

# PRELIMINARY SP PLANS

# 1711 BROADWAY

1711 BROADWAY  
NASHVILLE, TN 37203

PRELIMINARY SP SUBMITTAL: MARCH 30, 2022  
PRELIMINARY SP RESUBMITTAL: APRIL 20, 2022  
PRELIMINARY SP RESBUMITTAL: MAY 17,2022

PRELIMINARY SP CASE NO.: 2022SP-027-001

SITE DATA TABLE		
SITE ADDRESS	1711 BROADWAY NASHVILLE, TN, 37203	
TAX MAP	MAP 092-16 PARCEL 206	
OVERALL AREA	EXISTING	PROPOSED
SITE AREA	1.31 AC	1.26 AC
DISTURBED AREA	N/A	1.39 AC
DEDICATED R.O.W. AREA	N/A	0.05 AC
IMPERVIOUS AREA	1.009 AC	1.26 AC
PERVIOUS AREA	0.305 AC	0.00 AC
BUILDING DATA	REQUIRED	PROVIDED
USE	MULTIFAMILY RESIDENTIAL; RETAIL	
RESIDENTIAL	404,429 SF	
RESIDENTIAL F.A.R.	7.09	
RETAIL (MAX. 6,500 SF)	6,243 SF	
RETAIL F.A.R.	0.11	
MAX. BUILDING HEIGHT	20 STORIES	
ISR	1.0	
UNIT DENSITY	302.3 DUA	
TOTAL UNITS (MAX. 400)	396 UNITS	
1-BR	272 UNITS	
2-BR	115 UNITS	
3-BR	9 UNITS	
BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT: NORTH	0 FT	0 FT
REAR: SOUTH	0 FT	7 FT
SIDE: EAST	0 FT	17 FT
SIDE: WEST	0 FT	0 FT
PARKING DATA		
UZO TOTAL REQUIRED SPACES	428*	
UZO REQUIRED RESIDENTIAL SPACES	412*	
UZO REQUIRED RETAIL SPACES	14*	
PROVIDED SPACES	443	
PROVIDED RESIDENTIAL SPACES	423	
PROVIDED RETAIL SPACES	20	

#### NOTE

\*REQUIRED PARKING SHOWN REFLECTS THE 10% TRANSIT PARKING REDUCTION.

#### EXISTING PROPERTY SUMMARY

PROPERTY ADDRESS: 1711 BROADWAY  
NASHVILLE, TN  
MAP AND PARCEL ID: MAP 092-16, PARCEL 206  
U.S. FEMA FIRM PANEL: 47037C0243H DATED 4/5/2017  
EXISTING ZONING: MU1-A  
EXISTING LAND USE: RETAIL

#### METRO PERMITTING REFERENCE

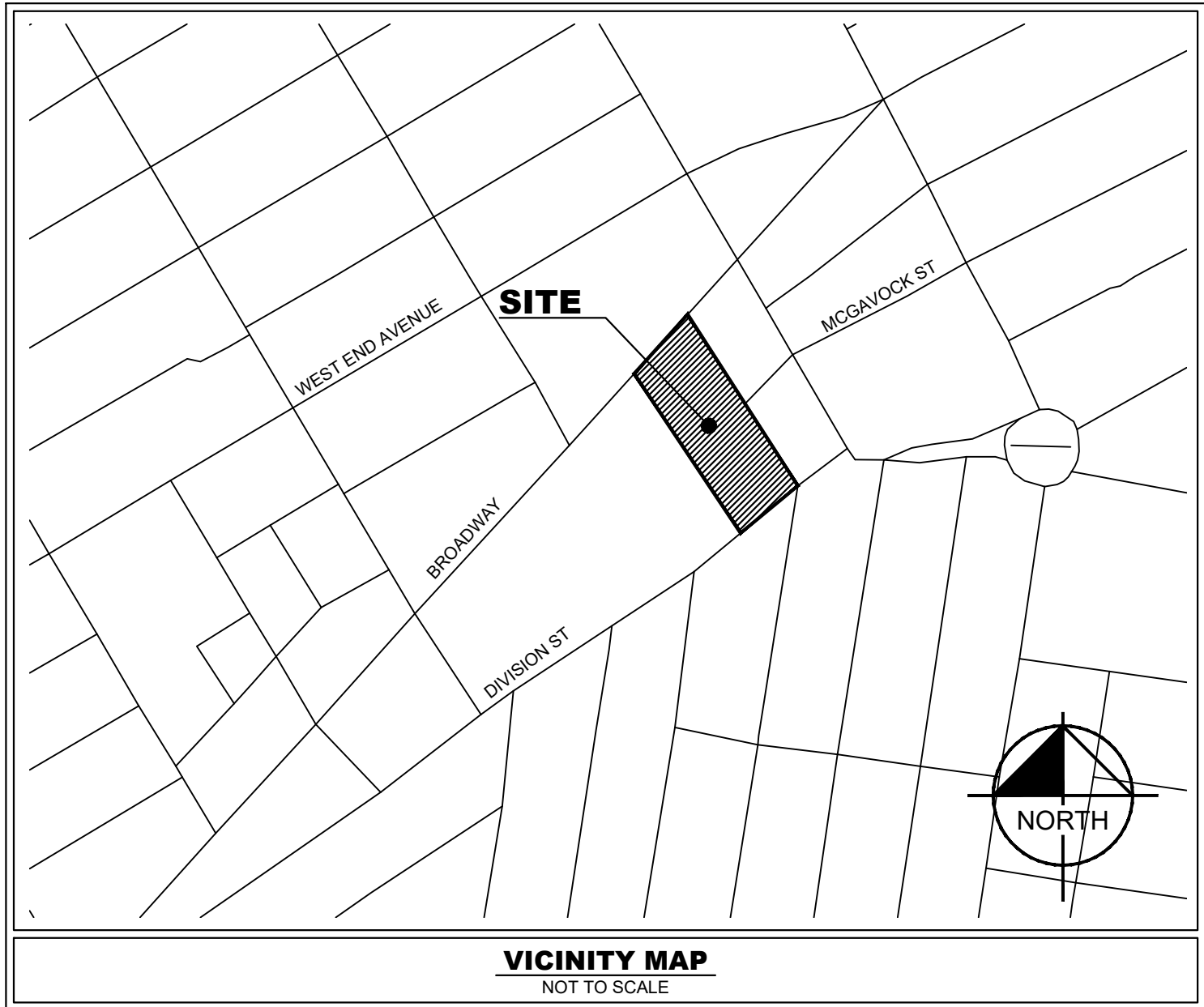
BUILDING PERMIT: **TBD**  
GRADING PERMIT: **SWGR TBD**  
WATER PERMIT: **TBD**  
SEWER PERMIT: **TBD**

#### GENERAL DEVELOPMENT NOTES

1. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF ANSI 117.1, 2009 EDITION AND THE FAIR HOUSING ACT.  
U.S. Justice Department:  
[http://www.justice.gov/crt/housing/fairhousing/about\\_fairhousingact.htm](http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm)

2. THE SUBJECT PROPERTY IS LOCATED IN AREAS DESIGNATED AS "ZONE X" (AREAS OF MINIMAL FLOOD HAZARD) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0243H.  
3. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

4. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.



**COUNCIL DISTRICT 19**  
**COUNCIL MEMBER FREDDIE O'CONNELL**  
**CITY OF NASHVILLE**  
**DAVIDSON COUNTY, TN**

#### PROJECT DESIGN TEAM

##### ARCHITECT

NORR  
325 N. LASALLE ST., STE 500  
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PHONE: (312) 873-1030  
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##### CIVIL ENGINEER

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10 LEA AVENUE, SUITE 400  
NASHVILLE, TENNESSEE 37210  
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CONTACT: MARY MCGOWAN, P.E.

##### SURVEY

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P.O. BOX 210456  
NASHVILLE, TN 37221  
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CONTACT: JESSE WALKER

##### GEOTECH / ENVIRONMENTAL

#### PERMITTING / UTILITY CONTACTS

##### BUILDING DEPT.

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800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6520

##### STORMWATER

METRO WATER SERVICES  
ROY NESTER  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 880-2259

##### WATER

METRO WATER SERVICES  
GEORGE REAGAN  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-4572

##### SANITARY SEWER

METRO WATER SERVICES  
GEORGE REAGAN  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-4572

##### ZONING

METRO NASHVILLE ZONING  
BILL HERBERT  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
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##### FIRE CHIEF

METRO NASHVILLE FIRE MARSHAL  
JOSEPH ALMON  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
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##### URBAN FORESTER

METRO NASHVILLE  
STEPHAN KIVETT  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6488

##### TDOT

TENNESSEE DEPARTMENT OF  
TRANSPORTATION  
PHIL TRAMMELL  
REGION 3 TRAFFIC ENGINEER  
660 CENTENNIAL BLVD  
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PHONE: (615) 350-4300

##### NATURAL GAS

PIEDMONT NATURAL GAS  
CRAIG OWEN  
83 CENTURY BOULEVARD  
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##### TELEPHONE

AT&T  
LOGAN EAKES  
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##### ELECTRIC

NASHVILLE ELECTRIC SERVICE  
LARRY KELLY  
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##### CABLE

COMCAST  
KEVIN VIA  
660 MAINSTREAM DRIVE  
NASHVILLE, TENNESSEE 37228  
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#### Sheet List Table

Sheet Number	Sheet Title
C0-00	COVER
C0-01	GENERAL NOTES
C1-00	EXISTING CONDITIONS
C2-00	SITE LAYOUT - OVERALL
C4-00	GRADING AND DRAINAGE PLAN - OVERALL
C6-00	UTILITY PLAN - OVERALL
1	FRONT COVER
2	SP GENERAL NOTES
3	AERIAL CONTEXT
4	SITE
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6	EXISTING SITE CONDITIONS
7	PROGRAM
8	CONTEXTUAL DESIGN
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11	DESIGN
12	DESIGN
13	DESIGN
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15	TYPICAL PARKING FLOOR PLAN (L1M-L3)
16	L3 MEZZANINE FLOOR PLAN
16	L4 FLOOR PLAN
17	TYPICAL FLOOR PLAN (L5 TO L17)
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25	AREA MATRIX
26	UNIT MIX AND PARKING CALCULATION
27	BACK COVER

#### OWNER / DEVELOPER

LG DEVELOPMENT GROUP  
2234 W NORTH AVE  
CHICAGO,IL, 60647  
PHONE: (773)227-2850  
CONTACT: GABRIEL LEAHU

#### PLANS PREPARED BY

# Kimley»Horn

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#### PURPOSE NOTE

THE PURPOSE OF THIS PLAN IS TO REZONE TO PRELIMINARY SPECIFIC PLAN ZONING TO PERMIT UP TO 400 MULTI-FAMILY RESIDENTIAL UNITS, AND 6,500 SQUARE FEET OF RETAIL.

