1711 BROADWAY

1711 BROADWAY NASHVILLE, TN 37203

PRELIMINARY SP SUBMITTAL: MARCH 30, 2022 PRELIMINARY SP RESUBMITTAL: APRIL 20, 2022

PRELIMINARY SP RESBUMITTAL: MAY 17,2022

PRELIMINARY SP CASE NO.: 2022SP-027-001

SITE DATA TABLE								
SITE ADDRESS		1711 BROADWAY NASHVILLE, TN, 37203						
TAX MAP	MAP 092-16 PARCEL 206							
OVERALL AREA	EXISTING	PROPOSED						
SITE AREA	1.31 AC	1.26 AC						
DISTURBED AREA	N/A	1.39 AC						
DEDICATED R.O.W. AREA	N/A	0.05 AC						
IMPERVIOUS AREA	1.009 AC	1.26 AC						
PERVIOUS AREA	0.305 AC	0.00 AC						
BUILDING DATA	REQUIRED	PROVIDED						
USE		/ RESIDENTIAL TAIL						
RESIDENTIAL	404,4	429 SF						
RESIDENTIAL F.A.R.	7	7.09						
RETAIL (MAX. 6,500 SF)	6,24	43 SF						
RETAIL F.A.R.	0.11							
MAX. BUILDING HEIGHT	20 STORIES							
ISR	1.0							
UNIT DENSITY	302.3 DUA							
TOTAL UNITS (MAX. 400)	396	UNITS						
1-BR	272	UNITS						
2-BR	115	UNITS						
3-BR	9 UNITS							
BUILDING SETBACKS	REQUIRED	PROVIDED						
FRONT: NORTH	0 FT	0 FT						
REAR: SOUTH	0 FT	7 FT						
SIDE: EAST	0 FT	17 FT						
SIDE: WEST	0 FT	0 FT						
PARKING DA	ATA							
UZO TOTAL REQUIRED SPACES	4	426*						
UZO REQUIRED RESIDENTIAL SPACES	4	12*						
UZO REQUIRED RETAIL SPACES	1	14*						
PROVIDED SPACES	4	143						
PROVIDED RESIDENTIAL SPACES		123						
PROVIDED RETAIL SPACES		20						

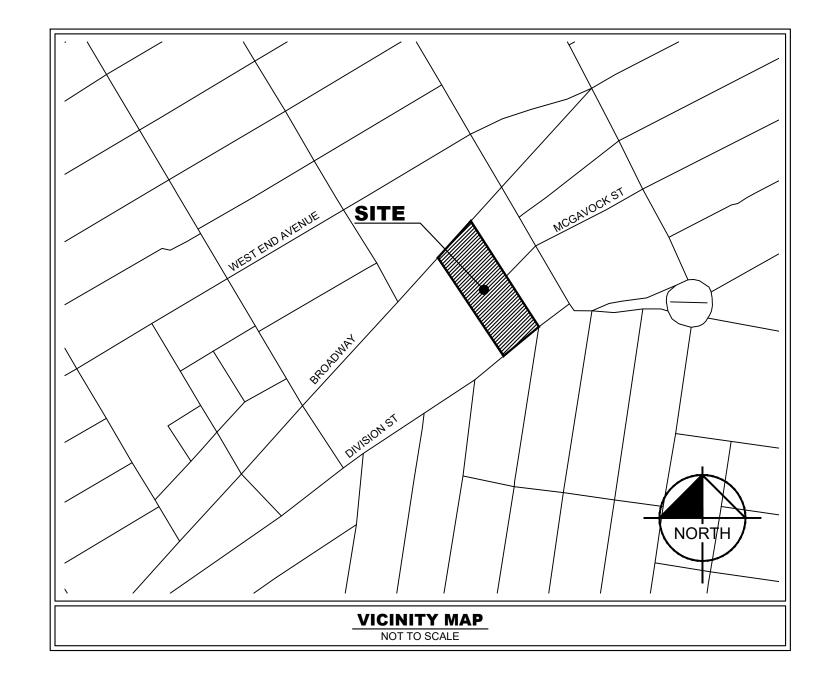
NOTE
*REQUIRED PARKING SHOWN REFLECTS THE 10% TRANSIT PARKING REDUCTION.

EXISTING PROP	ERTY SUMMARY
PROPERTY ADDRESS:	1711 BROADWAY NASHVILLE, TN
MAP AND PARCEL ID:	MAP 092-16, PARCEL 206
U.S. FEMA FIRM PANEL:	47037C0243H DATED 4/5/2017
EXISTING ZONING: EXISTING LAND USE:	MUI-A RETAIL

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	METRO PERMIT	TING REFERENCE
	BUILDING PERMIT:	TBD
	GRADING PERMIT:	SWGR TBD
	WATER PERMIT:	TBD
	SEWER PERMIT:	TBD

GENERAL DEVELOPMENT NOTES

- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF ANSI 117.1. 2009 EDITION AND THE FAIR HOUSING ACT
- U.S. Justice Department:
- http://www.justice.gov/crt/housinig/fairhousing/about_fairhousingact.htm . THE SUBJECT PROPERTY IS LOCATED IN AREAS DESIGNATED
- AS "ZONE X" (AREAS OF MINIMAL FLOOD HAZARD) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0243H. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER
- 4. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.



COUNCIL DISTRICT 19 COUNCIL MEMBER FREDDIE O'CONNELL CITY OF NASHVILLE DAVIDSON COUNTY, TN

PROJECT DESIGN TEAM

PERMITTING / UTILITY CONTACTS

SANITARY SEWER

NASHVILLE, TN 37210

TELEPHONE

ARCHITECT

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FIRE CHIEF

JOSEPH ALMON

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BUILDING DEPT.

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PHONE: (615) 880-2259

NASHVILLE, TN 37210

STORMWATER

ROY NESTER

METRO WATER SERVICES

800 SECOND AVE. SOUTH

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WATER METRO WATER SERVICES **GEORGE REAGAN**

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PIEDMONT NATURAL GAS

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METRO WATER SERVICES GEORGE REAGAN

METRO NASHVILLE ZONING BILL HERBERT 800 SECOND AVE. SOUTH 800 SECOND AVE. SOUTH NASHVILLE ,TN 37210 PHONE: (615) 862-4572 PHONE: (615) 862-6608

ZONING

ELECTRIC

AT&T LOGAN EAKES LARRY KELLY 6405 CENTENNIAL BOULEVARD 1214 CHURCH STREET NASHVILLE, TENNESSEE 37209 NASHVILLE, TN 37246 PHONE: (615) 747-3688 PHONE: 615-350-9375

NASHVILLE, TN 37210 PHONE: (615) 862-6242

CABLE NASHVILLE ELECTRIC SERVICE COMCAST KEVIN VIA 660 MAINSTREAM DRIVE NASHVILLE, TENNESSEE 37228

PHONE: 615-405-5563

METRO NASHVILLE FIRE MARSHAL

2234 W NORTH AVE CHICAGO,IL, 60647 PHONE: (773)227-2850 **CONTACT: GABRIEL LEAHU**

PLANS PREPARED BY



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	PLAN REVISIONS									
	REVISION NO.	DATE		REMARKS						
INGINEER'S SEAL										
DRAFT										
RELIMINARY										
PLANS										
OR REVIEW ONLY	FILE NUMBER		SHEET NUMBER	TOTAL SHEETS						
	11834500	1	C0-00	34						



PURPOSE NOTE

THE PURPOSE OF THIS PLAN IS TO REZONE TO PRELIMINARY SPECIFIC PLAN ZONING TO PERMIT UP TO 400 MULTI-FAMILY RESIDENTIAL UNITS, AND 6,500 SQUARE FEET OF RETAIL.

L19 FLOOR PLAN

L20 FLOOR PLAN EAST ELEVATION

SOUTH AND NORTH ELEVATIONS

WEST ELEVATION

SECTION

AREA MATRIX

UNIT MIX AND PARKING CALCULATION

BACK COVER

Sheet List Table

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URBAN FORESTER

800 SECOND AVE. SOUTH

NASHVILLE, TN 37210

PHONE: (615) 862-6488

METRO NASHVILLE

STEPHAN KIVETT

Sheet Title

COVER GENERAL NOTES EXISTING CONDITIONS SITE LAYOUT - OVERALL GRADING AND DRAINAGE PLAN - OVERALI UTILITY PLAN - OVERALL FRONT COVER SP GENERAL NOTES AERIAL CONTEXT SITE SITE SURVEY

OWNER / DEVELOPER

LG DEVELOPMENT GROUP



CONTRACTOR RESPONSIBILITIES:

- 1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 - THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
 - C. THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
 - PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

2. DURING CONSTRUCTION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
- C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- D. ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
- CONSTRUCTION SHALL MEET ALL CURRENT STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT.
- F. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
- G. SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR TENNESSEE DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.
- ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND METRO NASHVILLE STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
- J. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
- L. ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
- M. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP
- IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- O. ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
- AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- Q. CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS,
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THE CONTRACTOR WILL INDEMNIFY THE OWNER & OWNER'S REPRESENTATIVE FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- W. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, BLASTING, PUBLIC INFRASTRUCTURE, STORMWATER REGULATIONS, ETC.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

DEMOLITION INFORMATION:

NOTIFICATIONS:

THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

- 2. DISPOSAL GUIDELINES:
 - A. ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
 - REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
 - C. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
 - ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE
- TREE PROTECTION GUIDELINES:

PROTECT ALL EXISTING TREES NOTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.

UTILITIES:

- PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
- ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED

SITE INFORMATION:

- 1. THE FOLLOWING ARE APPLICABLE TO ALL CIVIL DOCUMENTS:
 - WHERE A DETAIL SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
 - EXISTING AND PROPOSED CONTOURS ARE AT ONE (1) FOOT INTERVALS.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE.
 - PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

EROSION AND SEDIMENT CONTROL INFORMATION:

- COMPREHENSIVE
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT
- EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN
- CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.

