

PRELIMINARY SP SUBMITTAL: OCTOBER 27, 2021
PRELIMINARY SP RESUBMITTAL: DECEMBER 21, 2021
PRELIMINARY SP RESUBMITTAL: JANUARY 18, 2022
PRELIMINARY SP RESUBMITTAL: FEBRUARY 1, 2022
PRELIMINARY SP CORRECTION SET: FEBRUARY 15, 2022

EXISTING PROJECT SUMMARY	
PROPERTY ADDRESS:	4186 DODSON CHAPEL RD/ 4107 DODSON CHAPEL CT HERMITAGE, TN
MAP AND PARCEL ID:	MAP 086, PARCELS 055, 056
U.S. FEMA FIRM PANEL:	47037C0286H DATED 04/05/2017
EXISTING ZONING:	R515, SP
EXISTING LAND USE:	RESIDENTIAL DAYCARE-VACANT
GENERAL DEVELOPMENT NOTES	
<ol style="list-style-type: none"> 1. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF ANS1 117.1, 2009 EDITION AND THE FAIR HOUSING ACT. U.S. Justice Department: http://www.justice.gov/equalopportunity/fairhousing/about_fairhousingact.htm 3. THE SUBJECT PROPERTY IS LOCATED IN AREAS DESIGNATED AS "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0286H EFFECTIVE 4/5/2017). 4. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES. 5. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE. 	

VICINITY MAP
NOT TO SCALE

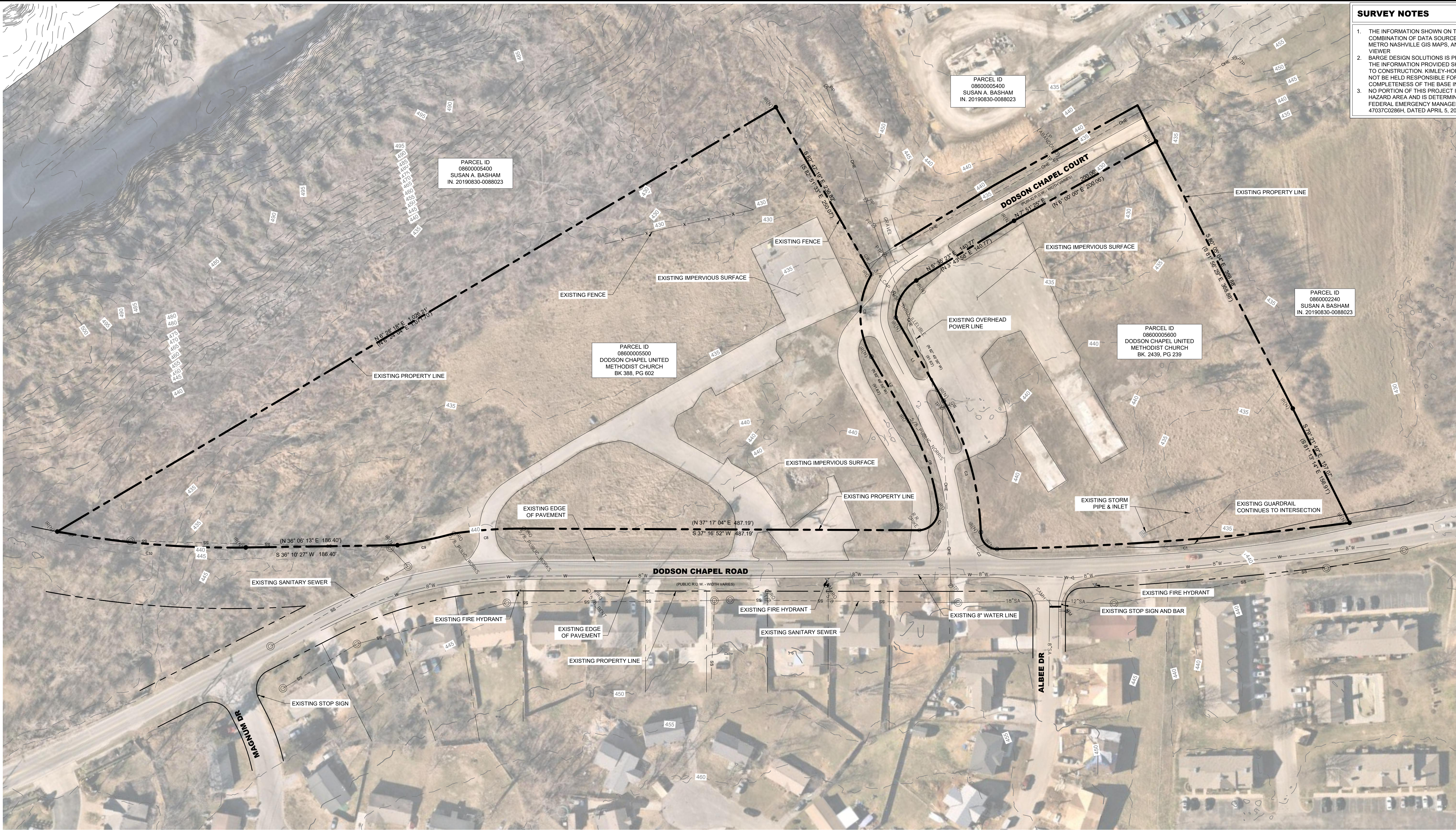
**COUNCIL DISTRICT 14
COUNCIL MEMBER KEVIN RHOTEN
CITY OF HERMITAGE
DAVIDSON COUNTY, TN**

CASE NO.: 2021SP-092-001

**Know what's below.
Call before you dig.**

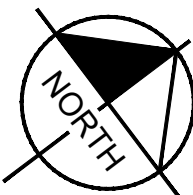
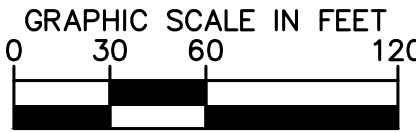
PLAN REVISIONS		
REVISION NO.	DATE	REMARKS
FILE NUMBER	SHEET NUMBER	TOTAL SHEETS
012877016	C0-00	9

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SURVEY NOTES

1. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON A COMBINATION OF DATA SOURCES INCLUDING AERIAL MAPS, METRO NASHVILLE GIS MAPS, AND METRO NASHVILLE PARCEL VIEWER.
2. BARGE DESIGN SOLUTIONS IS PREPARING AN ALTA SURVEY. THE INFORMATION PROVIDED SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
3. NO PORTION OF THIS PROJECT IS LOCATED IN A FLOOD HAZARD AREA AND IS DETERMINED IN "ZONE X" ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAPS NO. 47037C0286H, DATED APRIL 5, 2017.



