS ID: 01292
STATIC PRESSURE: 63 PSI
RESIDUAL PRESSURE: 57 PSI

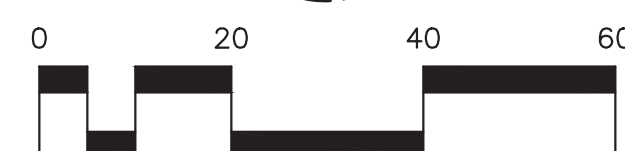


1. SHADING DEPICTS AREAS WHERE ALL BUILDINGS, ASPHALT, CURBING, CONCRETE, STEPS, SIGNS, WALLS AND TREES ARE TO BE DEMOLISHED AND REMOVED.

⊙(R)O	IRON ROD (OLD)	⊙	UTILITY POLE
●(R)N	IRON ROD (NEW)	⊙	UTILITY POLE W/ ANCHOR
●(R)N	IRON ROD (NEW) (WITH "S" OR "SH" STAMPED TAGH "SMITH & ASSOCIATES")	⊙	⊙
W	WATER VALVE	⊙	⊙
W	WATER METER	⊙	⊙
⊙	SANITARY SEWER MANHOLE	⊙	⊙
∞	SEWER CLEAN-OUT	⊙	⊙
E	ELECTRIC BOX	⊙	⊙
PT	TRANSFORMER PAD	⊙	⊙
—	SIGN	⊙	⊙
R.O.D.C.T.	REGISTERED OFFICE FOR DAVISON COUNTY, TN	⊙	⊙
—	QUADRANT	⊙	⊙
M.B.S.L.	MINIMUM BUILDING SETBACK LINE	⊙	⊙
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT	⊙	⊙
	CONCRETE SURFACE	⊙	⊙
	ASPHALT SURFACE	⊙	⊙

EXISTING STRUCTURES NOTE:
ALL EXISTING STRUCTURES TO BE REMOVED FROM SITE

15 -20% SLOPES



CLIENT:



CREED
INVESTMENT COMPANY

PROJEC



FORMERLY NAMED:
19TH AND CHET Atkins OFFICE BUILDING 8F
CASE NO. 2017SP-095-003

827 19th Avenue
Nashville, TN 37212

SEAL:



EXISTING CONDITIONS & DEMOLITION PLAN

CO.2

PROJECT:42885.01
DATE: 02.21.2020

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 34"X44"

BEST MANAGEMENT PRACTICES (BMP):

Land clearing shall take place only in areas where active construction will begin within a reasonable amount of time. Land clearing during the rainy season shall be avoided in sensitive areas such as steep slopes and buffers, if possible.

Any natural watercourse on site shall not be disturbed unless absolutely necessary.

Denuded areas, soil stripplugs, dikes, dams, channels, etc., are to be seeded and mulched. Areas and time of exposure of unprotected soils shall be kept to a maximum of 15 days. Such areas are to immediately receive seed and mulch stabilization following this time period. On steep slopes and channels, sod shall be fastened to the ground with wire staples or wood pegs. Where surface water cannot be diverted from flowing over the face of slopes, install a strip of heavy jute or plastic netting and fasten tight along the crown or top of the slope for extra protection against lifting and undercutting of sod.

Suitable barricades and guards shall be erected to prevent equipment or material from being placed on any planted area.

Plastic lining shall be used on all ditches and exposed surfaces when time does not permit the contractor to use seed and mulch for stabilization.

Slope and ditches that are constructed to final sub-grade or a portion of any slope or ditch that is constructed to sub-grade shall immediately receive topsoil and final stabilization. All slopes are to receive seed and mulch. All ditches shall receive stabilization as indicated on the construction plans. The contractor shall be responsible for watering seeded areas to prevent the soil from drying out until approved and accepted. The contractor shall be responsible for re-seeding bare spots for a period of one year after installation or acceptance of this project.

Steep and unstable slopes shall not be disturbed if they are outside of the approved grading plan area. Runoff shall be conveyed from the top of the slope in a safe manner ensuring that the slope is stabilized as soon as possible. All runoff exiting the construction site shall be free of excessive sediment, and other pollutants.

Erosion control barriers (silt fence) shall be placed where indicated prior to clearing, grubbing, grading. Erosion control barriers (silt fence) shall be adjusted and placed along the newly established contours until the development is stabilized (see erosion/siltation control notes)

Street and/or curb inlet protection devices shall be placed around all inlets upon the construction of the storm water sewer system.

EROSION/SILTATION CONTROL NOTES:

1. Areas and time of exposure of unprotected soils shall be kept to a minimum whenever possible.
2. Deep dust within tolerable limits of spreading or other acceptable means.
3. Use temporary vegetation and/or mulch to protect bare areas from erosion during construction.
4. All other work will be initiated on the project until the erosion/siltation measures shown the plans and details are properly in place.
5. Silt fence shown thus is to be used as temporary sediment barriers. See detail for proper installation and maintenance.
6. If, at any time during the construction of this project, the erosion/siltation measures installed fail to function properly, need maintenance or repair, or need new replacement in kind, the contractor will effect such actions as are needed to correct the situation and to pay the cost to the County.
7. Disturbed areas are to be graded to drain as indicated on plan to control sediment barriers during and upon completion of construction.
8. The topsoil to be placed is 6-inch depth of grade 12-12 fertilizer. Areas dressed with topsoil will receive 12 pounds per 1000 square feet of grade 12-12 fertilizer. 5 pounds or more of Kentucky 31 fescue seed per 1000 square feet and a straw mulch of 70%-80% coverage are required. The straw mulch and fescue seed are to be applied to the grassed areas of the project. Upon stabilization of the project site with a good (acceptable) stand of grass and/or ground cover, the erosion/siltation installations will be removed and the areas disturbed will be reseeded and mulched and the areas will be graded as shown on the plans.
9. Prior to the issuance of a grading permit, all erosion/siltation control measurements including on the plans shall be installed.
10. Erosion control barriers shall be placed where indicated prior to clearing, grubbing, grading, filling. Erosion control barriers (silt fence) shall be adjusted and placed along newly established contours as a result of the fill operations.
11. Erosion control barriers shall be placed and maintained on a regular basis.
12. Erosion control devices must be in place and inspected by metro Nashville stormwater department, prior to issuance of land disturbance permit.
13. Copies of the plans and specifications shall be kept on site.
14. During tree removal, silt fence is not to be removed.
15. Temporary or permanent stabilization shall be completed no later than 15 days (7 days for temporary) after construction activity in that portion of the site has temporarily or permanently ceased.

EROSION/SILTATION BARRIER MAINTENANCE:

1. Erosion/siltation barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.
2. Close attention shall be paid to the repair of damaged barriers, end runs and undercutting beneath barriers.
3. Necessary repairs to barriers or replacement of barriers shall be accomplished promptly.
4. Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.
5. Any sediment deposits remaining in place after the erosion/siltation barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

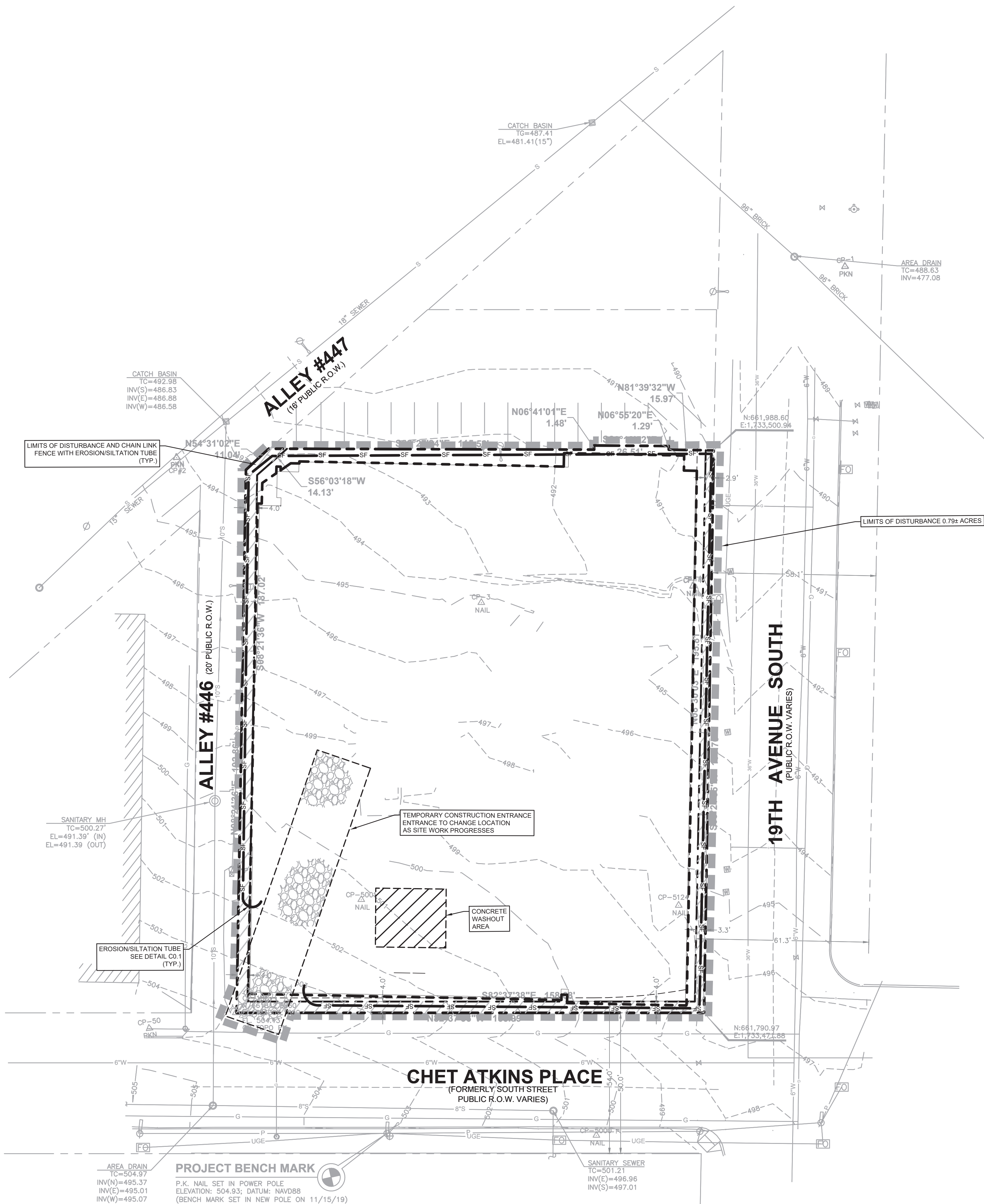
CONCRETE WASHOUT NOTE

Contractor to provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively.

Contractor to coordinate exact location with NPDES department during preconstruction meeting. Grading permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that my cause adverse impacts to water quality. The location of and/or notes referring to said BMP's shall be shown on the EPSC plan.

NOTE

All perimeter EPSC measures must be in place before grading



UTILITY CONTACTS	
WATER & SEWER	METRO WATER AND SEWERAGE SERVICE (615) 862-4505
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3245
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON CROHAN
CABLE	COMCAST (615) 244-7462

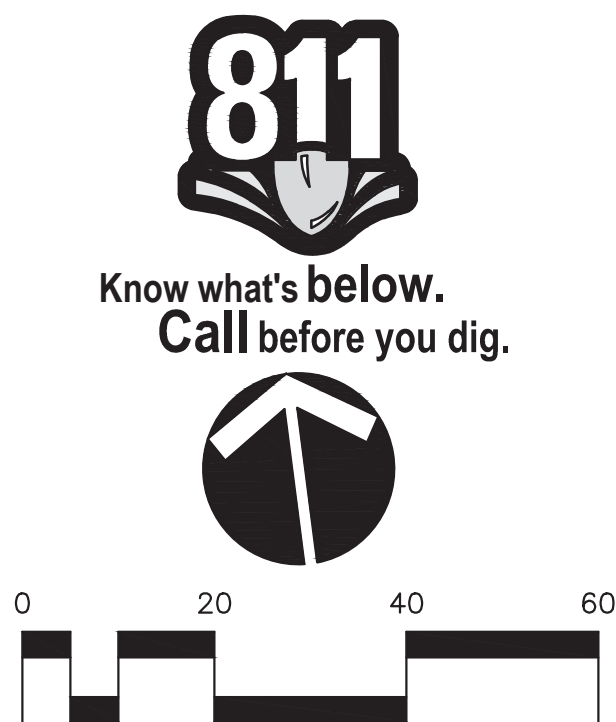
I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The Total Disturbed Area is: 0.79± acres.