ADA COMPLIANCE:

- A. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- B. PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- C. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- D. ANY COMPONENTS OF THE PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- E. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

CONCRETE INFORMATION (SITE WORK ONLY):

- PRODUCT CRITERIA:
 - UNLESS OTHERWISE NOTED CEMENT SHALL BE TYPE I OR III CONFORMING TO ASTM C150. AGGREGATES SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C33.
 - CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318-89). UNLESS NOTED CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I.
 - SLUMP SHALL BE 3" TO 5" FOR REGULAR MIX. LARGER SLUMP SHALL BE PERMITTED WITH WATER REDUCING ADMIXTURES AND WRITTEN CONSENT OF THE ENGINEER.
 - D. THE RELATIONSHIP BETWEEN MAXIMUM AGGREGATE SIZE TO MINIMUM AMOUNT OF CEMENT IN CONCRETE PAVEMENT (LB. PER C.Y. OR MIX) SHALL BE AS FOLLOWS: 1" - 520. 3/4" - 540, 1/2" - 590, 3/8" - 610.
- CURING CRITERIA:
 - CONCRETE CURING SHALL COMPLY WITH ACI 308. CURING PROCESS SHALL START IMMEDIATELY FOLLOWING INITIAL SET. CURING SHALL BE BY CURING COMPOUND.
 - CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318-89 TABLE 4.1.1. NORMAL WEIGHT CONCRETE SLABS SHALL HAVE AIR CONTENT IN ACCORDANCE WITH ACI 302.IR-89 TABLE 5.2.7A.
 - HOT WEATHER CONCRETING SHALL COMPLY WITH ACI 305. NO CONCRETE ABOVE 90 DEGREES FAHRENHEIT SHALL BE POURED. LOWER CONCRETE TEMPERATURE BY COOLING WATER AND AGGREGATE. FORMS, STEEL, AND SUBGRADE SHALL BE SPRINKLED WITH COLD WATER. AFTER FINISHING CONCRETE USE LIGHT FOG SPRAY UNTIL CURING COMPOUND IS USED.
 - COLD WEATHER CONCRETING SHALL COMPLY WITH ACI 306. SPECIAL MATERIAL PROCEDURES SHALL BE PROVIDED DURING PLACING AND CURING OF CONCRETE BELOW 40 DEGREES FAHRENHEIT.
 - E. E. CURING, HOT, AND COLD WEATHER CONCRETING PROCEDURES ARE ONLY GIVEN AS A GUIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT CONCRETE DAMAGE AND CRACKS. DAMAGED OR CRACKED CONCRETE WILL NOT BE ACCEPTED

REINFORCING STEEL INFORMATION (SITE WORK ONLY):

- PRODUCT CRITERIA:
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 AND GRADE 40 FOR #3 AND SMALLER BARS. MINIMUM LAP 48" DIAMETER.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, MINIMUM LAP SHALL BE 8".
- REINFORCING THAT IS WELDED SHALL BE WELDABLE TYPE AND CONFORM TO ASTM A-706.

PAVEMENT INFORMATION:

- PAVEMENT:
- ALL MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION, AND WORKMANSHIP SHALL CONFORM TO THE TENNESSEE DEPARTMENT OF TRANSPORTATION, TDOT, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
- SEE PAVEMENT DETAILS ON CONSTRUCTION DOCUMENTS FOR SPECIFIC DESIGN INFORMATION AND REQUIREMENTS.
- C. ALL CURB AND GUTTER TO BE 24" AND CONSTRUCTED OF 3000 P.S.I. CONCRETE UNLESS OTHERWISE NOTED.
- SIGNING AND STRIPING:
 - A. SIGNING AND STRIPING TO BE PROVIDED BY THE CONTRACTOR ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO CURRENT MUTCD STANDARDS. ALL PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL BE PAINT, UNLESS NOTED OTHERWISE. ALL PAVEMENT MARKINGS ON PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC, UNLESS NOTED OTHERWISE.

STORM SEWER NOTES:

- 1. REINFORCED CONCRETE PIPE SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS.
- 2. FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE.
- 3. STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH METRO NASHVILLE PUBLIC WORKS SPECIFICATIONS WHICH MEET OR EXCEED ASTM C 478.
- 4. ALL MANHOLE FRAMES AND COVERS ARE TO BE PER METRO NASHVILLE PUBLIC WORKS STANDARD DETAIL FOR DIMENSIONS AND MATERIALS AND AS BELOW IF NOT OTHERWISE INDICATED. FERROUS; 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO 225-MM) RISER WITH 4-INCH-(102-MM-) MINIMUM WIDTH FLANGE AND 26-INCH- (660-MM-) DIAMETER COVER. INCLUDE INDENTED TOP DESIGN WITH LETTERING CAST INTO COVER, USING WORDING EQUIVALENT TO "STORM SEWER."
- 5. MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS OTHERWISE INDICATED.
- 6. ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR PIPE. HDPE PIPE SHALL CONFORM TO ASTM D3350 WITH SOIL TIGHT JOINTS.
- 7. ALL HDPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO
- 8. CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE STRUCTURES. 9. REFER TO PIPE CHART FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER

MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES.

- 10. FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTION AS INCLUDED WITHIN THE PLANS AND PROVIDED BY MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY AND DETENTION SYSTEMS.
- 11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.

CLEARING AND GRUBBING:

- A. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- B. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- D. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
- SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
 - GRUBBING LIMITS BEFORE STARTING WORK
- E. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.
- F. AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE
- G. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

GRADING NOTES:

- A. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUT AROUND THESE TOPSOIL STOCKPILES FOR
- UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEEDED.
- C. FILL AREA SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RE-COMPACTION OF THESE SOILS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RE-COMPACTED TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- E. ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK
- F. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION.
- GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 10 CALENDAR
- H. SOILS TESTING LABORATORY/ SOILS ENGINEER. CONTRACTOR WILL EMPLOY A QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE THIS WORK AND MAKE TESTS AS REQUIRED.
- HAVE EARTH BORROW FILL, AGGREGATE, AND TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED TESTING LABORATORY BEFORE MOVING IT TO THE JOB
- CONTRACTOR SHALL OBSERVE PROOF-ROLLING OF AREAS WHERE BUILDING AND PAVING WILL BE LOCATED TO DETERMINE ADEQUACY OF SOIL COMPACTION AND ADEQUACY IN THOSE AREAS. IF SOILS ARE NOT ADEQUATE TO BEAR WEIGHTS THAT WILL BE IMPOSED, TESTING LABORATORY WILL OBSERVE AND REPORT CORRECTIVE ACTION TAKEN.
- K. TEST IN-PLACE SOIL AND FILLED AND COMPACTED AREAS. IF THESE ARE NOT ADEQUATE TO BEAR WEIGHTS IMPOSED. TESTING LABORATORY WILL ADVICE THE OWNER'S REPRESENTATIVE OF THEIR RECOMMENDATIONS. HE WILL DIRECT ANY CORRECTIVE MEASURES THAT ARE NECESSARY.
- SOILS COMPACTION TESTING OF IN-PLACE AND FILLED AND COMPACTED AREAS WILL BE
- M. THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES WILL BE PAID BY THE
- N. APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE
 - D421-58, DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND
 - DETERMINATION OF SOIL CONSTANTS. • D422-63, STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS.
- D698, METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING
- STANDARD EFFORT • D1557-78, STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS AND SOIL-AGGREGATE MIXTURES USING 10 LB. (4.54-KG) RAMMER AND 18-INCH (457
- P. CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO NOTES AND GEOTECHNICAL REPORT EXIST, THE MORE STRINGENT REQUIREMENT
- Q. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING WITH LOAD TICKETS, PHOTOGRAPHS, LOG BOOK, VIDEO RECORDING AND OTHER MEANS AS NECESSARY TO VERIFY THE INSTALLATION OF STORMWATER BEST MANAGEMENT PRACTICES REQUIRED BY THE LOCAL MUNICIPALITY AND JURISDICTION. AS-BUILT TOPOGRAPHY AND UTILITY PLANS HAVING BEEN PREPARED BY A QUALIFIED LAND SURVEYOR ARE REQUIRED TO BE SUBMITTED TO KIMLEY-HORN AT THE CONCLUSION OF THE PROJECT FOR VERIFICATION OF DESIGN INTENT. ANY MODIFICATIONS TO THE GRADING AND UTILITY SYSTEMS REQUIRED, NOT PREVIOUSLY APPROVED BY THE OWNER AND ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR

PRELIMINARY PLANS

FOR REVIEW ONLY

N - 2 κ 4 Ω 9 Γ 8 6 **DESIGNED BY:** DRAWN BY:

CHECKED BY:

KIMLEY-HORN PROJECT NO. 118345001

SHEET NUMBER C0-01

GENERAL NOTES

Drawing name: K:\NSH_LDEV\118345001 - 1711 Broadway\4-CADD\PlanSheets\C0-01 GENERAL NOTES.dwg C0-01 GENERAL NOTES May 17, 2022 12:12pm by: Megan.Barrett

- C. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- E. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF
- CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND
- IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUITE TREE WELLS WITHIN THE GRADING LIMITS.

- THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL

- LISTED IN THE BID DOCUMENTS.
- DAYS PF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- IN-PLACE SOILS. OTHER AREAS WILL BE INSPECTED BY SOILS ENGINEER TO DETERMINE
- PERFORMED BY TESTING LABORATORY IN ACCORDANCE WITH THEIR REQUIREMENTS.
- CONTRACTOR.
- PART OF THIS SPECIFICATION:
- D1140-54, METHOD OF TEST FOR AMOUNT OF MATERIAL IN SOILS FINER THAN NO.200
- O. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
- COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING SHALL APPLY.

SURVEY NOTES

- THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON A COMBINATION OF DATA SOURCES INCLUDING AERIAL MAPS, METRO NASHVILLE GIS MAPS, AND METRO NASHVILLE PARCEL
- VIEWER

 2. THE INFORMATION PROVIDED SHALL BE FIELD VERIFIED PRIOR
 TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES SHALL
 NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND
- COMPLETENESS OF THE BASE INFORMATION SHOWN.