Kimley»Horn

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DODSON CHAPEL
HERMITAGE, TN

DRAFT
PRELIMINARY
PLANS
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No.	REVISIONS										DATE	BY
	1	2	3	4	5	6	7	8	9	10		
DESIGNED BY:											TLL	
DRAWN BY:											NGS	
CHECKED BY:											MMC	
DATE:											01/18/2022	
KIMLEY-HORN PROJECT NO. 012877016												

EXISTING CONDITIONS

SHEET NUMBER

C1-00

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OWNER CHART				
OWNER	TAX PARCEL NO.	PARCEL #	ADDRESS	CONTACT NUMBER
DODSON CHAPEL METHODIST CHURCH	08600005500	055	4186 DODSON CHAPEL RD, HERMITAGE, TN 37076	(615) 889-0106
DODSON CHAPEL METHODIST CHURCH	08600005600	056	4107 DODSON CHAPEL CT, HERMITAGE, TN 37076	(615) 883-3918 EXT 104 (PASTOR)

PRELIMINARY DEVELOPMENT SCHEDULE	
GRADING PERMIT / SITE WORK	MONTH 0
BUILDING PERMIT / BUILDING CONSTRUCTION START	MONTH 2
CONSTRUCTION COMPLETION / CO / PROJECT OPENING	MONTH 30

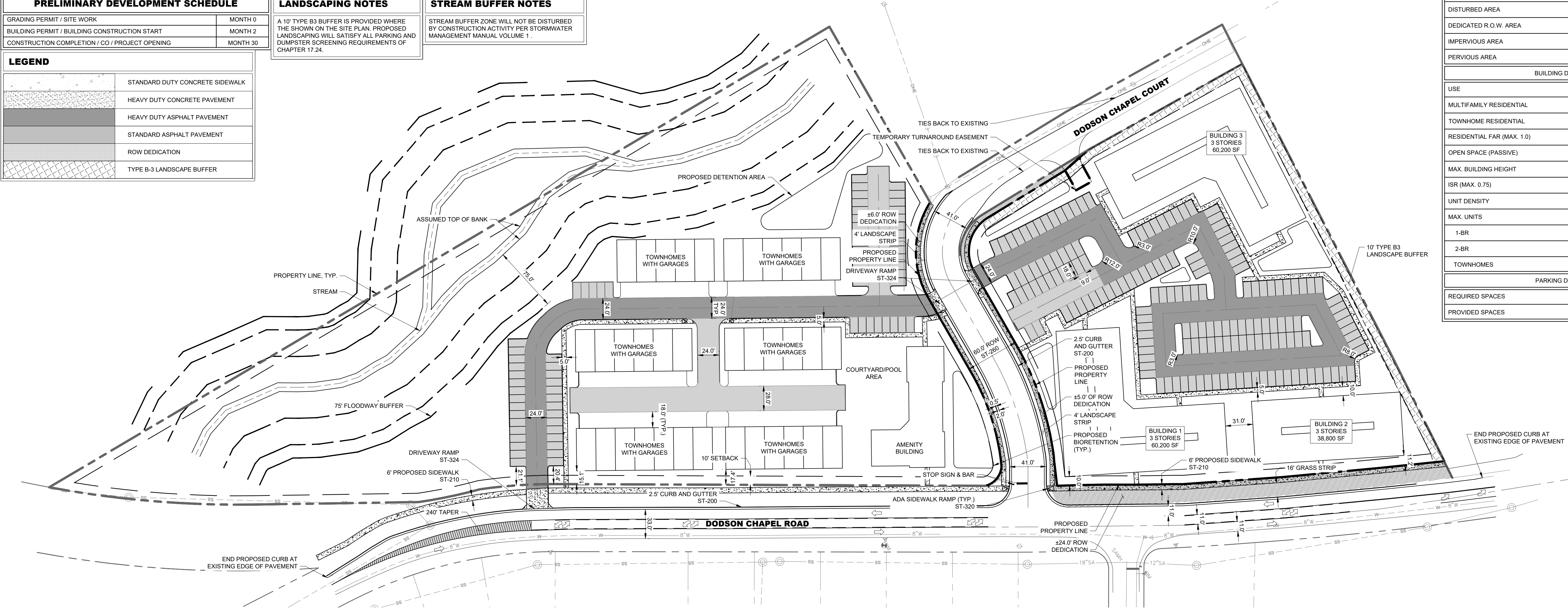
LANDSCAPING NOTES

A 10' TYPE B3 BUFFER IS PROVIDED WHERE THE SHOWN ON THE SITE PLAN. PROPOSED LANDSCAPING WILL SATISFY ALL PARKING AND DUMPSTER SCREENING REQUIREMENTS OF CHAPTER 17.24.

STREAM BUFFER NOTES

STREAM BUFFER ZONE WILL NOT BE DISTURBED BY CONSTRUCTION ACTIVITY PER STORMWATER MANAGEMENT MANUAL VOLUME 1.

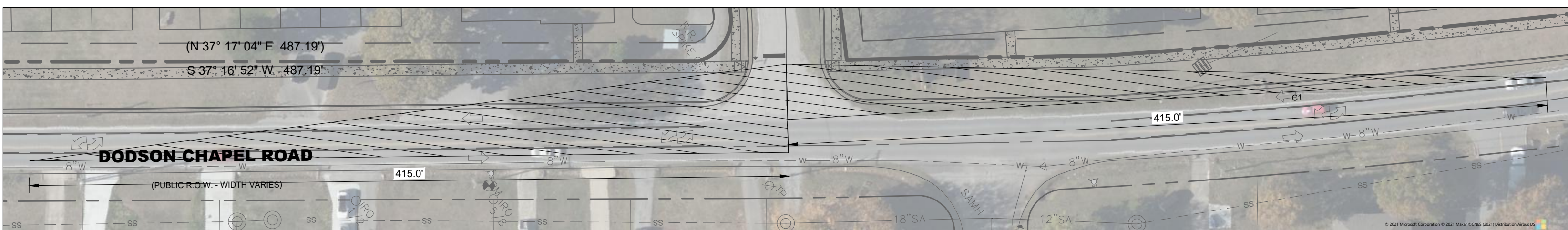
LEGEND	
	STANDARD DUTY CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	STANDARD ASPHALT PAVEMENT
	ROW DEDICATION
	TYPE B-3 LANDSCAPE BUFFER



SIGHT DISTANCE - DODSON CHAPEL ROAD
35 MPH - 1" = 50'



SIGHT DISTANCE - DODSON CHAPEL ROAD
35 MPH - 1" = 50'



SITE LAYOUT NOTES

- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL CURB RADI ARE 3 FT UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL SIDEWALK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER MPW STANDARD DWG NO. ST-210.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- ALL TREE GRATES SHALL BE ADA COMPLIANT AND H20 TRAFFIC RATED.
- REFER TO SITE LANDSCAPE PLANS BY OTHERS FOR STREETScape DETAILS.

