

EROSION CONTROL & GRADING NOTES

- 1) EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHING TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 2) ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHER WISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
- 3) EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TC-14.
- 4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- 7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT), SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- 9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- 15) CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

PUBLIC WORKS NOTES

- 1) ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- 2) PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAYING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- 3) STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- 4) STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- 5) ALL PAVEMENT MARKING ARE TO BE THERMOPLASTIC.
- 6) THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY AVRY BASED ON FIELD CONDITIONS.
7. COMPLY WITH THE MPW TRAFFIC ENGINEER, UPON FINAL PLAN INDICATE THAT ADEQUATE SIGHT DISTANCE IS PROVIDED AT PROPOSED ROAD ACCESS THROUGH AN ACCESS STUDY.
8. DRIVEWAYS WITHIN THE DEVELOPMENT ARE TO BE A MINIMUM OF 24 FT WIDE (ASPHALT TO ASPHALT)
- 9 SOLID WASTE AND RECYCLING TO SERVED BY PRIVATE HAULER
10. IF SIDEWALKS ARE REQUIRED WITH THIS PROJECT THEY ARE TO BE SHOWN PER THE MCSP AND PER MPW STANDARDS AND SPECIFICATIONS. SIDEWALKS ARE TO BE WITHIN DEDICATED RIGHT OF WAY.
11. SIDEWALKS ARE TO BE CONSTRUCTED IN RIGHT OF WAY PER MCSP AND MPW STANDARDS AND SPECS, THERE SHALL BE NO VERTICAL OBSTRUCTIONS WITHIN THE PUBLIC SIDEWALK
12. AT DRIVEWAY ACCESS POINTS INSTALL GROUND MOUNTED SIGNS "NOW ENTERING PRIVATE PROPERTY" TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION
13. Prior to building permit approval by MPW, submit recorded HOA/ Master Deed document setting up private hauler for the development.

WATER & SEWER NOTES

- 1) ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
- 3) THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- 4) ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- 5) REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- 6) ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
- 7) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
- 8) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
- 9) PUBLIC WATER AND SEWER CONSTRUCTION MUST BE SUBMITTED AND APPROVED PRIOR TO FINAL SP APPROVAL. THESE APPROVED CONSTRUCTION PLANS MUST MATCH THE FINAL SP SITE PLAN. IF THE DEVELOPER PROPOSES TO CONSTRUCT A SHARED PRIVATE SEWER SYSTEM, A VARIANCE MUST BE APPROVED BY METRO WATER SERVICES. A VARIANCE REQUEST APPLICATION MUST CONTAIN A LETTER OF RESPONSIBILITY AND MUST MATCH THE FINAL SITE PLAN/ FINAL SP. A MINIMUM OF 30% OF WATER AND SEWER CAPACITY MUST BE PAID BEFORE THE ISSUANCE OF BUILDING PERMITS (WATER AND SEWER CAPACITY FEE PERMIT NO'S T2019065000 AND T2019064995

TRAFFIC AND PARKING

There shall be no direct vehicular access from Charlotte Pike.

Existing Public Access to the cleared of existing vegetation or proposed vegetation in order to maintain a safe visibility triangle. When Final surveys and construction plans are prepared the current intersections are to be evaluated to insure visibility.

A left turning lane with a minimum 75 long stacking lane shall be placed on Charlotte Pike turning into eastern the entry of Old Charlotte Pike. Said design shall be coordinated with NDOT. Improvements on Old Charlotte Pike could vary based upon reclassification of standards or potential future street closing

The parking lane of the proposed building shall be one way traveling from east to west

Project to be Completed In One Phase

LANDSCAPE NOTES

- 1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- 2) ALL PLANTING AND MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- 3) PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- 4) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- 5) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
- 6) ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
- 7) THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- 8) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- 9) EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- 10) ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- 11) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- 12) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
- 13) NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY DALE & ASSOCIATES. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- 14) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.
- 15) GUYING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY OR SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.
- 16) NO CANOPY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT. LOCATING PLANT MATERIALS WITHIN A DRAINAGE EASEMENT IS ACCEPTABLE, BUT ONLY IF INSTALLED AS NOT TO DISTURB EXISTING DRAINAGE FLOW. IN SUCH INSTANCES, THE MATERIALS SHALL BE LOCATED NO CLOSER THAN 5' FROM THE CENTERLINE OF DRAINAGE.
- 17) LIGHTING PLAN TO BE COORDINATED WITH PROPOSED PLANTING PLAN. NO LIGHT POLES TO BE LOCATED IN TREE ISLANDS. SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

FIRE MARSHALL

FIRE FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE- 2006 EDITION  
FIRE CODES ISSUES WILL BE ADDRESSED IN THE PERMIT PHASE.  
This plan provides Limited building detail, and/ or building construction information provided. Construction must meet all applicable building and fire codes. Any additional fire code or access issues will be addressed during the construction permitting process. Future development or construction may require changes to meet adopted fire and building codes.

STANDARD SP NOTES

- 1) THE PURPOSE OF THIS SP IS TO PERMIT 53 MULTIFAMILY UNITS.
- 2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- 3)THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA FLOOD MAP 47037C0331H DATED APRIL 5, 2017.
- 4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- 5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- 6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15' CMP).
- 8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- 9) SOLID WASTE PICKUP SHALL BE PRIVATE .
- 10) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- 11) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM40-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- 12) THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- 13) ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT AND THE FAIR HOUSING ACT. ADA: http://ada.gov/
- 14) LANDSCAPING TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.

Stormwater Notes

1. This site is responsible for water quality and water quantity.
2. To provide the full water quality treatment of 80% TSS a water various quantity/quality BMPs are proposed. Design of these features will be provided during the final SP process.
3. Storm sewer system on this plan is shown schematically. Final design will be provided during the final SP process and will meet the requirements of the stormwater management manual.
4. This project will disturb less more 1 acre, therefore, NOI will be required to be submitted to TDEC during final SP process.
5. This Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final or unit lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.
6. A storm conveyance traverses the site. Show how this will traverse the site safely

GENERAL PLAN CONSISTENCY NOTE

THE SPECIFIC PLAN PROPOSED HEREIN IS LOCATED WITHIN THE BELLEVUE COMMUNITY. THE SPECIFIED LAND USE POLICY FOR THIS SITE IS TRANSECT 3 SUBURBAN NEIGHBORHOOD EVOLVING. SUBURBAN NEIGHBORHOOD EVOLVING AREAS ARE AREAS OF EXPECTED GROWTH WITH A MIXTURE OF HOUSING TYPES.