Check all that apply: This site discharges into waters identified by TDEC as:
☒ Impaired for siltation ☐ Impaired for habitat alteration ☐ Exceptional

Signature _____ Date 07/10/19

Circle one: Developer Project Engineer Other _____

Note: Projects of one (1) or more acres require State permit coverage, while projects of less than one (1) acre do not require State permit coverage. Also, projects of less than one (1) acre that are part of a total development project of one (1) or more acres require State permit coverage.



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RAGAN•SMITH
LANDSCAPE ARCHITECTS • CIVIL ENGINEERS
• PLANNERS • SURVEYORS

Chattanooga 423-490-9400
Nashville 615-244-8391
Murfreesboro 615-546-6050

RSA PROJECT: 17135-0970

CLIENT

NASHVILLE INTERMEDIARY, LLC



CREED
INVESTMENT COMPANY



PORTMAN
HOLDINGS

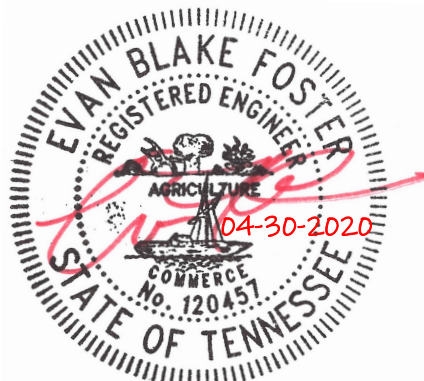
PROJECT



MOORE
BLDG

FORMERLY NAMED:
19TH AND CHET ATKINS OFFICE BUILDING 8F
CASE NO. 2017SP-095-003

827 19th Avenue
Nashville, TN 37212



CONSTRUCTION DOCUMENTS

[illegible]

INITIAL EROSION CONTROL PLAN

C1.1

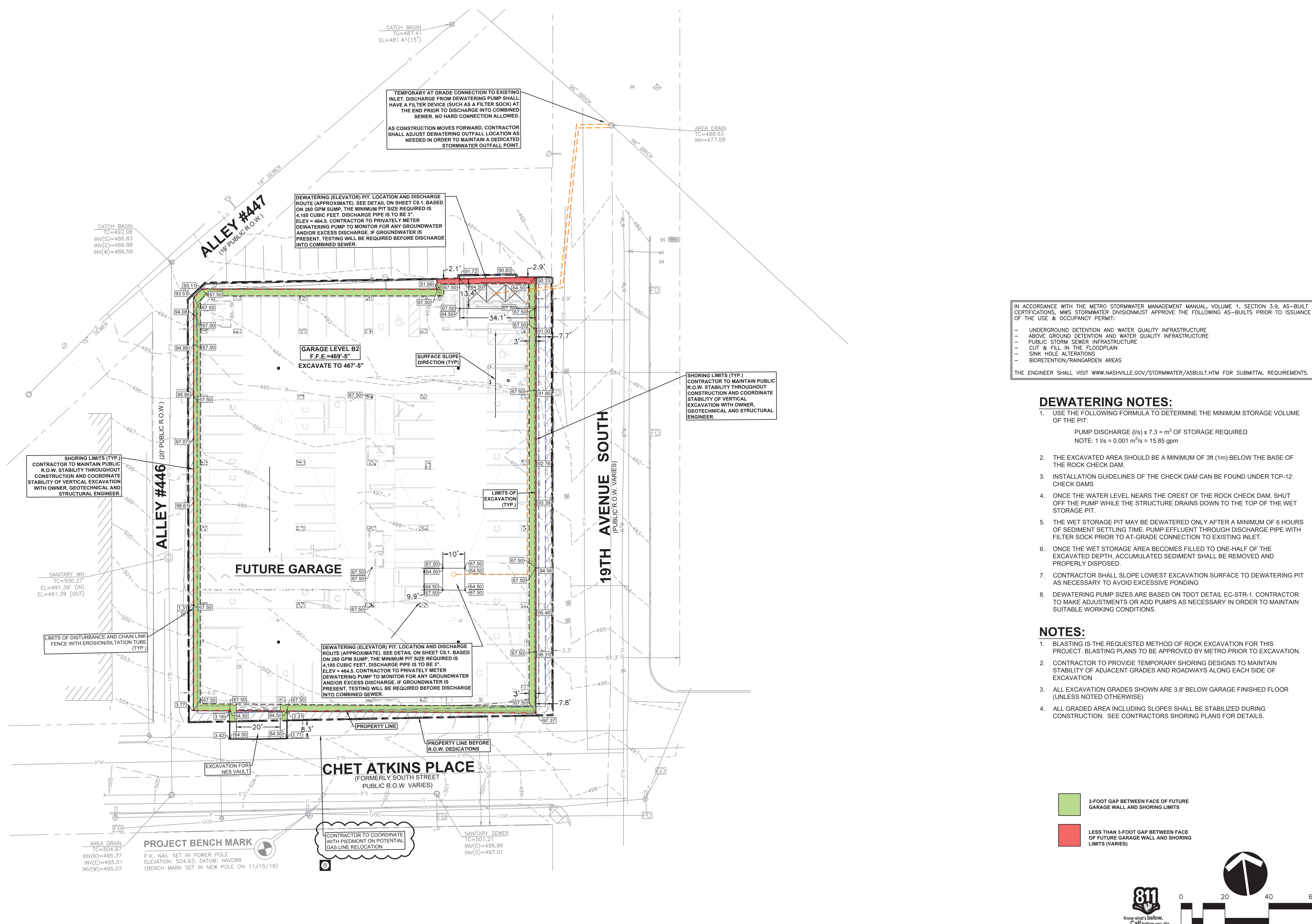
PROJECT:42885.01
DATE: 02.21.2020

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 34"X44"

Drawn By: MRS

Checked By: EBF

Approved By: EBF



G:\17135-0970\1-CIVIL ENGINEERING\3-PLAN SHEETS\FINAL SPI0970 EXCAVATION.DWG
 PLOTTED BY BARAKA PATTERSON ON: 4/30/2020 8:49 AM
 LAST UPDATED BY BRATTERSON ON: 4/30/2020 7:39 AM



222 Second Avenue South
Suite 1400
Nashville, TN 37201
615.770.8100

CONSULTANT:

RAGAN SMITH

AND PLANNERS • CIVIL ENGINEERS
AND SCAPE ARCHITECTS • SURVEYORS

Chattanooga
423-490-9400

Nashville
615-244-8391

Murfreesboro
615-346-6050

ragansmith.com

RSA PROJECT: 11135-0970

CLIENT:

DIARY, LLC

C

CREED
INVESTMENT COMPANY

NASHVILLE

A DEVELOPMENT PARTNERSHIP BETWEEN:

 **PORTMAN**
HOLDINGS

PROJECT:



MOORE
BLDG

FORMERLY Y-NAMED:

10TH AND CHET ATIONS OFFICE BUILDING SP

CASE NO. 2017SP-095-003

827 19th Avenue
Nashville, TN 37212

CONSTRUCTION DOCUMENTS

[illegible]

EXCAVATION GRADING
DRAINAGE & EROSION
CONTROL PLAN

C2.1
PROJECT: 42885.01
DATE: 02.21.2020

SWGR# 2019041013
BUILDING PERMIT# 2020005603
METRO CASE # 2017SP-095-003
SEWER PROJECT: #19SL0157
WATER PROJECT: #19WL0068



222 Second Avenue South
Suite 1400
Nashville, TN 37201
615.770.8100

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
Chattanooga
423-490-9400
Nashville
615-244-0591
ragansmith.com
615-546-0026
Murfreesboro
615-546-0026
RGA PROJECT: 17135-0970



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INVESTMENT COMPANY

PORTMAN HOLDINGS



MOORE
BLDG

FORMERLY NAMED:

19TH AND CHET ATHENS OFFICE BUILDING SP

CASE NO. 2017SP-095-003

19th Avenue
Chville, TN 37212

EVAN BLAKE FOSTER
REGISTERED ENGINEER
AGRICULTURE
No. 120451
COMMERCIAL
STATE OF TENNESSEE
04-30-2020

CONSTRUCTION DOCUMENTS

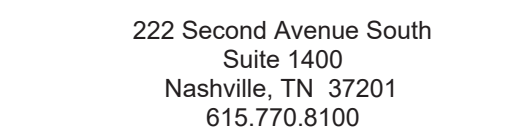
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VEHICLE MOVEMENT

C4.2

PROJECT: 42885.01
DATE: 02.21.2020
SHEET SIZE = 34"x44"

SWGR# 2019041013
BUILDING PERMIT# 2020005603
METRO CASE # 2017SP-095-003
SEWER PROJECT: #19SL0157
WATER PROJECT: #19WL0068



CONSULTANT:

RAGAN•SMITH

LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS

Chattanooga
423-380-5400

Nashville
615-244-6261


Murfreesboro
615-546-0050

ragansmith.com

PSA PROJECT: 1135-0970

CLIENT

DIARY, LLC



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INVESTMENT COMPANY

NASHVILLE
A DEVELOPMENT PARTNERSHIP BETWEEN:

PORTMAN
HOLDINGS



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BLDG

FORMERLY NAMED:
19TH AND CENSITATIONS OFFICE BUILDING SP

CASE NO. 2017SP-095-003

827 19th Avenue
Nashville, TN 37212

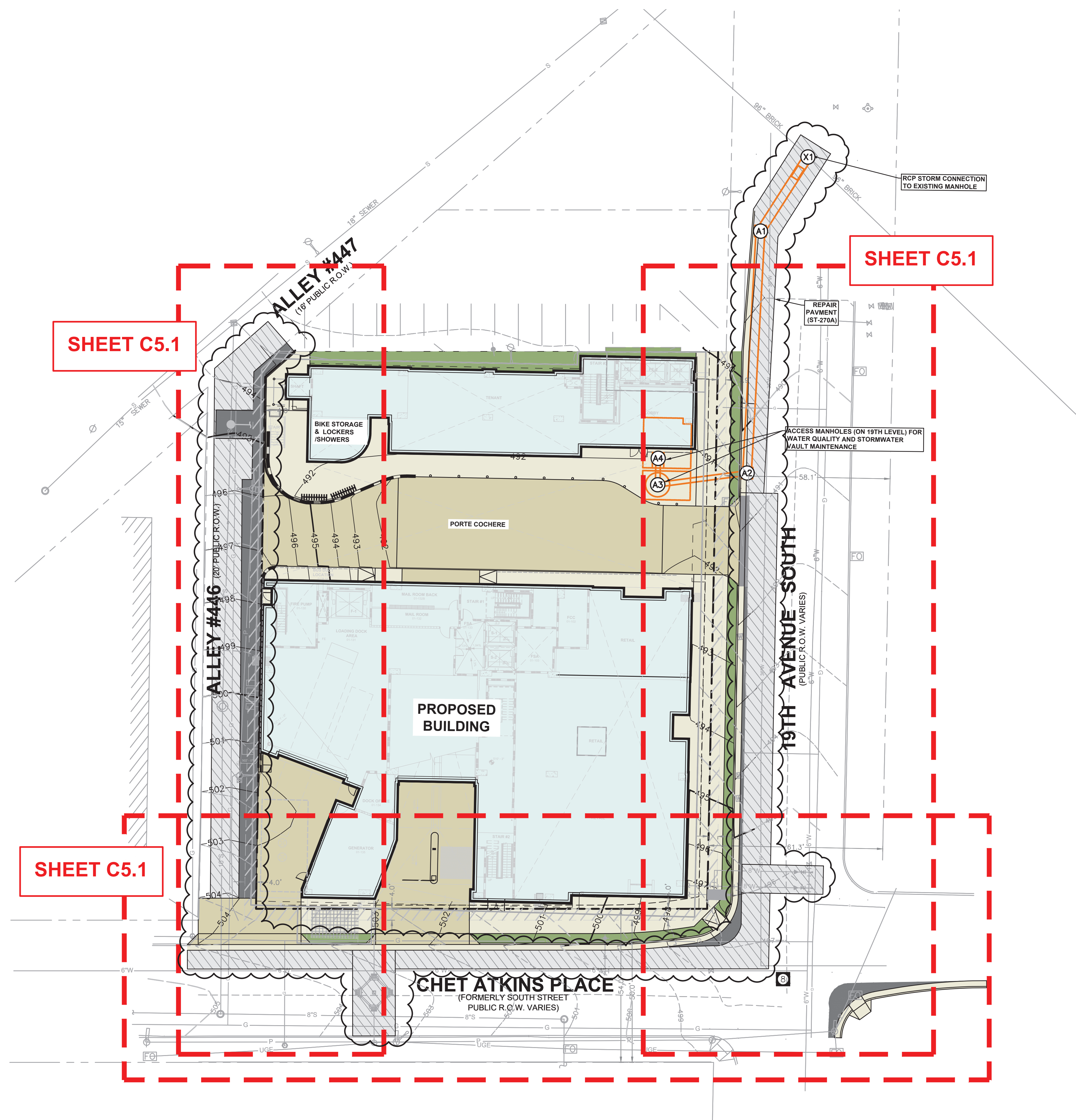
CONSTRUCTION DOCUMENTS

[illegible]

OVERALL SITE GRADING, DRAINAGE & EROSION CONTROL PLAN

C5.0

PROJECT: 42885.01
DATE: 02.21.2020
LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 34"X44"



PLEASE BE AWARE THAT METRO HAS REVISED THE AS-BUILT PROCESS AND REQUIREMENTS AS A PART OF THE FEBRUARY 2016 REGULATIONS UPDATED. PLEASE NOTE THAT THE FOLLOWING ARE REQUIRED AS A PART OF THE AS-BUILT PLAN:

- A. A CERTIFICATION LETTER FROM TN REGISTERED P.E. STATING THAT THE SITE HAS BEEN INSPECTED AND THAT THE STORMWATER MANAGEMENT SYSTEM AND STORMWATER CONTROL MEASURES FOR BOTH STRUCTURES ARE NON-STRUCTURAL ARE COMPLETE AND FUNCTIONAL IN ACCORDANCE WITH THE PLANS APPROVED BY MWS.
- B. AN AS-BUILT LID SPREADSHEET.
- C. HYDROLOGIC AND HYDRAULIC CALCULATION FOR AS-BUILT CONDITIONS, AS REQUIRED.
- D. AS-BUILT DRAWINGS SHOWING FINAL TOPOGRAPHIC FEATURES OF ALL THESE FACILITIES. THIS SHALL INCLUDE INVERT ELEVATIONS OF OUTLET CONTROL STRUCTURES.
- E. ANY DEVIATIONS FROM THE APPROVED PLANS SHALL BE NOTED ON AS-BUILT DRAWINGS SUBMITTED.
- F. COPY OF AS-BUILT PLAN CAD FILE ON A CD AND SHOULD BE REGISTERED TO THE TN STATE PLAN COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83). DATA SHOULD BE PLACED IN SEPARATE LAYERS AND SHOULD BE LABELED/NAMED FOR EASY IDENTIFICATION.
- G. CUT AND FILL BALANCE CERTIFICATION FOR FLOODPLAIN AND SINKHOLE ALTERATIONS.
- H. WATER QUALITY BUFFERS SHALL BE SURVEYED AND INCLUDED WITH THE AS-BUILT SUBMITTAL.
- I. ANY PUBLIC (TO BECOME THE RESPONSIBILITY OF METRO TO MAINTAIN) STORMWATER CONTROL MEASURES SHALL BE VIDEO-INSPECTED TO VERIFY PROPER INSTALLATION WITH THE VIDEO RECORDING AND ANY ASSOCIATED INSPECTION REPORT SUBMITTED AS PART OF AS-BUILT RECORD.
- J. ADDITIONAL TESTING MAY BE REQUIRED AS/IF WARRANTED BY VIDEO INSPECTION.

ALL ENTRANCES IN ANY BUILDING WHICH IS CONSIDERED A HANDICAP ACCESSIBLE ENTRANCE IS TO BE PROVIDED FOR A MINIMUM OF 60"x60" LANDING FOR A SINGLE DOOR AND A 72"x60" LANDING FOR A DOUBLE DOOR, IF A PROPOSED ACCESS EXCEEDS A 72" WIDTH THE LANDING IS TO ACCOMMODATE SAID ACCESS WIDTH. SAID LANDING IS NOT TO EXCEED A 1% GRADE (1/8"/FOOT FALL) IN ANY DIRECTION. CONTRACTOR IS TO COORDINATE WITH DESIGNING ARCHITECT FOR ALL LOCATIONS, LAYOUTS, ELEVATIONS AND TREATMENTS TO ANY PROPOSED BUILDING ACCESS.

1. ALL STORMWATER WORKS ON THIS PROJECT WILL BE CONSTRUCTED TO BE IN COMPLIANCE WITH THE CITY OF NASHVILLE PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS.
2. ALL TRENCHES FOR SEWERS SHALL BE BEDDED WITH 4" OF CRUSHED STONE TO RECEIVE THE CULVERT PIPE AND GIVE A UNIFORM BEARING ALONG THE RUN OF THE TRENCH. THE REMAINING TRENCH SECTION SHALL BE BEDDED WITH 15" OF CRUSHED STONE TO TOP OF PIPE OR TO SUBGRADE WHEN LOCATED IN PAVEMENT.
3. TOP OF CASTING EL. REFERS TO TOP OF GRATE OF "K" AND "M" & "H" CASTINGS. DRAINAGE STRUCTURE CASTING SHALL BE DRY SET IN PLACE AND AND BE SET 2" DEEPER LATER WHEN ADJUSTED TO FINAL SURFACE TREATMENT.
4. B.W. REFERS TO FINISHED GRADE AT BOTTOM OF WALL.

DRAINAGE STRUCTURE SCHEDULE					
NO.	TYPE*	CASTING	RIM	INVERTS	
A1	SINGLE CURB INLET	JBS 3124	488.71	481.50 (K1) 481.60 (A2)	
A2	SINGLE CURB INLET	JBS 3124	490.48	482.20 (A1) 482.30 (A3)	
A3	WQU	1110 "STORM"	491.69	482.50 (A2) 482.50 (A4)	
A4	VAULT DUFFLET CONTROL	1110 "STORM"	488.35	485.90 (A3) 486.00 (A4)	
X1	EXISTING AREA DRAIN MANHOLE	EXISTING	488.67	481.30 (A1)	

ALL CASTING TO BE JOHN BOUCHARD & SONS CO. OR APPROVED
EQUAL, UNLESS OTHERWISE NOTED.

LINE	SIZE/TYPE	LENGTH	SLOPE
A1-A2	30" RCP	85'	0.70%
A2-A3	15" RCP	32'	0.63%
A3-A4	15" PVC	9'	1.08%
X1-A1	30" RCP	31'	0.65%

ALL PIPES TO BE RCP, CLASS III,
UNLESS OTHERWISE NOTED.

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS
- WATER QUALITY UNIT

THE ENGINEER SHALL VISIT WWW.NASHVILLE.GOV/STORMWATER/ASBUILT.HTM FOR SUBMITTAL REQUIREMENTS.

PAVEMENT LEGEND

8

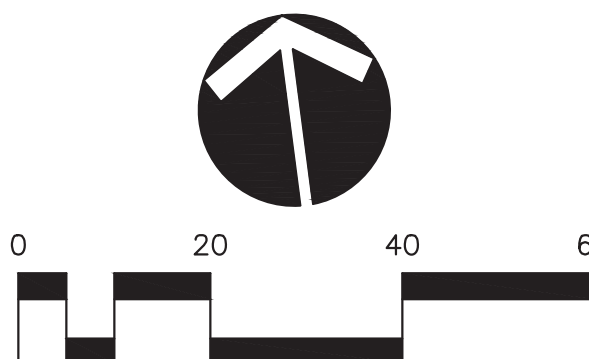
MILL OVERLAY ASPHALT PAVEMENT

HEAVY DUTY ASPHALT PAVEMENT

CONCRETE PAVEMENT

CONCRETE WALK

GRASS/PLANTER AREA



SWGR# 2019041013
BUILDING PERMIT# 2020005603
METRO CASE # 2017SP-095-003
SEWER PROJECT: #19SL0157
WATER PROJECT: #19WL0068



UPON COMPLETION THE FOLLOWING METHODS SHALL BE USED
AS FINAL STABILIZATION FOR EROSION CONTROL.

- [illegible]

POST CONSTRUCTION BMP MAINTENANCE/
INSPECTION PROCEDURES:

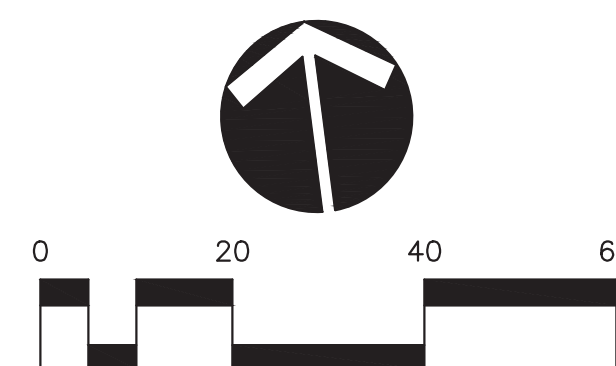
THESE POST CONSTRUCTION BMP MAINTENANCE PROCEDURES SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY.

1. SWALES/DITCHES/SLOPES:
GOOD VEGETATION SHALL BE MAINTAINED. EROSION CONTROL MATTING MAY BE NEEDED IF OUT OF THE GROWING SEASON.
ANY SCOUR SHOULD BE CORRECTED IMMEDIATELY.
SEDIMENT ACCUMULATION AND DEBRIS SHALL BE REMOVED.
2. GRASSSED/SODDED AREAS:
ANY BARE SOILS SHALL BE ADDRESSED IMMEDIATELY.
ADDITIONAL SEED AND STRAW MAY BE NEEDED WHERE GOOD GERMINATION DID NOT OCCUR
MULCH MAY BE USED TO PROTECT EXPOSED SOILS.

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS
- WATER QUALITY UNIT

THE ENGINEER SHALL VISIT WWW.NASHVILLE.GOV/STORMWATER/ASBUILT.HTM FOR SUBMITTAL REQUIREMENTS.



222 Second Avenue South
Suite 1400
Nashville, TN 37201
615.770.8100

CONSULTANT:

RAGAN•SMITH

LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS

Chattanooga
Nashville
615-245-8991
423-490-9400

ragansmith.com

REBAR PROJECT: 17132-0970

DIARY, LLC

C

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INVESTMENT COMPANY

CLIENT.