#### ENGINEER'S SEAL

## DRAFT

### PRELIMINARY PLANS

#### FOR REVIEW ONLY

#### PLAN REVISIONS

REVISION NO.	DATE	REMARKS

FILE NUMBER	SHEET NUMBER	TOTAL SHEETS
<b>118345001</b>	<b>C0-00</b>	<b>34</b>







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**SURVEY NOTES**

1.

THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON A COMBINATION OF DATA SOURCES INCLUDING AERIAL MAPS, METRO NASHVILLE GIS MAPS, AND METRO NASHVILLE PARCEL VIEWER.

2.

THE INFORMATION PROVIDED SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.

3.

NO PORTION OF THIS PROJECT IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAPS NO. 47037C0243H, DATED APRIL 5, 2017.

**Kimley»Horn**

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1711 BROADWAY  
LG DEVELOPMENT GROUP

NASHVILLE, TN

DRAFT  
PRELIMINARY  
PLANS

FOR REVIEW ONLY

No.	1	2	3	4	5	6	7	8	9	10
DESIGNED BY:										
DRAWN BY:										
CHECKED BY:										
DATE:	5/17/2022									
KIMLEY-HORN PROJECT NO. 118345001										
EXISTING CONDITIONS										
SHEET NUMBER <b>C1-00</b>										

Drawing name: K:\NSH\_LDEV\118345001 - 1711 Broadway\4-CADD\PlanSheets\C1-00 EXISTING CONDITIONS.dwg C1-00 EXISTING CONDITIONS May 17, 2022 12:12pm by: Megan.Barrett



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OWNER CHART			
OWNER	TAX PARCEL NO.	PARCEL #	ADDRESS
U.S. BANK NATIONAL	09216020600	206	1711 BROADWAY, NASHVILLE, TN 37203

PRELIMINARY DEVELOPMENT SCHEDULE	
GRADING PERMIT / SITE WORK	MONTH 0
BUILDING PERMIT / BUILDING CONSTRUCTION START	MONTH 2
CONSTRUCTION COMPLETION / CO / PROJECT OPENING	MONTH 30

HATCH LEGEND	
	STANDARD DUTY CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	ROW DEDICATION

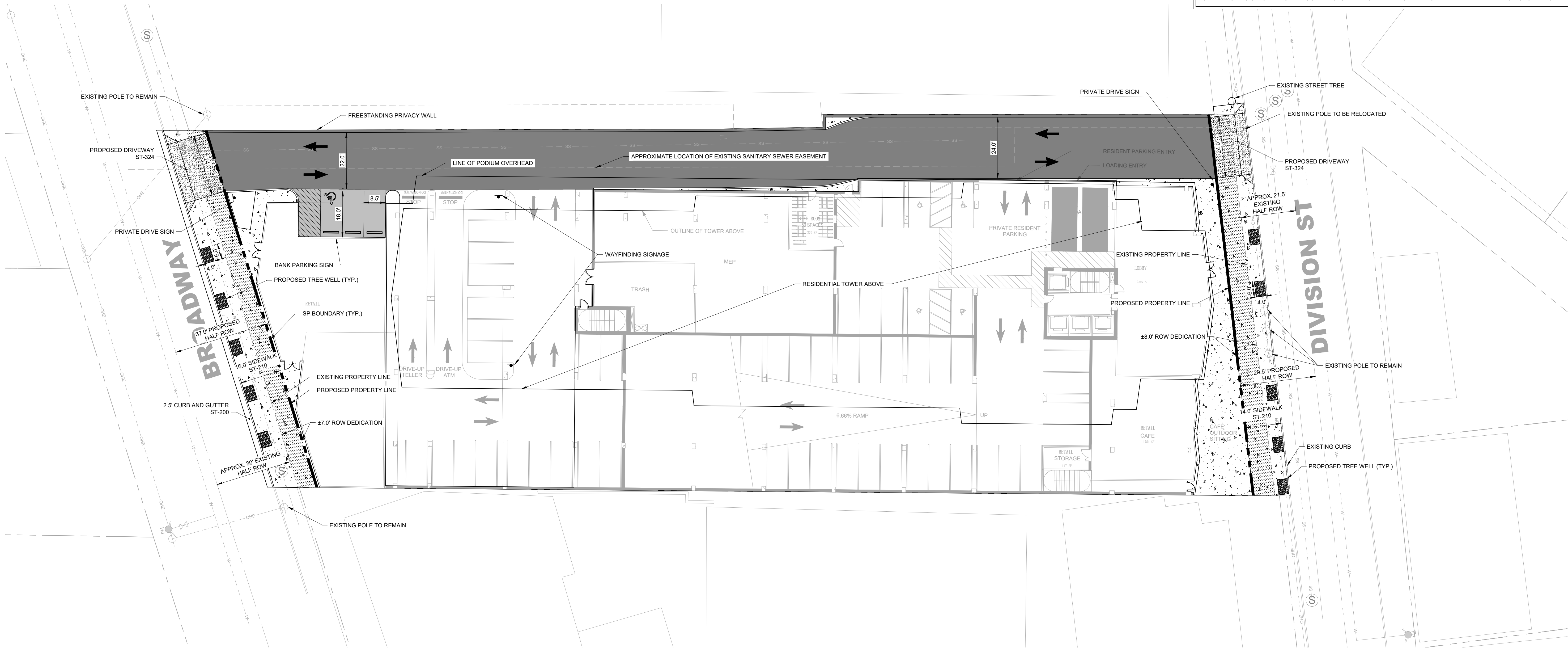
LANDSCAPING NOTES
PROPOSED LANDSCAPING WILL SATISFY ALL REQUIREMENTS OF CHAPTER 17.24 INCLUDING BUFFERING AND DUMPSTER SCREENING REQUIREMENTS.

FINAL SP NOTE
1. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE, PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS. EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
2. LOADING ZONE LAYOUT AND CONFIGURATION SHALL BE FINALIZED AT FINAL SP. LAYOUT SHALL BE BASED ON THE EXPECTED SITE NEEDS AND SHALL ACCOMMODATE AN SU-30 DESIGN VEHICLE AT A MINIMUM.
3. BICYCLE PARKING SPACES SHALL BE FINALIZED AT FINAL SP, WHERE SUBSURFACE CONDITIONS MAKE BICYCLE PARKING DIFFICULT OR INFEASIBLE. THE ZONING ADMINISTRATOR BASED ON A RECOMMENDATION FROM THE PLANNING DEPARTMENT, MAY REDUCE OR WAIVE THE REQUIRED BICYCLE PARKING AND/OR MAY APPROVE DIFFERENT DESIGN AND LOCATION ARDS FOR REQUIRED BICYCLE PARKING AREAS.

NDOT NOTES
1. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE NASHVILLE DEPARTMENT OF TRANSPORTATION, IN EFFECT AT THE TIME OF APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS. ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS.
2. STORMWATER DISCHARGES ARE TO BE COORDINATED WITH NDOT AND METRO STORMWATER. POINT SOURCE DISCHARGE WILL NOT BE PERMITTED.