AS PROPOSED, THIS SPECIFIC PLAN DISTRICT MEETS CREATES MULTIFAMILY UNITS WHILE IMPROVING THE CHARACTER OF THE PUBLIC STREET FRONTAGE CREATING AN URBAN FEEL UTILIZING AN OVERGROWN VACANT PARCEL. THE PROPOSED UNITS IMPROVE PEDESTRIAN CONNECTIVITY WITH THE INSTALLATION PUBLIC SIDEWALK WHERE NONE CURRENTLY EXISTS. THE PROPOSED UNITS WILL ALSO PROVIDE A UNIQUE HOUSING TYPE FOR IN THE AREA. EACH UNIT WILL HAVE AMPLE PARKING. THE INSTALLATION OF STORM WATER UTILITIES THAT COMPLY WITH INFILL REGULATIONS WILL PROVIDE FOR ON-SITE STORM WATER MANAGEMENT

ARCHITECTUAL NOTES

BUILDING ELEVATIONS FOR ALL FACADES SHALL BE PROVIDED WITH THE FINAL SITE PLAN. THE FOLLOWING STANDARDS SHALL BE MET:

A. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.

B. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 2:1 OR GREATER, EXCEPT FOR DORMERS. .

C. Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.

SITE DISTANCE MEASUREMENTS

From the easterly intersection of Old Charlotte and Charlotte Pike, the sight distance for a vehicle on Old Charlotte looking left is 625 feet and looking right is 670 feet.  
From the westerly intersection of Old Charlotte and Charlotte Pike, the sight distance for a vehicle on Old Charlotte looking left is 600 feet and looking right is 870 feet

NES

- 1) NES can meet with developer upon request to determine service options.
- 2) The Final SP drawing shall show any existing utilities easements on property, the utility poles on the property and the poles along ROW.
- 3) The units in this development will be served from meter centers.
- 4) Upon Final SP NES will need any construction plans showing road improvements to Charlotte Pike.
- 5) Any additional easements required that are not part of this parcel must be obtained by the developer or the engineer for the developer.
- 6) Postal plan is required before NES's final construction drawings can be approved.
- 7) NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules (see NES Construction Guidelines under "Builders and Contractors" tab @ www.nespower.com)
- 8) Overhead electrical power lines are required to meet or exceed the conditions as specified in the National Electrical Safety Code as adopted by the State of Tennessee in Chapter 89, Public Acts. The existing overhead power lines are located in the public right-of-ways and will require an electrical safety clearance that must be maintained during and after construction of any buildings. The National Electrical Safety Code, 2012 edition, dictates the clearances in Rule 234 C and G to provide the minimum horizontal and vertical clearances from live conductors. The overhead line must have a horizontal clearance of 7'-6" away from the nearest conductor to allow for blow-out conditions as it is configured today. It is the developer and his contractor's responsibility to ensure that they comply with OSHA regulations for working near energized conductors. Check with OSHA regulations for meeting clearances for construction near energized conductors for additional clearance requirements. Typically OSHA clearances will exceed what is required by the NESC. Often the locations of new buildings are impacted by the inability of de-energizing the circuits to meet cost and construction schedules. Proper clearances must be maintained from not only the building envelope, but also from scaffolding and other construction equipment.
- 9) If porches or walls are allowed to be constructed beyond the minimum setback limits and into the public utility easements, then the easement will be considered reduced by that much of the easement. Such encroachments may increase the cost of electrical infrastructure to allow for reduced or limited access to equipment. NES reserves the right to enter and to erect, maintain, repair, rebuild, operate and patrol electric power overhead and underground conductors and communications circuits with all necessary equipment reasonably incident thereto including the right to clear said easement and keep the same clear of brush, timber, flammable structures, buildings, permanent structures, and fire hazards; all over, under, upon, and across the easement as granted on any plat.
- 10) Quantity and location of NES equipment to be determined by the NES Engineer after receiving final plans and electrical load information. A preliminary Exhibit "B" design will be sent to the developer or representatives of the developer for review. Suggestions or requests to the design should be made during this review process. Any changes requiring re-design, after this document has been signed, will be at the developer's expense.
- 11) Developer's vegetation design shall meet both Metro requirements and NES Vegetation Management requirements/clearances.
- 12) NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bio swales and the like. This includes primary duct between pad-mounted equipment, as well as service duct to a meter or meter center.
- 13) NES riser pole should be installed on development property.
- 14) NES needs electrical load information including any house, irrigation, compactor, or pump services.

DEVELOPMENT SUMMARY

Property Information

0 Charlotte Pike  
Nashville , TN 37209  
Map 115 Parcel 005  
1.34 Acres

Council District 35 (Dave Rosenberg)