PUBLIC WORKS NOTES

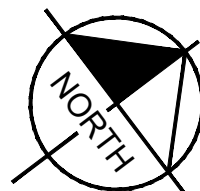
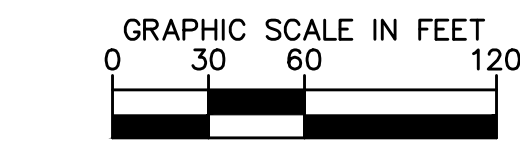
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS.
- STORMWATER DISCHARGES ARE TO BE COORDINATED WITH MPW AND METRO STORMWATER. POINT SOURCE DISCHARGE WILL NOT BE PERMITTED.

FINAL SP NOTE

- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE. LOADINGS ZONE LAYOUT AND CONFIGURATION SHALL BE FINALIZED AT FINAL SP. LAYOUT SHALL BE BASED ON THE EXPECTED SITE NEEDS AND SHALL ACCOMMODATE AN SU-30 DESIGN VEHICLE AT A MINIMUM.
- BICYCLE PARKING SPACES SHALL BE FINALIZED AT FINAL SP, WHERE SUBSURFACE CONDITIONS MAKE BICYCLE PARKING DIFFICULT OR INFEASIBLE. THE ZONING ADMINISTRATOR BASED ON A RECOMMENDATION FROM THE PLANNING DEPARTMENT, MAY REDUCE OR WAIVE THE REQUIRED BICYCLE PARKING AND/OR MAY APPROVE DIFFERENT DESIGN AND LOCATION ARDS FOR REQUIRED BICYCLE PARKING AREAS.

DODSON SP DEVELOPMENT STANDARDS

- THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT A MULTI-FAMILY DEVELOPMENT TO INCLUDE UP TO 160 MULTI-FAMILY RESIDENTIAL UNITS AND 40 TOWNHOMES.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AS IDENTIFIED BY FEMA ON MAP 47037C0286H, DATED 04/05/2017.
- ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARD, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA. ADD USES NOT OTHERWISE PERMITTED, ELIMINATE THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUG-A-NS ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OF APPLICATION.
- DRAWING FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE FINAL UNIT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
- ALL SURFACE PARKING AREAS MUST MEET THE "PARKING AREA SCREENING AND LANDSCAPING" REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE.
- ACCORDING TO THE NRCS SOIL MAP, THE SOILS ON THE PROPERTY ARE ARMOUR SILT LOAM AND ARRINGTON SILT LOAM.
- SITE SLOPES RANGE 0-15%. THERE ARE NO NATURAL SLOPES GREATER THAN 15%.
- THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
- SIGNAGE SHALL MEET METRO DESIGN STANDARDS AND BE REVIEWED WITH THE BUILDING PLANS.
- ALL DEVELOPMENTS WITHIN THE BOUNDARIES OF THIS PLAN SHALL BE BASED ON THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT, AS APPLICABLE.
- THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
- ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
- THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN PLACE.



SITE DATA TABLE		
SITE ADDRESS	4186 DODSON CHAPEL RD/ 4107 DODSON CHAPEL CT HERMITAGE, TN, 37076	
TAX MAP	MAP 086 PARCELS 055, 056	
OVERALL AREA	EXISTING	PROPOSED
SITE AREA	± 10.70 AC	± 10.38 AC
DISTURBED AREA	N/A	± 9.65 AC
DEDICATED R.O.W. AREA	N/A	± 0.32 AC
IMPERVIOUS AREA	± 1.53 AC	± 5.66 AC
PERVIOUS AREA	± 9.17 AC	± 4.72 AC
BUILDING DATA		
USE	MULTIFAMILY RESIDENTIAL; TOWNHOMES	
MULTIFAMILY RESIDENTIAL	159,200 SF	
TOWNHOME RESIDENTIAL	76,032 SF	
RESIDENTIAL FAR (MAX. 1.0)	0.51	
OPEN SPACE (PASSIVE)	± 3.00 AC	
ISR (MAX. 0.75)	0.54	
UNIT DENSITY	19.27 UNITS/ACRE	
MAX. UNITS	200 UNITS	
1-BR	90 UNITS	
2-BR	70 UNITS	
TOWNHOMES	40 UNITS	
PARKING DATA		
REQUIRED SPACES	310	
PROVIDED SPACES	310	

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DODSON CHAPEL
HERMITAGE, TN

DRAFT
PRELIMINARY
PLANS

FOR REVIEW ONLY

REVISIONS	DATE	BY

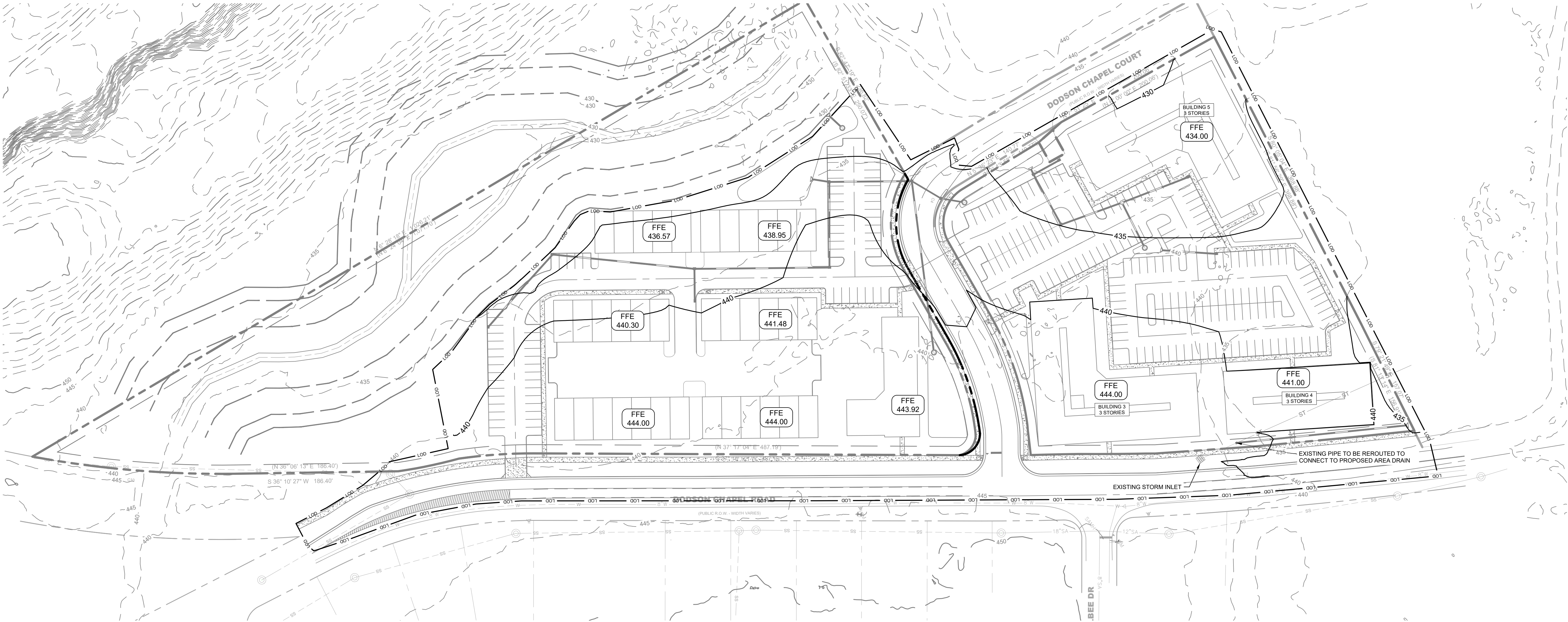
DESIGNED BY:	TLL
DRAWN BY:	NGS
CHECKED BY:	MMC
DATE:	01/18/2022
KIMLEY-HORN PROJECT NO. 012877016	