 NO PORTION OF THIS PROJECT IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAPS NO. 47037C0243H, DATED APRIL 5, 2017.

1711 BROADWAY DEVELOPMENT GROUP

DRAFT
PRELIMINARY
PLANS
FOR REVIEW ONLY

DAIE BY

REVISIONS

DESIGNED BA:

DESIGNED BY:

DRAWN BY:

CHECKED BY:

CHECKED BY:

DATE:

KIMI EX-HORN PROJECT

KIMLEY-HORN PROJECT NO. 118345001

EXISTING CONDITIONS

SHEET NUMBER
C1-00



OWNER CHART								
OWNER	TAX PARCEL NO.	PARCEL#	ADDRESS					
U.S. BANK NATIONAL	09216020600	206	1711 BROADWAY, NASHVILLE, TN 37203					

PRELIMINARY DEVELOPMENT SCHED	ULE
GRADING PERMIT / SITE WORK	MONTH 0
BUILDING PERMIT / BUILDING CONSTRUCTION START	MONTH 2
CONSTRUCTION COMPLETION / CO / PROJECT OPENING	MONTH 30

HATCH LEGEND							
STANDARD DUTY CONCRETE SIDEWAL							
	HEAVY DUTY CONCRETE PAVEMENT						
	HEAVY DUTY ASPHALT PAVEMENT						
	STANDARD ASPHALT PAVEMENT						
ROW DEDICATION							

LANDSCAPING NOTES

PROPOSED LANDSCAPING WILL SATISFY ALL REQUIREMENTS OF CHAPTER 17.24 INCLUDING BUFFERING AND DUMPSTER SCREENING REQUIREMENTS.

FINAL SP NOTE

THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE. LOADING ZONE LAYOUT AND CONFIGURATION SHALL BE FINALIZED AT FINAL SP. LAYOUT SHALL BE BASED ON THE EXPECTED SITE NEEDS AND SHALL ACCOMMODATE AN SU-30 DESIGN VEHICLE AT A

BICYCLE PARKING SPACES SHALL BE FINALIZED AT FINAL SP. WHERE SUBSURFACE CONDITIONS MAKE BICYCLE PARKING DIFFICULT OR INFEASIBLE, THE ZONING ADMINISTRATOR BASED ON A RECOMMENDATION FORM THE PLANNING DEPARTMENT, MAY REDUCE OR WAIVE THE REQUIRED BICYCLE PARKING AND/OR MAY APPROVE DIFFERENT DESIGN AND LOCATION ARDS FOR REQUIRED BICYCLE PARKING AREAS,

NDOT NOTES

THE DEVELOPERS FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE NASHVILLE DEPARTMENT OF TRANSPORTATION, IN EFFECT AT THE TIME OF APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS. ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS. STORMWATER DISCHARGES ARE TO BE COORDINATED WITH NDOT AND METRO STORMWATER. POINT SOURCE DISCHARGE WILL NOT BE PERMITTED.

SITE LAYOUT NOTES

- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS. ALL CURB RADII ARE 3 FT UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 5. LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL
- BEFORE BEGINNING ANY CONSTRUCTION. CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL SIDEWALK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER NDOT STANDARD DWG
- NO. ST-210.
- 10. SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING
- EDGE OF PAVEMENT.
- 11. ALL TREE GRATES SHALL BE ADA COMPLIANT AND H20 TRAFFIC RATED.
- 12. REFER TO SITE LANDSCAPE PLANS BY OTHERS FOR STREETSCAPE DETAILS.

APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS. ALL SURFACE PARKING AREAS MUST MEET THE "PARKING AREA SCREENING AND LANDSCAPING" REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE.

WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE NDOT STANDARD, SHALL BE CONSTRUCTED AT STREET CROSSINGS.

THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

THE PURPOSE OF THIS PLAN IS TO REZONE TO PRELIMINARY SPECIFIC PLAN ZONING TO PERMIT UP TO 400 MULTI-FAMILY RESIDENTIAL UNITS AND 6,500 SQUARE

ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY

METRO WÁTER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER MAINTAIN, REPAIR, REPLACE AND

ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES

IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT

TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUG-A-NS ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE

PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS

MINOR MODIFICATIONS TO THE PRELIMINARY SP MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL.

- ACCORDING TO THE NRCS SOIL MAP, THE SOIL ON THE PROPERTIES IS MAURY-URBAN.
- SITE SLOPES RANGE 0-7%. THERE ARE NO NATURAL SLOPES GREATER THAN 7%.
- THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY. S. SIGNAGE SHALL MEET METRO DESIGN STANDARDS AND BE REVIEWED WITH THE BUILDING PLANS.
- ALL DEVELOPMENTS WITHIN THE BOUNDARIES OF THIS PLAN SHALL BE BASED ON THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR

1711 BROADWAY SP DEVELOPMENT STANDARDS

NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

USES ARE LIMITED AS DESCRIBED IN THE COUNCIL ORDINANCE.

POINTS NOT CURRENTLY PRESENT OR APPROVED.

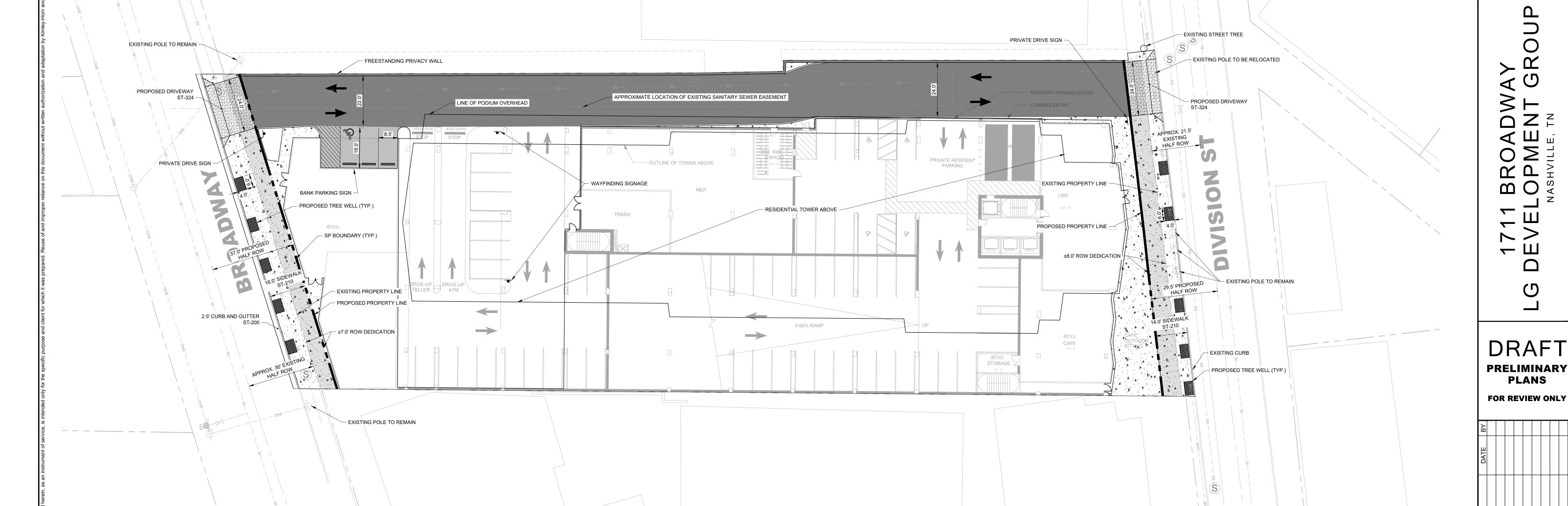
THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AS IDENTIFIED BY FEMA ON MAP 47037CO243H , DATED 04/05/2017.

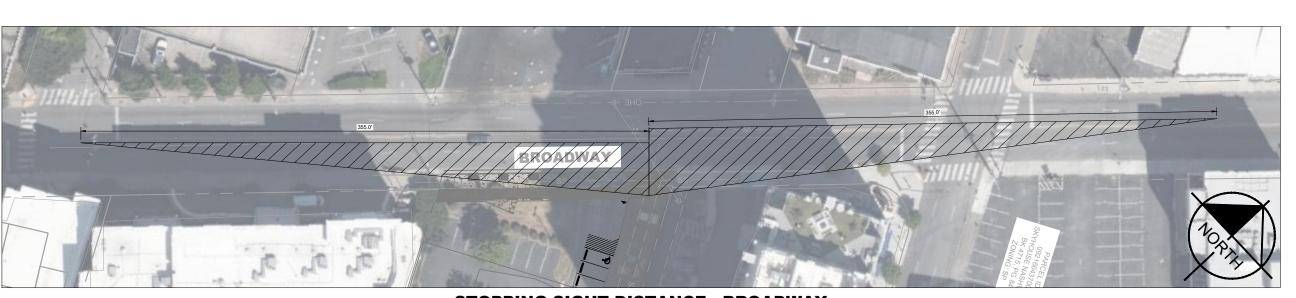
ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH NDOT SIDEWALK DESIGN STANDARDS.

