

HILL CENTER GERMANTOWN | SPECIFIC PLAN JANUARY 3, 2022 CASE NO. 2022SP-006-001



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	APPENDIX: PLANNING POLICIES ELEVATIONS SECTIONS FLATS + RETAIL EXHIBIT PROJECT SCHEDULE ADDENDUM: ALT TOWNHOUSE SCHEME
JRPOSE DTE	The purpose of this SP is to re-zone approximately 3.0 acres to provide for a mixed-use development in

approximately 3.0 acres to provide for a mixed-use development in accordance with the Metro Nashville Planning Department. Multifamily units, office space, retail, internal structured parking, and outdoor space and enhanced street connectivity will be provided.









SP OVERVIEW CASE NO. 2022SP-006-001 2022.01.03_REVISION

Hill Center

Specific Plan Overview

Located at the edge of historic Germantown, Hill Center is a mixed use project which fronts Jefferson Street and is bounded by Madison Street and 4th and 5th Avenues.

The 3.0 acre site of many parcels that are currently zoned CS, OR20, and IR. The proposed SP uses MUG-A zoning as a base for uses and MUL-A as a base for all other elements. There will be no short term rental usage permitted.

Adjacent zonings consist of many MUN (Mixed-Use Neighborhood designations. Modifications sought by this SP would give the entire site the ability to have a greater mix and intensity of uses as described in the Community Character Manual and MHDA Redevelopment Plan.

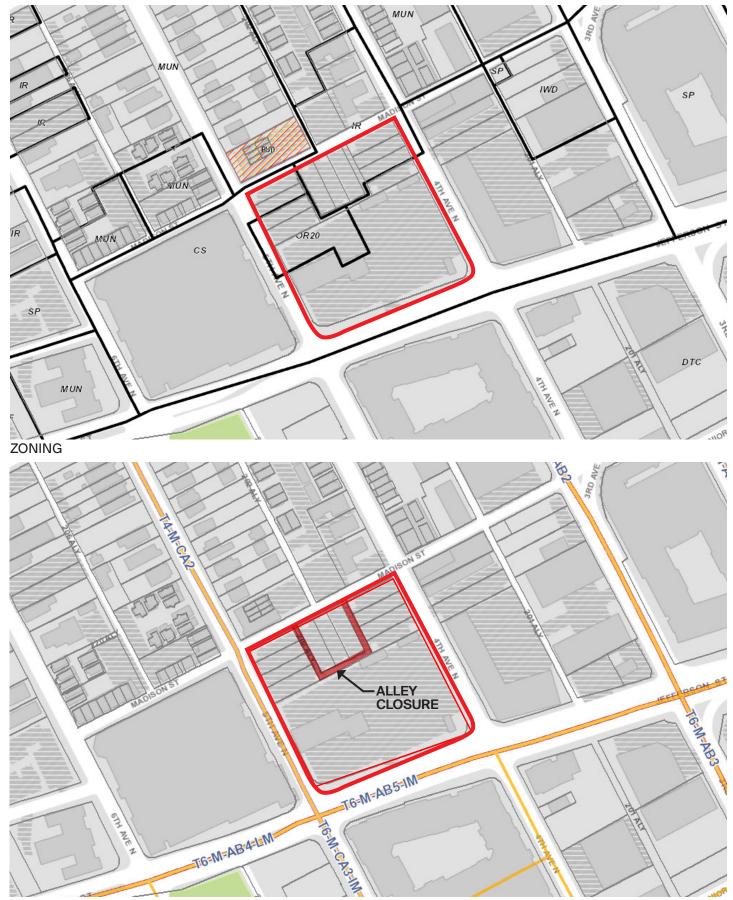
The Specific Plan (SP) rezoning would help the site meet the goals of NashvilleNext. The site falls within the T4-MU (Urban Mixed Use Neighborhood) which is described as well connected/multi-modal urban areas with a diverse mix of high density residential, office, and commercial buildings. MUL-A zoning is listed as an appropriate designation for T4-MU areas.

The site is situated within MDHA's Philips-Jackson Redevelopment Plan. The plan outlines a vibrant area with diverse uses in which Jefferson Street serves as the primary spine from which the main commercial uses hinge.

The rezoning of this property would aid in supporting the development intent of the area, eliminate blight around Bicentennial Mall and First Tennessee Park, and increase mixed-use buildings. Precedent for acceptable Specific Plan zonings for the area exists with several SP-zoned developments within a two block vicinity of the site.

The proposed project will consist of office space, multi-family residential, ground floor non-residential use, and 480 parking spaces to support all the uses. Landscape design will include standard wells at the sidewalk for large growth trees, biorention basins, permeable pavers, and tree grates. Bike racks will encourage a more multi-model neighborhood as described in the Community Character Manual.

We have been working with a traffic engineer to identify and recommend appropriate traffice calming measures on all four streets that bound the site. The traffic calming measures are to be identified and reviewed by NDOT prior to submitting for the building permit.



Parcels & Acreage	08213025500, 08213025400, 0820903990 08209040400, 08209040500, 08209040 3.0 acres - includes alley closure	
Council District	19: Freddie O'Connell	
New Base Zoning	 SP based on T4-MU policy Uses as allowed by land use table in this set retail - 37,000 max gsf for the anchor ter office - 115,000 max gsf residential - 30 units max (25 units show Note: STRP (owner occupied and not owner) 	
FAR	2.0 The floor area used for the provision of off-street p driveways and maneuvering aisles for those space area for the purpose of calculating floor area ratio satisfy the parking demands for the principal use(
ISR	0.95	
MCSP Requirements	 Madison Street and 4th Ave are MSCP designate Jefferson Street is designated T6-M-AB5-IM and Jefferson Street: Pedestrian travelway: 10 feet Planting area: 4 feet 	
	 4th Ave has a planned ROW of 49' [half standard Frontage zone: 0 feet Pedestrian travelway + planting areas: 8 feet 33' Curb to Curb : 2 travel lanes with parking of 	
Min Rear Setback	C 0 feet per MCSP	
Min Side Setback	0 feet per MCSP	
Maximum Height	3 stories to a maximum of 50', then a step back t mechanical equipment and associated screening *Final architectural elevations subject to MHZC ap	
Build-to-Zone	0-15 feet in the UZO	
Urban Design	All properties fall within the Urban Zoning Overlay	

900, 08209039800, 08209040200, 08209040300, 0600, 08213025700, 08209040000, 08209040100

et:

enant; 13,000 max gsf for all other tenants combined

own in this set: 9 Townhomes and 16 flats)

er occupied) are prohibited.

t parking spaces or loading berths (and the aces and berths) shall not be counted as floor o when such spaces or berths are used to e(s) on the parcel.

ed as local roads.

d 5th Ave is designated as T4-M-CA2.