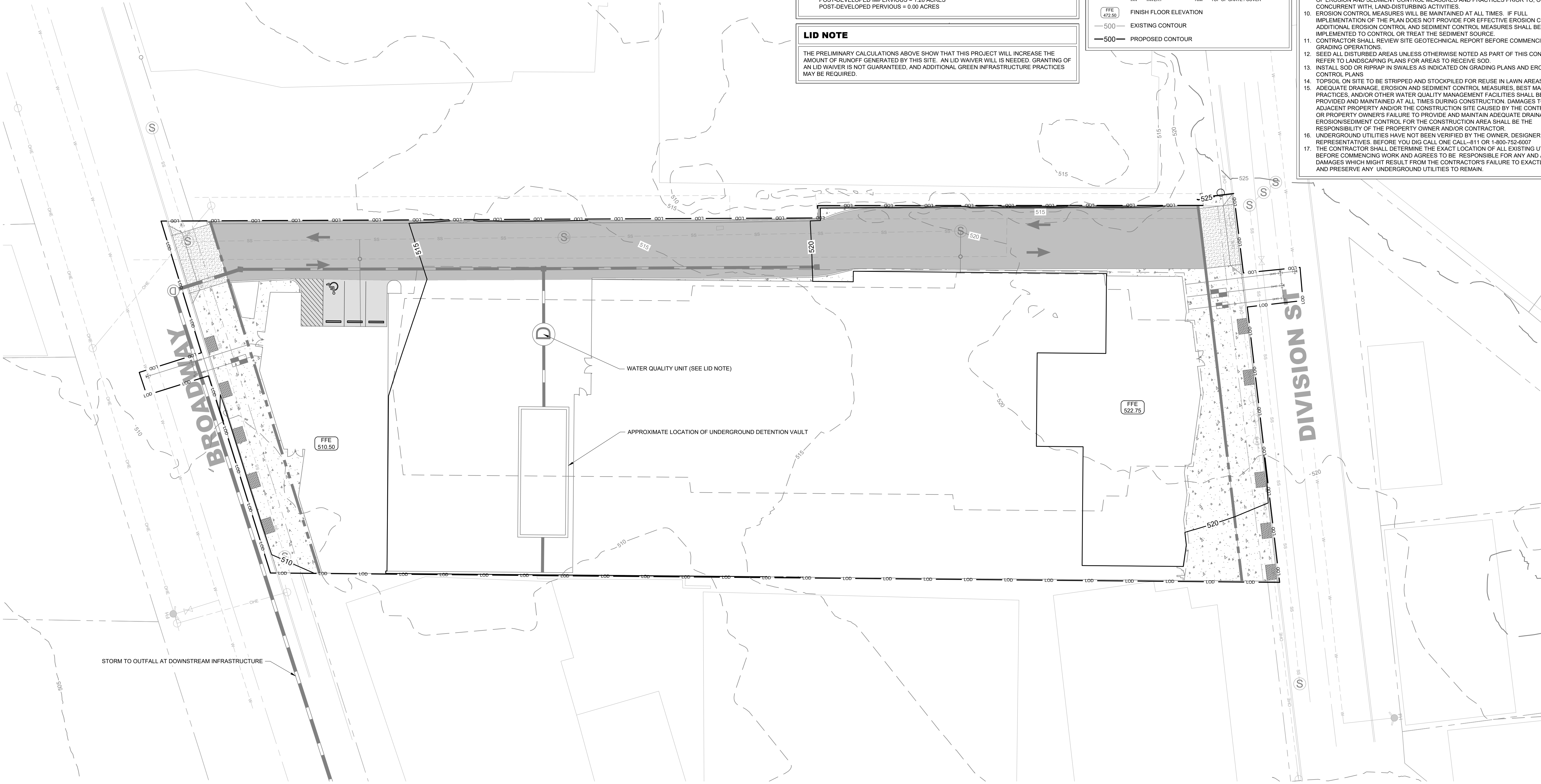
SITE LAYOUT NOTES
1. INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
2. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
3. ALL CURB RADI ARE 3 FT UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
6. CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
7. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
8. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
9. ALL SIDEWALK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER NDOT STANDARD DWG NO. ST-210.
10. SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
11. ALL TREE GRATES SHALL BE ADA COMPLIANT AND H20 TRAFFIC RATED.
12. REFER TO SITE LANDSCAPE PLANS BY OTHERS FOR STREETSCAPE DETAILS.

1711 BROADWAY SP DEVELOPMENT STANDARDS
1. THE PURPOSE OF THIS PLAN IS TO REZONE TO PRELIMINARY SPECIFIC PLAN ZONING TO PERMIT UP TO 400 MULTI-FAMILY RESIDENTIAL UNITS AND 6,500 SQUARE FEET OF RETAIL.
2. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
3. THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AS IDENTIFIED BY FEMA ON MAP 47037C0243H, DATED 04/05/2017.
4. ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH NDOT SIDEWALK DESIGN STANDARDS.
5. WHEEL CHAIR ACCESSIBLE CURB RAMP, COMPLYING WITH APPLICABLE NDOT STANDARD, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
6. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
7. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL, (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
8. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
9. MINOR MODIFICATIONS TO THE PRELIMINARY SP MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL, THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
10. IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUG-A-N-S ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION. USES ARE LIMITED AS DESCRIBED IN THE COUNCIL ORDINANCE.
11. APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
12. ALL SURFACE PARKING AREAS MUST MEET THE "PARKING AREA SCREENING AND LANDSCAPING" REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE.
13. ACCORDING TO THE MUGS SOL MAP, THE SOIL ON THE PROPERTIES IS MAURY-URBAN.
14. SITE SLOPES RANGE 0.7%, THERE ARE NO NATURAL SLOPES GREATER THAN 7%.
15. THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
16. SIGNAGE SHALL MEET METRO DESIGN STANDARDS AND BE REVIEWED WITH THE BUILDING PLANS.
17. ALL DEVELOPMENTS WITHIN THE BOUNDARIES OF THIS PLAN SHALL BE BASED ON THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT, AS APPLICABLE.
18. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
19. ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
20. THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN PLACE.
21. TWO RECORDING STUDIOS, A PODCAST STUDIO, AND A REHEARSAL ROOM THAT CAN BE RENTED BY THE PUBLIC WILL BE INCLUDED WITH THE DEVELOPMENT.
22. ALL FACADE MATERIALS, EXCLUSIVE OF CLEAR FENESTRATION, SHALL BE HIGH QUALITY AND SELECTED FROM THE FOLLOWING LIST: MASONRY, MASONRY PANELS, TEXTURED METAL, METAL PANELING, PRECAST CONCRETE, PRECAST CONCRETE PANEL, FIBER CEMENT PANEL, FIBER CEMENT SIDING, SPANDREL GLASS (ON UPPER STORIES ONLY) OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION. THIS REQUIREMENT APPLIES TO ALL FACADES.
23. THE ARCHITECTURE OF THE SCREENING OF THE PODIUM PARKING SHALL VERTICALLY INTEGRATE WITH THE RESIDENTIAL PORTION OF THE TOWER.





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#### STORMWATER NOTES

1. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL UNIT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
2. THE SOILS TYPES FOR THIS SITE ARE MAURY-URBAN LAND COMPLEX WITH SLOPES RANGING FROM 2 TO 7%.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
4. ANY REQUIRED DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IS METRO ROW IS 15" RCP).
5. WATER QUALITY AND QUANTITY REQUIREMENTS FOR THE SITE SHALL BE BASED ON THE CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
6. IF REQUIRED, DETENTION SHALL TAKE PLACE IN AN UNDERGROUND DETENTION SYSTEM OR AN ABOVE GROUND VAULT. FINAL DESIGN AND DETAILS WILL BE INCLUDED WITH FINAL APPLICATION.
7. THIS SITE WILL APPLY FOR AN LID WAIVER. FINAL DESIGN AND DETAILS WILL BE INCLUDED WITH FINAL APPLICATION.
8. STORMWATER CONNECTIONS TO THE EXISTING SYSTEM SHALL BE TO EITHER STORM ONLY LINES OR TO COMBINED SEWER LINES WITH A MINIMUM DIAMETER OF 15".
9. STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL SP PROCESS.

#### PRE/POST CALCULATIONS

PRE-DEVELOPMENT  
TOTAL SITE AREA = 1.31 ACRES  
PRE-DEVELOPED IMPERVIOUS = 1.009 ACRES  
PRE-DEVELOPED PERVIOUS = 0.305 ACRES

POST-DEVELOPMENT  
TOTAL SITE AREA = 1.26 ACRES  
POST-DEVELOPED IMPERVIOUS = 1.26 ACRES  
POST-DEVELOPED PERVIOUS = 0.00 ACRES

#### LID NOTE

THE PRELIMINARY CALCULATIONS ABOVE SHOW THAT THIS PROJECT WILL INCREASE THE AMOUNT OF RUNOFF GENERATED BY THIS SITE. AN LID WAIVER WILL IS NEEDED. GRANTING OF AN LID WAIVER IS NOT GUARANTEED, AND ADDITIONAL GREEN INFRASTRUCTURE PRACTICES MAY BE REQUIRED.

#### METRO STORMWATER NOTES

**FEMA NOTE:**  
THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 47037C0243H, EFFECTIVE 4/5/2017.

- CONSTRUCTION SCHEDULE:**
1. PRE-CONSTRUCTION MEETING
  2. INSTALLATION OF EROSION CONTROL MEASURES
  3. EROSION INSPECTION BY EPSC AND METRO
  4. ISSUANCE OF GRADING PERMIT
  5. CONSTRUCTION

CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.

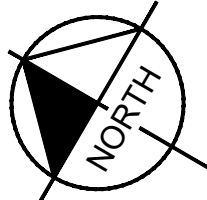
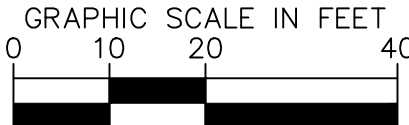
**TDEC NOTICE OF COVERAGE NOTE:**  
THIS PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND IS NOT REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC. THE TOTAL DISTURBED AREA IS ±1.39 ACRES.

#### GRADING PLAN LEGEND

- SPOT ELEVATION  
HP HIGH POINT  
TC TOP OF CURB  
TW TOP OF WALL  
INV INVERT
- LP LOW POINT  
BC BOTTOM OF CURB / GUTTER LINE  
BW BOTTOM OF EXPOSED WALL  
RM TOP OF GRATE / COVER
- FINISH FLOOR ELEVATION  
FFE 522.50
- EXISTING CONTOUR  
500
- PROPOSED CONTOUR  
500

#### GRADING NOTES

1. CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNERS REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
3. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
4. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
5. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
6. THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
7. EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
8. SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
9. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
10. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
11. CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
12. SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
13. INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
14. TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
15. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
16. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-4007.
17. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.