NASHVILLE
A DEVELOPMENT PARTNERSHIP BETWEEN:
 **PORTMAN**
HOLDINGS



PROJECT:

MOORE
BLDG

FORMERLY NAMED:

19TH AND CHET ATWINS OFFICE BUILDING SP

CASE NO. 2017SP-095-003

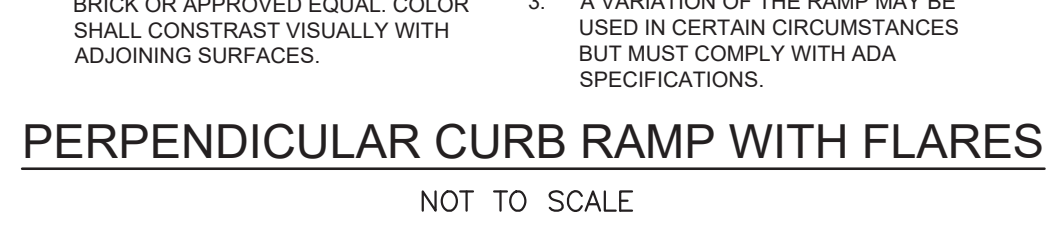
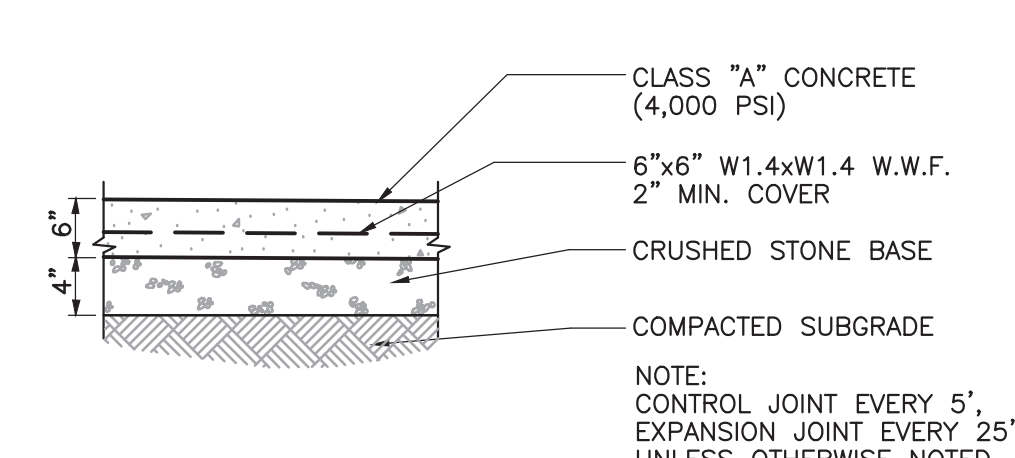