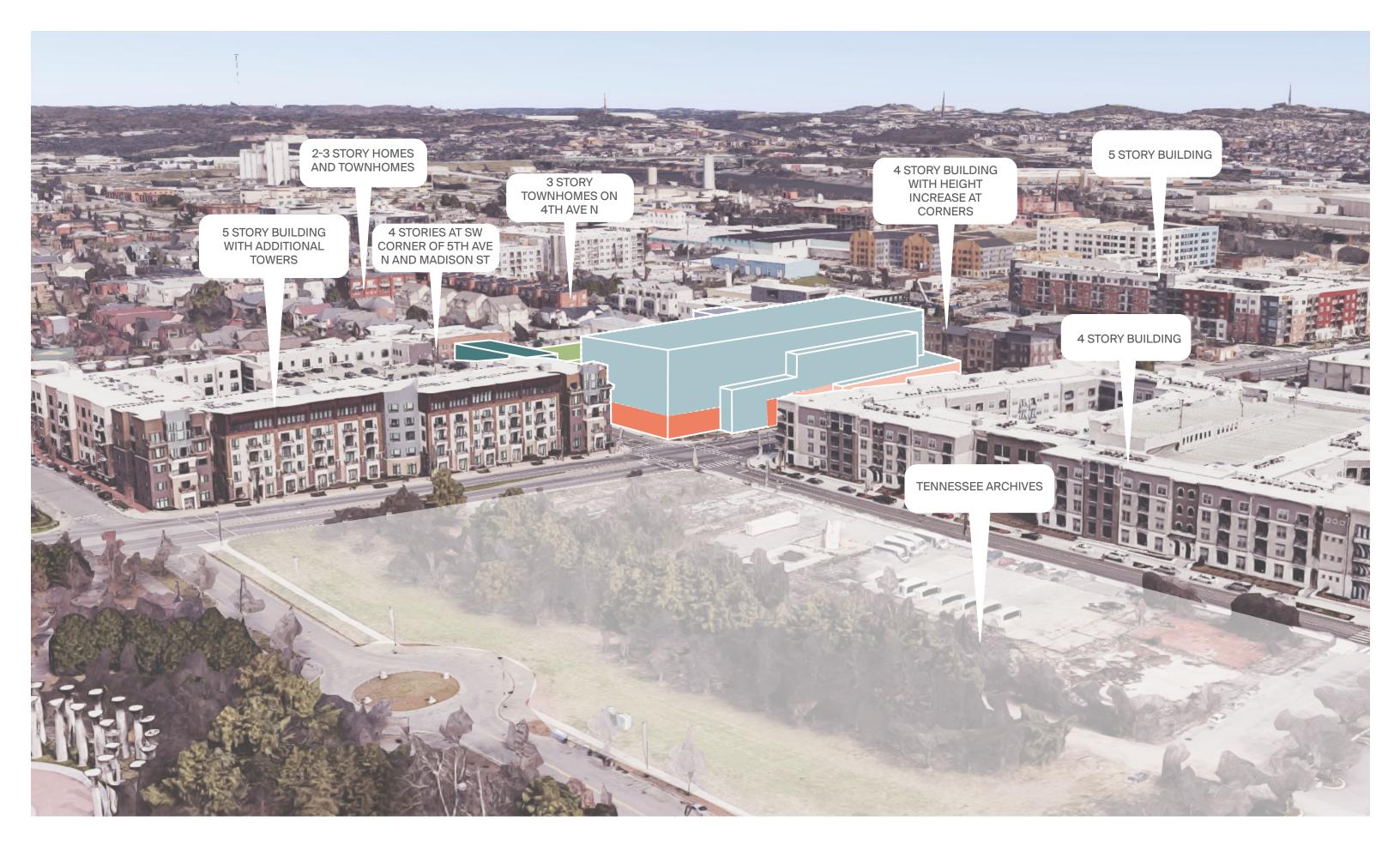
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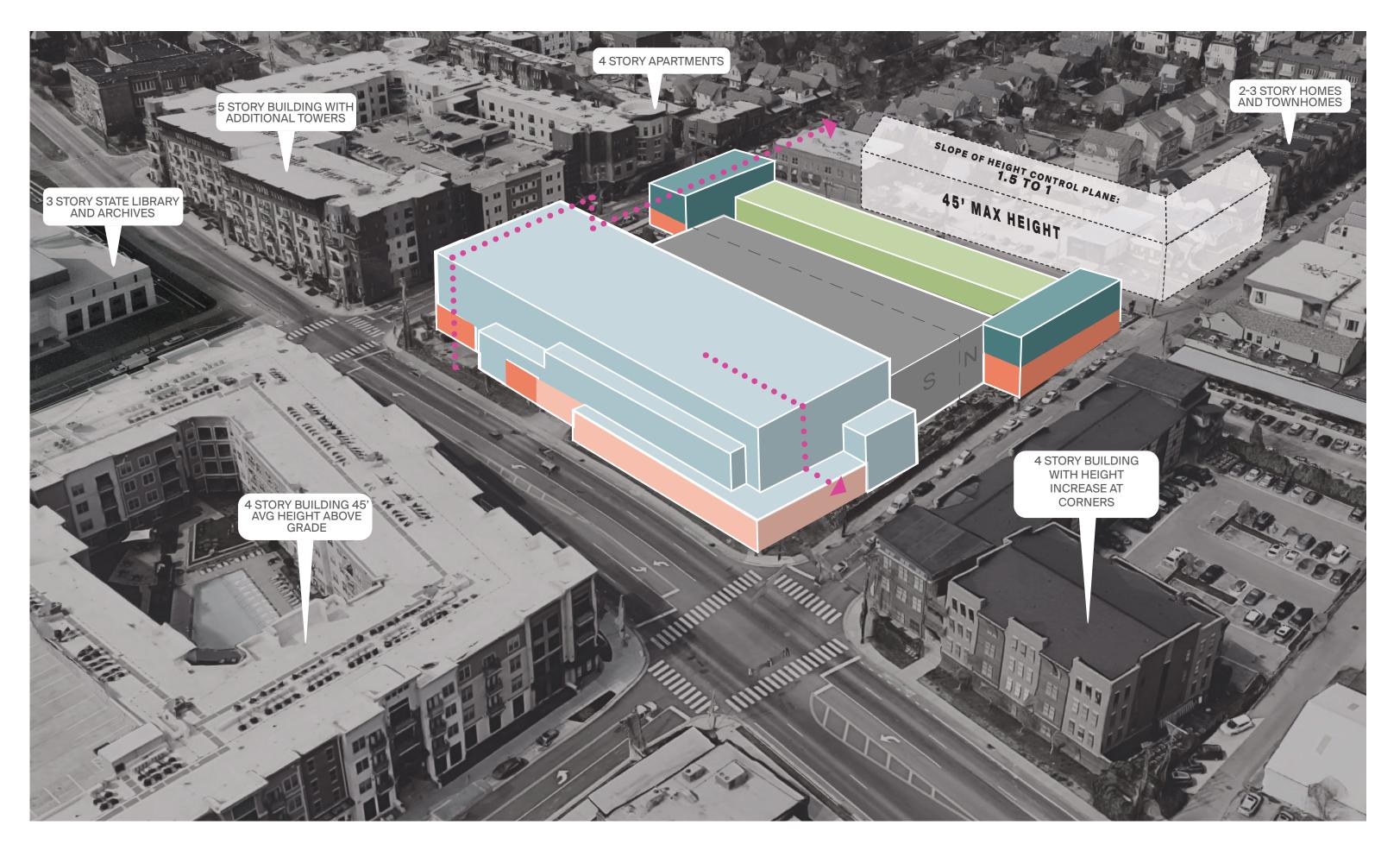