**Kimley»Horn**

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**1711 BROADWAY  
LG DEVELOPMENT GROUP  
NASHVILLE, TN**

**DRAFT  
PRELIMINARY  
PLANS  
FOR REVIEW ONLY**

No.	1	2	3	4	5	6	7	8	9	10	REVISIONS	DATE	BY
DESIGNED BY:													
DRAWN BY:													
CHECKED BY:													

DATE: 5/17/2022  
KIMLEY-HORN PROJECT NO. 118345001

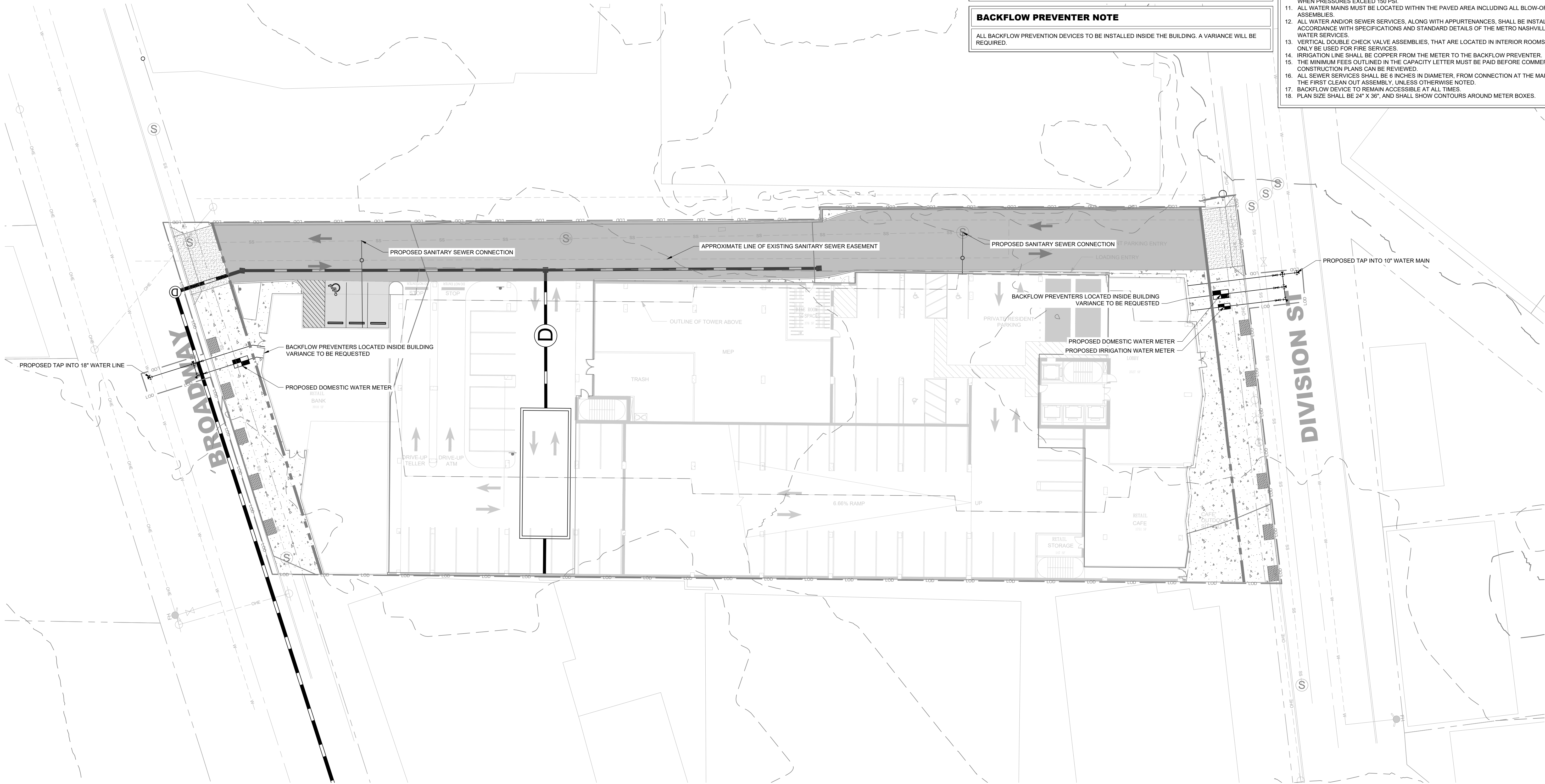
**GRADING AND  
DRAINAGE PLAN -  
OVERALL**

SHEET NUMBER

**C4-00**



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**VALVE NOTE**

ALL VALVES SHALL BE INSTALLED IN METRO NASHVILLE WATER SERVICES APPROVED VALVE BOX AND COVER. COVER TO BE MARKED WITH "WATER".

**UTILITY NOTES**

- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES' STANDARD SPECIFICATIONS.
- MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
- REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
- ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
- THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
- CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.
- ALL EXISTING UTILITIES SHALL BE CUT AND CAPPED AT MAIN.

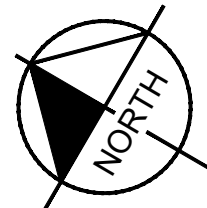
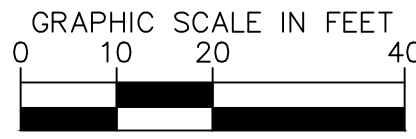
**EXISTING UTILITIES NOTE**

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

**BACKFLOW PREVENTER NOTE**

ALL BACKFLOW PREVENTION DEVICES TO BE INSTALLED INSIDE THE BUILDING. A VARIANCE WILL BE REQUIRED.

- METRO NASHVILLE WATER SERVICES STANDARD NOTES**
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
  - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
  - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
  - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVIEWING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
  - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
  - REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
  - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
  - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLAR IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
  - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
  - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
  - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
  - ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
  - VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
  - IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
  - THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
  - ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
  - BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
  - PLAN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.



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DRAWN BY:	
CHECKED BY:	
DATE:	5/17/2022
KIMLEY-HORN PROJECT NO.	118345001



# 1711 BROADWAY

2022SP-027-001 SP Plan | May 17, 2022



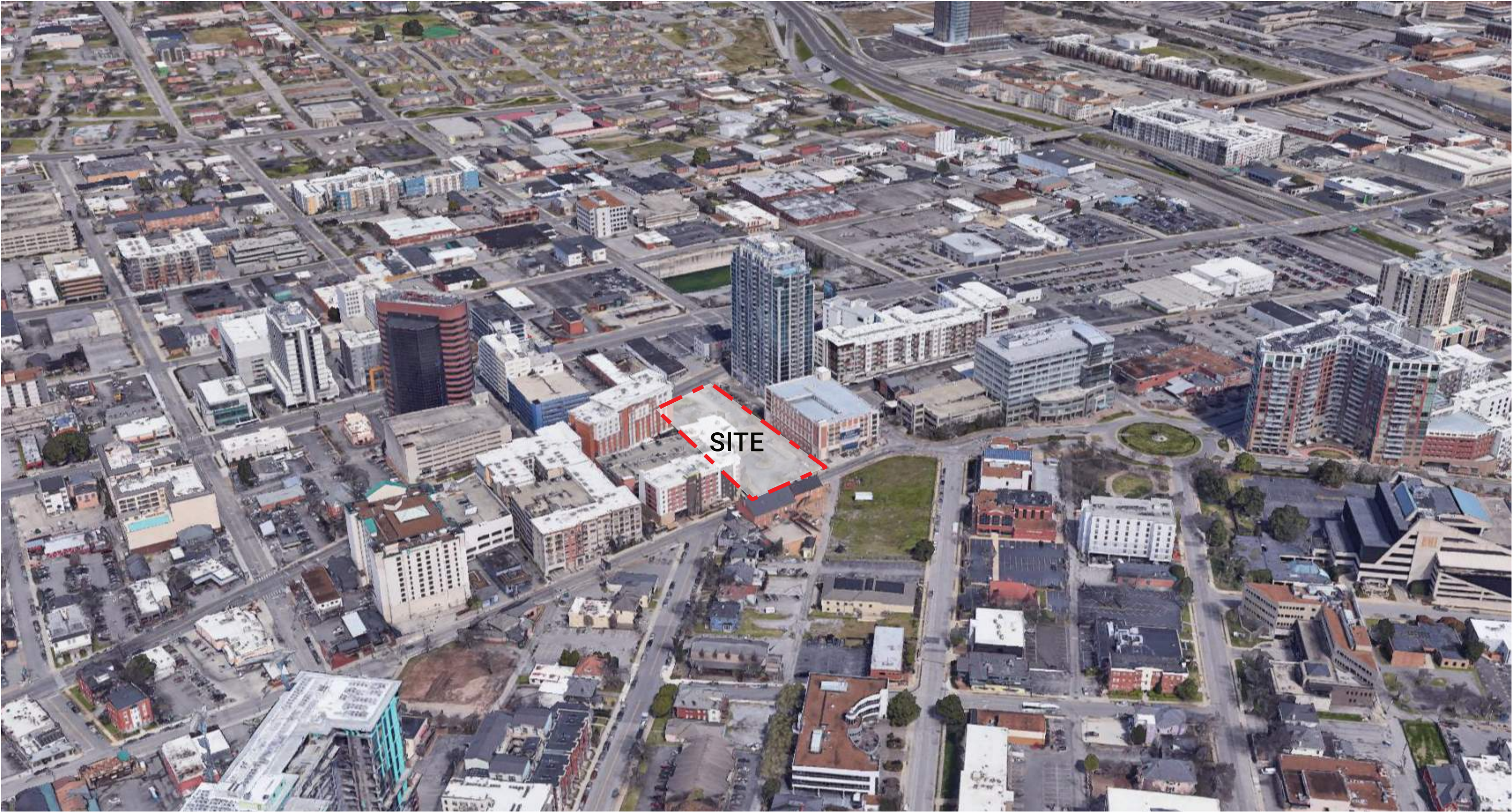


# SP General Notes

- \* If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG-A-NS zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.*
- \* If required, notice information is prepared and sent to applicants based on the plan and information submitted with the initial submittal. Should your plans change significantly with the resubmittal, it may be necessary for revised notice information to be prepared and sent. This could cause a delay and may result in deferral.*
- \* The Specific Plan process is a multi-step process. If the Preliminary SP is approved, there are additional steps required prior to issuance of a building permit. These steps include: final site plan and building permit review. The final site plan is submitted through the normal Planning Commission review process. For building permit review, when applying for a building permit you must submit 3 copies of plans and a review fee of \$250 directly to the Planning front counter for processing. We do not need the complete building permit set. Please submit only site plan, landscaping plan, grading plan, and building elevations*
- \* Limited building detail, and/ or building construction information provided. Construction must meet all applicable building and fire codes. Any additional fire code or access issues will be addressed during the construction permitting process. Future development or construction may require changes to meet adopted fire and building codes.*
- \* Final constructions plans shall comply with the design regulations established by NDOT. Final design and improvements may vary based on actual field conditions. A private hauler is required for site waste/recycle disposal. There are to be no vertical obstructions in new public sidewalks. Provide 24 ft. width for both drive accesses.*
- \*All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.*