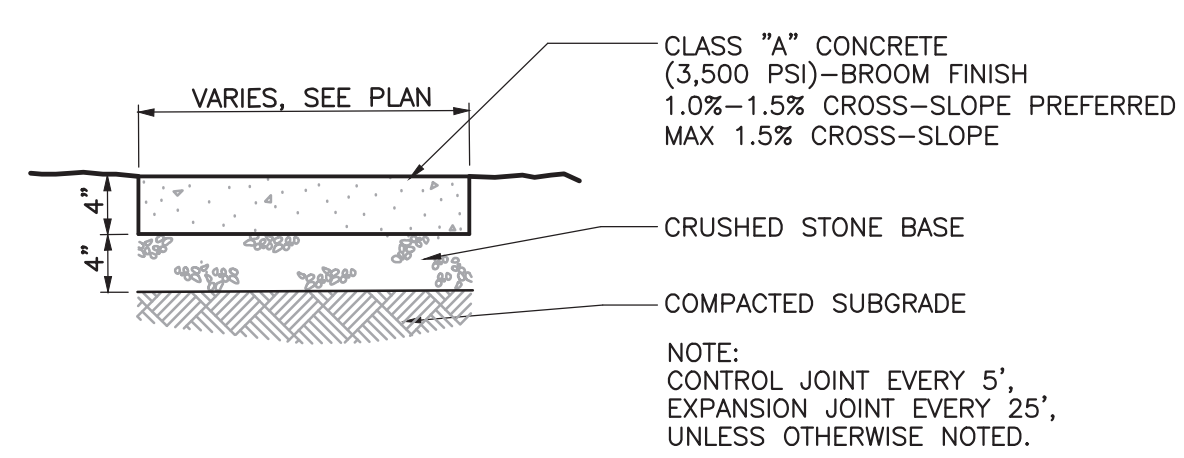
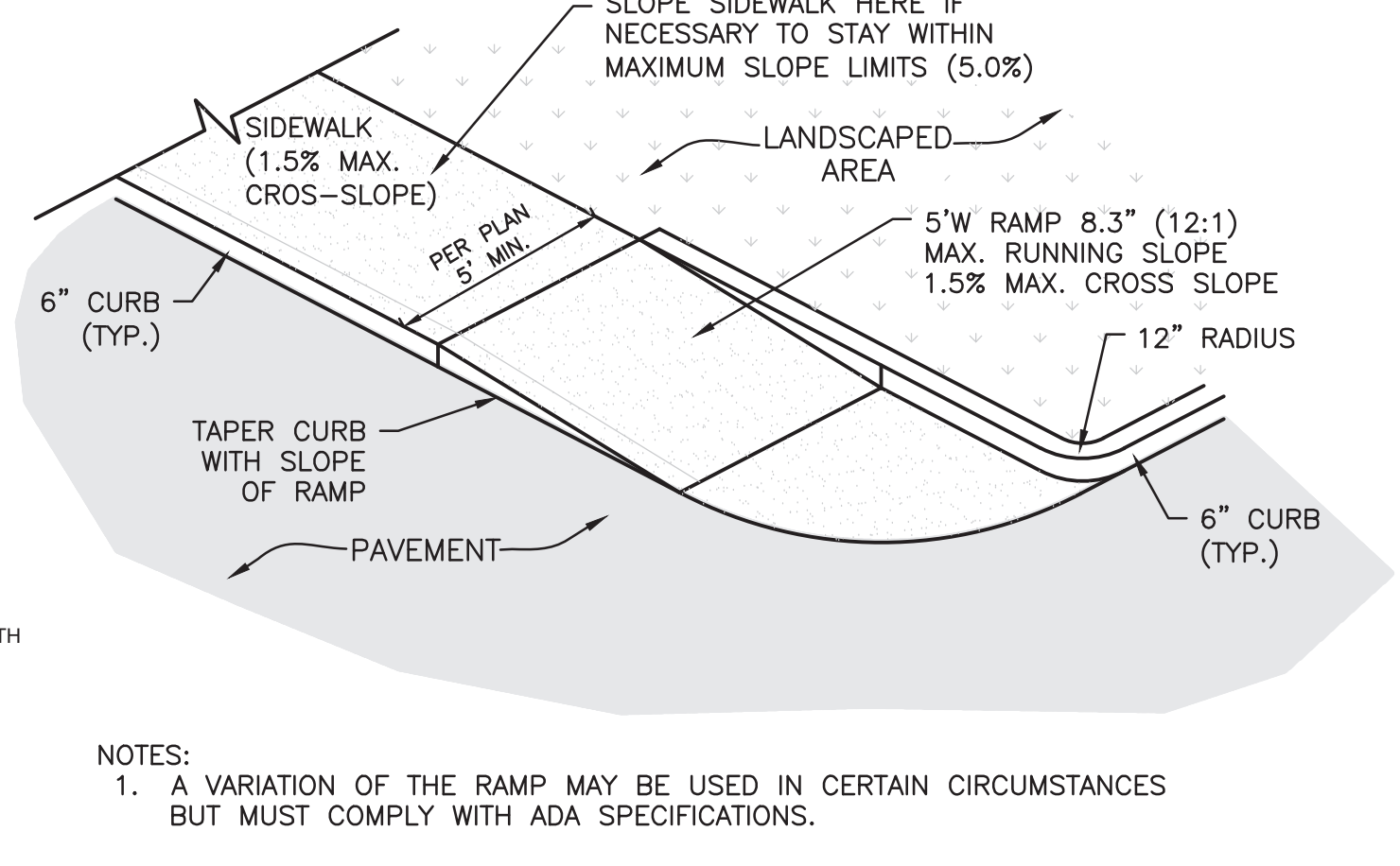
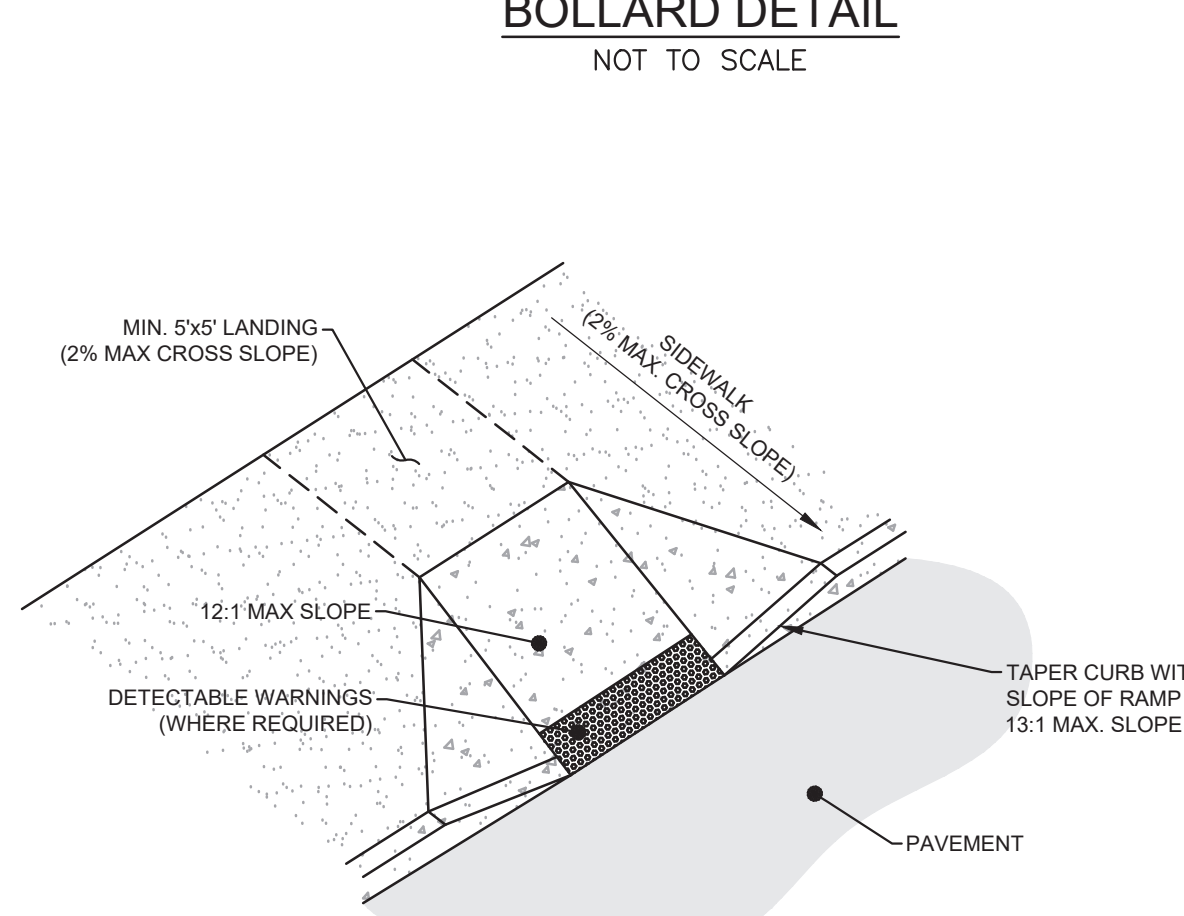
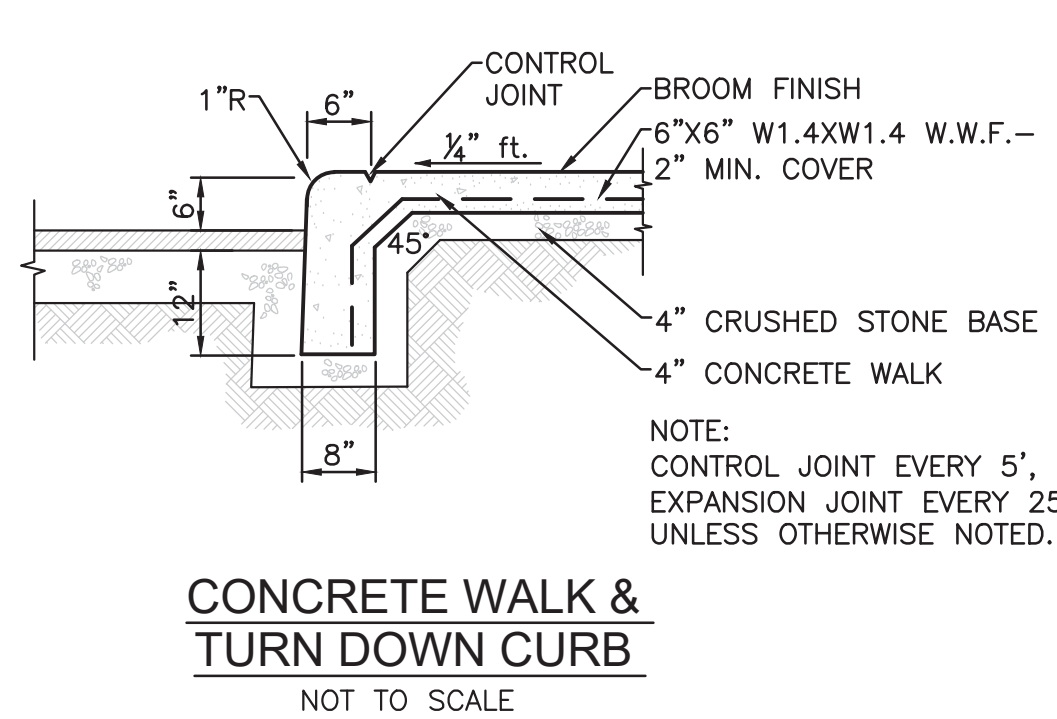
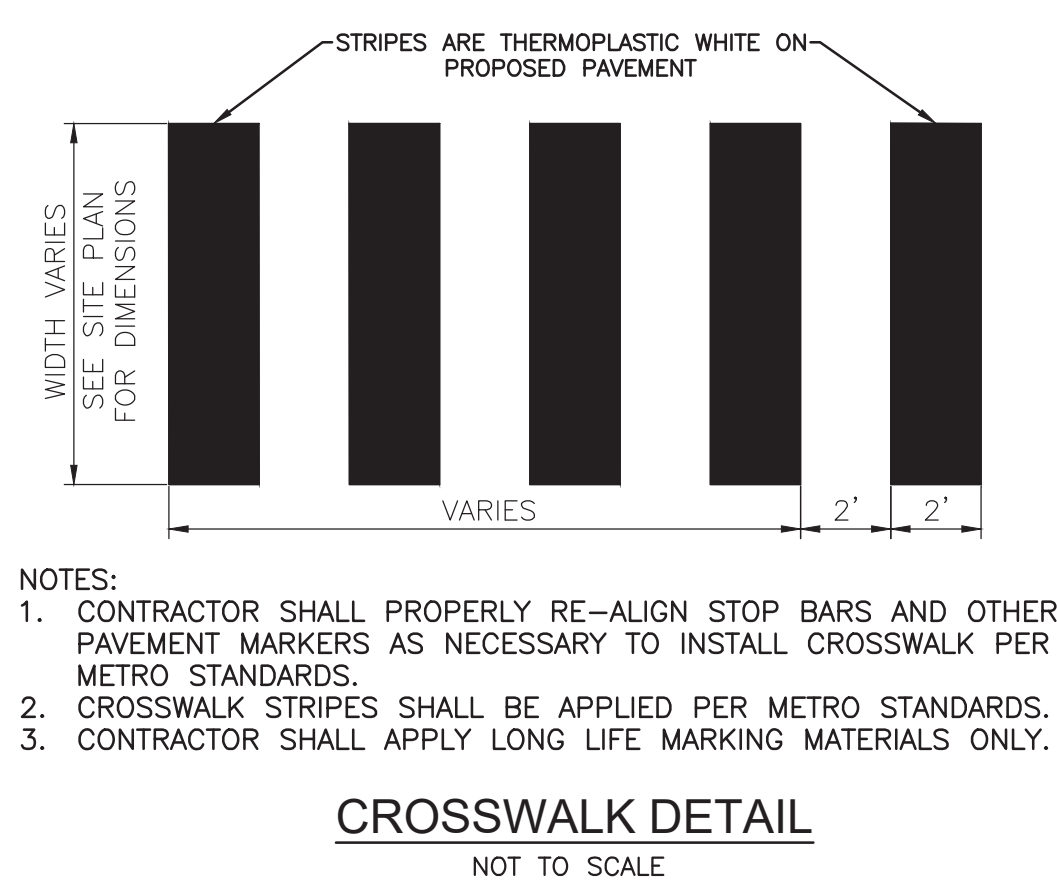