Owner of Record

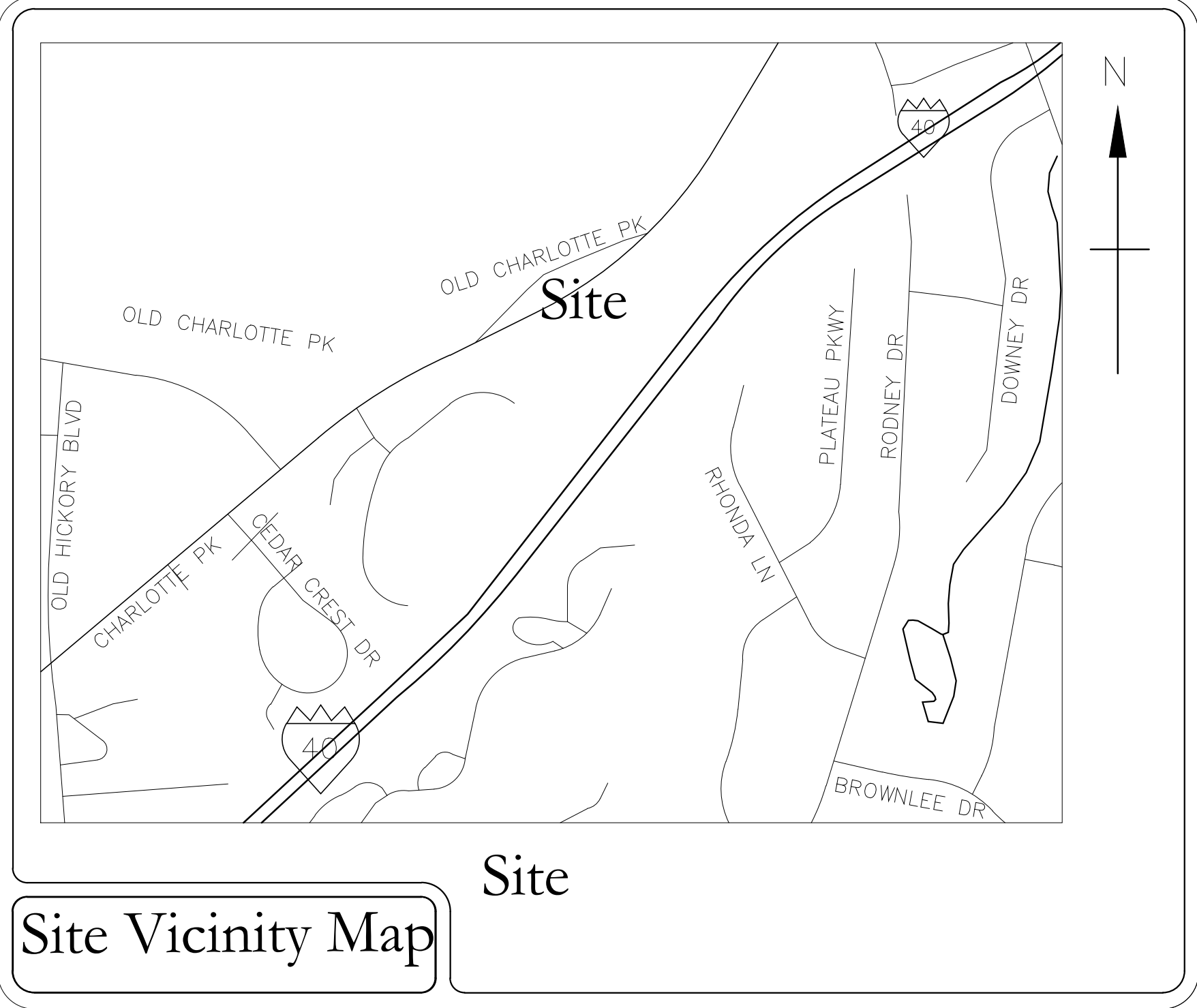
Robert Beck  
4205 Gallatin Pike  
Nashville, TN 37216

Developer

Charlotte West Partners  
1113 Lillian Street  
Nashville, TN 37206

Civil Engineer

Dale and Associates  
516 Heather Place  
Nashville, Tennessee 37204  
Contact: Roy Dale, PE  
Phone: 615-297-5166  
Email: roy@daleandassociates.net



SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	MULTI FAMILY		
PROPERTY ZONING	CURRENT R40	PROPOSED SP	SURROUNDING ZONING ONLY ABUTS ROW
TOTAL PROPERTY SIZE	1.34 ACRES		
NUMBER OF RESIDENTIAL UNITS/DENSITY	53 TOTAL UNITS 40 UN/AC)		
TOTAL BUILDING FLOOR AREA	86,000 SF		
FAR	1.75		
ISR	0.80		
STREET YARD SETBACK:	10' MEASURED FROM RIGHT OF WAY		
SIDE YARD	10'		
REAR YARD	10'		
HEIGHT STANDARDS	4 STORIES MAX. IN 40 FT (MEASURED TO HIGHEST POINT ON ROOF) CHARLOTTE SIDE		
PARKING AND ACCESS			
RAMP LOCATION AND NUMBER		ACCESS FROM OLD CHARLOTTE PIKE	
REQUIRED PARKING	19 – 1 BEDROOM/STUDIO UNITS – 19 SPACES		
PARKING PROPOSED	34 – 2 BEDROOM UNITS – 68 SPACES 88 SPACES		
HEIGHT STANDARDS 4 STORIES MAX. IN 40 FT (MEASURED TO HIGHEST POINT ON ROOF) UNITS WILL APPEAR AS 5 STORIES ON OLD CHARLOTTE SIDE – TUCKED UNDER PARKING			

PROPOSED STREET IMPROVEMENTS CHARLOTTE PIKE

CHARLOTTE PIKE TO BE IMPROVED TO HAVE SECTION OF T3-AB4-S-LM  
87' RIGHT OF WAY  
6' BIKEWAY  
6' PLANTING STRIP  
6' SIDEWALK

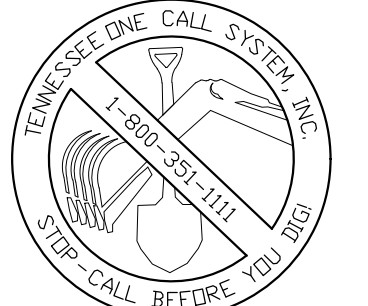
PROPOSED PUBLIC STREET IMPROVEMENTS OLD CHARLOTTE PIKE

OLD CHARLOTTE PIKE TO BE IMPROVED TO HAVE SECTION OF ST 252 - NDOT  
50' RIGHT OF WAY  
4' PLANTING STRIP  
5' SIDEWALK

NOTES: NO VERTICAL OBSTRUCTIONS ARE ALLOWED IN PUBLIC SIDEWALK. SIDEWALKS ARE TO ORIENTED AROUND NEW POWER POLES.