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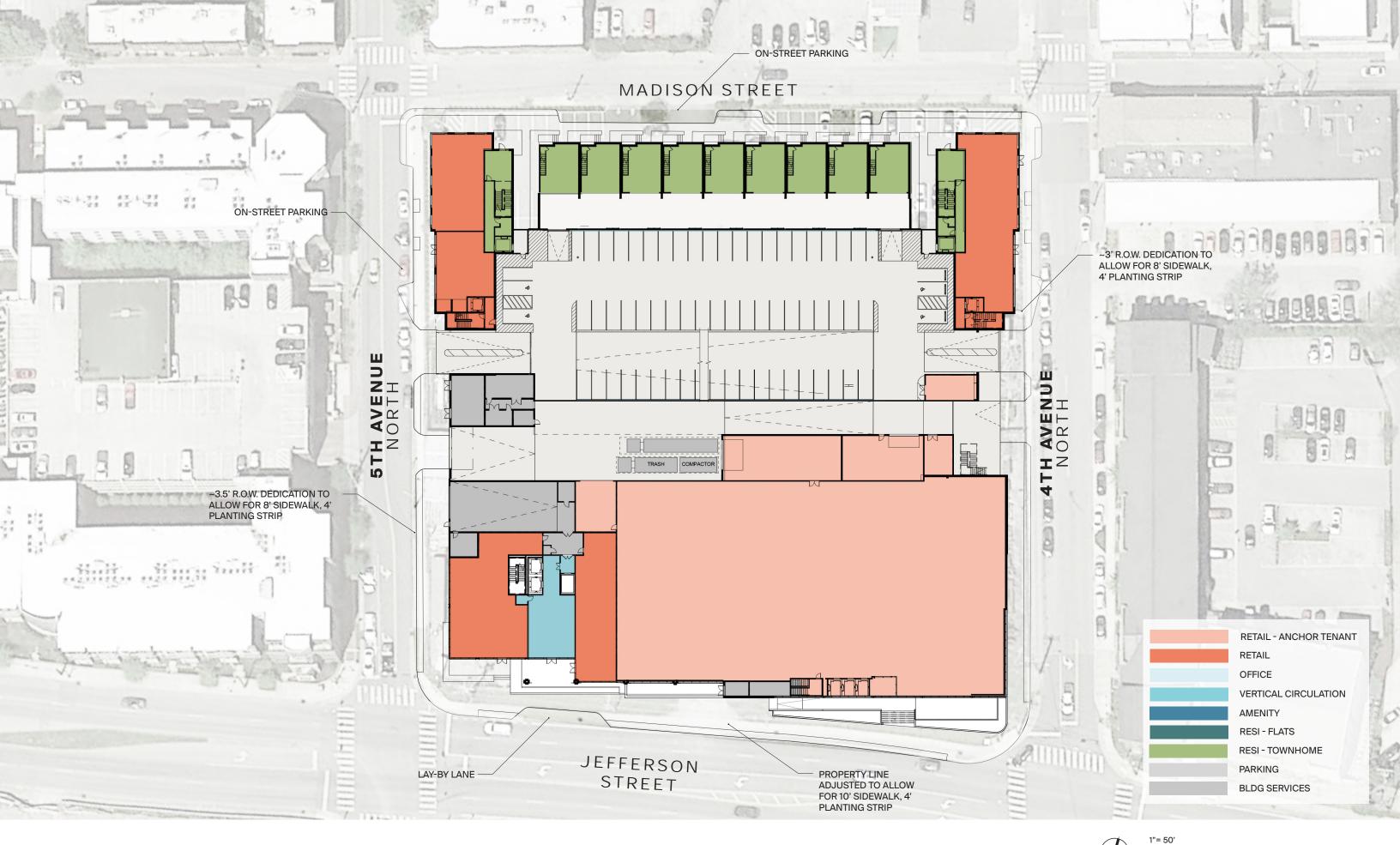
to 4 stories to a 70' maximum (max height excludes rooftop ng.)