SITE LAYOUT - OVERALL

SHEET NUMBER

C2-00

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GRADING NOTES

- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL, MATTINGS OR BLANKETS.
- THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
- INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
- TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES BEFORE YOU DID CALL ONE CALL-811 OR 1-800-752-6907.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

METRO STORMWATER NOTES

FEMA NOTE:
THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 47037C0286H, EFFECTIVE 04/05/2017.

- CONSTRUCTION SCHEDULE:**
- PRE-CONSTRUCTION MEETING
 - INSTALLATION OF EROSION CONTROL MEASURES
 - EROSION INSPECTION BY EPSO AND METRO
 - ISSUANCE OF GRADING PERMIT
 - CONSTRUCTION

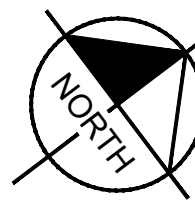
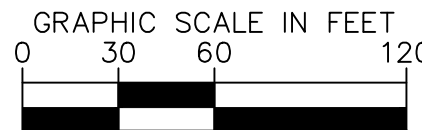
CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.

TDEC NOTICE OF COVERAGE NOTE:
THIS PROJECT DOES DISTURB MORE THAN 1 ACRE AND IS REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC.

THE TOTAL DISTURBED AREA IS ±0.65 ACRES.

GRADING PLAN LEGEND

- SPOT ELEVATION**
- HP HIGH POINT
 - TC TOP OF CURB
 - TW TOP OF WALL
 - INV INVERT
 - LP LOW POINT
 - BC BOTTOM OF CURB / GUTTER LINE
 - BW BOTTOM OF EXPOSED WALL
 - RM TOP OF GRATE / COVER
- FINISH FLOOR ELEVATION**
- EXISTING CONTOUR
 - PROPOSED CONTOUR



DRAFT PRELIMINARY PLANS

FOR REVIEW ONLY

No.	REVISIONS									
	DATE	BY								
1										
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4										
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6										
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8										
9										
10										

DESIGNED BY: TLL

DRAWN BY: NGS

CHECKED BY: MMC

DATE: 01/18/2022

KIMLEY-HORN PROJECT NO. 012877016

GRADING AND
DRAINAGE PLAN -
OVERALL

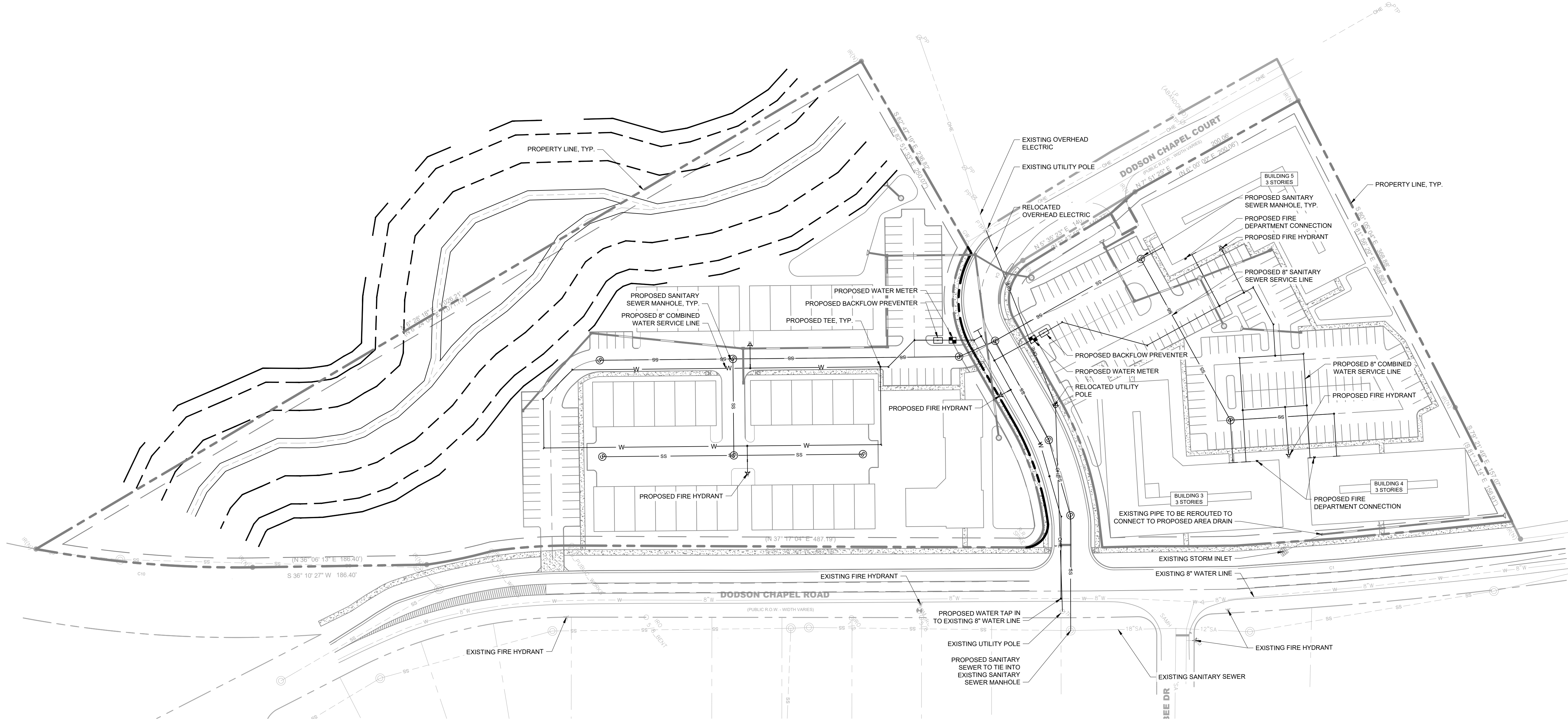
SHEET NUMBER
C4-00

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DODSON CHAPEL
HERMITAGE, TN

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EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

VALVE NOTE

ALL VALVES SHALL BE INSTALLED IN METRO NASHVILLE WATER SERVICES APPROVED VALVE BOX AND COVER. COVER TO BE MARKED WITH "WATER".