PROPOSED DRAINAGE IMPROVEMENTS OLD CHARLOTTE PIKE

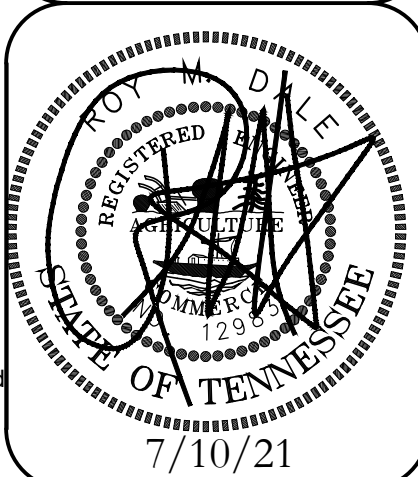
An new pipe drainage system shall be installed on Old Charlotte Pike to safely convey existing storm runoff beginning at an existing cross drain at Charlotte Pike and conveyed to the easterly most point of the developed property at an existing cross drain at Charlotte Pike. Along this piped system , new cross drains under Old Charlotte shall be installed at point of current overtopping of Old Charlotte or where current cross drains are undersized



REVISIONS:

Preparation Date:

Charlotte View West  
Preliminary Specific Plan  
Being Parcel 005 on Tax Map 115  
Nashville, Davidson County, Tennessee



REV 6/12/22  
REV 7/18/22

A Preliminary SP  
Charlotte View West  
Being Parcel 005 on Tax Map 115  
Davidson County, Tennessee  
Case No. 2021SP-063-001

Sheet Schedule

- C1.0 Notes & Project Standards  
C2.0 Existing Conditions  
C3.0 SP Layout

Notes & Project Standards

516 Heather Place  
Nashville, Tennessee 37204  
(615) 297-5166

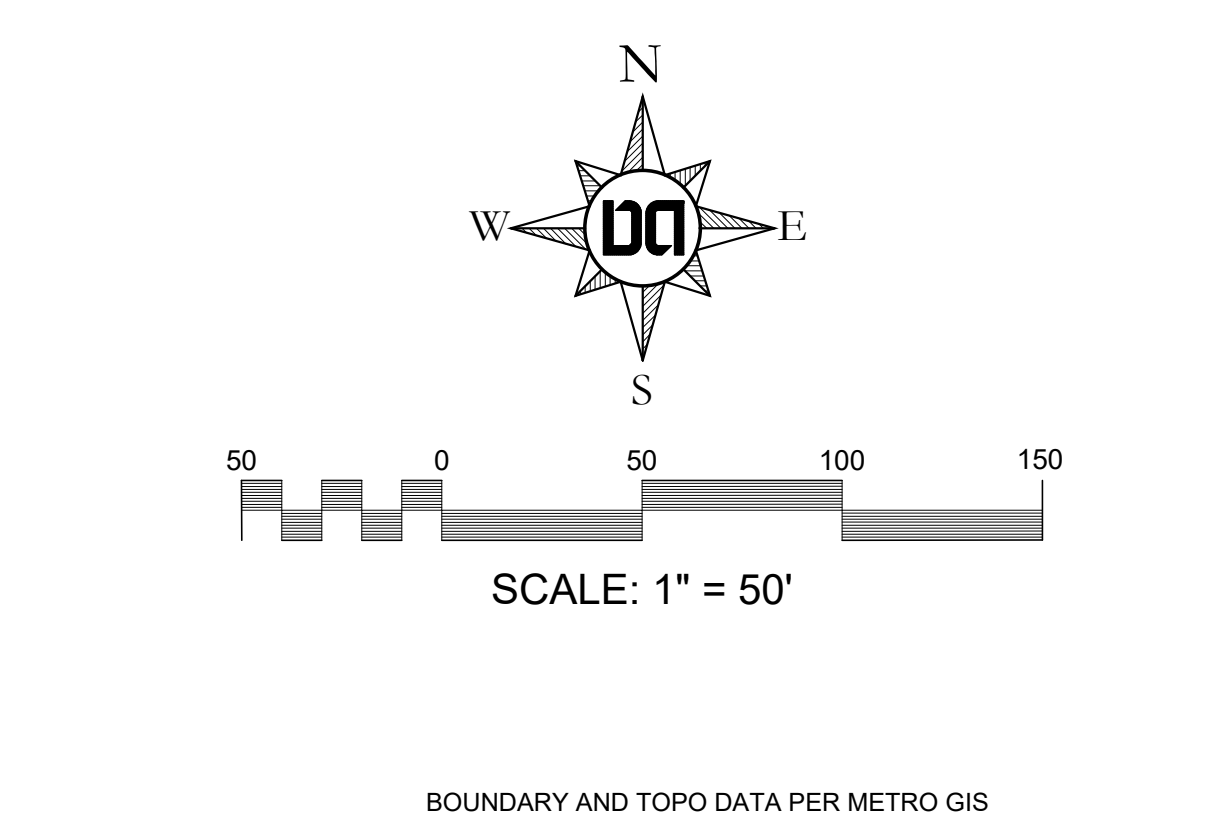
Dale & Associates  
Consulting Civil Engineering  
Land Planning & Zoning  
Surveying

MPC Case Number  
2021SP-063-001

D&A Project #  
Charlotte

C1.0  
Sheet 1 of 3



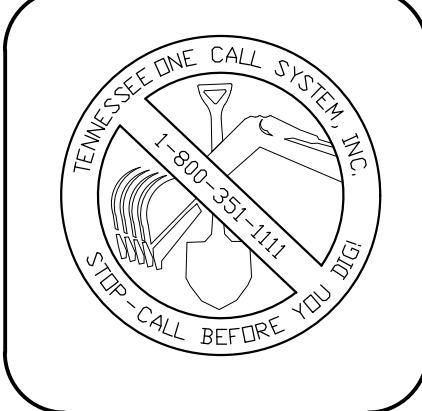


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- 4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- 7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- 9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- 15) CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

**SITE DISTANCE MEASUREMENTS**

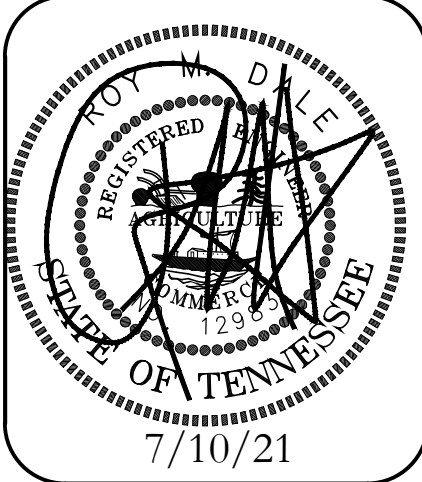
From the easterly intersection of Old Charlotte and Charlotte Pike, the sight distance for a vehicle on Old Charlotte looking left is 625 feet and looking right is 670 feet.  
From the westerly intersection of Old Charlotte and Charlotte Pike, the sight distance for a vehicle on Old Charlotte looking left is 600 feet and looking right is 870 feet.



