



Metropolitan Council

**PROPOSED AMENDMENTS PACKET
FOR THE COUNCIL MEETING OF
TUESDAY, MARCH 7, 2023**

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SUBSTITUTE ORDINANCE NO. BL2023-1728

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from RS40, ~~and RS15, and CN~~ to RS80 zoning for various properties located south of Evergreen Trail and Nawakwa Trail, on either side of Neely's Bend Road, (~~4,053.98~~ 1,030.66 acres), all of which is described herein (Proposal No. 2023Z-020PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS40, ~~and RS15, and CN~~ to RS80 zoning for various properties located south of Evergreen Trail and Nawakwa Trail, on either side of Neely's Bend Road, (~~4,053.98 acres~~ being (1,030.66 acres) being various Property Parcels Nos. as designated on various Maps of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on ~~Map 063~~ various maps of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. The Metropolitan Clerk is directed to publish a notice announcing such change in a newspaper of general circulation within five days following final passage.

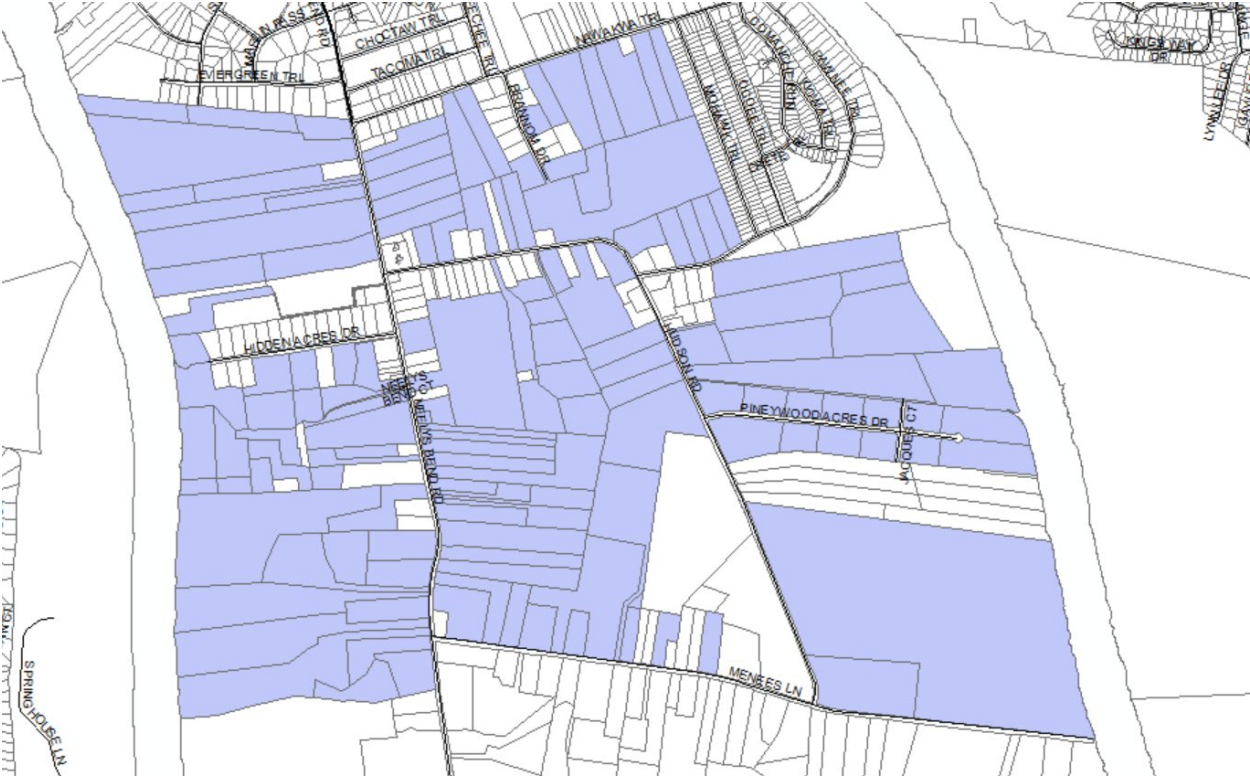
Section 4. This Ordinance shall take effect upon publication of above said notice announcing such change in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Tonya Hancock
Member of Council

Parcel List attached
2023Z-020PR-001
Subarea 04, Madison
District 9 (Hancock)
Application fee paid by: Fee waived by Council

A request to rezone from RS40, and RS15, and CN to RS80 zoning for various properties located south of Evergreen Trail and Nawakwa Trail, on either side of Neely's Bend Road, (~~4,053.98~~ 1,030.66 acres), requested by Councilmember Tonya Hancock, applicant; various owners.