- HOUSING ACT, AS APPLICABLE. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. 9. ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
- 0. THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN

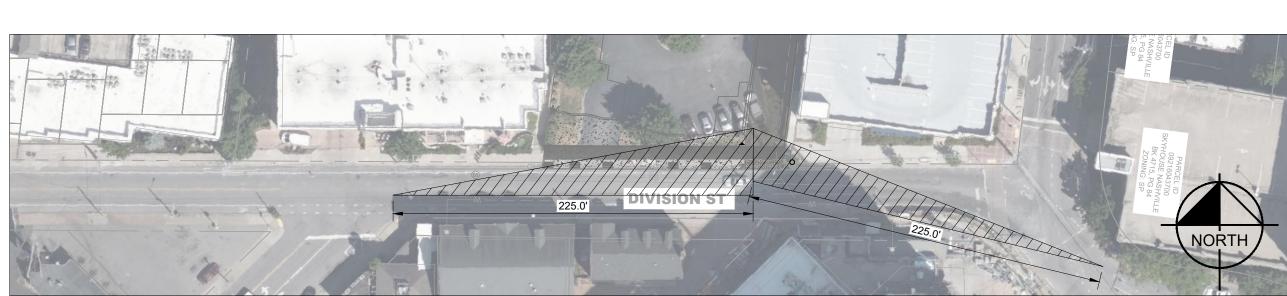
TEXTURED METAL, METAL PANELING, PRECAST CONCRETE, PRECAST CONCRETE PANEL, FIBER CEMENT PANEL, FIBER CEMENT SIDING, SPANDREL GLASS (ON

- TWO RECORDING STUDIOS, A PODCAST STUDIO, AND A REHEARSAL ROOM THAT CAN BE RENTED BY THE PUBLIC WILL BE INCLUDED WITH THE DEVELOPMENT. 2. ALL FACADE MATERIALS, EXCLUSIVE OF CLEAR FENESTRATION, SHALL BE HIGH QUALITY AND SELECTED FROM THE FOLLOWING LIST: MASONRY, MASONRY PANELS,
- UPPER STORIES ONLY) OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION. THIS REQUIREMENT APPLIES TO ALL FACADES. THE ARCHITECTURE OF THE SCREENING OF THE PODIUM PARKING SHALL VERTICALLY INTEGRATE WITH THE RESIDENTIAL PORTION OF THE TOWER

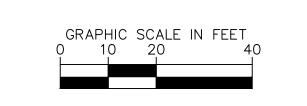


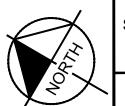


STOPPING SIGHT DISTANCE - BROADWAY POSTED SPEED LIMIT = 25 MPH 1" = 60'



STOPPING SIGHT DISTANCE - DIVISION ST POSTED SPEED LIMIT = 25 MPH





SITE LAYOUT - OVERALI

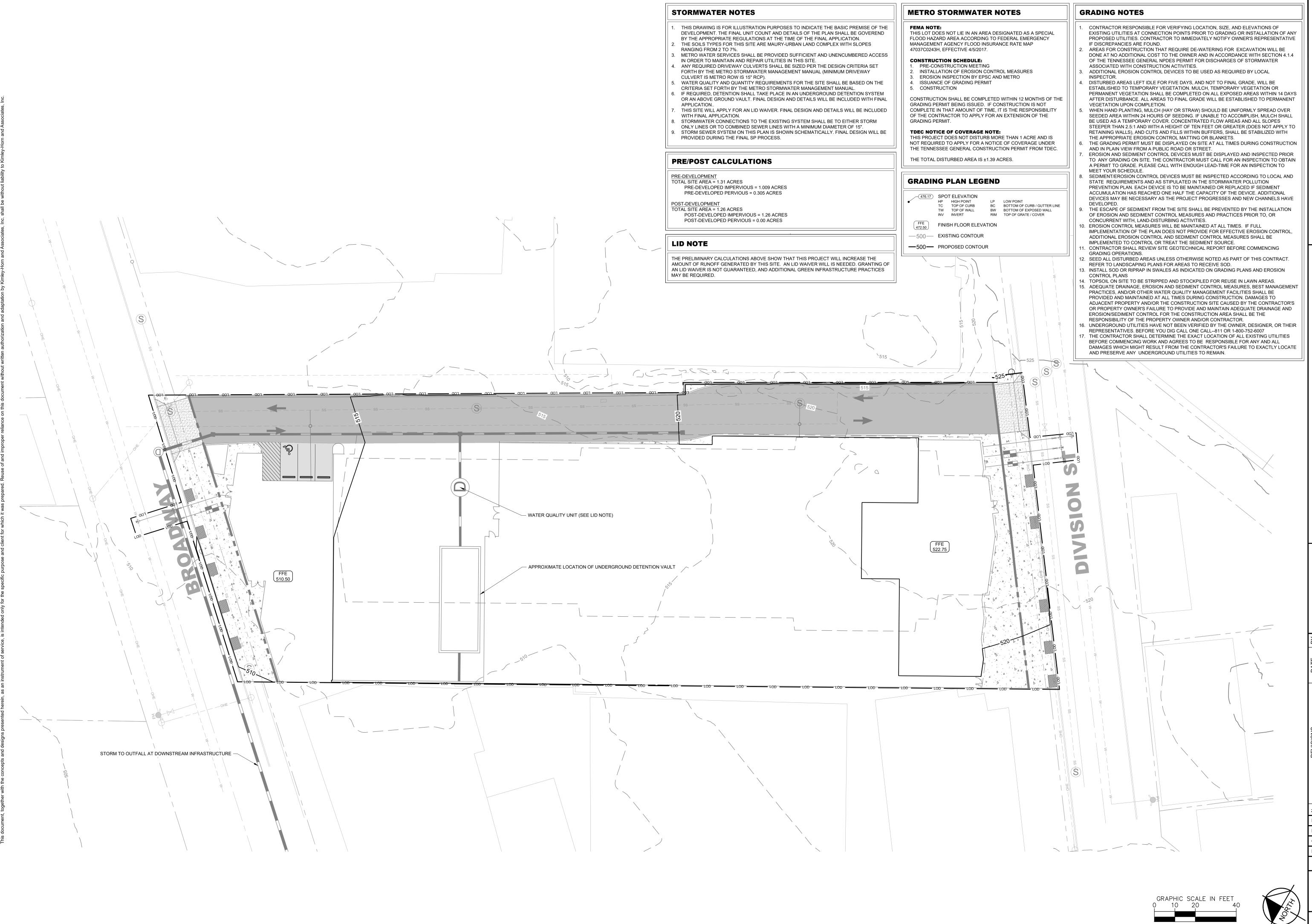
DESIGNED BY: DRAWN BY: CHECKED BY:

> SHEET NUMBER C2-00

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KIMLEY-HORN PROJECT NO. 118345001

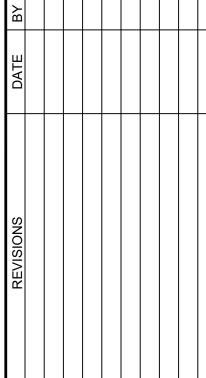
PLANS



1711 BROADWAY LG DEVELOPMENT GRO

DRAFT
PRELIMINARY
PLANS

FOR REVIEW ONLY



ESIGNED BA:

DESIGNED BY: DRAWN BY:

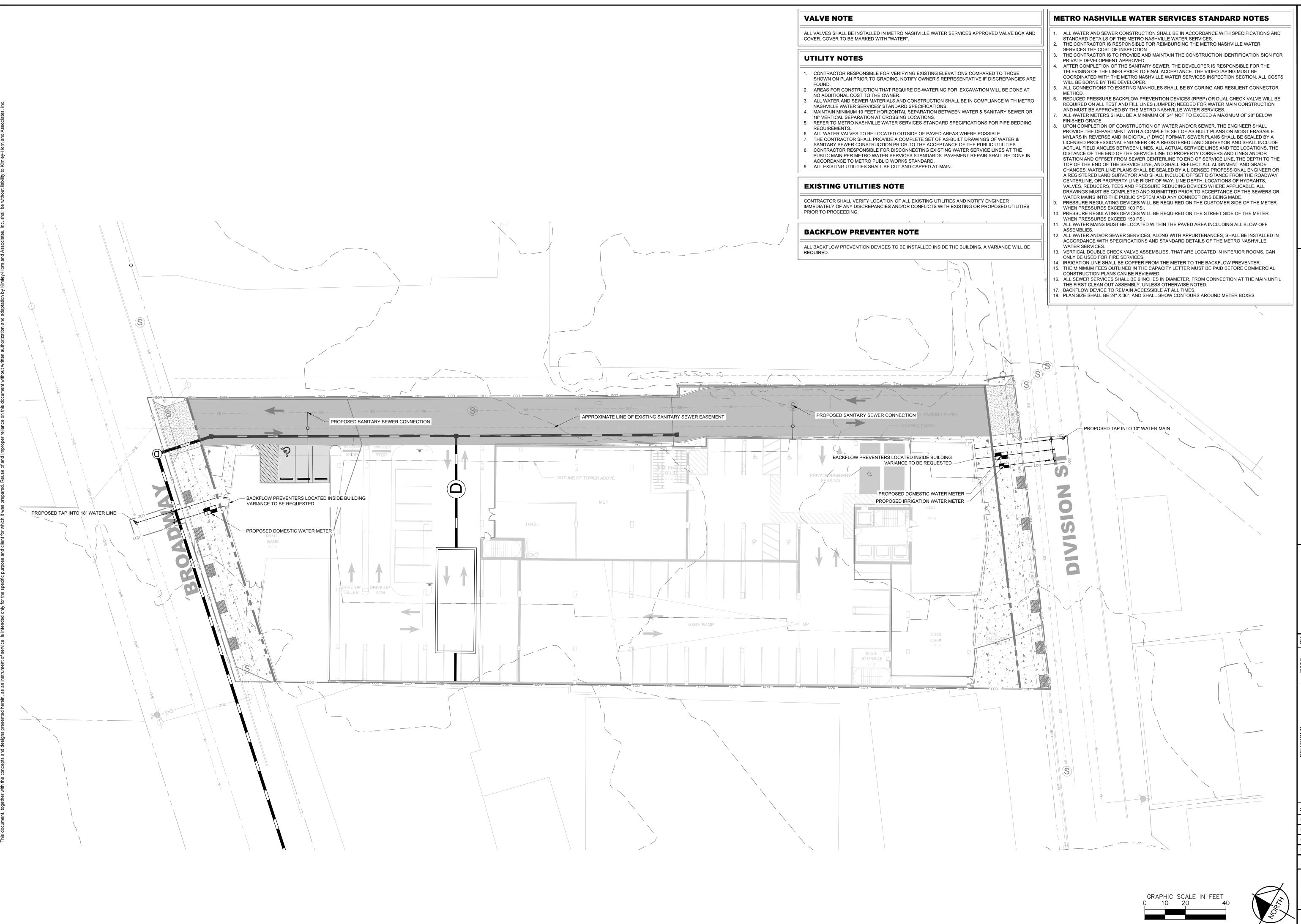
CHECKED BY:

DATE: 5/17/2

KIMLEY-HORN PROJECT NO.