**REVISIONS:**

Preparation Date:

**Charlotte View West**  
**Preliminary Specific Plan**  
Being Parcel 005 on Tax Map 115  
Nashville, Davidson County, Tennessee



REV 6/12/22  
REV 7/18/22

**Dale & Associates**  
Consulting Civil Engineering  
Land Planning & Zoning  
Landscape Architecture

**Existing Conditions**

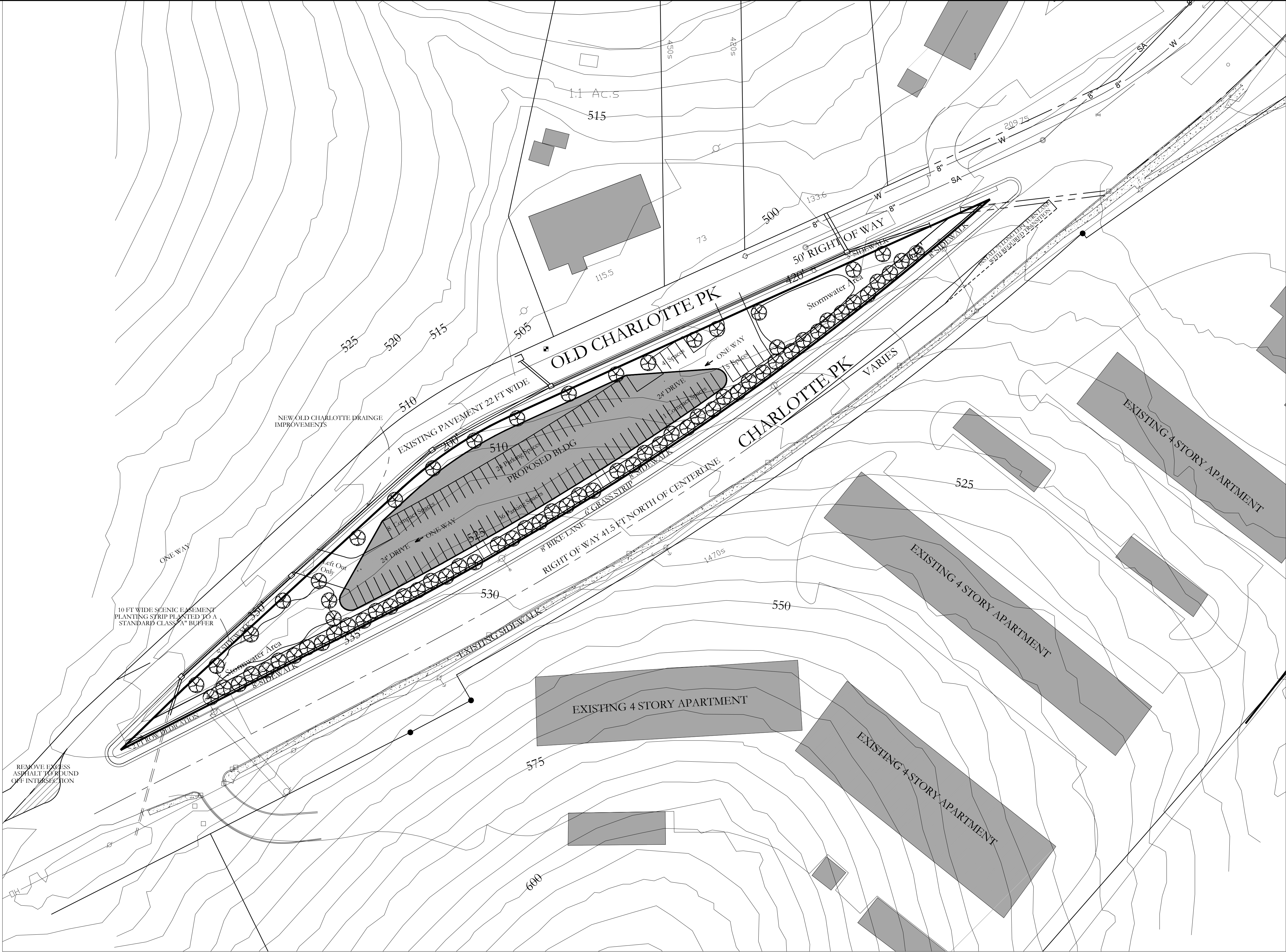
516 Heather Place  
Nashville, Tennessee 37204  
(615) 297-5166

MPC Case Number  
2021SP-063-001

D&A Project #  
Charlotte

**C2.0**  
Sheet 2 of 3





SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	MULTI FAMILY		
PROPERTY ZONING	CURRENT R40	PROPOSED SP	SURROUNDING ZONING ONLY ABUTS ROW
TOTAL PROPERTY SIZE	1.34 ACRES		
NUMBER OF RESIDENTIAL UNITS/DENSITY	53	TOTAL UNITS	40 UN/AC)
TOTAL BUILDING FLOOR AREA	86,000 SF		
FAR	1.75		
ISR	0.80		
STREET YARD SETBACK:	10' MEASURED FROM RIGHT OF WAY		
SIDE YARD	10'		
REAR YARD	10'		
HEIGHT STANDARDS	4 STORIES MAX. IN 40 FT (MEASURED TO HIGHEST POINT ON ROOF) CHARLOTTE SIDE		
PARKING AND ACCESS			
RAMP LOCATION AND NUMBER	ACCESS FROM OLD CHARLOTTE PIKE		
REQUIRED PARKING	19	1 BEDROOM/STUDIO UNITS	19 SPACES
	34	2 BEDROOM UNITS	68 SPACES
PARKING PROPOSED	88 SPACES		
HEIGHT STANDARDS	4 STORIES MAX. IN 40 FT (MEASURED TO HIGHEST POINT ON ROOF)		
	UNITS WILL APPEAR AS 5 STORIES ON OLD CHARLOTTE SIDE - TUCKED UNDER PARKING		