UTILITY NOTES

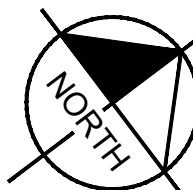
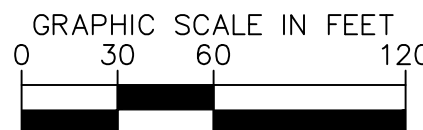
1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES' STANDARD SPECIFICATIONS.
4. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
5. REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
6. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
7. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWERS CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
8. CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.
9. ALL EXISTING UTILITIES SHALL BE CUT AND CAPPED AT MAIN.

METRO NASHVILLE WATER SERVICES STANDARD NOTES

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLAR IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
12. ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
13. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
14. IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
15. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
16. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
17. BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
18. PLAN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.



Know what's below.
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DODSON CHAPEL
HERMITAGE, TN

DRAFT
PRELIMINARY
PLANS

FOR REVIEW ONLY

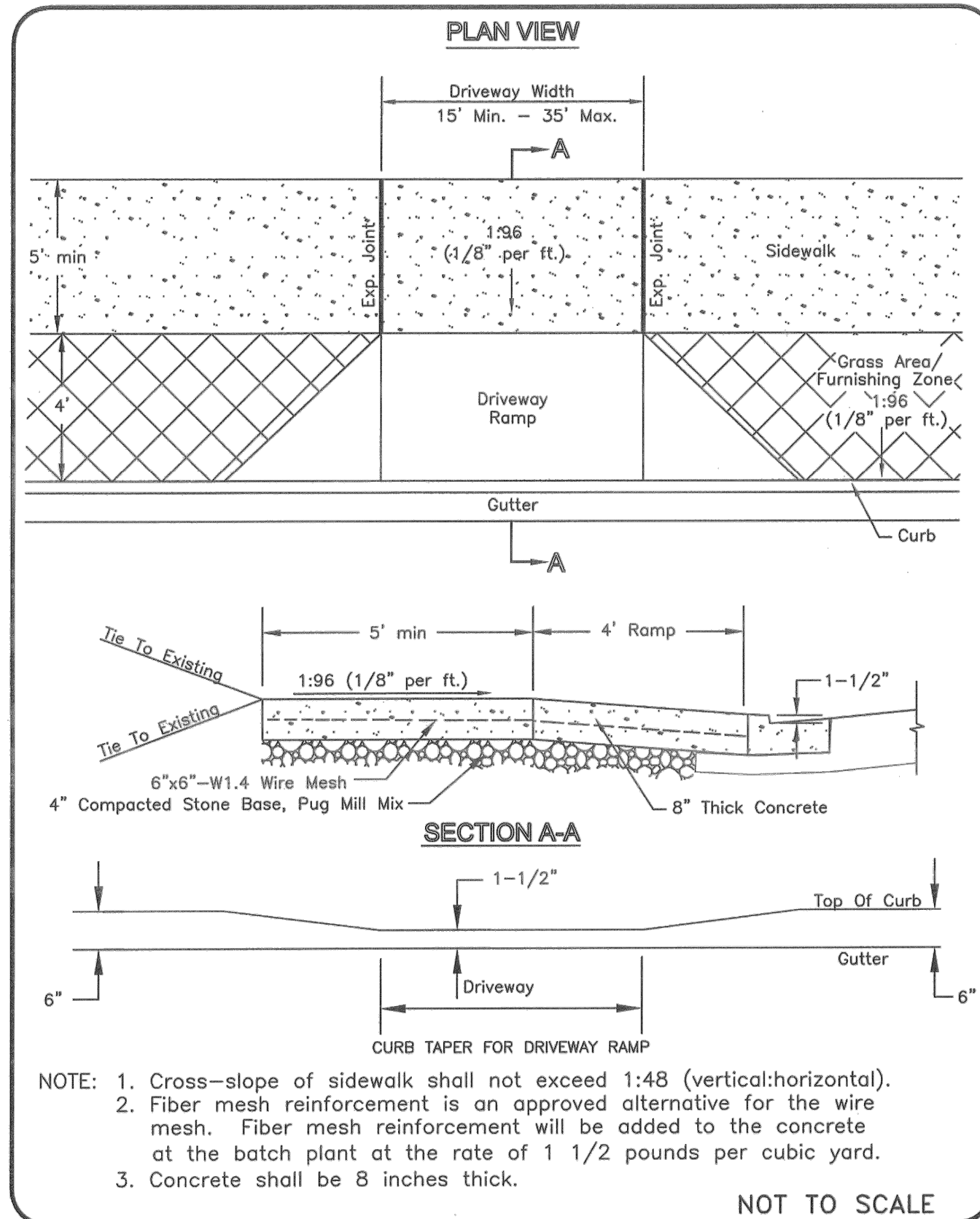
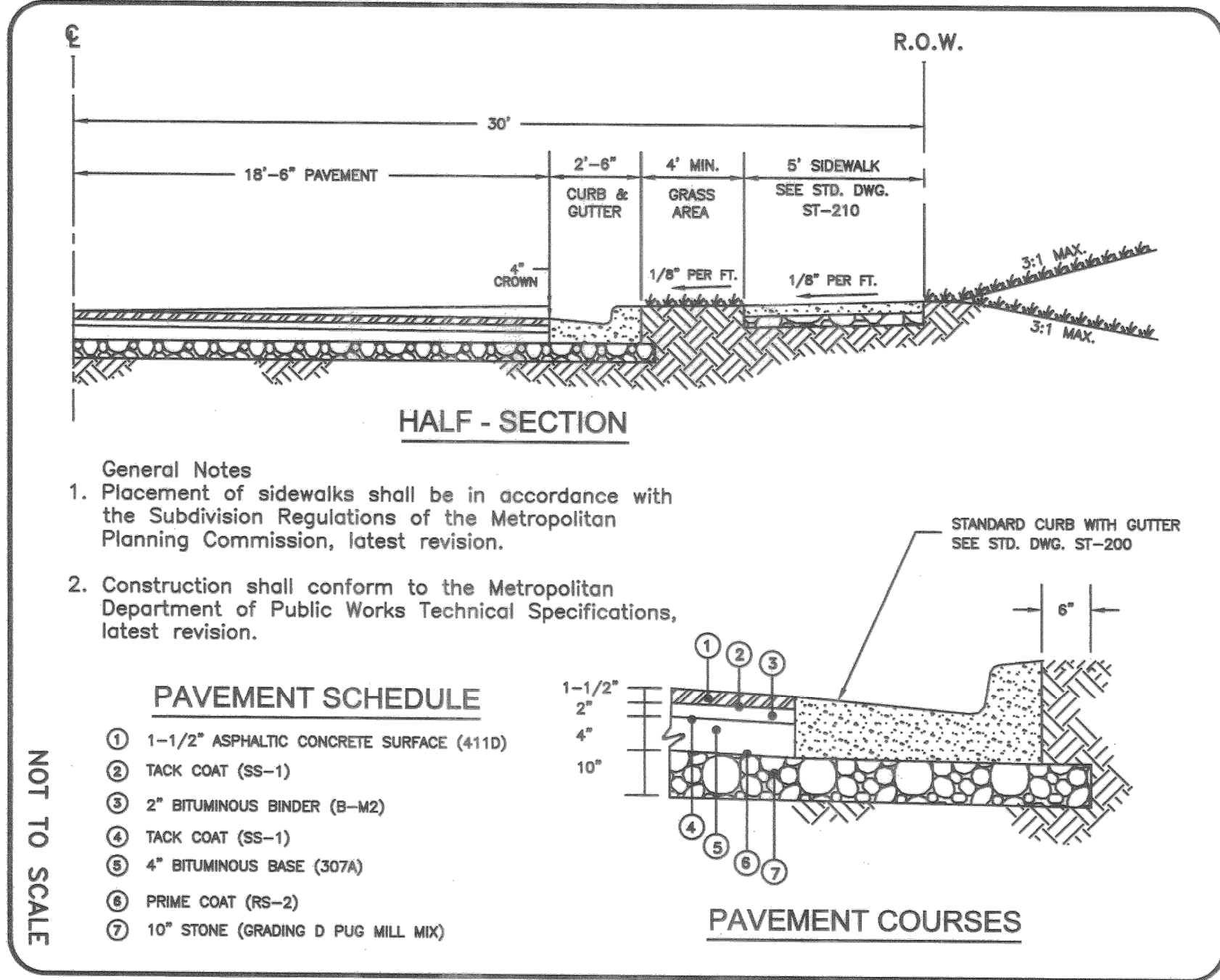
REVISIONS			BY
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DATE: 01/18/2022
KIMLEY-HORN PROJECT NO. 012877016