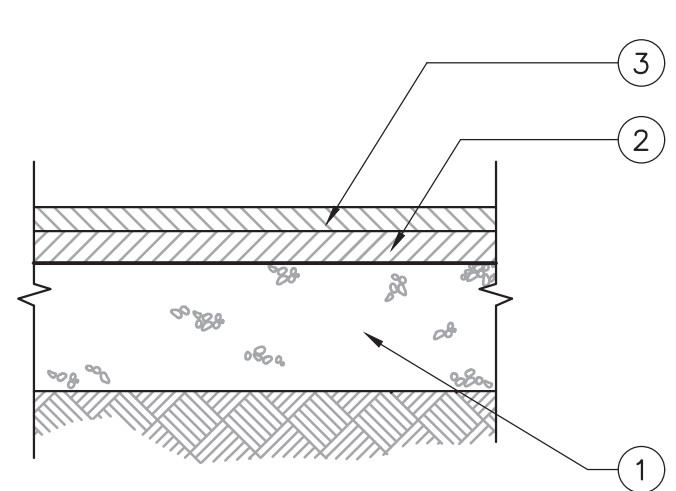
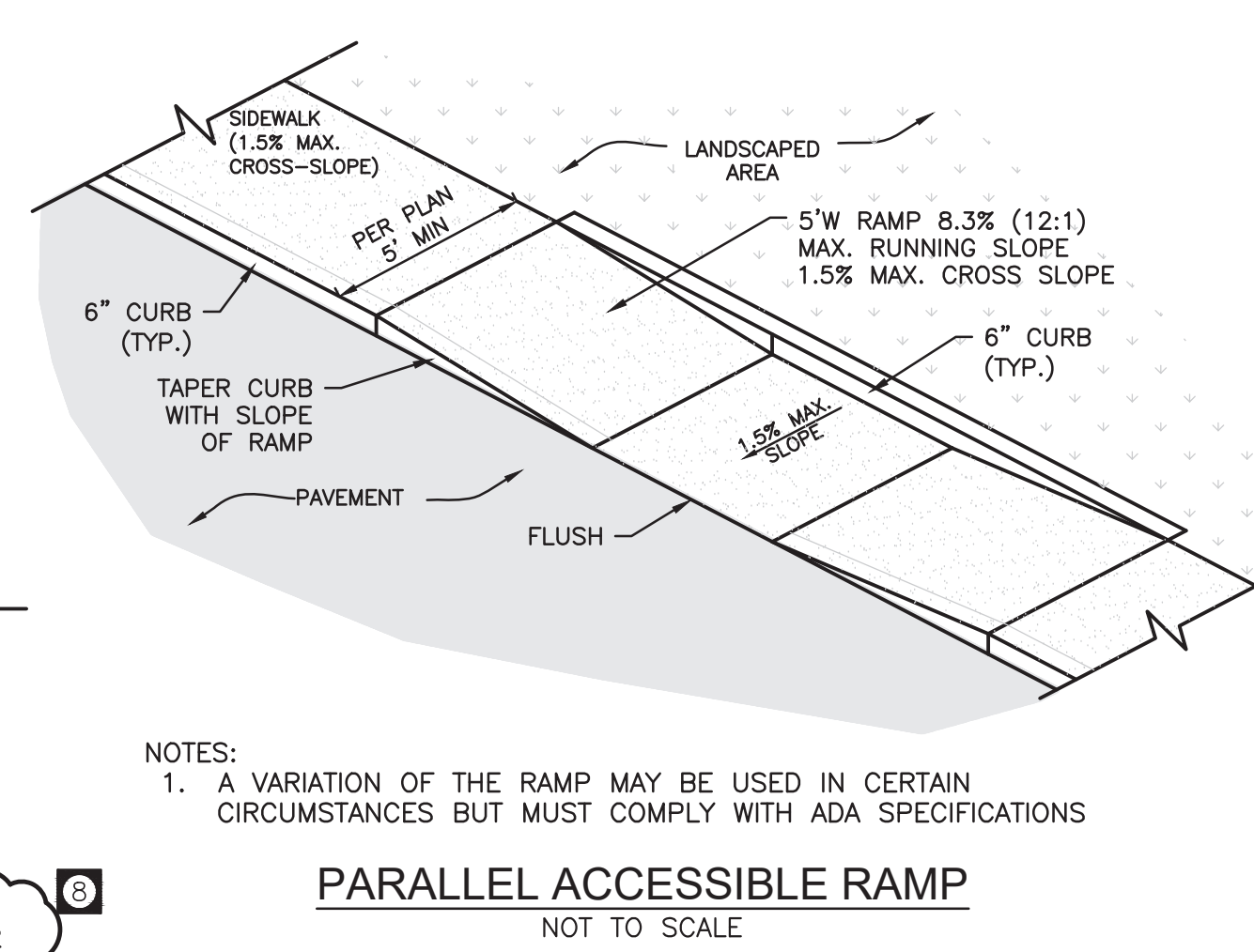
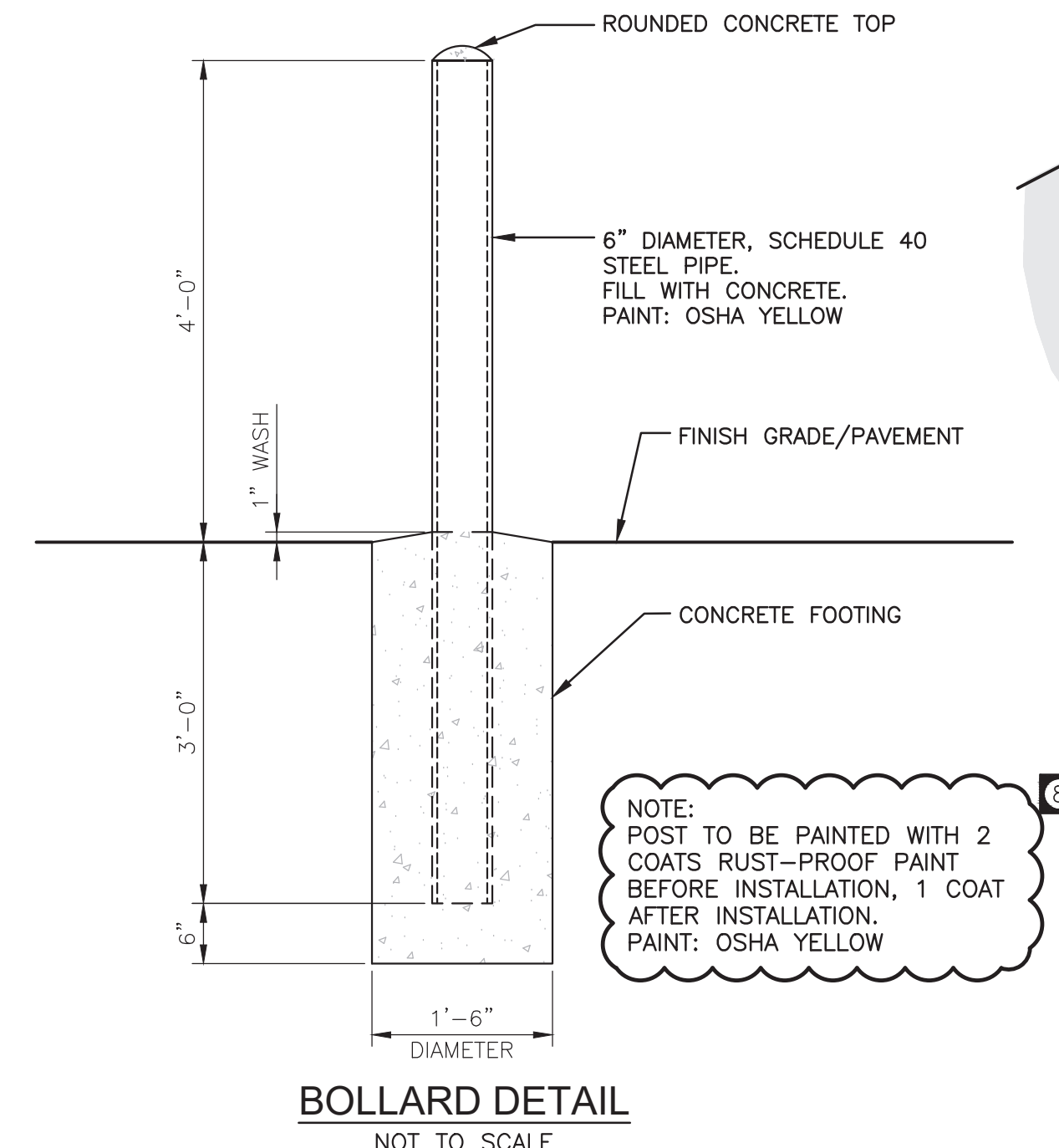
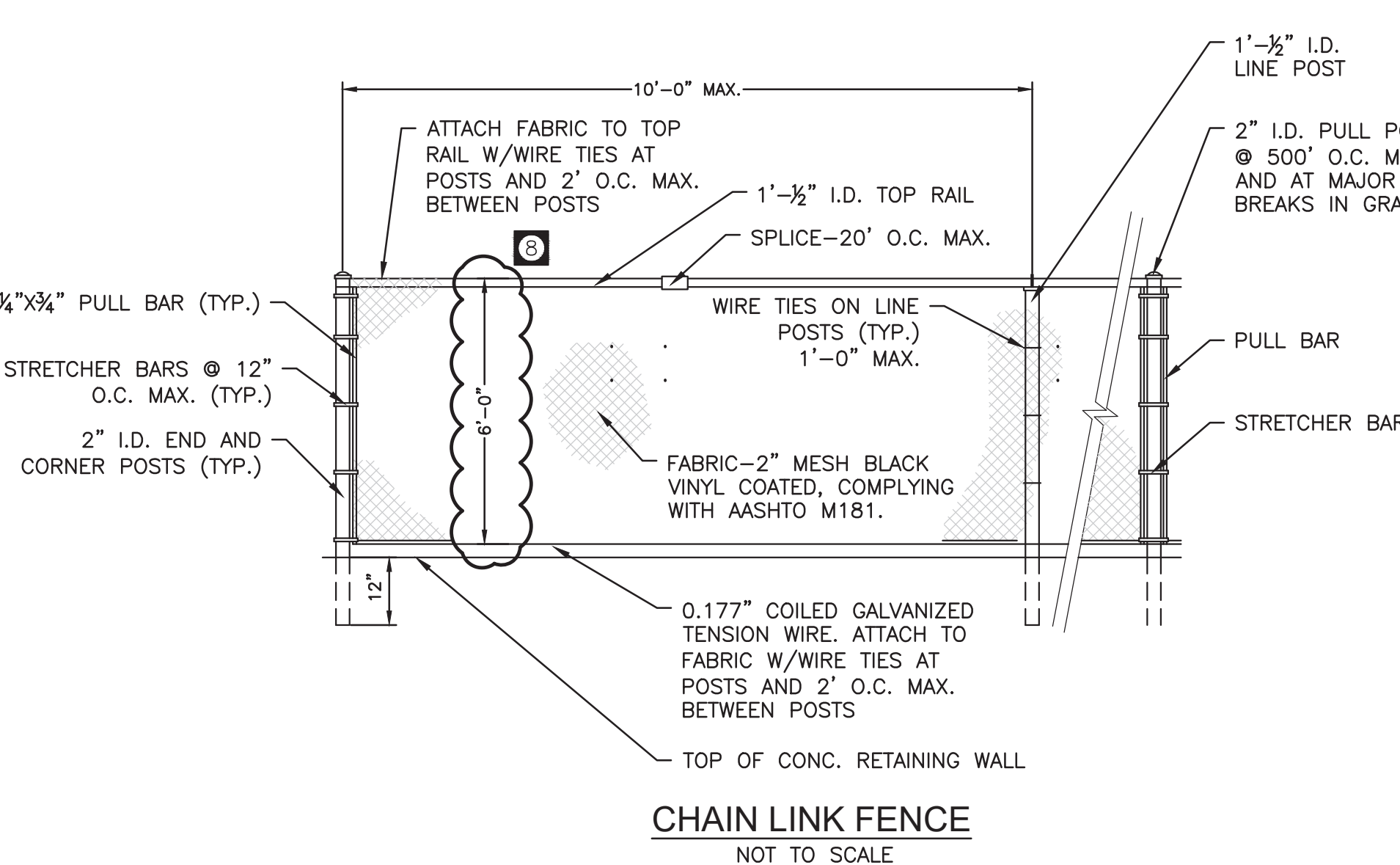
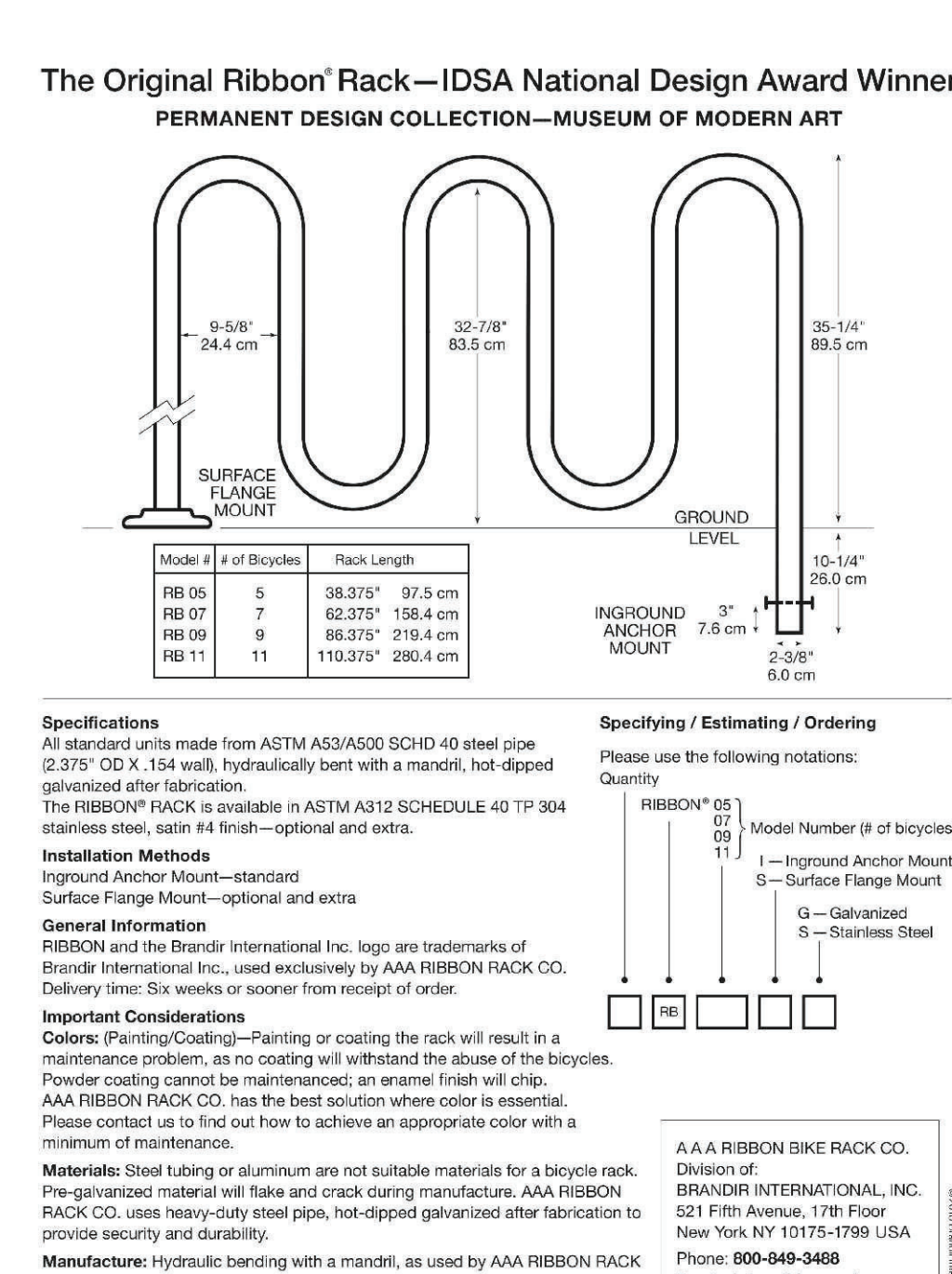
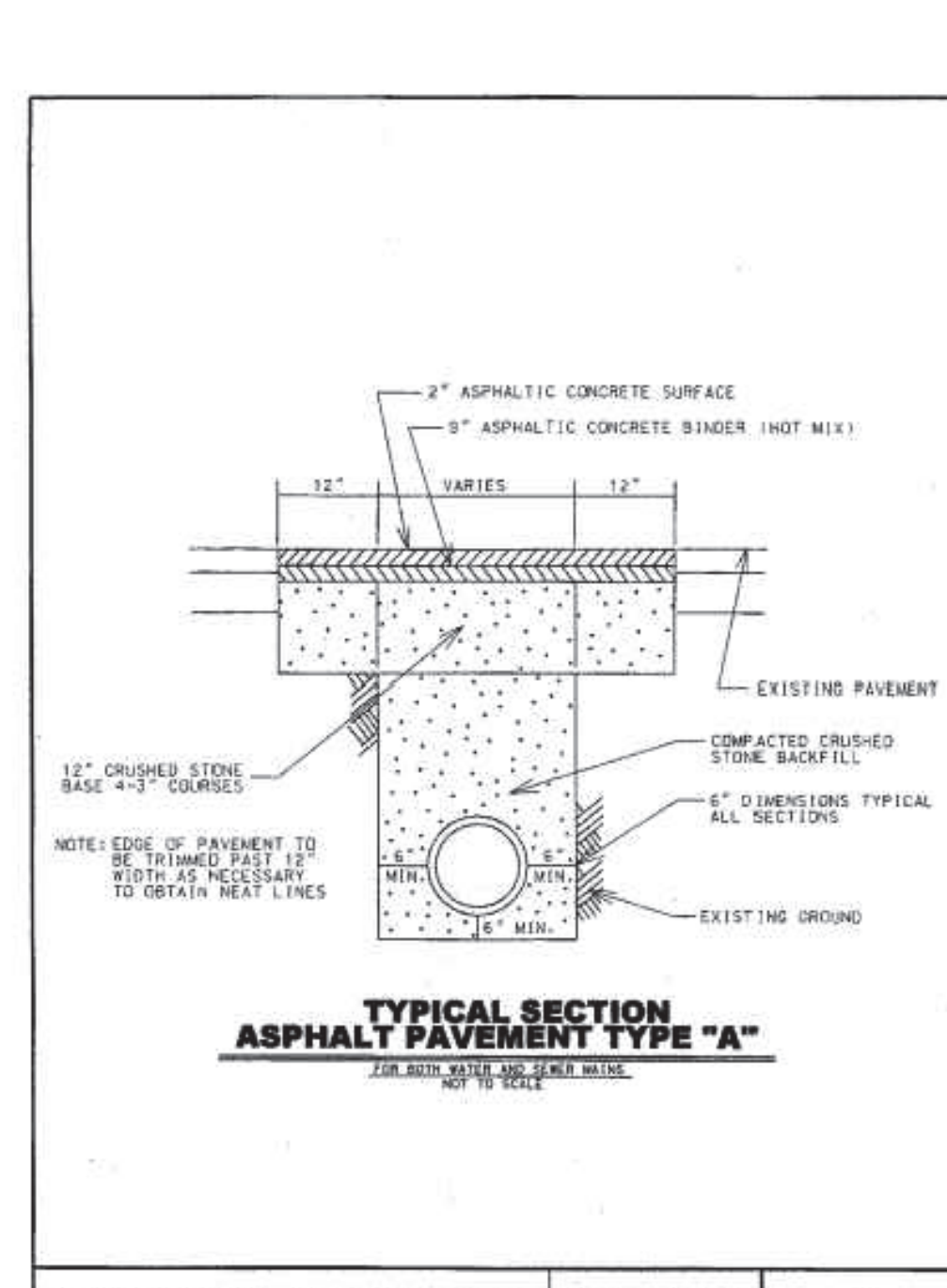