**PROPOSED STREET IMPROVEMENTS CHARLOTTE PIKE**  
CHARLOTTE PIKE TO BE IMPROVED TO HAVE SECTION OF T3-AB4-S-LM  
87' RIGHT OF WAY  
6' BIKEWAY  
6' PLANTING STRIP  
8' SIDEWALK

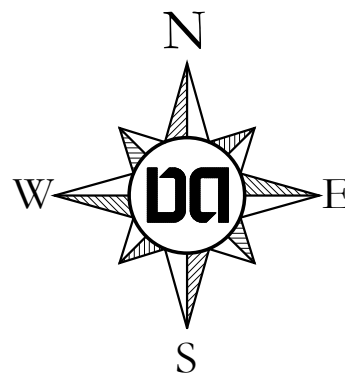
**PROPOSED PUBLIC STREET IMPROVEMENTS OLD CHARLOTTE PIKE**  
OLD CHARLOTTE PIKE TO BE IMPROVED TO HAVE SECTION OF ST 252 - NDOT  
50' RIGHT OF WAY  
4' PLANTING STRIP  
5' SIDEWALK

**NOTES:** NO VERTICAL OBSTRUCTIONS ARE ALLOWED IN PUBLIC SIDEWALK. SIDEWALKS ARE TO ORIENTED AROUND NEW POWER POLES.

**PROPOSED DRAINAGE IMPROVEMENTS OLD CHARLOTTE PIKE**  
An new pipe drainage system shall be installed on Old Charlotte Pike to safely convey existing storm runoff beginning at an existing cross drain at Charlotte Pike and conveyed to the easterly most point of the developed property at an existing cross drain at Charlotte Pike. Along this piped system , new cross drains under Old Charlotte shall be installed at point of current overtopping of Old Charlotte or where current cross drains are undersized

SITE DISTANCE MEASUREMENTS

From the easterly intersection of Old Charlotte and Charlotte Pike, the sight distance for a vehicle on Old Charlotte looking left is 625 feet and looking right is 670 feet  
From the westerly intersection of Old Charlotte and Charlotte Pike, the sight distance for a vehicle on Old Charlotte looking left is 600 feet and looking right is 870 feet



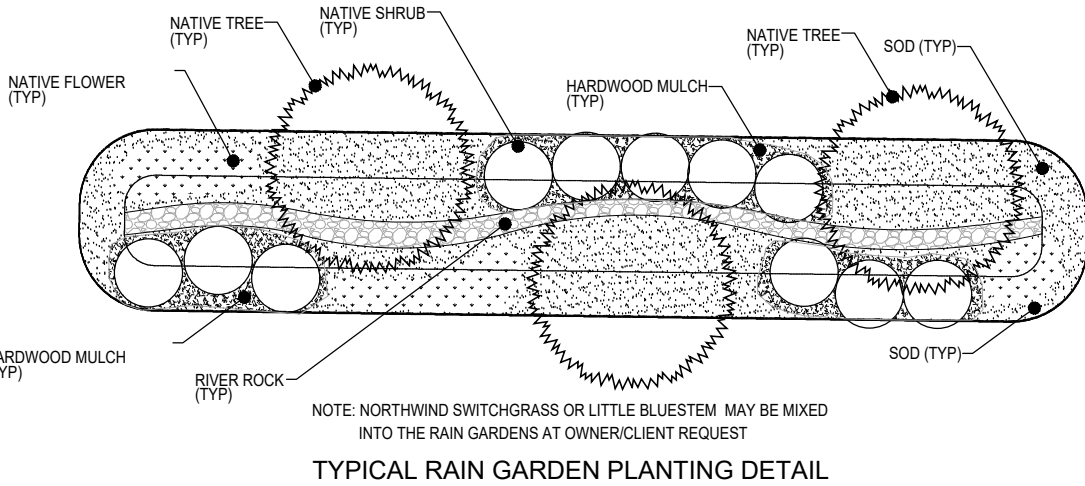
To Be Completed In One Phase

Stormwater Notes

1. This site is responsible for water quality and water quantity.
2. Design of stormwater features will be provided during the final SP process.
3. Storm sewer system on this plan is shown schematically. Final design will be provided during the final SP process and will meet the requirements of the stormwater management manual.
4. This project will disturb more than 1 acre, therefore, a NOI will be submitted to TDEC during final SP process.
5. This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.

Irrigation Notes

Irrigation will be provided in more detail on final plan. Irrigation to be design/build by landscape contractor.



Tree Density Notes

Metro tree density requirements will be addressed in final construction documents. At the preliminary phase of this project no detailed tree information is available.

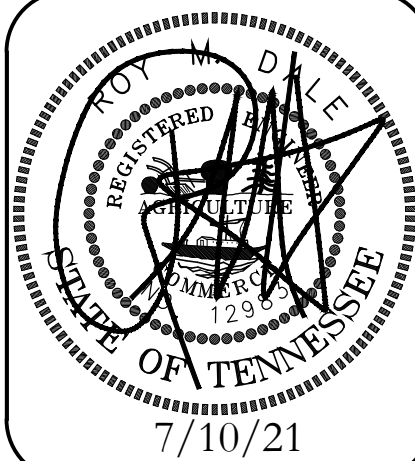
SP Layout



REVISIONS:

Preparation Date:

Charlotte View West  
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Being Parcel 005 on Tax Map 115  
Nashville, Davidson County, Tennessee



REV 6/12/22  
REV 7/18/22

Dale & Associates  
Consulting Civil Engineering  
Land Planning & Zoning  
Surveying