approval.

ay District







SITE PLAN case no. 2022sp-006-001 2022.01.03_REVISION

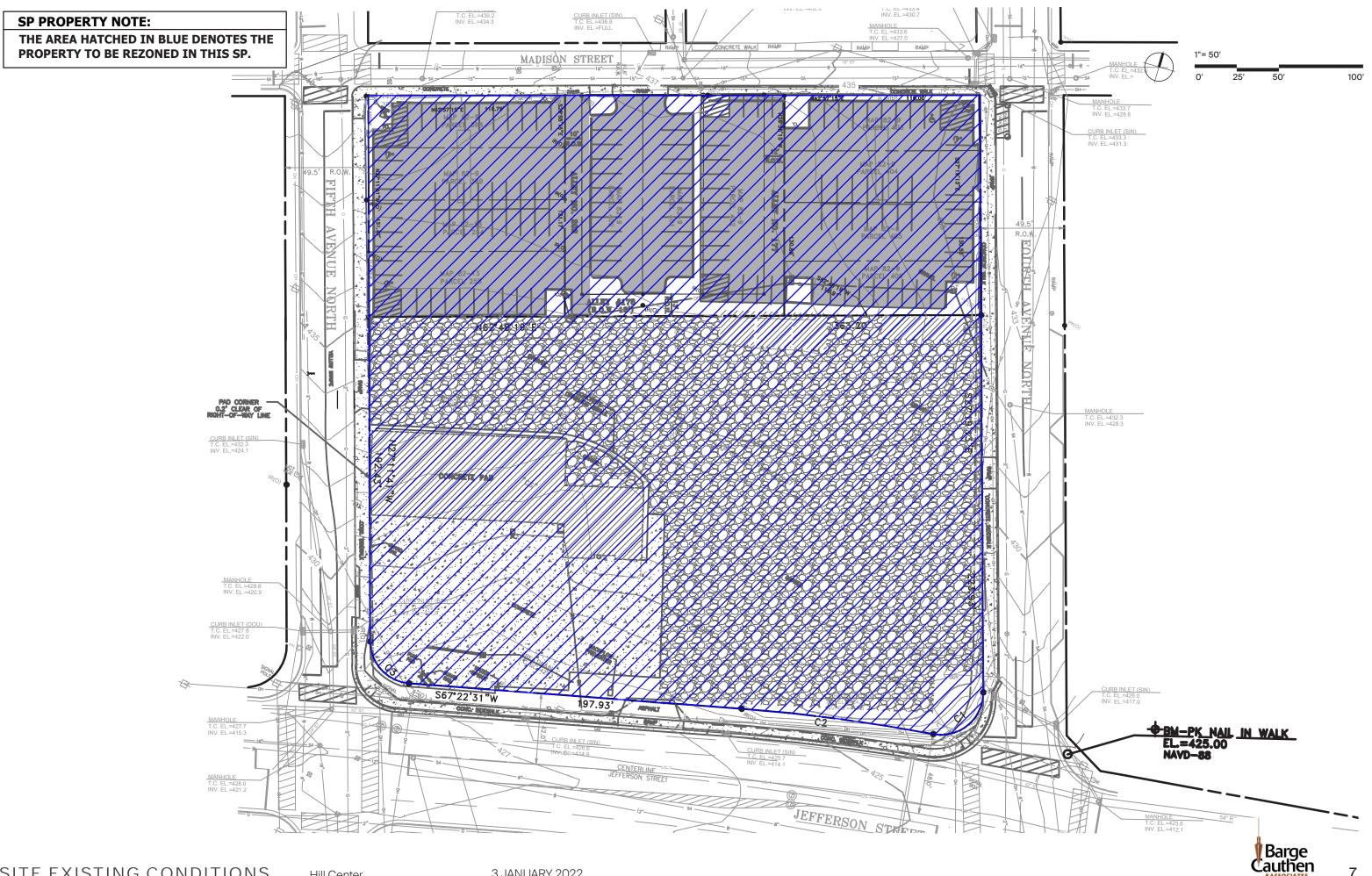
Hill Center

3 JANUARY 2022

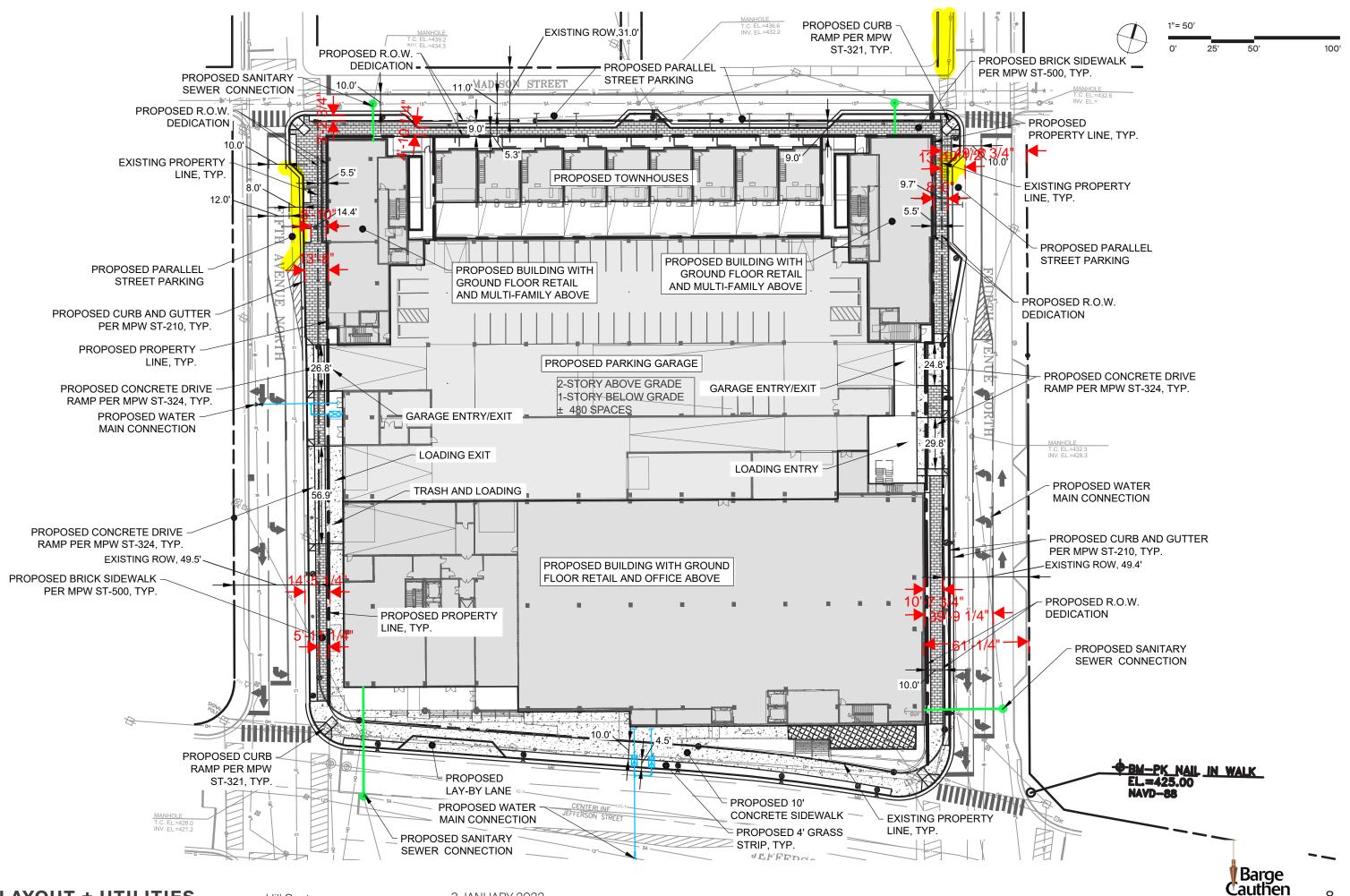


25'

50'