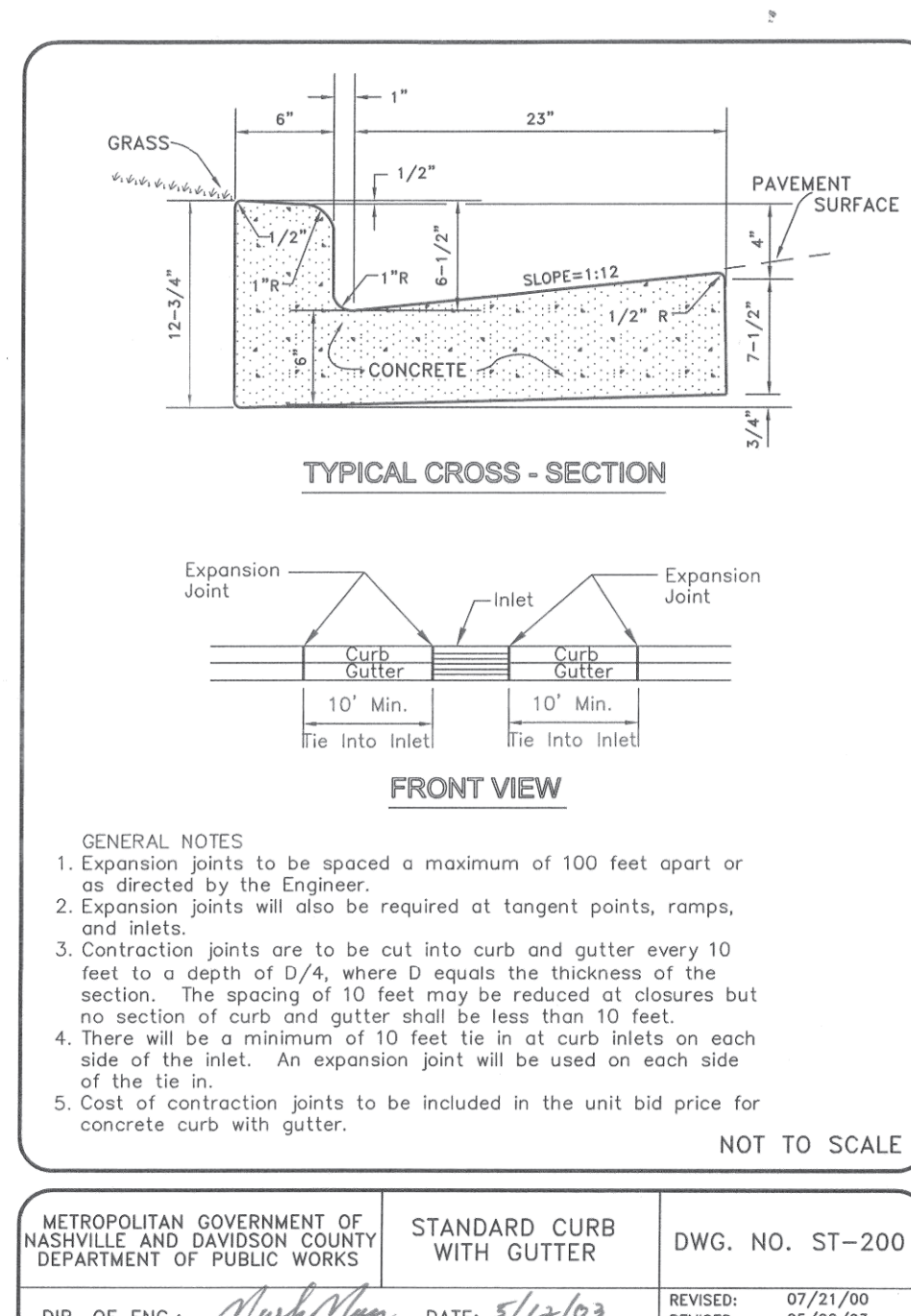
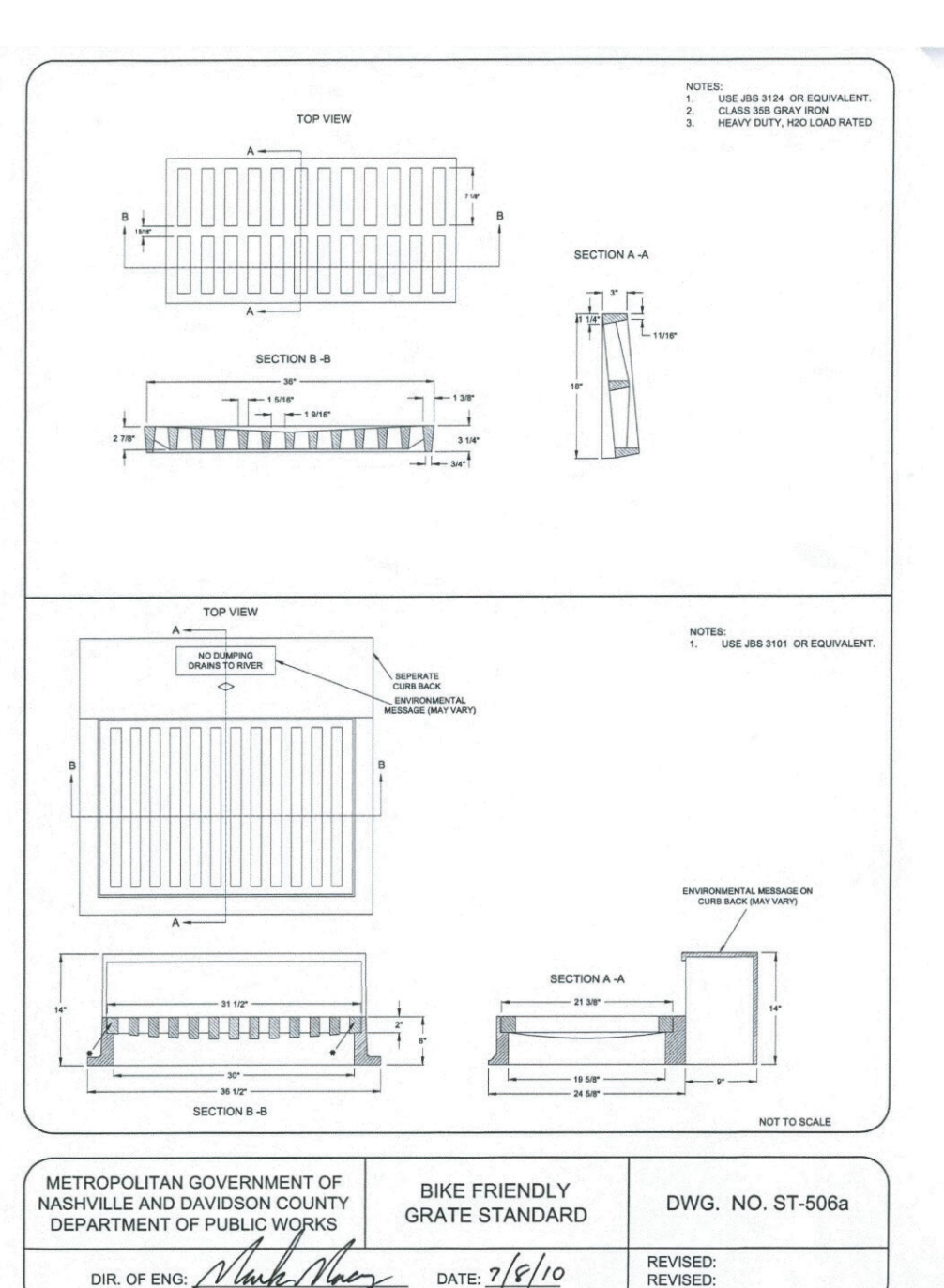
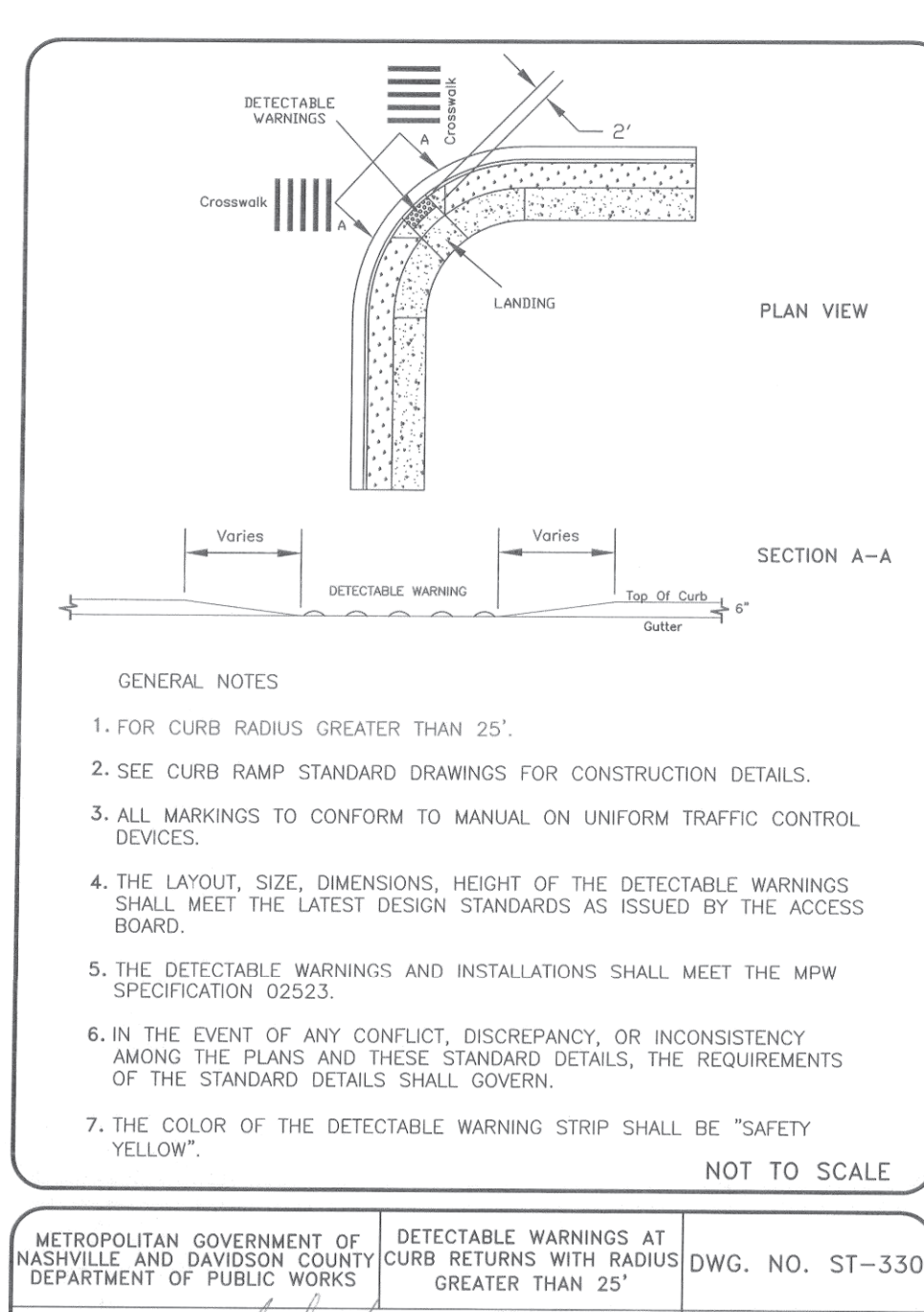
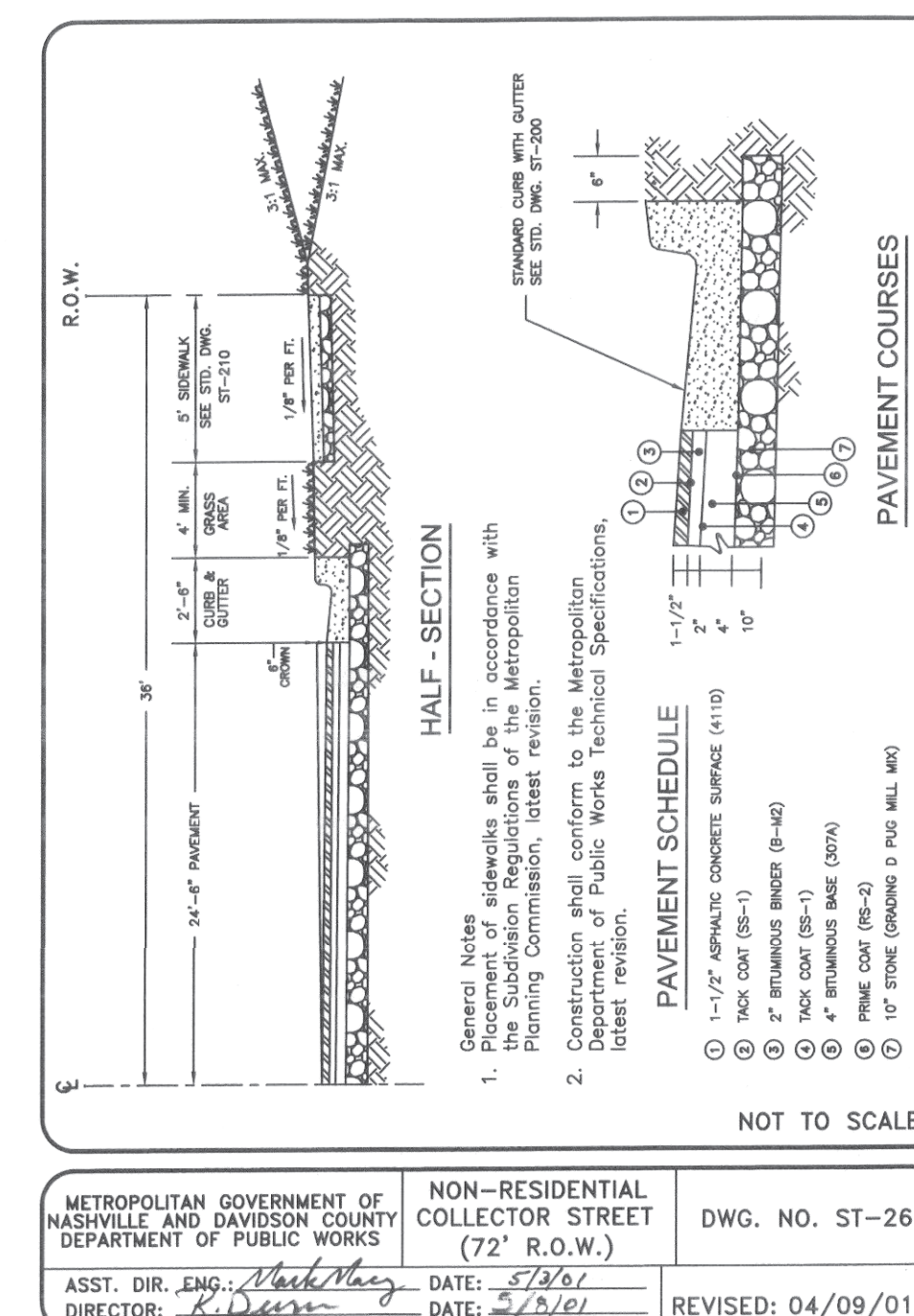
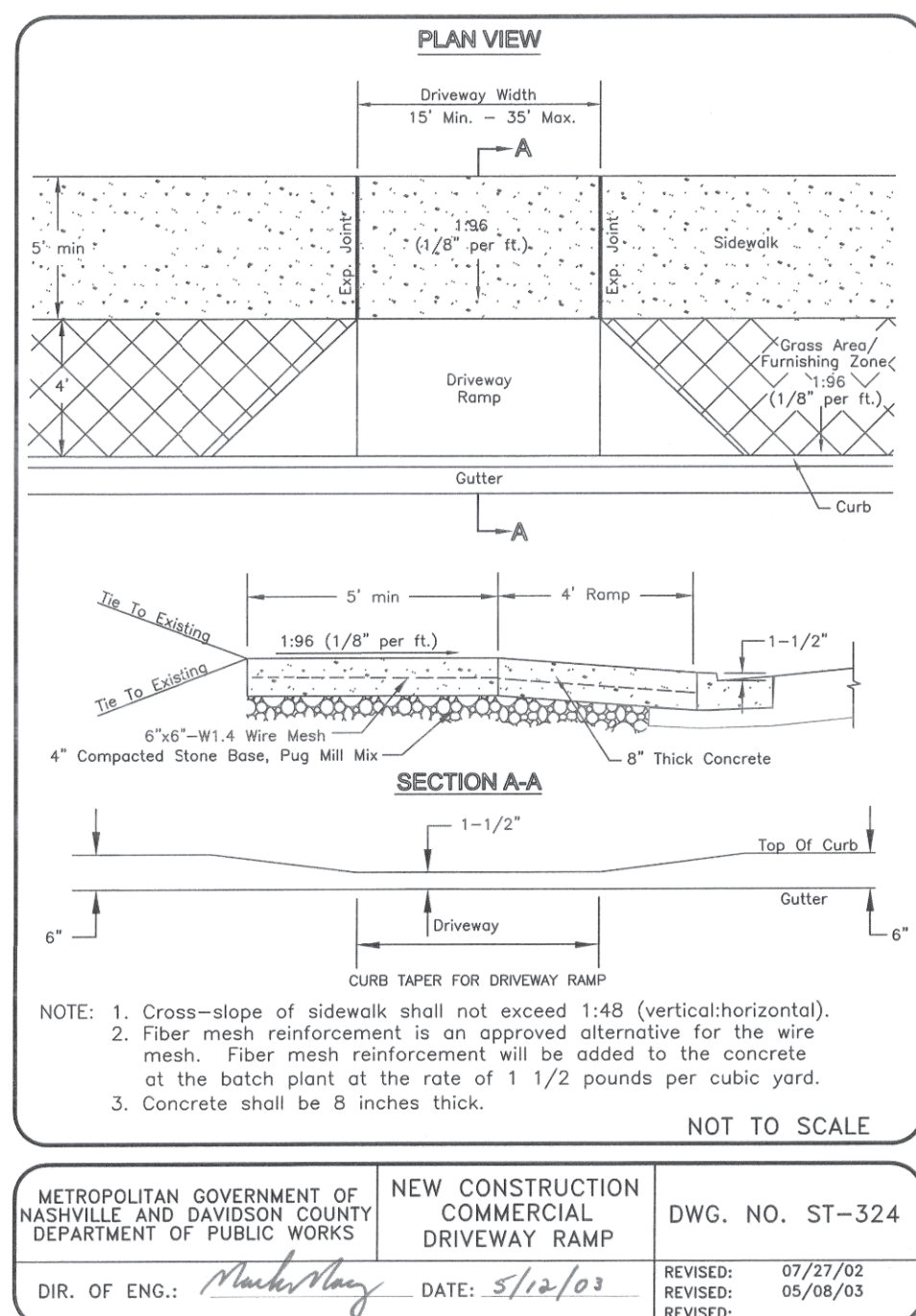
827 19th Avenue
Nashville, TN 37212