MPC Case Number  
2021SP-063-001

D&A Project #

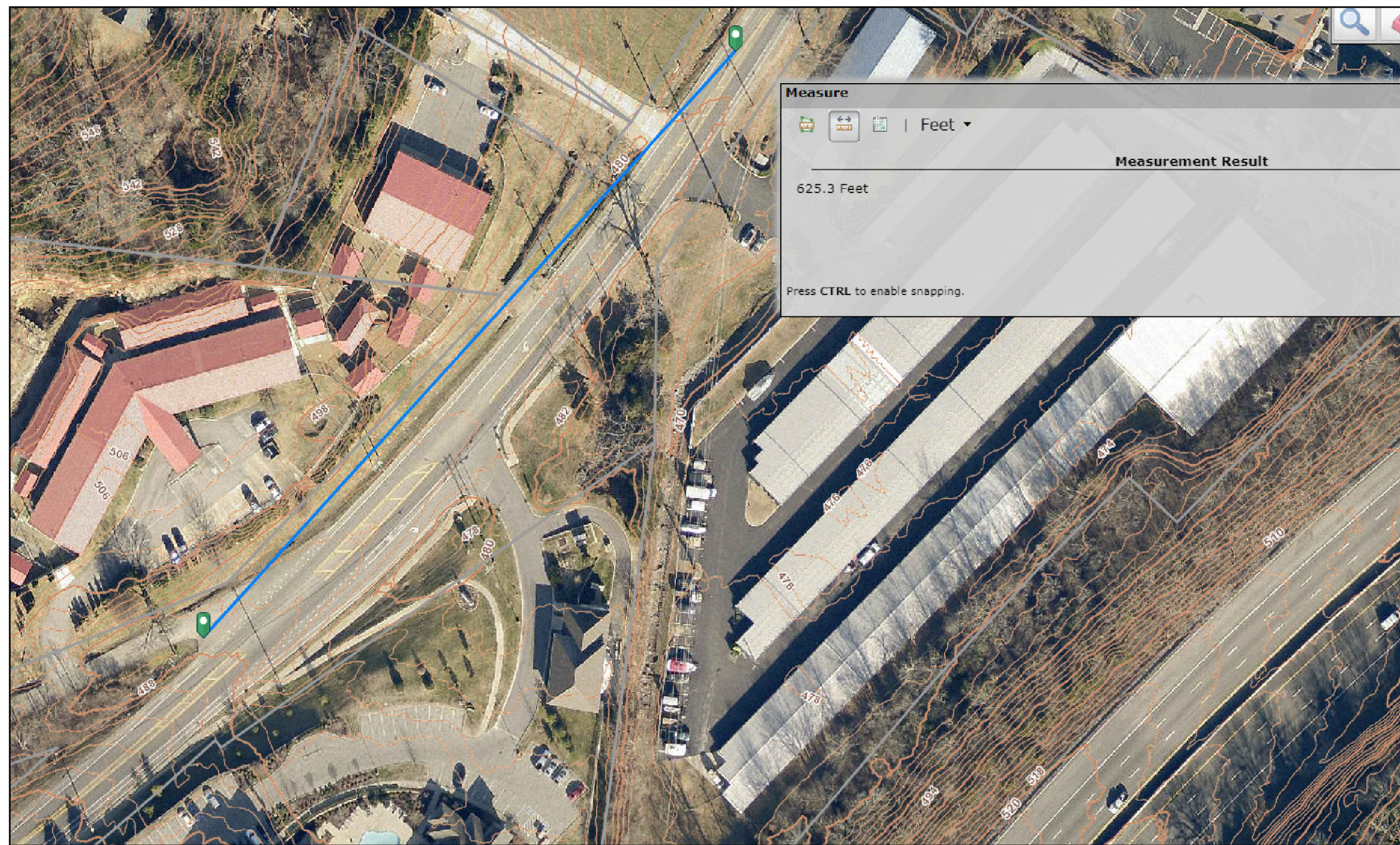
Charlotte

C3.0

Sheet 3 of 3

516 Heather Place  
Nashville, Tennessee 37204  
(615) 297-5166

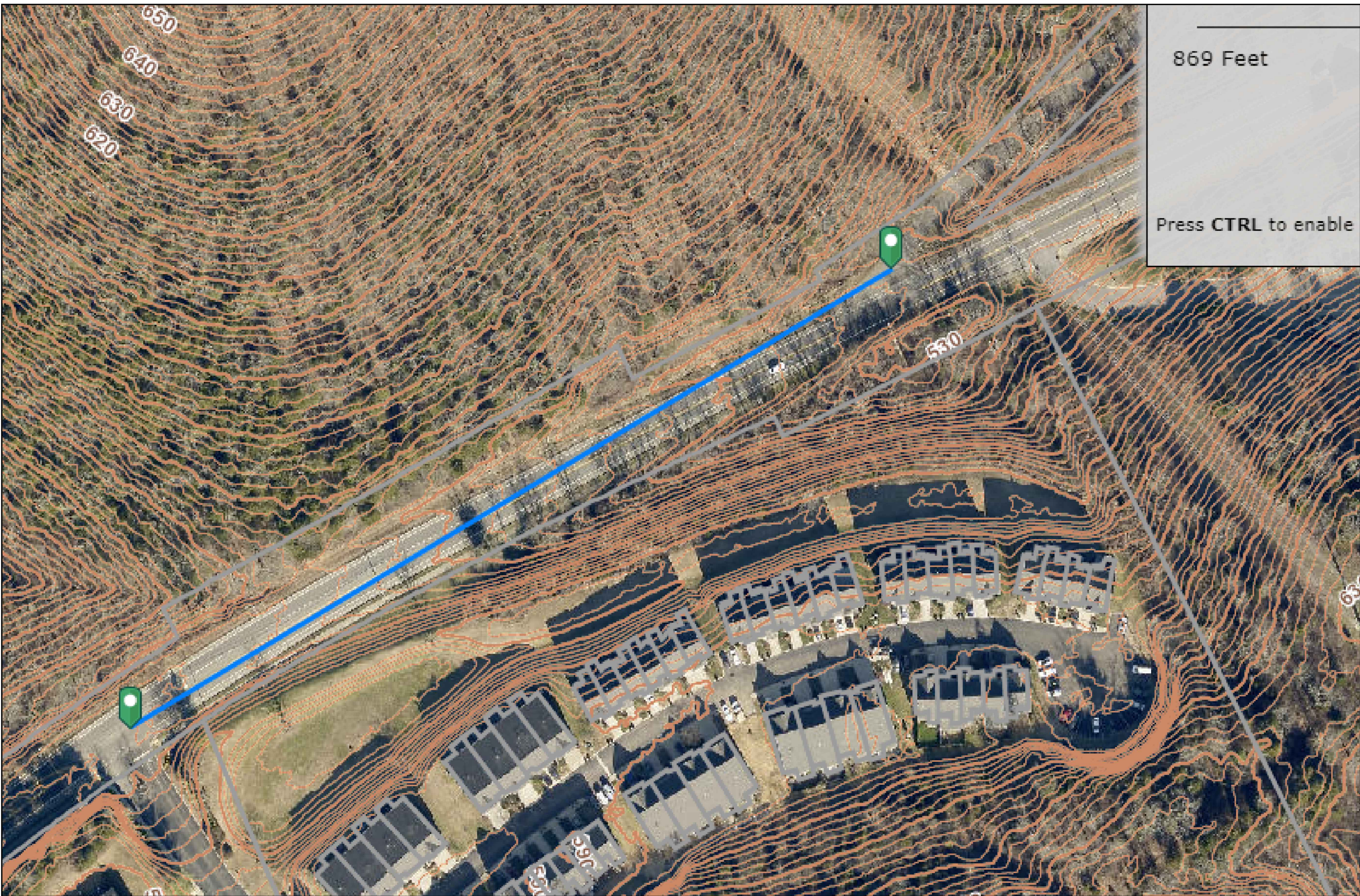




Old Charlotte East Intersection Looking East  
Sight Distance 625 Feet



Old Charlotte East Intersection Looking West  
Sight Distance 670 Feet



Old Charlotte West Intersection Looking West  
Sight Distance 870 Feet



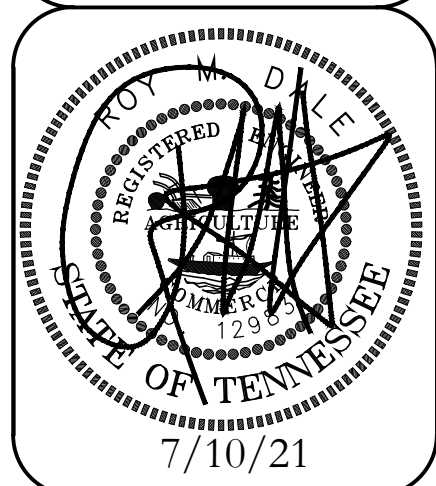
Old Charlotte West Intersection Looking East  
Sight Distance 600 Feet  