# Aerial Context









## 1711 Broadway | 2022SP-027-001 | May 17, 2022 | Page 5





Existing Site Conditions



BROADWAY - LOOKING WEST



DIVISION ST - LOOKING WEST



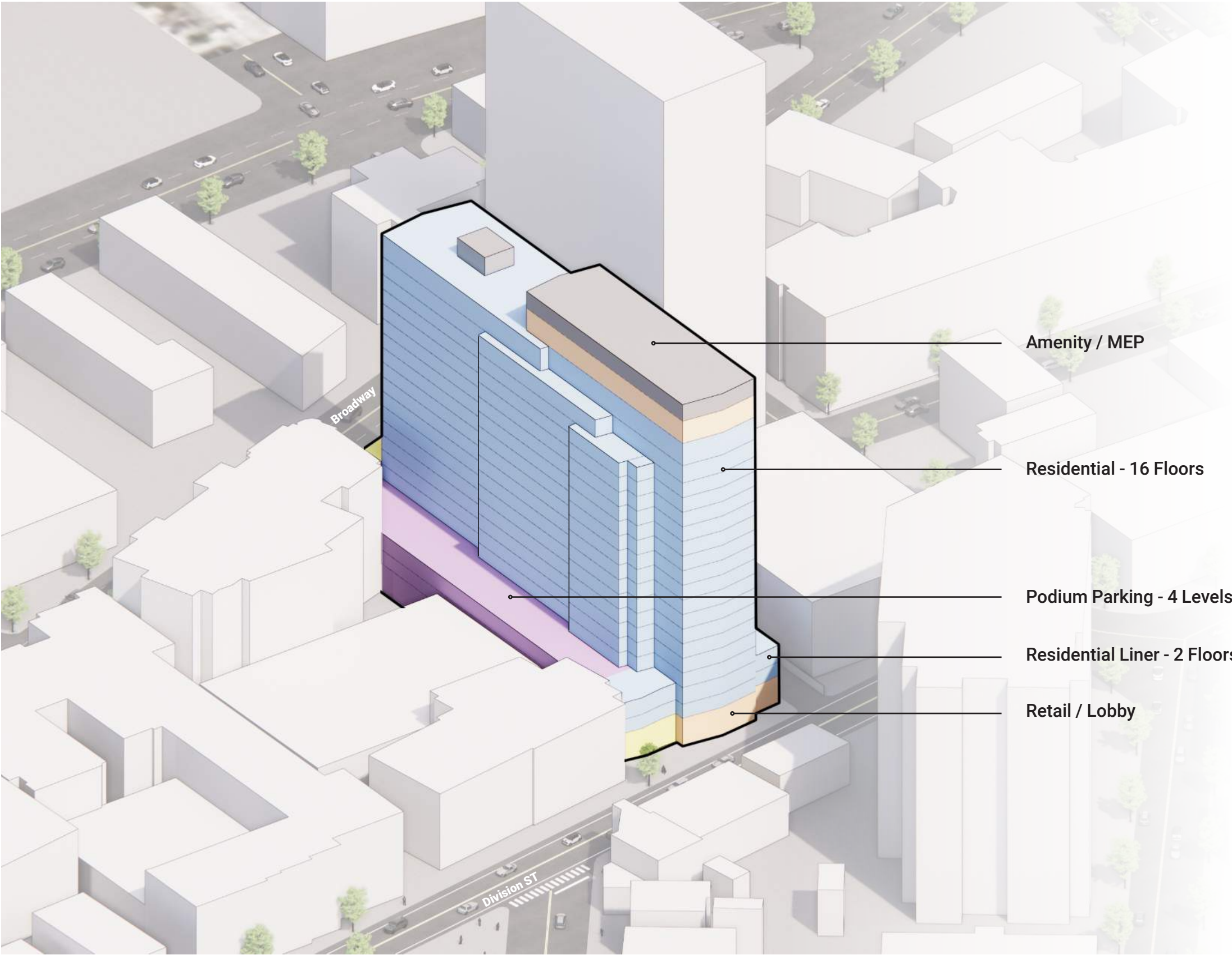
BROADWAY - LOOKING EAST



DIVISION ST - LOOKING EAST



# Program



Typical Residential Floor GFA: 599,000 SF  
Total Residential Floor NSA: 338,400 SF  
Total Residential Units: 396 Units

Retail GFA: 6,100 SF

Total GFA: 605,100 SF  
Total NSA: 344,500 SF  
Total Levels: 20  
Tower Height: 245' 6"

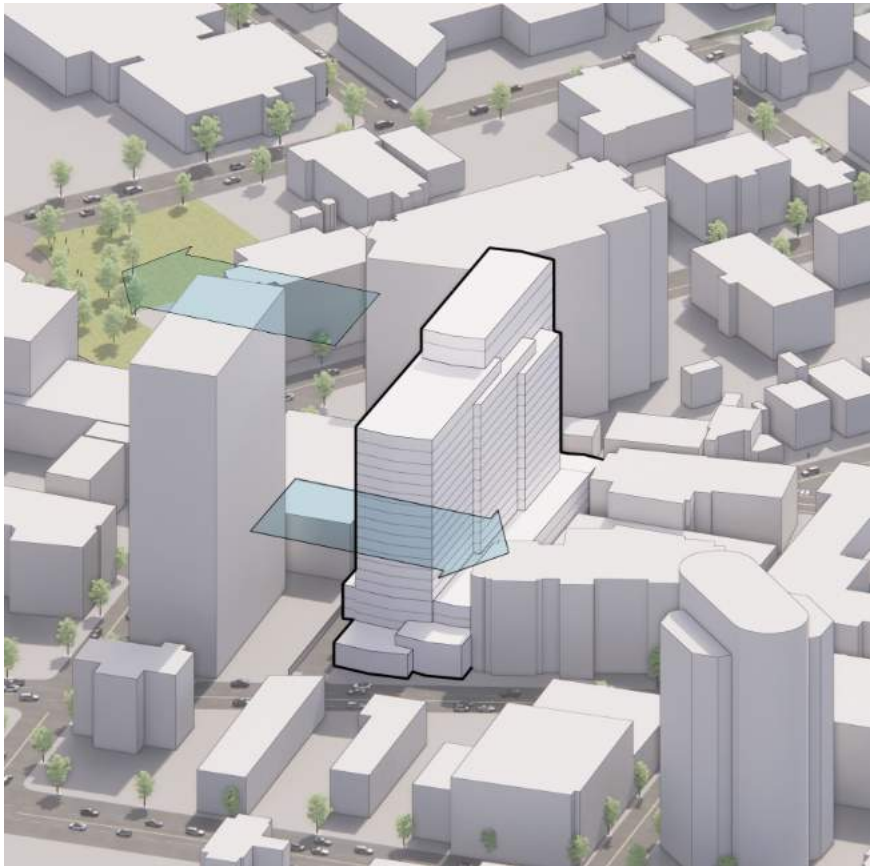


# Contextual Design



Activate Urban Street

Broadway and Division Street is activated with street fronts, approximately 6,000 sf of retail and spacious lobby.



Tower Placement

Tower is placed away from the existing residential tower as friendly development to it's neighbor.



Integrated Independent Properties

Two independent properties integrated into one design while allowing separate phase of construction.