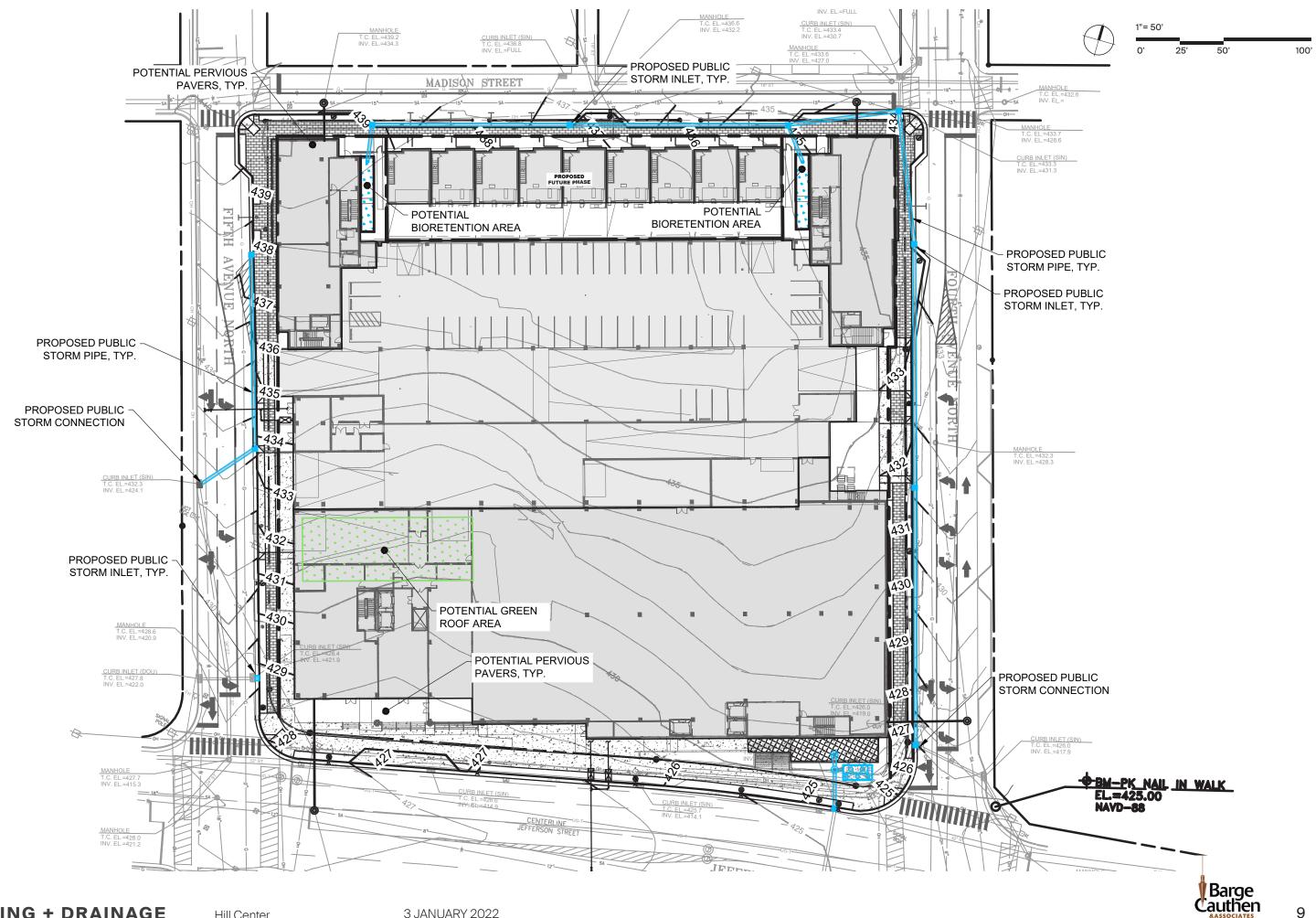


SITE EXISTING CONDITIONS CASE NO. 2022SP-006-001 Hill Center 2022.01.03_REVISION



SITE LAYOUT + UTILITIES CASE NO. 2022SP-006-001 2022.01.03_REVISION

Hill Center



Hill Center

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	Prohibited
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Bed and breakfast inn	Permitted
Beer and cigarette market	Prohibited
Boat storage	Prohibited
Business service	Permitted
Carpet cleaning	Prohibited
Car wash	Prohibited
Community gardening (commercial)	Prohibited
Community gardening (noncommercial)	Prohibited
Lustom assembly	Prohibited
Donation center, drop-off	Permitted with
4	conditions
ilea market	Permitted
uneral home	Prohibited
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Fairground Golf course Greenway	
Golf course Greenway	Prohibited
Greenway	Prohibited
,	Prohibited
Park	Prohibited
	Prohibited
Racetrack	Prohibited
Recreation center	Permitted
Rehearsal hall	Permitted
Sex club	Prohibited
Small outdoor music event	Permitted
Stadium arena/convention center	Prohibited
Temporary festival	Permitted - Special
met	Exception
Theater	Prohibited
Theatre	Prohibited
Zoo Other Here:	Prohibited
Other Uses:	Drahilting
Agricultural activity	Prohibited
Cemetary	Prohibited
Domestic animals/wildlife	Prohibited
Mineral extraction	Prohibited
On-site agricultural sales Pond/lake	Prohibited Prohibited

METRO PUBLIC WORKS

- THE FINAL SITE PLAN / BUILDII THE REQUIRED PUBLIC SIDEW GRASS STRIP FRONTAGE OR I THE LOCATION OF ALL EXISTII VERTICAL OBSTRUCTIONS WI SIDEWALK AND GRASS STRIP PRIOR TO THE ISSUANCE OF I PERMITS, EXISTING VERTICAL BE RELOCATED OUTSIDE OF T WHERE FEASIBLE, VERTICAL O PERMITTED WITHIN THE REQU FRONTAGE ZONE.
- PARKING RATIOS SHALL BE PR THE REQUIREMENTS OF THE M ORDINANCE WITH FINAL SP SU
 REQUIRED RIGHT-OF-WAY WIT
- THAT IS IDENTIFIED AS NECES ADOPTED ROADWAY PLANS SI 4. THE DEVELOPER'S FINAL CON-
- THE DEVELOPER'S FINAL CONS SHALL COMPLY WITH THE DES ESTABLISHED BY THE DEPART IN EFFECT ST THE TIME OF THI PRELIMINARY DEVELOPMENT I DEVELOPMENT PLAN OR BUILD APPLICABLE.FINAL DESIGN MA CONDITIONS.
- THE DESIGN OF THE PUBLIC IN COORDINATED WITH THE FINA PEDESTRIAN INFRASTRUCTUR ARE TO BE DESIGNED AND CO STANDARDS AND SPECIFICATI 6. ALL CONSTRUCTION WITHIN TH
- COMPLY WITH ADA AND METRO STANDARDS AND SPECIFICATIO 7. ALL SOLID WASTE AND RECYCL
- THE SITE WILL BE HANDLED B' HAULER/SERVICE.

SITE DATA TABLE:	
MAP/ PARCEL:	SEE PA
OWNER / CONTACT:	H.G. HI 3011 A NASHV 615-25
COUNCIL DISTRICT:	19, FRE
TOTAL AREA:	2.95 AC

PROPOSED USE(S): SEE TABLE THIS SHEET

ON-SITE PARKING NOTE:

 ALL FINAL SITE DEVELOPMENT ON-SITE PARKING AS REQUIRE ORDINANCE, OR BY AN APPRO PLAN. FINAL SP PLANS SHALL I COMPREHENSIVE PARKING TA USE, REQUIRED PARKING TOT, PARKING TOTALS.