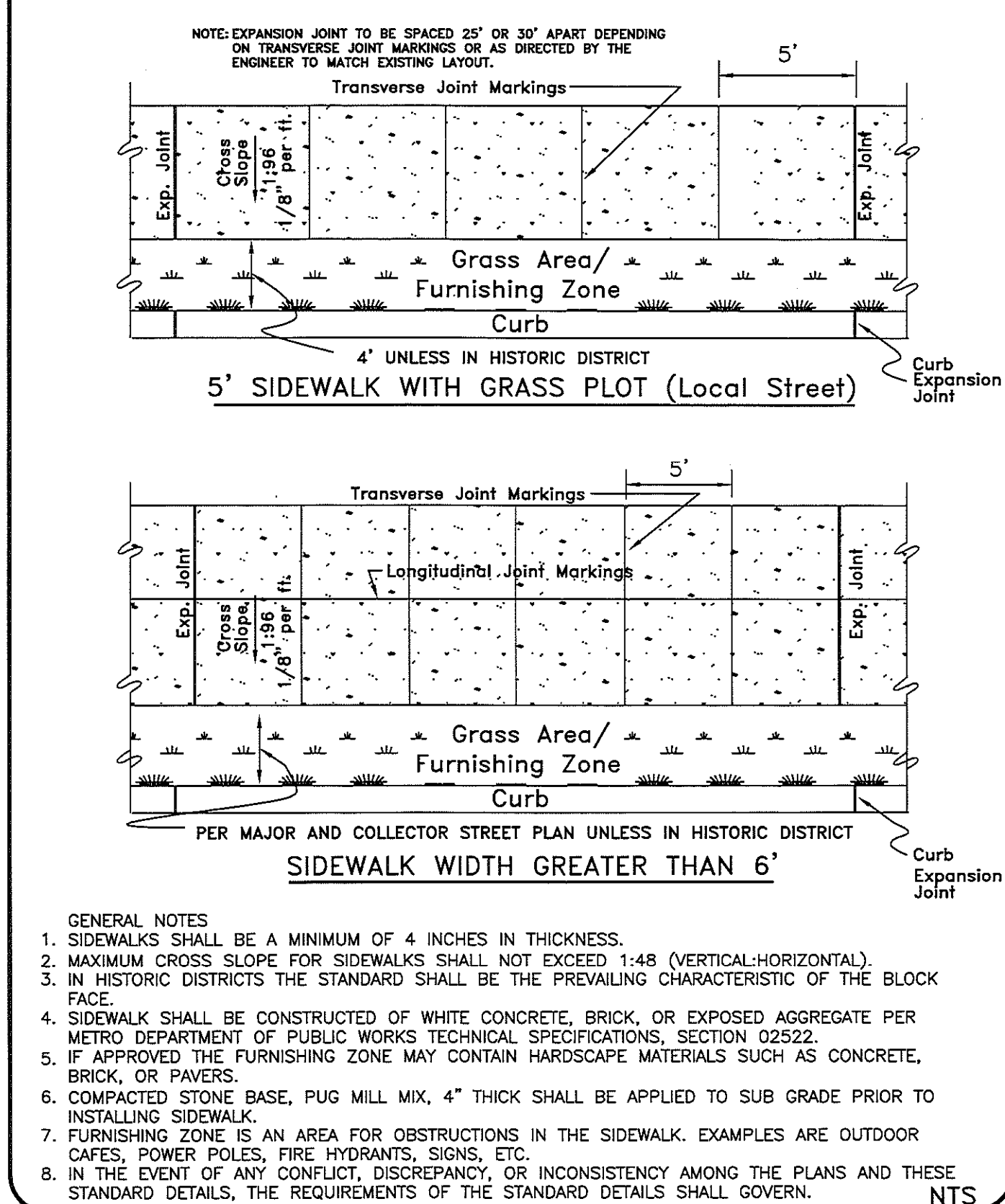
UTILITY PLAN -
OVERALL

SHEET NUMBER

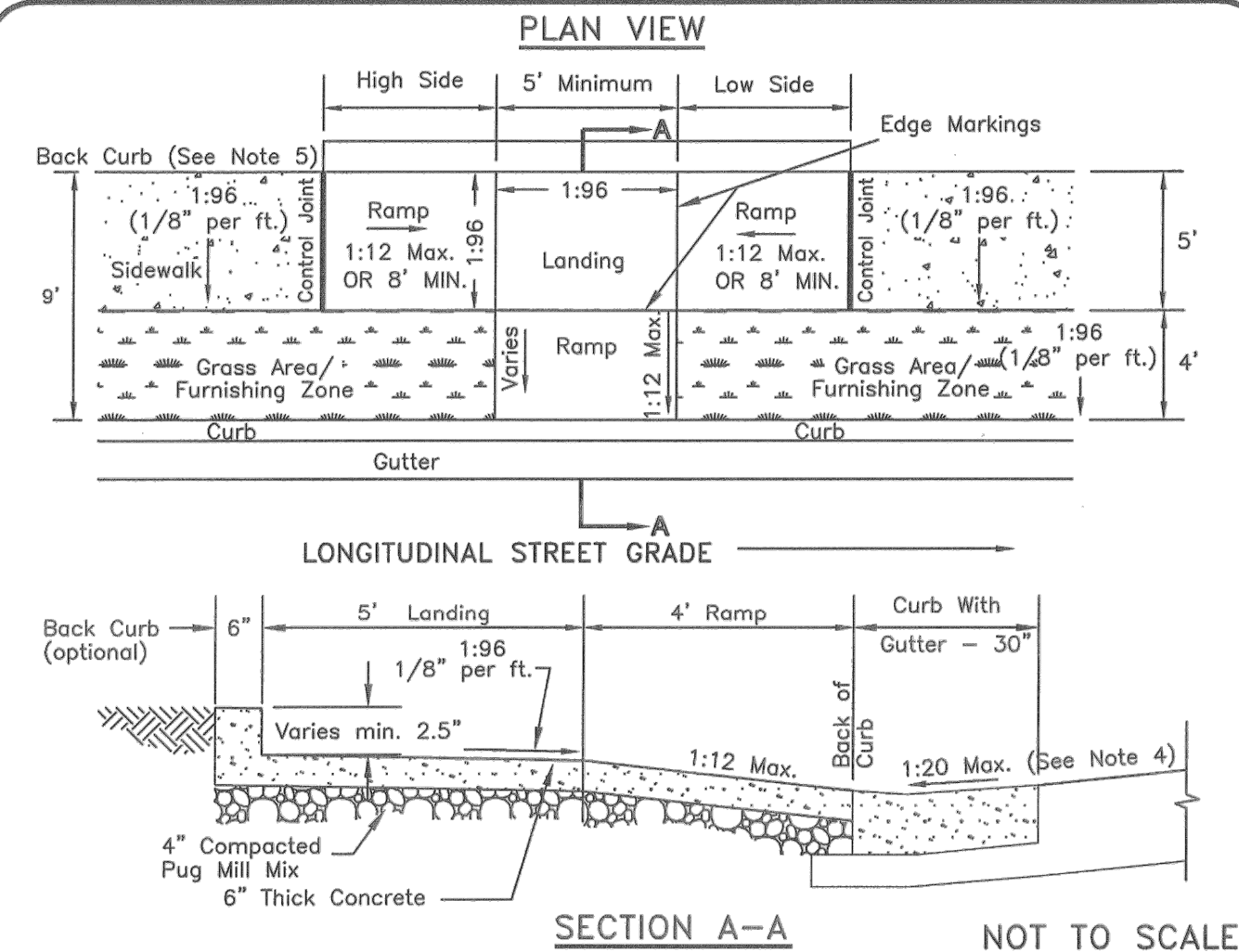
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METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: <i>Mark Hays</i>	DATE: <i>5/12/03</i>	REVISED: 07/27/02 REVISED: 05/08/03 REVISED:

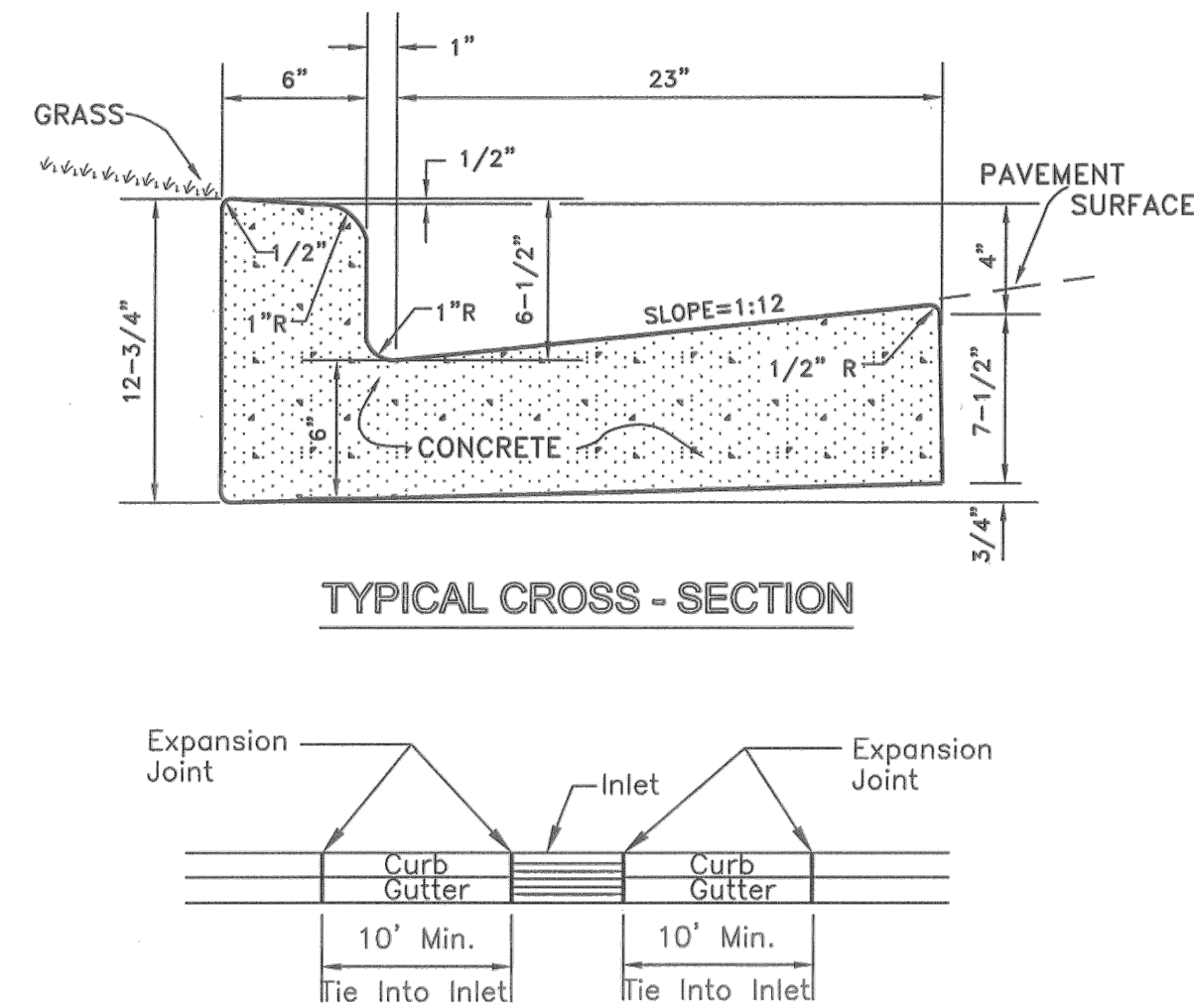


METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SIDEWALK CONSTRUCTION	DWG. NO. ST-210	
		REVISED: 05/02/03	REVISED: 11/24/03
DIR. OF ENG.: <i>D.P. [Signature]</i>	DATE: 9/12/17	REVISED: 06/23/04	REVISED: 09/11/17