*Honoring the historic Music Row district through  
rhythmic, graceful, and simple design*









ALUMINUM FIN (LIGHT BRONZE)

METAL PANEL (BRONZE)









METAL PANEL (BRONZE)

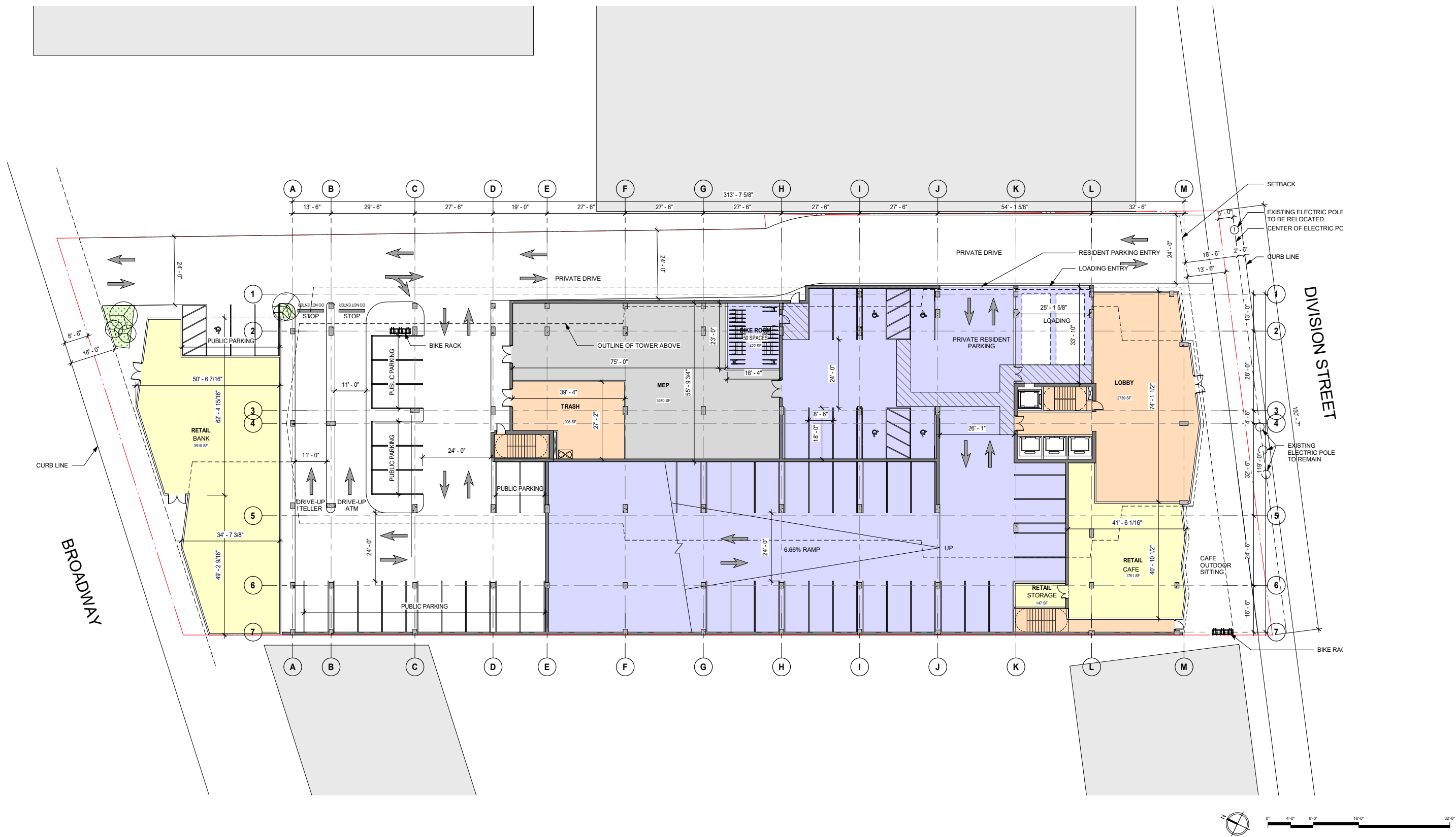
PERFORATED METAL PANEL SCREEN (SILVER)

PERFORATED METAL PANEL SCREEN (BRONZE)

ALUMINUM FIN (LIGHT BRONZE)