Sight Distance Exhibit



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Nashville, Davidson County, Tennessee

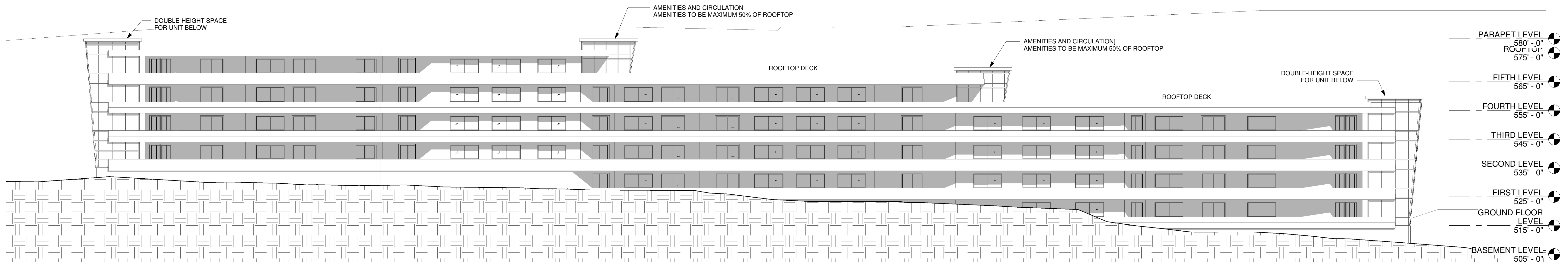


REV 6/12/22  
REV 7/18/22

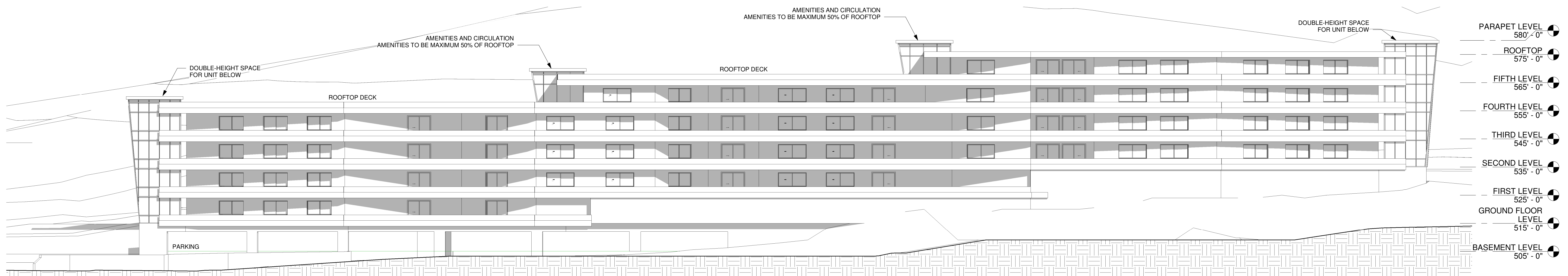
**Dale & Associates**  
Consulting Civil Engineering  
Land Planning & Zoning  
Landscape Architecture

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2021SP-063-001  
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**EXHIBIT**





① SOUTH ELEVATION  
1/16" = 1'-0"



② NORTH ELEVATION  
1/16" = 1'-0"