- GENERAL NOTES**
1. Ramp shall be flush with the gutter or edge of pavement.
 2. Cross-slope of landing and of sidewalk shall not exceed 1:48 (vertical:horizontal).
 3. Surface texture of the curb ramp shall be stable, firm, and slip-resistant. The surface shall be coarse broomed "white" concrete finish transverse to the slope of the ramp.
 4. The normal gutter slope of 1:12 (vertical:horizontal) shall be reduced to 1:20 (vertical:horizontal) at the ramp when the curb and gutter is poured before the ramp, or the gutter at the ramp must be cut out, removed, and repoured when the ramp is poured.
 5. Side curbs shall be constructed in the direction of Public Works, and if required, back curb height along ramp shall transition from 6 inches at expansion joints to the proposed height of back curb at landing and shall be a constant height through landing. Deletion of back curb requires approval of inspector. Removal to be noted in project file and on inspection report.
 6. High side and low side ramps shall have a maximum slope of 1:12 (vertical:horizontal) or shall be 8 feet (96 inches) minimum in length.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION CURB RAMP	DWG. NO. ST-320
DIR. OF ENG.: <i>Mark May</i>	DATE: <i>5/12/03</i>	REVISED: 07/18/02 REVISED: 05/08/03 REVISED:

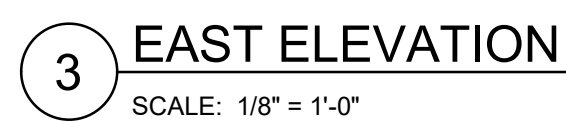


- GENERAL NOTES
1. Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
 2. Expansion joints will also be required at tangent points, ramps, and inlets.
 3. Contraction joints are to be cut into curb and gutter every 10 feet to a depth of $D/4$, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
 4. There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the inlet.
 5. Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

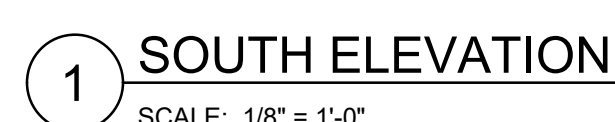
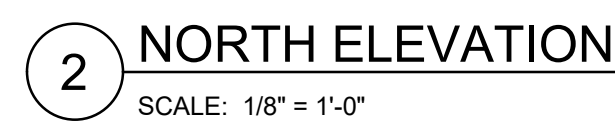
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS		STANDARD CURB WITH GUTTER	DWG. NO. ST-200
DIR. OF ENG.: <i>Nash May</i>	DATE: <i>5/12/03</i>		REVISED: 07/21/00 REVISED: 05/02/03 REVISED:

No.	REVISIONS	DATE	BY
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DESIGNED BY:	_____
DRAWN BY:	_____
CHECKED BY:	_____
DATE:	01/18/2022
KIMLEY-HORN PROJECT NO. 012877016	



* FINAL MATERIALS AND COLORS TO BE DETERMINED



KEY PLAN

CONSULTANT:

SEAL:

ELAN HERMITAGE

[illegible]

TITLE:

3-STORY BUILDING

SHEET NUMBER:



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND						
TAG	DESCRIPTION	COLOR	MANUFACTURER	TAG	DESCRIPTION	MANUFACTURER
AR-1	ASPHALT SHINGLE ROOF	DARK GRAY	REFER TO GN-1 BASIS OF DESIGN	MR-1	42" VINYL RAILING	REFER TO GN-1 BASIS OF DESIGN
BR-1	PAINTED QUEEN BRICK VENEER	WHITE	TBD	MR-2	STANDING SEAM METAL ROOF	WICKELROY OR EQUAL
	BRICK MORTAR	WHITE	TBD	VW-1	VINYL WINDOW	REFER TO GN-1 BASIS OF DESIGN
CP-1	FIBER CEMENT PANEL (4'X10')	WHITE	REFER TO GN-1 BASIS OF DESIGN	VT-1	TOILET / DRYER EXHAUST VENT	TBD
CP-2	FIBER CEMENT PANEL (4'X10')	DARK GRAY	ALLURA OR EQ.			
CS-1	FIBER CEMENT LAP SIDING - 6" EXPOSURE (SMOOTH)	DARK GRAY	ALLURA OR EQ.			
CS-2	FIBER CEMENT LAP SIDING - 6" EXPOSURE (SMOOTH)	WHITE	ALLURA OR EQ.			
CT-1	FIBER CEMENT TRIM (SMOOTH)	WHITE	ALLURA OR EQ.			
CT-2	FIBER CEMENT TRIM (SMOOTH)	DARK GRAY	ALLURA OR EQ.			
CT-3	FIBER CEMENT TRIM (SMOOTH)	DARK BRONZE	ALLURA OR EQ.			
DS-1	DOWNSPOUT & GUTTER	MATCH ADJECENT	REFER TO GN-1 BASIS OF DESIGN			
LT-1	LIGHTING FIXTURE	XX	XX			
LT-2	LIGHTING FIXTURE	XX	XX			

- NOTES
- MINIMUM MOUNTING HEIGHT FOR EXTERIOR LIGHTS IS 6" - 8" A.F.F. TO BOTTOM OF THE FIXTURE, TYP.
 - THE QUEEN BRICK SPECIFIED AND DETAILED IN THESE DRAWINGS IS BASED ON THE BRICK INDUSTRY ASSOCIATION STANDARD SIZE OF 2 3/4" WIDE BY 7 5/8" LONG
 - EXHAUST VENTS TO EXIT AT SOFFIT OR BALCONY CEILING WHERE INDICATED WITH KEYNOTE 3
 - BRICK LEDGE - REFER TO DETAIL 1/A5-63 FOR ADDITIONAL INFORMATION
 - METER CENTER - REFER TO SP-01 FOR EXACT LOCATION PER BUILDING
 - LINE DENOTES JOINT BETWEEN FIBER CEMENT PANELS ALL OTHER JOINTS TO BE BEHIND FIBER CEMENT BATTEN TRIM

NOTE: ELEVATIONS ARE REPRESENTATIVE ONLY OF TOWNHOMES FRONTING DODSON CHAPEL ROAD