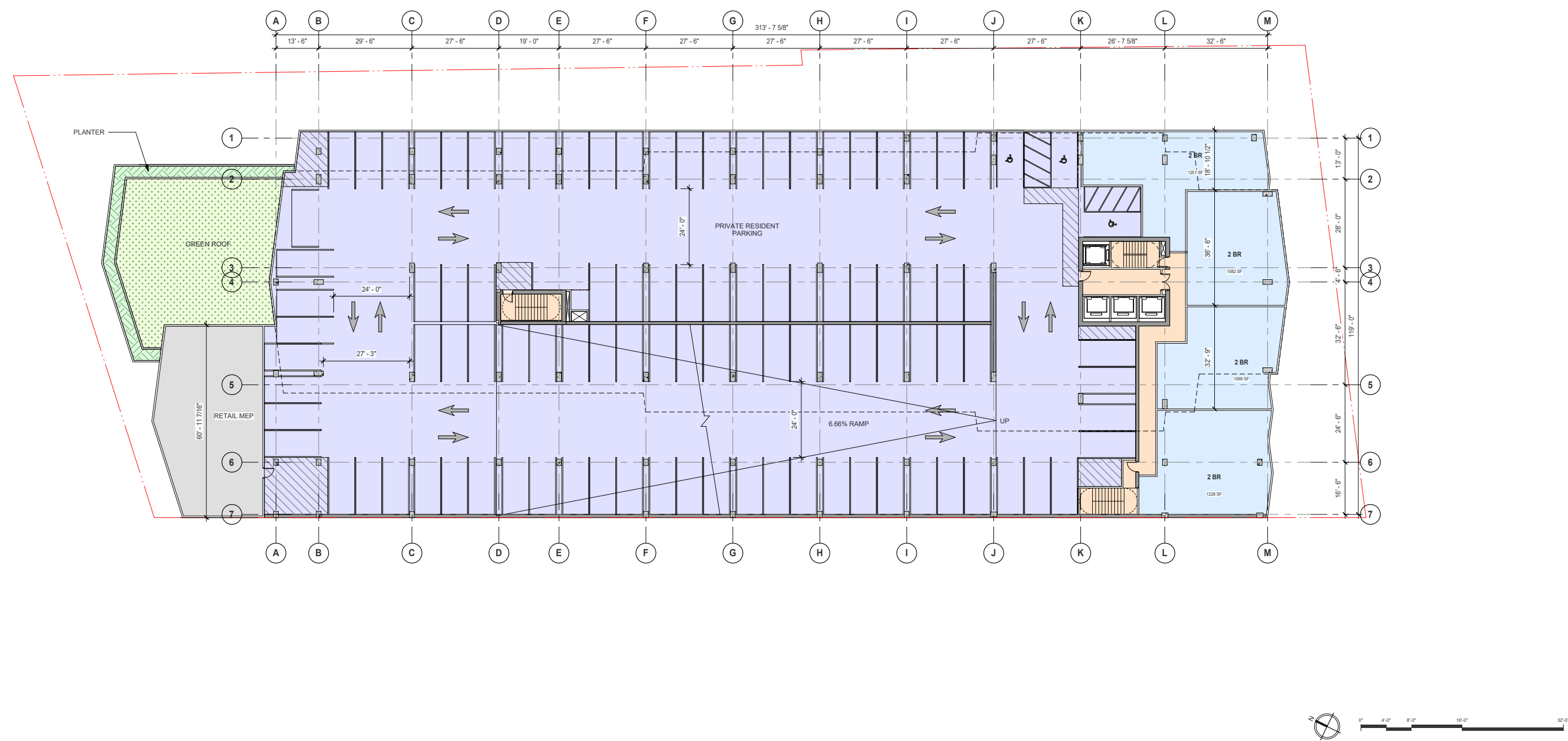


Ground Floor Plan



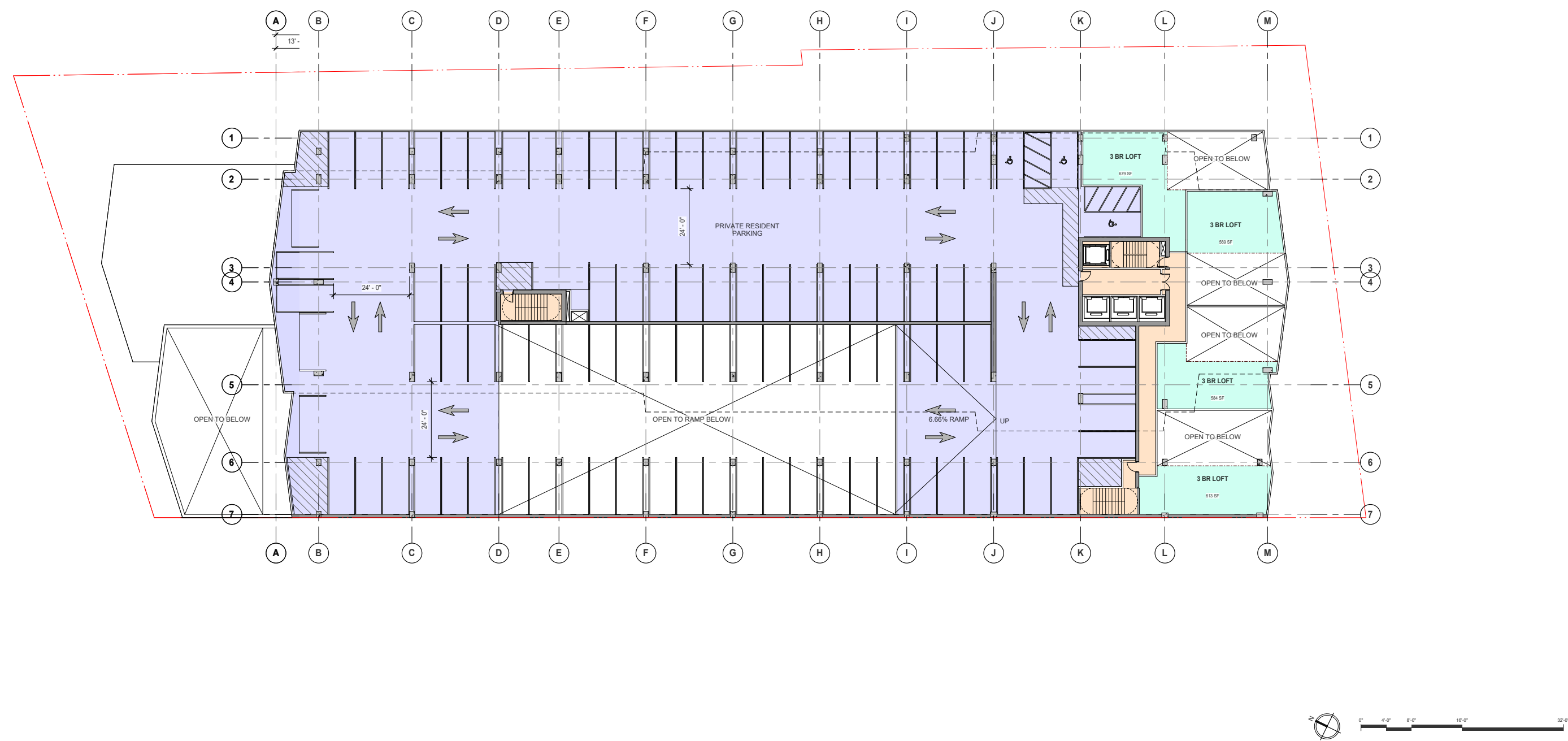


# Typical Parking Floor Plan (L1M - L3)



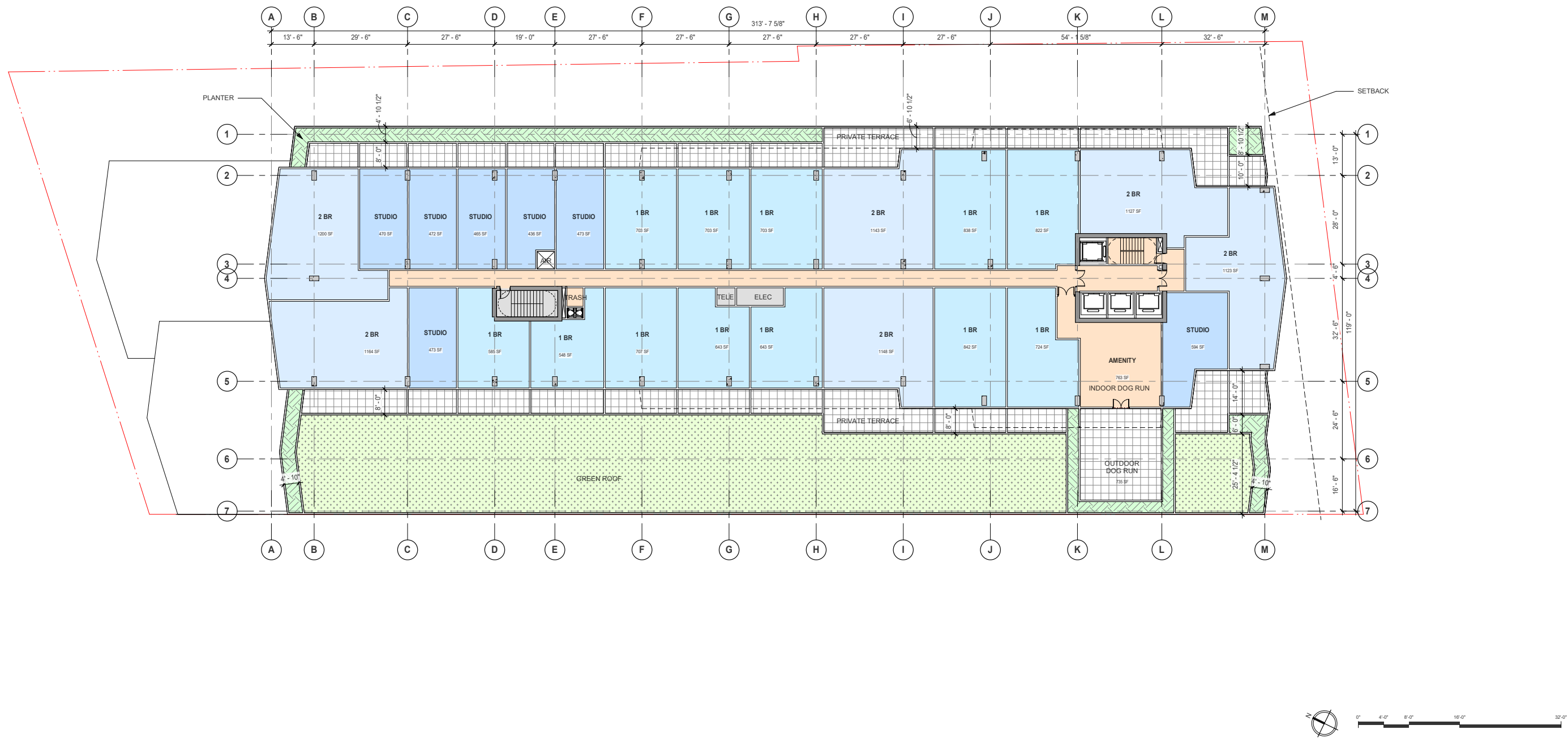


# L3 Mezzanine Floor Plan



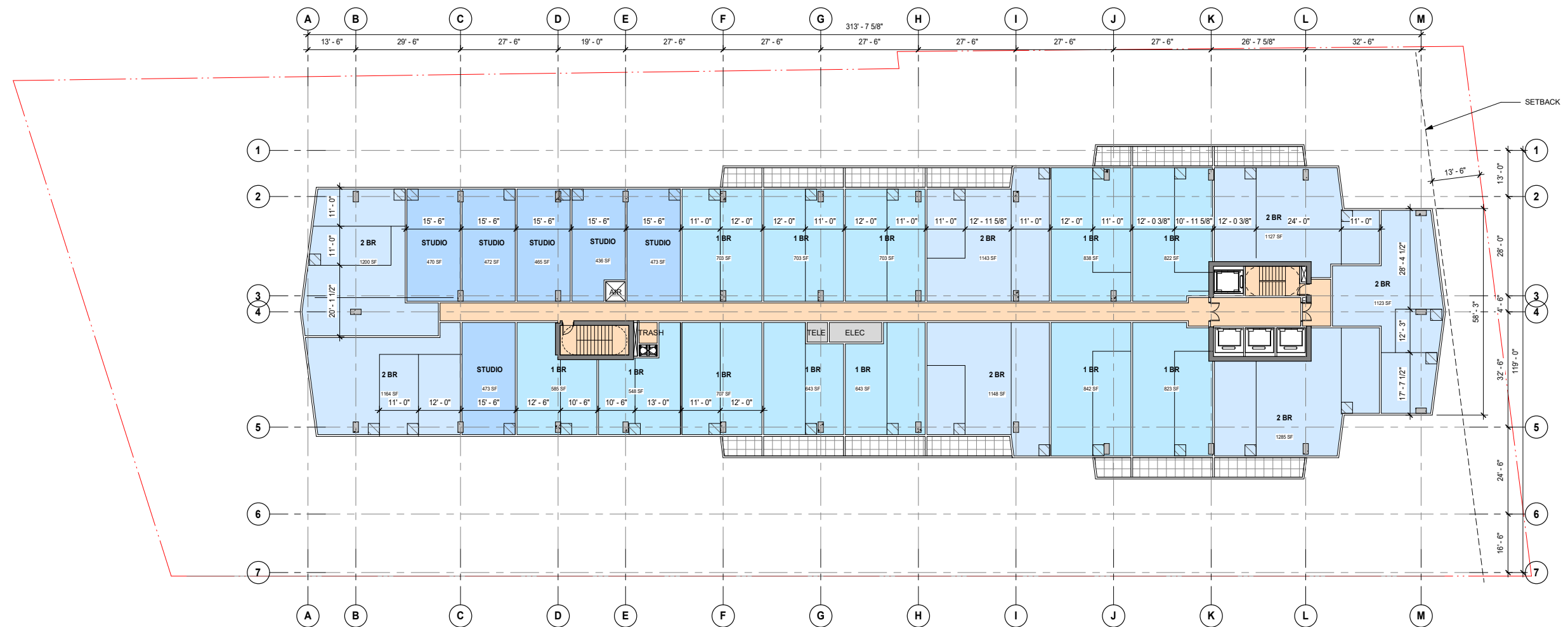


L4 Floor Plan





## Typical Floor Plan (L5 to L17)





# L18 Floor Plan



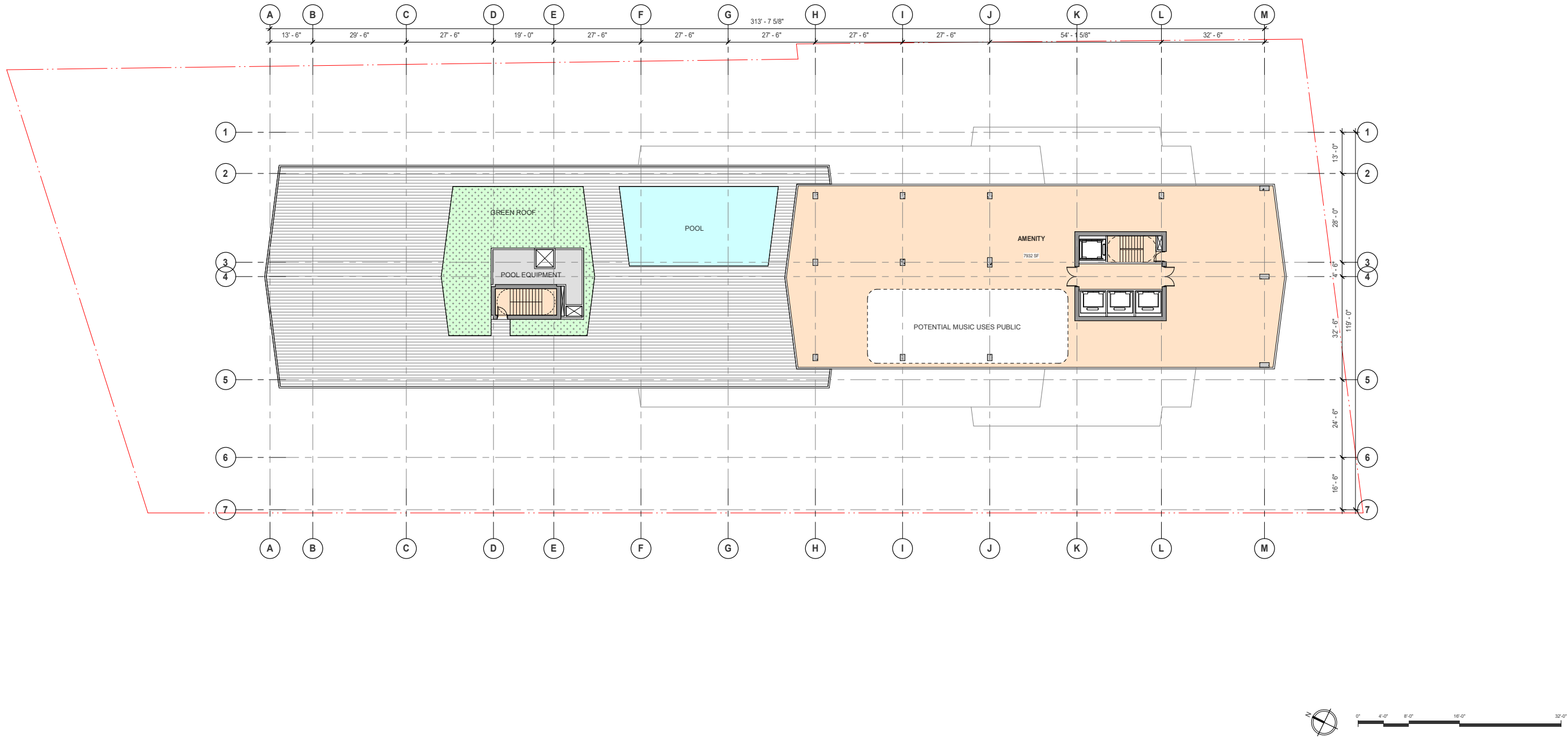


L19 Floor Plan





# L20 Floor Plan





# East Elevation

*\*All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.*

*\*The architecture of the screening of the podium parking shall vertically integrate with the residential portion of the tower*





# South and North Elevations



South Elevation

*\*All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.*

*\*The architecture of the screening of the podium parking shall vertically integrate with the residential portion of the tower*



North Elevation



# West Elevation

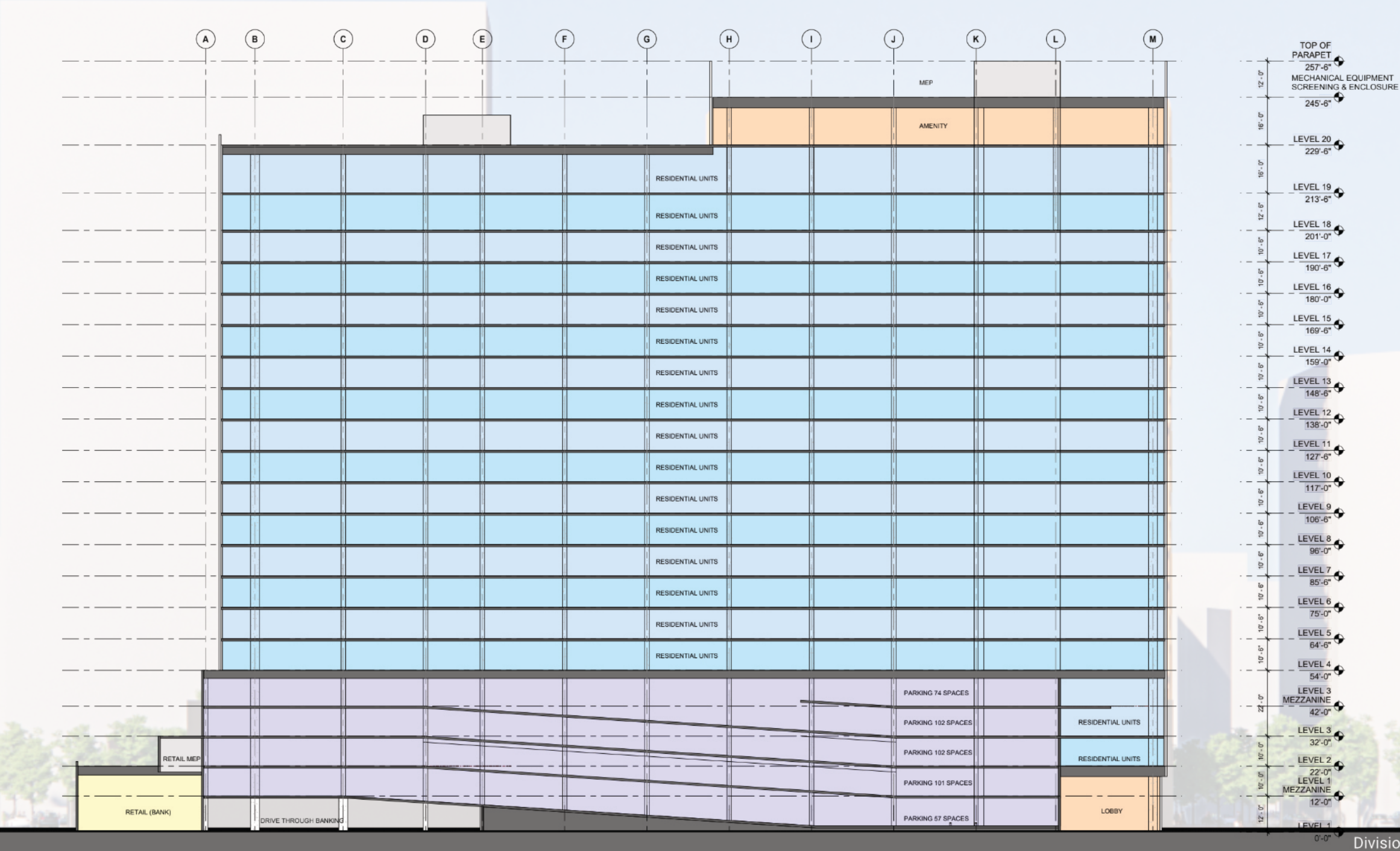
*\*All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.*

*\*The architecture of the screening of the podium parking shall vertically integrate with the residential portion of the tower*





Section



Broadway

Division ST



Area Matrix

1711 BROADWAY NASHVILLE - AREA MATRIX - 05-17-2022														
FLOOR	RESIDENTIAL				RETAIL	OFFICE	PARKING			MECHANICAL	AREAS		HEIGHTS	
	TOTAL UNITS	COMMON	RENTABLE	TERRACE			PARKING SPACES	BICYCLES	PARKING AREA		TOTAL GROSS AREA	F.A.R.	FLOOR TO FLOOR HEIGHT	OVERALL HEIGHT
ROOF	mech									3,000	3,000	0	12'-0 "	257'-6 "
20	Amenity	9,651		10,990							20,641	9,651	16'-0 "	245'-6 "
19	16	2,492	18,180	2,325							22,997	20,672	16'-0 "	229'-6 "
18	22	2,492	19,525	2,840							24,857	22,017	12'-6 "	213'-6 "
17	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	201'-0 "
16	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	190'-6 "
15	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	180'-0 "