GRADING AND DRAINAGE PLAN -OVERALL

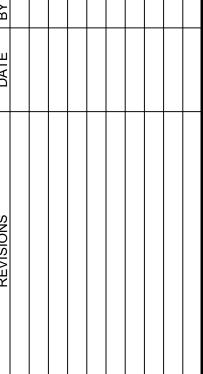
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1711 BROADWAY LG DEVELOPMENT GROUP

DRAFT
PRELIMINARY
PLANS

FOR REVIEW ONLY



DESIGNED BY:

DRAWN BY:

CHECKED BY:

ATE: 5/17/2 KIMLEY-HORN PROJECT NO. 118345001

> UTILITY PLAN -OVERALL

SHEET NUMBER

C6-00

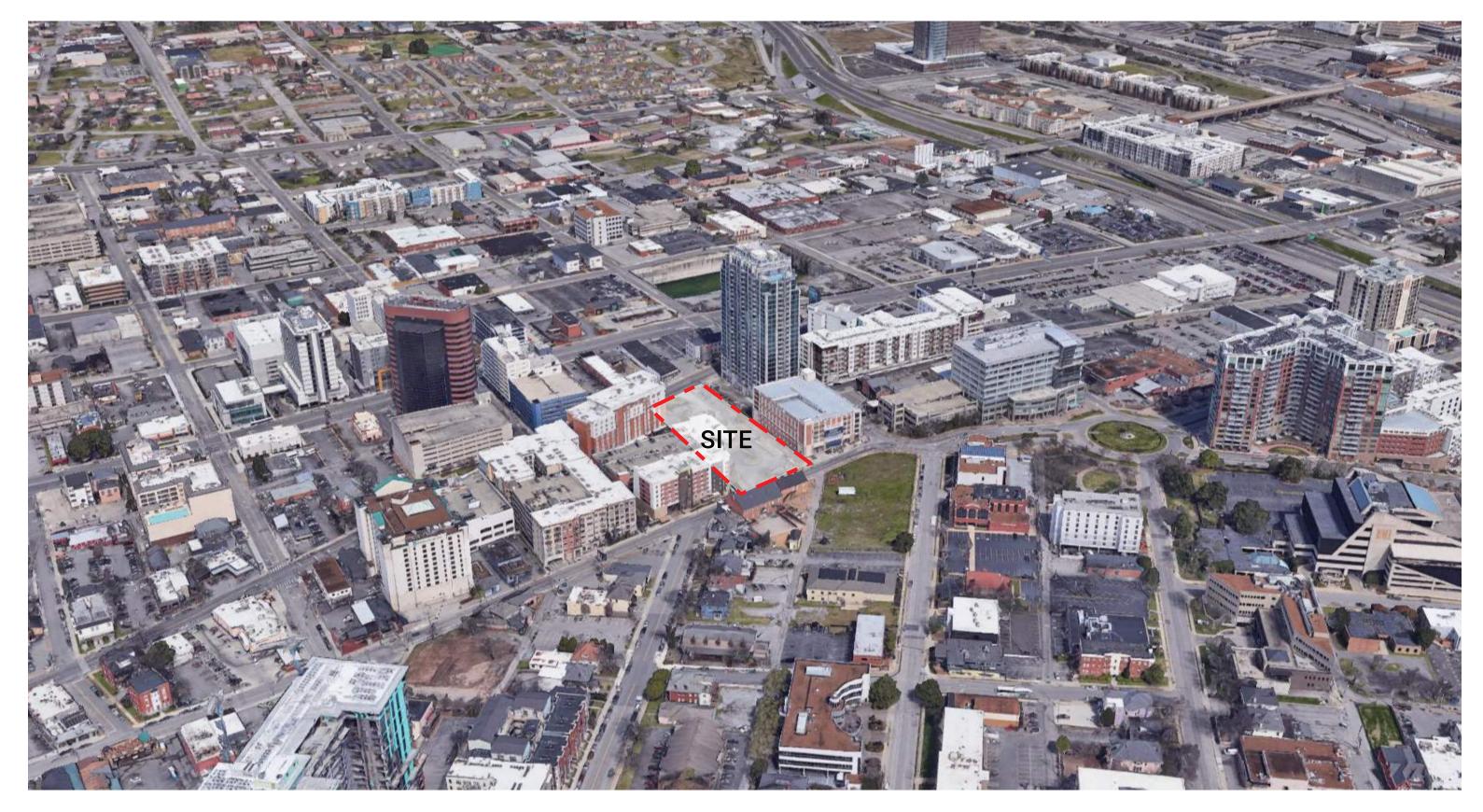


SP General Notes

- * If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG-A-NS zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.
- * If required, notice information is prepared and sent to applicants based on the plan and information submitted with the initial submittal. Should your plans change significantly with the resubmittal, it may be necessary for revised notice information to be prepared and sent. This could cause a delay and may result in deferral.
- * The Specific Plan process is a multi-step process. If the Preliminary SP is approved, there are additional steps required prior to issuance of a building permit. These steps include: final site plan and building permit review. The final site plan is submitted through the normal Planning Commission review process. For building permit review, when applying for a building permit you must submit 3 copies of plans and a review fee of \$250 directly to the Planning front counter for processing. We do not need the complete building permit set. Please submit only site plan, landscaping plan, grading plan, and building elevations
- * Limited building detail, and/ or building construction information provided. Construction must meet all applicable building and fire codes. Any additional fire code or access issues will be addressed during the construction permitting process. Future development or construction may require changes to meet adopted fire and building codes.
- * Final constructions plans shall comply with the design regulations established by NDOT. Final design and improvements may vary based on actual field conditions. A private hauler is required for site waste/recycle disposal. There are to be no vertical obstructions in new public sidewalks. Provide 24 ft. width for both drive accesses.
- *All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.