PA	RCEL SUMMARY
ADDRESS	PARCEL ID
416 Jefferson St.	08213025700
1114 5th Ave. N	08213025500
1116 5th Ave. N	08213025400
1118 5th Ave. N	08209039900
1120 5th Ave. N	08209039800
411 Madison St.	08209040000
409 Madison St.	08209040100
407 Madison St.	08209040200
1123 4th Ave. N	08209040300
1121 4th Ave. N	08209040400
1119 4th Ave. N	08209040500
1117 4th Ave. N	08209040600

TOTAL ACREAGE = 2.95

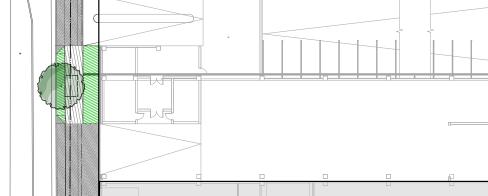
SITE NOTES case no. 2022sp-006-001 2022.01.03_REVISION

Hill Center

N	OTES:		METRO WATER & SEWER NOTES:
_	G PERMIT SH	ALL DEPICT	1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN
NA	LKS, ANY RE	QUIRED	ACCORDANCE WITH SPECIFICATIONS AND STANDARD
IN	RONTAGE ZO	OSED	DETAILS OF METRO WATER SERVICES. 2. ALL LOTS SHALL HAVE INDIVIDUAL WATER AND SEWER
0	HIN THE REQUER FRONTAGE	E ZONE.	SERVICE.
บร	SE AND OCCU	JPANCY	GENERAL STORMWATER NOTES:
TΗ	IE REQUIRED	SIDEWALK.	1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN
	BSTRUCTION RED GRASS S		ACCORDANCE WITH STORM WATER MANAGEMENT
	OVIDED AT OF		ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
METRO ZONING UBMITTAL			2. THE FINAL DESIGN AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT
THIN THE PROJECT SITE			THE TIME OF FINAL APPLICATION. 3. DRIVEWAY CULVERTS TO BE SIZED PER THE DESIGN
SSARY TO MEET THE SHALL BE DEDICATED.		CATED.	CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT
NSTRUCTION DRAWINGS SIGN REGULATIONS		IONS	IN METRO R.O.W. IS 15" RCP).
TN	APPROVAL (LIC WORKS,	 METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND DESCRIPTION OF A DESCRIPTION OF A DESCRIPROVA DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION OF A DESC
P	LAN, OR FINA	AL.	EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES
	Y VARY BASE		WITHIN THE PROPERTY.
			STORMWATER TREATMENT NOTES:
AL RE	. SP. THE ROA E, BICYCLE RO	ADS, OUTES, ETC.	1. SPECIFIC STORMWATER STORAGE AND TREATMENT
ON	ISTRUCTED F		MEASURES SHALL BE PROVIDED DURING FINAL SP SUBMITTAL AND GRADING PERMIT REIVEW.
TΗ	IE RIGHT OF V		2. ALL PROPOSED STORMWATER MANAGEMENT PRACTICES SHALL CONFORM TO THE LATEST VERSION
ГIС) PUBLIC WOF DNS.		OF THE METRO STORMWATER MANAGEMENT MANUAL AT TIME OF APPLICATION. COMMON PRACTICES
	ING COLLEC	TON FOR	INCLUDE LOW IMPACT DEVELOPMENT (LID) DESIGN,
_			PROPRIETARY WATER QUALITY DEVICES, AND AN IN-LIEU FEE PAYMENT IN PLACE OF TREATMENT.
			FEMA NOTE:
	RCEL SUMMA		1. THIS PROPERTY IS NOT LOCATED IN AN AREA OF FLOOD
HILL REALITY CO. ARMORY DRIVE, SUITE 130			HAZARD OR SPECIAL FLOOD HAZARD ACCORDING TO FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER
VII	LLE, TN 37204 -8100		47037C0241H, EFFECTIVE APRIL 5, 2017.
		FU	FIRE MARSHAL NOTES:
	DDIE O'CONN		1. NEW COMMERCIAL DEVELOPMENTS SHALL BE PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH
١C	RES		PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH THE 2006 EDITION OF NFPA 1 TABLE H.
			2. NO PART OF ANY BUILDING SHALL BE MORE THAN 500 FEET FROM A FIRE HYDRANT VIA A HARD SURFACE
			ROAD. METRO ORDINANCE 095-1541 SEC. 1568.020B. 3. ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20
:			5. ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20 FEET MINIMUM WIDTH AND SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.
	SHALL PRO		4. IF MORE THAN THREE STORIES ABOVE GRADE, CLASS 1
EC	BY THE MET	TRO ZONING	STANDPIPE SYSTEM SHALL BE INSTALLED. 5. IF MORE THAN ONE STORY BELOW GRADE, CLASS 1
IN	ICLUDE A		STANDPIPE SYSTEM SHALL BE INSTALLED. 6. A FIRE HYDRANT SHALL BE PROVIDED WITHIN 100 FEET
	LE DETAILING		OF THE FIRE DEPARTMENT CONNECTION. 7. FIRE HYDRANTS SHALL BE IN SERVICE BEFORE ANY
			COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.
₹ ∨	TABLE		 THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY ECOR FIRE PROTECTION
1		FYICTING	ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY
	ACREAGE	EXISTING ZONING	BUILDING PERMITS
_	1.97	CS. OR20	
_	1.87		1. WHERE FEASIBLE, THIS DEVELOPMENT WILL BE SERVED WITH UNDERGROUND POWER AND PAD-MOUNTED
_	0.10	OR20	TRANSFORMERS. 2. NEW FACILITIES WILL NOT BE ALLOWED TO SIT IN OR
_	0.08	OR20	PASS THROUGH BIORETENTION AREAS, BIOSWALES, AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN
_	0.09	CS CS	PAD-MOUNTED TRANSFORMER EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER.
	0.09	CS	LANDSCAPE NOTES:
_	0.12	IR	LANDSCAPE NOTES: 1. ALL FINAL SITE DEVELOPMENT SHALL MEET LANDSCAPE
_	0.10	IR	REQUIREMENTS OF THE LANDSCAPE SECTION OF THE
	0.12	IR	METRO ZONING ORDINANCE, CHAPTER 17.24 "LANDSCAPING, BUFFERING AND TREE REPLACEMENT". 2 FINAL SITE DEVELOPMENT SHALL DROUDDE STREET
	0.09	IR	 FINAL SITE DEVELOPMENT SHALL PROVIDE STREET TREES IN ACCORDANCE WITH THE REQUIREMENTS OF DISTORT OF DUAL OF DUAL
	0.09	IR	METRO ZONING ORDINANCE, CHAPTER 17.20.120. 3. FINAL SITE PLAN SHALL INCLUDE SUBMITTAL OF A
	0.11	IR	LANDSCAPE PLAN.
	0.09	CS	