14	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	169'-6 "
13	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	159'-0 "
12	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	148'-6 "
11	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	138'-0 "
10	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	127'-6 "
9	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	117'-0 "
8	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	106'-6 "
7	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	96'-0 "
6	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	85'-6 "
5	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	75'-0 "
4	25	3,345	19,820	15,350							38,515	23,165	10'-6 "	64'-6 "
3M	4		2,400				71		24,445		26,845	2,400	12'-0 "	54'-0 "
3		1,685	4,867				99		31,970		38,522	6,552	10'-0 "	42'-0 "
2	4	1,685	4,867				102		32,400	960	39,912	7,512	10'-0 "	32'-0 "
1M		1,120					101		32,300		33,420	1,120	10'-0 "	22'-0 "
1		4,930			6,100		70	400	17,970	3,835	32,835	14,865	12'-0 "	12'-0 "
TOTAL	396	59,796	338,434	53,501	6,100		443	400	139,085	7,795	604,711	409,125		

SITE AREA	57,234
AVERAGE UNIT SIZE	855
TYPICAL FLOOR EFFICIENCY	89.24%
TOTAL USED FAR	7.15

gross area includes parking and landscaped terraces  
Loading is included in parking number



# Unit mix and Parking Calculation

UNIT MIX MATRIX							
Floor	STUDIO	1 BED	2 BED	3 BED			TOTAL
20							
19	5		8	3			16
18	6	8	6	2			22
17	6	12	7				25
16	6	12	7				25
15	6	12	7				25
14	6	12	7				25
13	6	12	7				25
12	6	12	7				25
11	6	12	7				25
10	6	12	7				25
9	6	12	7				25
8	6	12	7				25
7	6	12	7				25
6	6	12	7				25
5	6	12	7				25
4	7	12	6				25
3				4			4
2			4				4
TOTAL	96	176	115	9			396
Percentage	24%	44%	29%	2%			100%

	STUDIO	1 BED	2 BED	3 BED			Residential	10% Reduction (Transit)		Retail 10% Reduction (Transit)
Parking Required per Table 17.20.030 for UZO district	96	176	172.5	13.5			458	412		14
Provided								423		20