Aerial Context





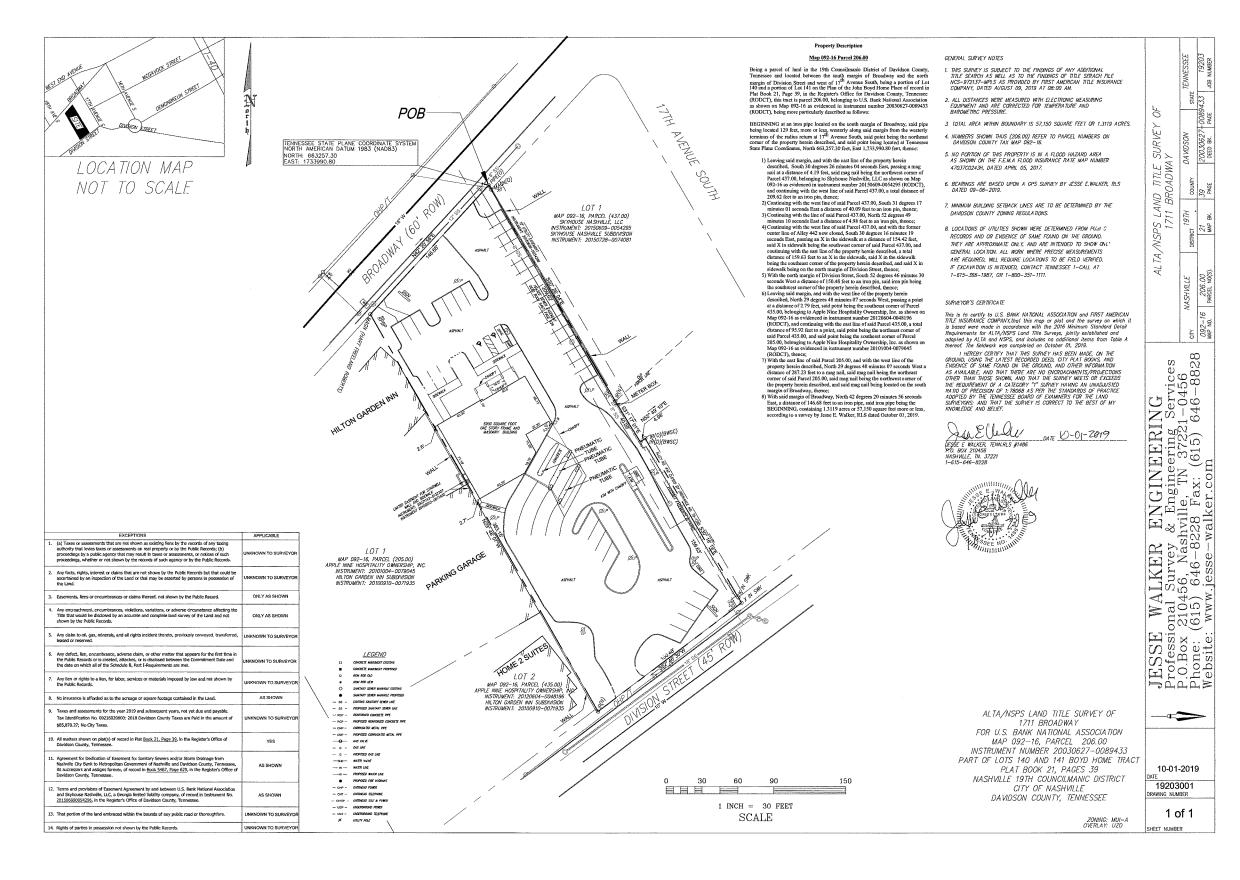
Site







Site Survey





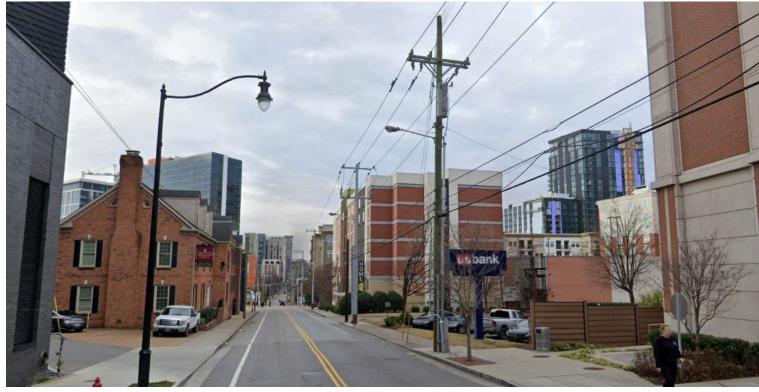
Existing Site Conditions



BROADWAY - LOOKING WEST



BROADWAY - LOOKING EAST



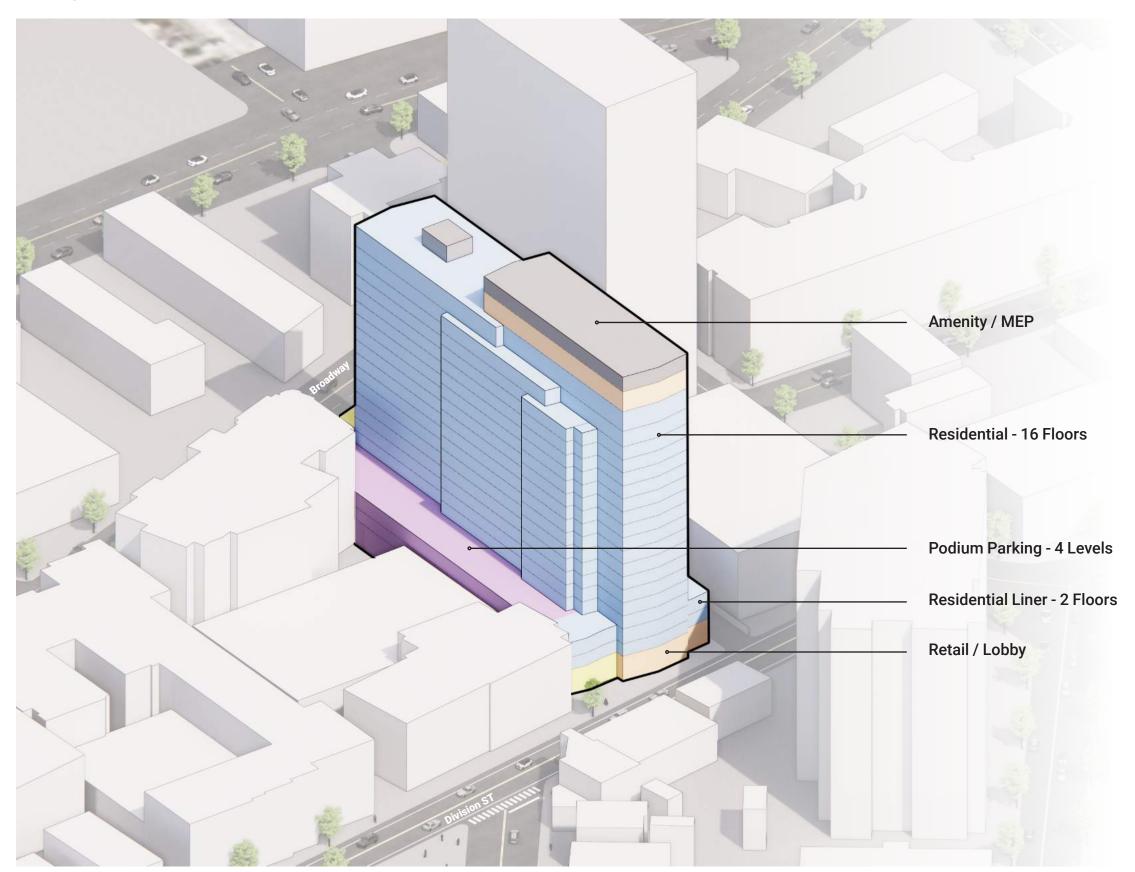
DIVISION ST - LOOKING WEST



DIVISION ST - LOOKING EAST



Program



Typical Residential Floor GFA: 599,000 SF

Total Residential Floor NSA: 338,400 SF

Total Residential Units: 396 Units

Retail GFA: 6,100 SF

 Total GFA:
 605,100 SF

 Total NSA:
 344,500 SF

Total Levels: 20

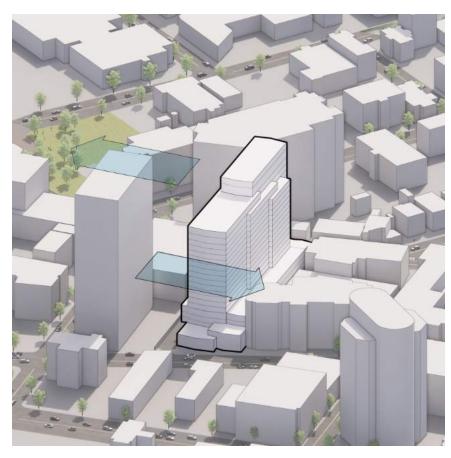
Tower Height: 245' 6"

Contextual Design



Activate Urban Street

Broadway and Division Street is activated with street fronts, approximately 6,000 sf of retail and spacious lobby.



Tower Placement

Tower is placed away from the existing residential tower as friendly development to it's neighbor.



Integrated Independent Properties

Two independent properties integrated into one design while allowing separate phase of construction.