CONSTRUCTION DOCUMENTS

[illegible]

FINAL EROSION CONTROL PLAN

C5.2
PROJECT: 42885.01
DATE: 02.21.2020
LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 34"X44"



<u>HEAVY DUTY PAVEMENT</u>			
NOT TO SCALE			
PROPOSED PAVEMENT SCHEDULE			
	MATERIAL	THICKNESS (INCHES)	TDOT GRADING
1.	AGGREGATE BASE	8	C or D
2.	ASPHALT BASE	2	B-M
3.	ASPHALT SURFACE	1.5	E

[illegible]

[illegible]

35B GRAY IRON
FINISH SURFACES
20 LOAD RATING
COVER MUST BE APPROVED BY NES STANDARDS
DROP HANDLES WILL NOT BE ACCEPTED

MANHOLE THROAT AND COVER
36" DIAMETER
NES STOCK NUMBER 063000000

DUCT RUN SECTION (North & South Bayouts)
(5"-6Hx4W)
NOT TO SCALE

[illegible]

SECTION AA
(8" DEEP)

APPROVED PRECAST
MANHOLE PART #s

OLDCASTLE

"OC-NES 1107-8 MODIFIED" for 2-WAY (8' DEEP)
"OC-NES 1107-10 MODIFIED" for 2-WAY (10' DEEP)
"OC-NES 1107-12 MODIFIED" for 2-WAY (12' DEEP) "OC-NES 1109-8
MODIFIED" for 3-WAY (8' DEEP)
"OC-NES 1109-10 MODIFIED" for 3-WAY (10' DEEP)
"OC-NES 1109-12 MODIFIED" for 3-WAY (12' DEEP) "OC-NES 1010-8
MODIFIED" for 4-WAY (8' DEEP)
"OC-NES 1010-10 MODIFIED" for 4-WAY (10' DEEP)
"OC-NES 1010-12 MODIFIED" for 4-WAY (12' DEEP)

"OR EQUALS" FROM OTHER PRECAST MANUFACTURERS SHALL BE SUBMITTED FOR APPROVAL BEFORE PART NUMBERS CAN BE ACCEPTED.

SECTION EE
(TYP BAYOUT)

[illegible]

SECTION FF
(TYP BAYOUT)

SECTION G
(TYP BAYOUT)

Technical drawing of a 12-inch diameter, 12-inch deep pull-in iron (TYP). The drawing shows a top-down view of the device, which is a square-shaped pull-in iron with a central circular opening. The central opening is 12 inches in diameter and 12 inches deep. The outer square frame is 12 inches wide and 12 inches high. The drawing includes dimensions for the central opening (12" DIA., 12" DEEP) and the outer frame (12" DIA., 12" DEEP). It also shows a 12" DIA. GRATE BASE and a 12" DIA. GRATE BASE. The drawing is labeled with dimensions and a note: "PULL-IN IRON (TYP)".

SECTION BB

Technical drawing of a 12-inch square manhole. The drawing shows a cross-section of the manhole structure, including the 12-inch square opening, the 12-inch square frame, and the 12-inch square base. Dimensions include 12 inches for the opening, 12 inches for the frame, and 12 inches for the base. The drawing also shows the manhole cover and the surrounding structure.

SECTION CC