SITE LANDSCAPE CASE NO. 2022SP-006-001 2022.01.03_REVISION



LOBBY

FFE 429

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RETAIL

FFE 429

-9 HANDRAIL

(8) PRECAST CONCRETE STEPS

11111

13 BIKE RACK

3 JANUARY 2022

JEFFERSON ST

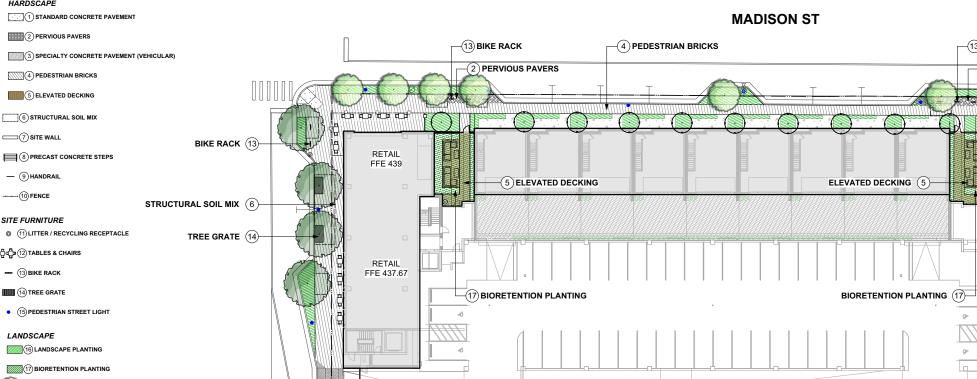
RETAIL FFE 429

888

PERVIOUS PAVERS 2

Hill Center

LAY BY LANE, REFER TO CIVIL DWGS



STANDARD CONCRETE PAVEMENT

HARDSCAPE

2 PERVIOUS PAVERS

4 PEDESTRIAN BRICKS

5 ELEVATED DECKING

6 STRUCTURAL SOIL MIX

B PRECAST CONCRETE STEPS

CONTRACTOR OF THE TOP SITE WALL

- (9) HANDRAIL

SITE FURNITURE

- (13) BIKE RACK THE GRATE

LANDSCAPE

Dates & Chairs

• (15) PEDESTRIAN STREET LIGHT

16 LANDSCAPE PLANTING

(19) CANOPY TREE

BIORETENTION PLANTING 3 UNDERSTORY TREE

.

5TH AVE N

PEDESTRIAN BRICKS

BIKE RACK 13-

PERVIOUS PAVERS 2

-----(10) FENCE



-4 PEDESTRIAN BRICKS

-13 BIKE RACK

2 PERVIOUS PAVERS

RETAIL FFE 435

Q-

RETAIL FFE 429

88 88 88 88 88

8 PRECAST CONCRETE STEPS

4TH AVE N

(4) PEDESTRIAN BRICKS

5 ELEVATED DECKING (17) BIORETENTION PLANTING (11) LITTER / RECYCLING RECEPTAC T SITE WALL



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APPENDIX



Adopted CCM	Parcels are within the North Nashville Study area, and are designated as T4 Urban Mixed Use Neighborhood (T4-MU). This policy is intended to create mixed use neighborhoods with a variety of moderate to high density residential, commercial, office, and light industrial uses.
	Maximimum heights within this designation are typically up to five stories, but greater heights may be allowed depending on the specifics of the location and site design.
	This policy supports rezonings to MUN-A, MUL-A, OR20-A, RM9-A to RM40-A, or SPs based on these districts.
	Portions of these properties are designated Conservation (CO), intended to preserve environmentally sensitive land features through protection and remediation. The guidance for preserving or enhancing these regions will vary with its Transit designation and whether or not the area has already been disturbed.
Greenway and Bike Network	These sites sit along the Cumberland River Greenway, which has direct connections to Bicentennial Park, and the greater Nashville network. Additionally, there is a proposed pedestrian bridge from Taylor Street across the Cumberland River to the River North



NASHVILLE CORE GREENWAY AND BIKE NETWORK



GREENWAY AND BIKE NETWORK NEAR SITE

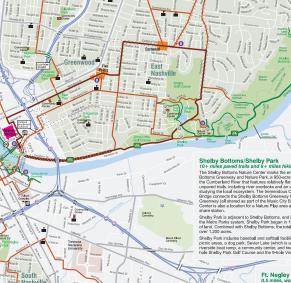
District.

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JEFFERSON STREET - BUILDING ELEVATION