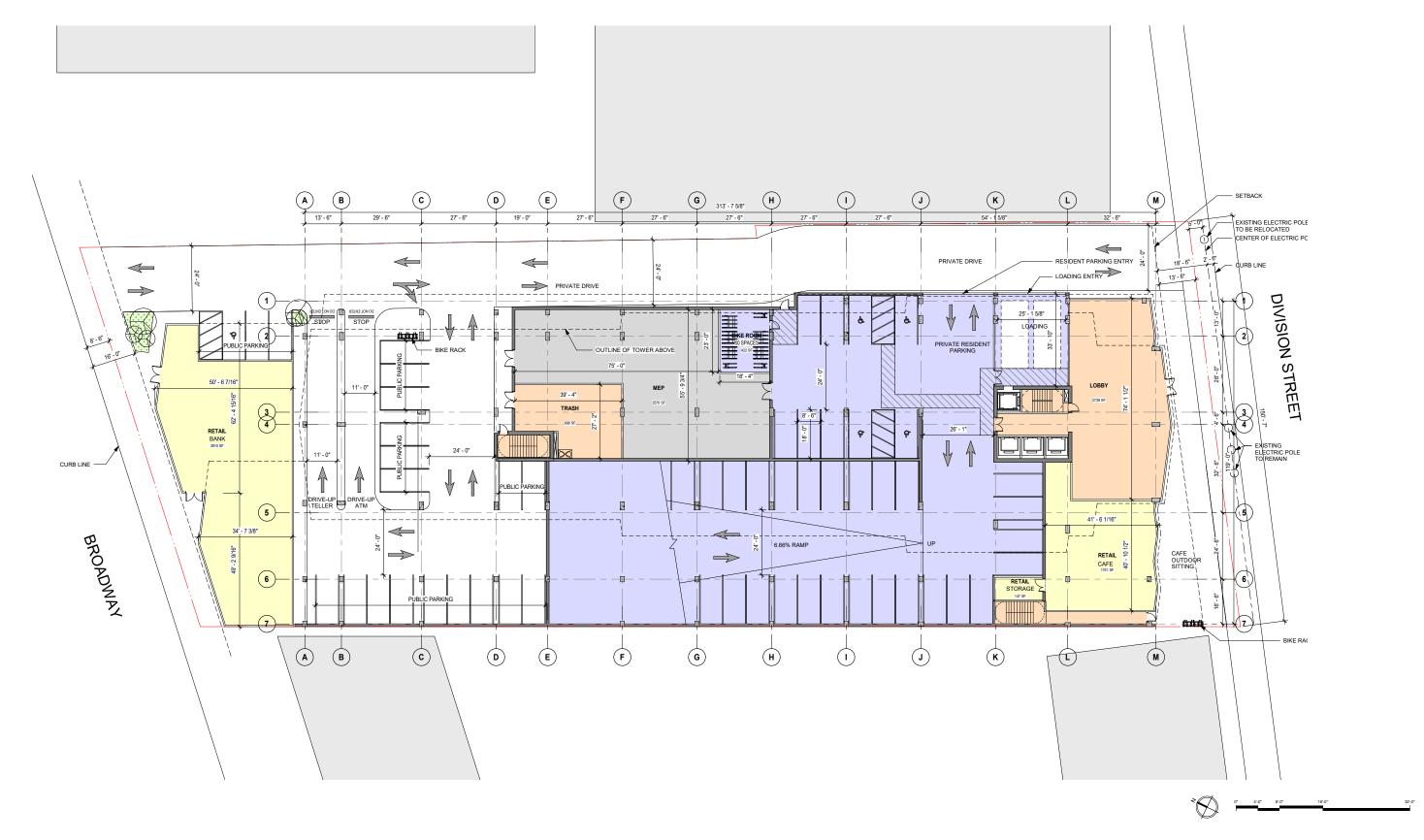






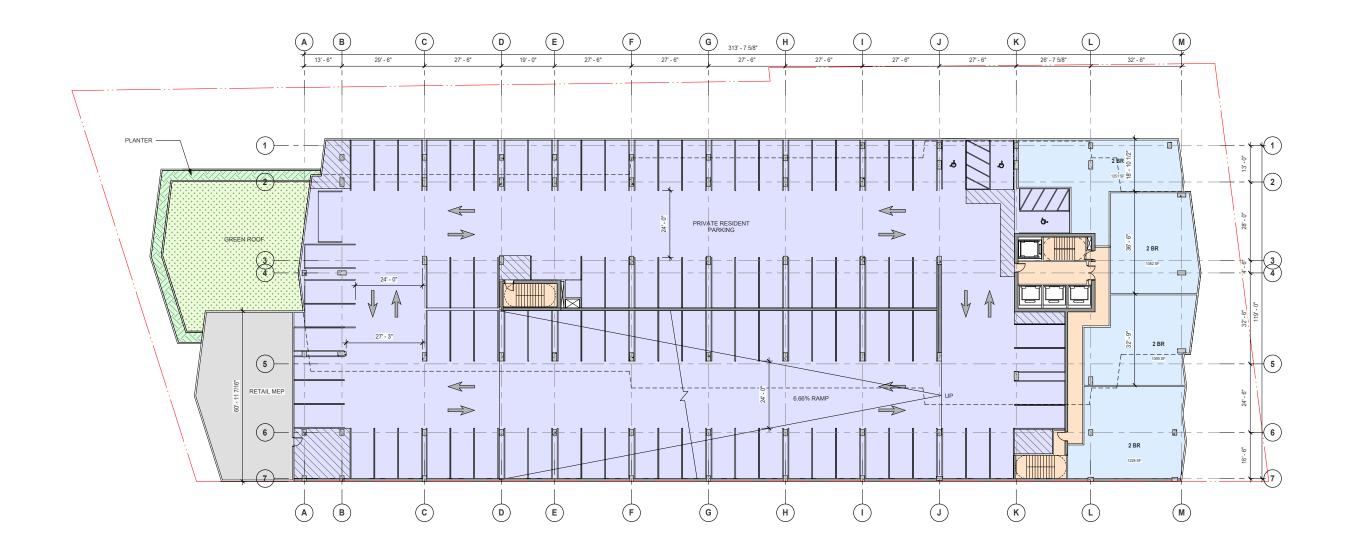


Ground Floor Plan





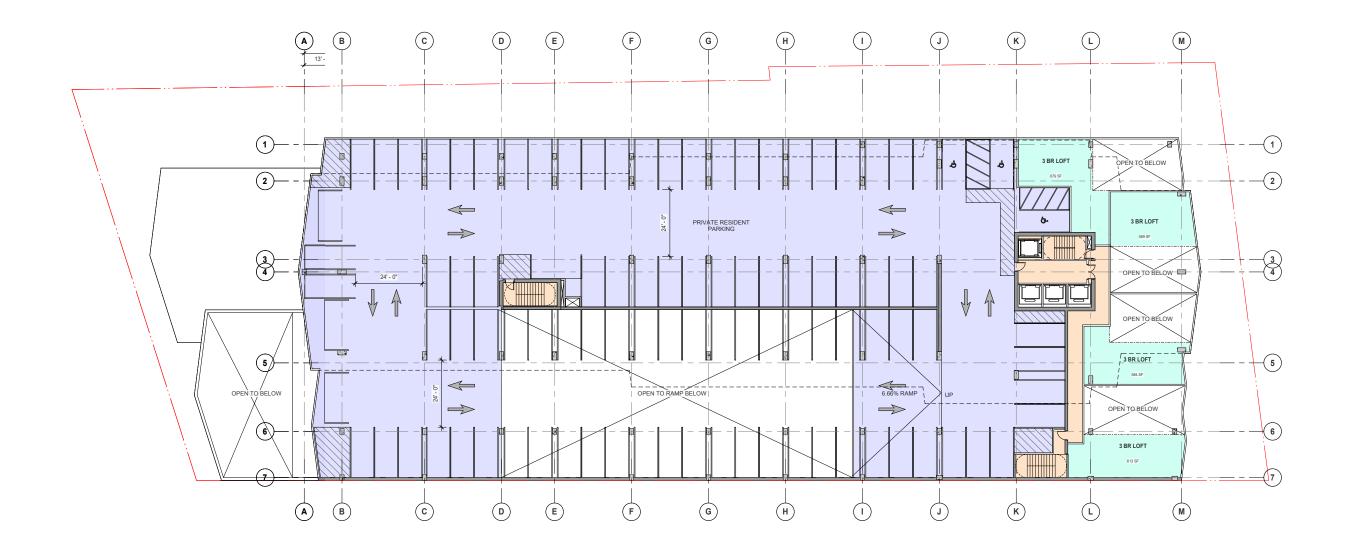
Typical Parking Floor Plan (L1M - L3)







L3 Mezzanine Floor Plan







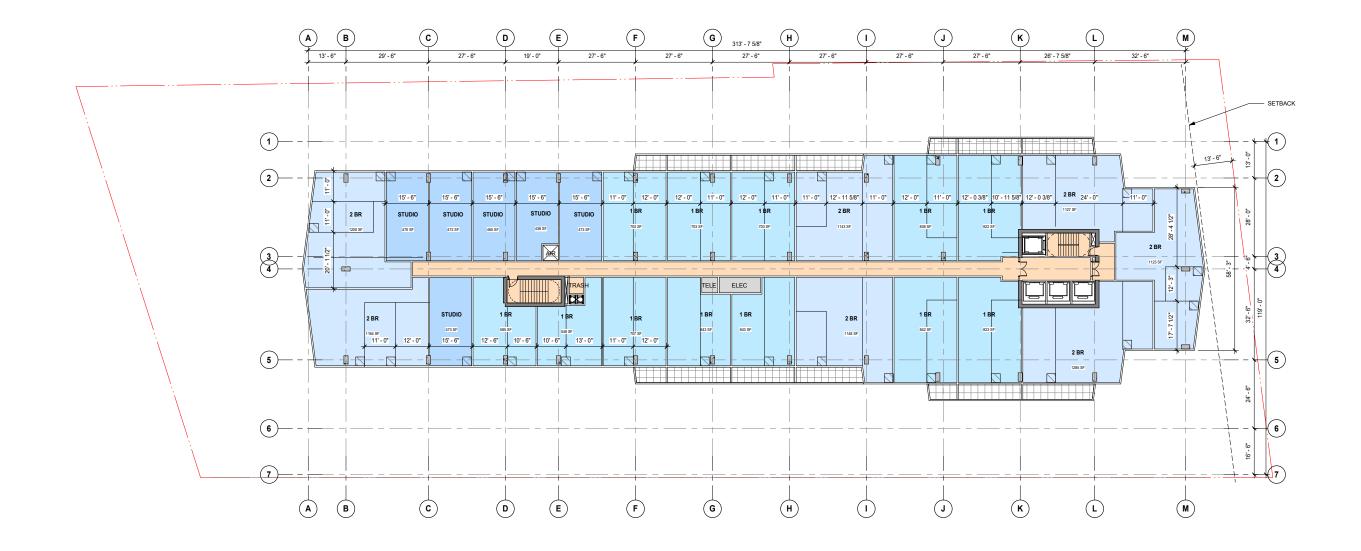
L4 Floor Plan







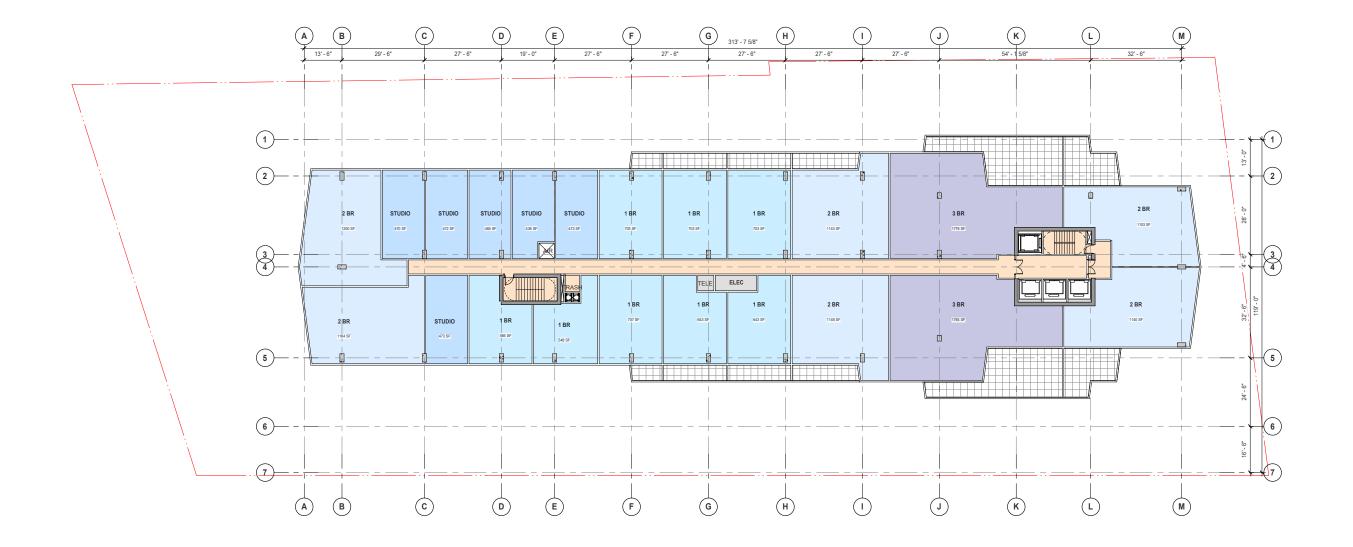
Typical Floor Plan (L5 to L17)