NOTE: FINAL ARCHITECTURAL ELEVATIONS SUBJECT TO MHZC APPROVAL



4TH AVENUE NORTH - BUILDING ELEVATION

NOTE: FINAL ARCHITECTURAL ELEVATIONS SUBJECT TO MHZC APPROVAL



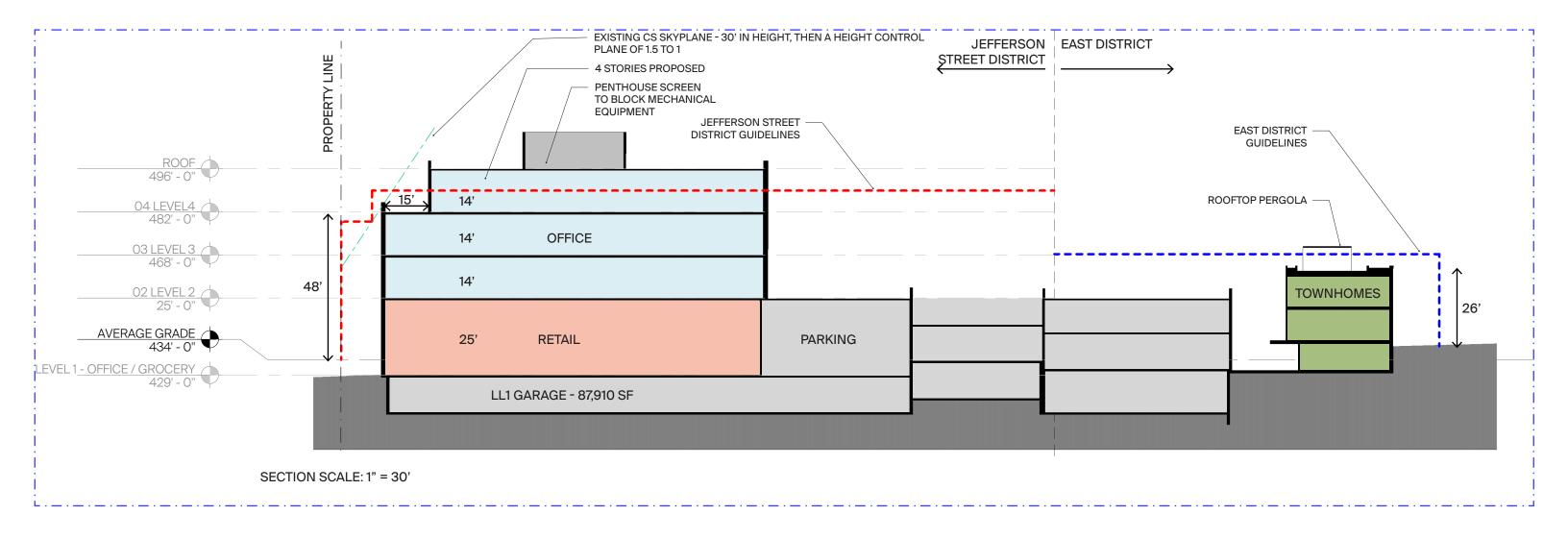
MADISON STREET - BUILDING ELEVATION

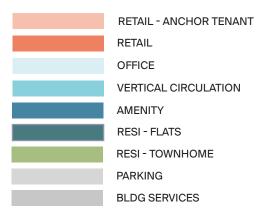
NOTE: FINAL ARCHITECTURAL ELEVATIONS SUBJECT TO MHZC APPROVAL

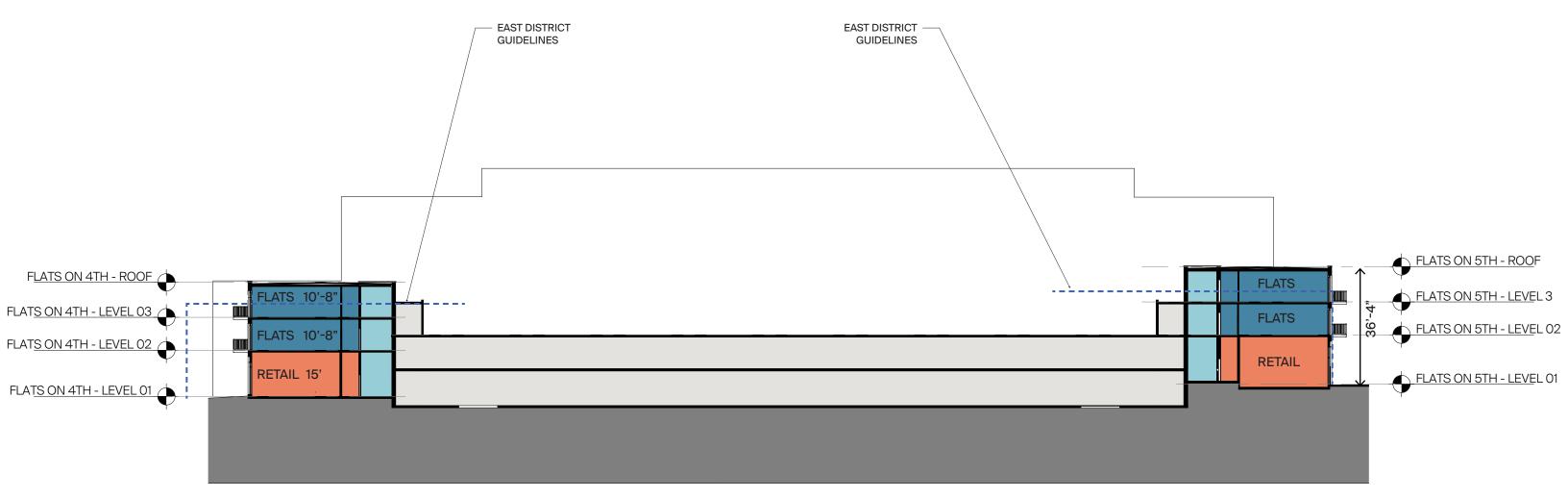


5TH AVENUE NORTH - BUILDING ELEVATION

NOTE: FINAL ARCHITECTURAL ELEVATIONS SUBJECT TO MHZC APPROVAL



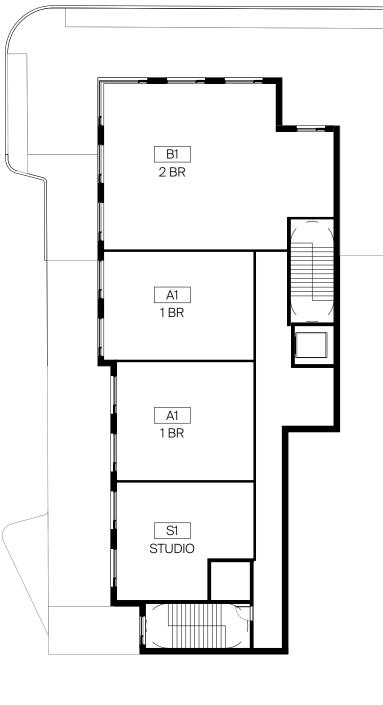


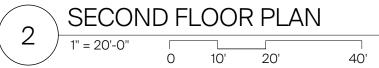


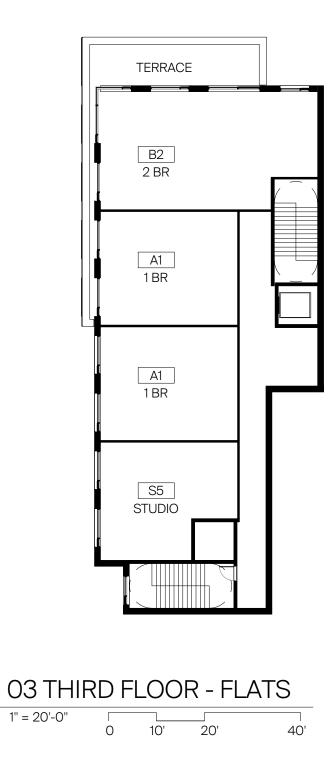
SECTION SCALE: 1" = 30'

RETAIL - ANCHOR TENANT
RETAIL
OFFICE
VERTICAL CIRCULATION
AMENITY
RESI - FLATS
RESI - TOWNHOME
PARKING
BLDG SERVICES



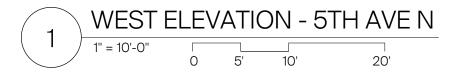








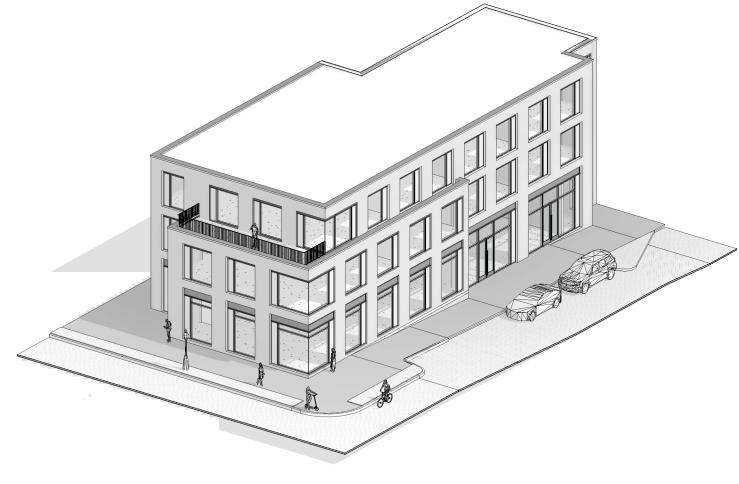
MADISON



FLATS + RETAIL ELEVATION CASE NO. 2022SP-006-001 2022.01.03_REVISION

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