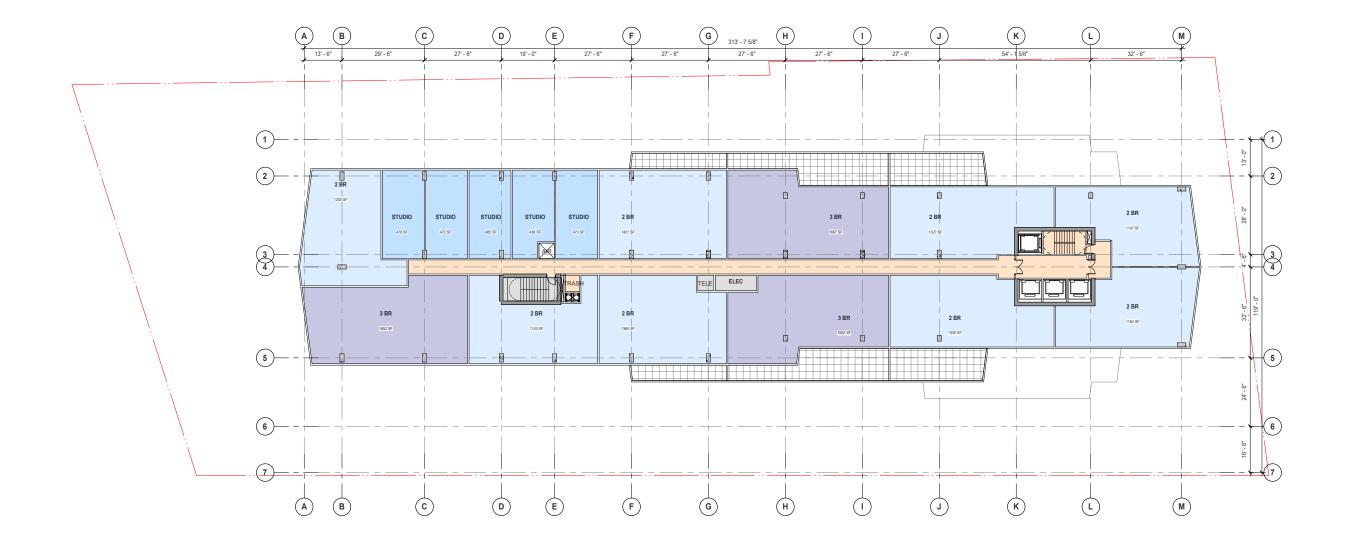
L18 Floor Plan







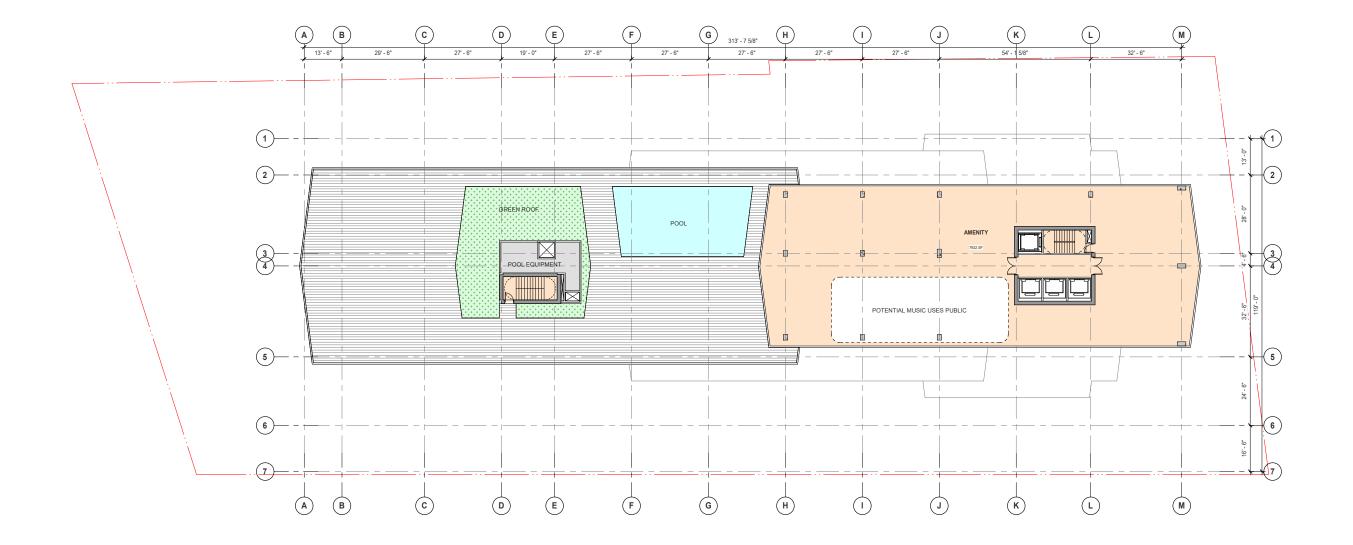
L19 Floor Plan







L20 Floor Plan







East Elevation

- *All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.
- *The architecture of the screening of the podium parking shall vertically integrate with the residential portion of the tower



South and North Elevations



*All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.

*The architecture of the screening of the podium parking shall vertically integrate with the residential portion of the tower

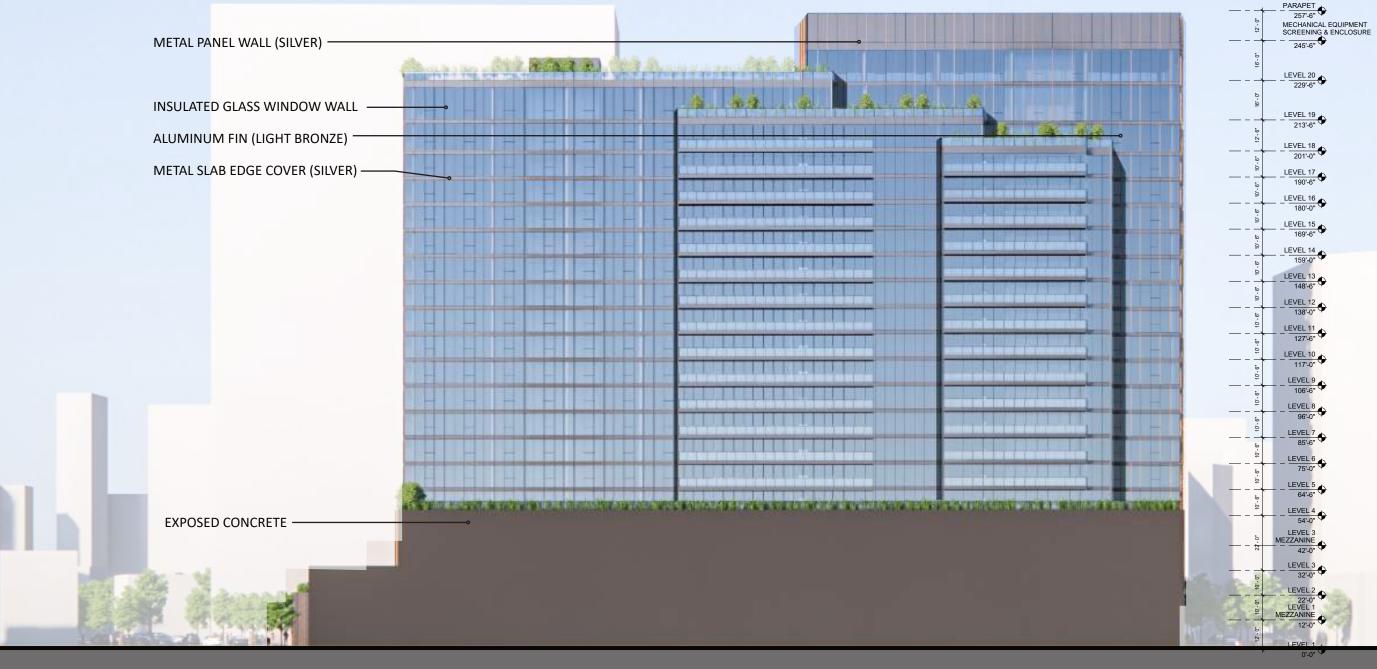


South Elevation

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West Elevation

- *All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.
- *The architecture of the screening of the podium parking shall vertically integrate with the residential portion of the tower





Section



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Area Matrix

				1711	1 BROADWA	Y NASHVILLE	- AREA MA	TRIX - 05-17	'-2022					
		RESID	ENTIAL		RETAIL	OFFICE	PARKING				AREAS		HEIGHTS	
FL00R	TOTAL UNITS	COMMON	RENTABLE	TERRACE			PARKING SPACES	BICYCLES	PARKING AREA	MECHANICAL	TOTAL GROSS AREA	F.A.R.	FLOOR TO FLOOR HEIGHT	OVERALL HEIGHT
R00F	mech									3,000	3,000	0	12'-0 "	257'-6 "
20	Amenity	9,651		10,990							20,641	9,651	16'-0 "	245'-6 "
19	16	2,492	18,180	2,325							22,997	20,672	16'-0 "	229'-6 "
18	22	2,492	19,525	2,840							24,857	22,017	12'-6 "	213'-6 "
17	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	201'-0 "
16	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	190'-6 "
15	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	180'-0 "
14	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	169'-6 "
13	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	159'-0 "
12	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	148'-6 "
11	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	138'-0 "
10	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	127'-6 "
9	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	117'-0 "
8	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	106'-6 "
7	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	96'-0 "
6	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	85'-6 "
5	25	2,492	20,675	1,692							24,859	23,167	10'-6 "	75'-0 "
4	25	3,345	19,820	15,350							38,515	23,165	10'-6 "	64'-6 "
3M	4		2,400				71		24,445		26,845	2,400	12'-0 "	54'-0 "
3	<u> </u>	1,685	4,867				99		31,970		38,522	6,552	10'-0 "	42'-0 "
2	4	1,685	4,867				102		32,400	960	39,912	7,512	10'-0 "	32'-0 "
1M		1,120					101		32,300		33,420	1,120	10'-0 "	22'-0 "
1		4,930			6,100		70	400	17,970	3,835	32,835	14,865	12'-0 "	12'-0 "
TOTAL	396	59,796	338,434	53,501	6,100		443	400	139,085	7,795	604,711	409,125		

SITE AREA	57,234
AVERAGE UNIT SIZE	855
TYPICAL FLOOR EFFICIENCY	89.24%
TOTAL USED FAR	7.15

gross area includes parking and landscaped terraces Loading is included in parking number



Unit mix and Parking Calculation

	UNIT MIX MATRIX										
Floor	STUDIO	1 BED	2 BED	3 BED		TOTAL					
20	010210	1 525	2 525	0 525		101712					
19	5		8	3		16					
18	6	8	6	2		22					
17	6	12	7			25					
16	6	12	7			25					
15	6	12	7			25					
14	6	12	7			25					
13	6	12	7			25					
12	6	12	7			25					
11	6	12	7			25					
10	6	12	7			25					
9	6	12	7			25					
8	6	12	7			25					
7	6	12	7			25					
6	6	12	7			25					
5	6	12	7			25					
4	7	12	6			25					
3				4		4					
2			4			4					
TOTAL	96	176	115	9		396					
Percentage	24%	44%	29%	2%		100%					

	STUDIO	1 BED	2 BED	3 BED	Residential	10% Reduction (Transit)	Retail 10% Reduction (Transit)
Parking Required per Table 17.20.030 for UZO district	96	176	172.5	13.5	458	412	14
Provided						423	20



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