Substitue BL2023-1728 (2023Z-020PR-001) Owners Table

STANPAR	Owner
06301002500	GLASS, SHARON E. & LANGSTON C.
06300001800	COLLIER, KENT B. & DEBRA L.
06300003400	GREER, JACOB DAVID
06300003900	GILBERT, JAMES A. ETUX
06300005800	NORTH, STEPHEN & JO ANN
06300029300	CARTER, BRETT & VIRGINIA
06300029400	CARTER, BRETT & VIRGINIA
06300029500	CARTER, BRETT & VIRGINIA
06300029600	NOLEN, ROBBIN C.
06300029700	NOLEN, ROBBIN C.
06200007800	FUENTES, ABNER & AMBER C
06300001000	CAMPBELL, RONALD F. & JOY H.
06300022400	ASPEN, CRAIG & FRAZZINI, CYNTHIA A.
06300022700	DEVASHER, BERNARD D. & MARY E.
06300023000	CLOSSER, JAMES B. & MYRNA M.
06300023900	MORRIS, ROBERT L. & LINDA K.
06300026400	ADAMS, SHELBY L. & DAVID H. (LE)D. ADAMS
06300027400	ALLEN, DONALD R. & KIMBERLY D.
06301001500	HENSLEY, HILLARD RAY, SR., THELMA J.
06300030200	DAFT, KIMBERLY & THOMAS
06200022000	ADAMS, ELAINE FOX
06200022300	DOWNER, BARRY
06200022500	JACKSON, JOANNE B. & WILLIAM JOSEPH
06200024000	JACKSON, WILLIAM JOSEPH & KATHY JOANNE BARNES
06200025600	ADAMS, ELAINE FOX
06200025900	MAHONEY, PHILLIP DALE
06200026000	MAHONEY, PHILLIP DALE
06300009800	WILBUR, HAROLD L.
06300011000	SMITH, MYRA H.
06300012200	GARVIN, WILLIAM BAXTER ETUX
06300012700	FORD, JOHN CHARLES
06300013000	FORD, JOHN CHARLES
06300013400	KLEIBSCHEIDEL, CALEB & KAYLA
06300016400	BUSH, DAROLD R., SR. & SHARON E. K.
06300018700	BLIER, JACK WILLIAM & PAMELA PARKER
06301002700	KAFIFARASHAH, BIJAN & FARHAD ET AL
06301003600	GRAY, SCOTT E. JR & CHERIA PEOPLES
06301004500	JONES, PHILLIP W. ET UX
06301005300	YOUNG, PATRICIA K.
06300004500	GREENE, FRANKLIN J. & PETERSON, PAMELA J.
06300004700	WRIGHT, JAMES D. & DEBORAH & BOWMAN, DELORIS M.
06300006400	SWS HOLDINGS, LLC
06300006500	SWS HOLDINGS, LLC
06300007400	LAWRENCE, BRENT & DAVETA
06300028400	DANIEL, JOINT REVOCABLE LIVING TRUST, THE
06300029200	CARTER, BRETT & VIRGINIA CARTER
06200009900	TIECHE, JENNIFER
06200006800	HARRIS, GLENN A & JUDITH G
06300022900	ARMSTRONG, MARK A. & TRINA B.
06300023200	DEVASHER, BERNARD D.& MARY
06300025900	PROW, TIMOTHY A. & SHANNON S., TRUSTEES
06300026100	RICHARD, JEFFREY A. & JEANNIE
06300026200	HARRIOTT, ALWYN DALVESTER & MELPHINE MERLE PONNIAH
06300027300	RIDINGS, MARK C. & LARINDA C.
06300028800	FORKUM, JAMES W. ET UX
06200022200	DOWNER, BARRY
06200024700	BOYD, KELLI L.

05300002500 HOLT, GEORGE ET UX
 05300002600 SHELTON, DEXTER J. & KAY B.
 06300009900 SCOTT, JAKE MURPHY & BRAVO, CAROLINE
 06300010800 DANIEL, JACK WAYNE & KATHERINE A.
 06300011400 ANDERSON, WILLIAM & VICKI
 06300011500 KEY, MICHAEL L. & MARY K.
 06300012500 MCKENZIE, MICHAEL L. ET UX
 06300016500 GRAMMER, JEFFERY TODD JR.
 06300018000 DALE, JAMES ROGER, SR. & PATRICIA FOX-
 06300019300 BLIER, DAVID A. & JANICE C.
 06300020700 KIEL, CYNTHIA D.
 06300028000 SANFORD, ROBERT L. & ERIKA A.
 06301002400 1555 HUDSON ROAD, LLC
 06300002600 DANIEL, DAVID LANCE & JACK WAYNE
 06300003600 PRINCE, LARRY N. & KATHERINE C.
 06300004100 KY-TN CONFERENCE ASSOC. OF SEVENTH DAY ADVENTISTS, INC
 06300004200 KY-TN CONFERENCE ASSOC. OF SEVENTH DAY ADVENTISTS, INC
 06300005500 KEITH, MILTON LAWRENCE ETUX
 06300006600 FLOYD, TONIA M.
 06300029800 NOLEN, ROBBIN C.
 05313003300 SMITH, AMY & MICHAEL ANTHONY
 06200007700 LIVINGSTON, GEORGE W. & JANET G.
 06300000202 DOWNER, BARRY
 06200012600 MCCRARY, JACKIE WAYNE & RACHEL ELAINE
 06200012900 MCCRARY, RONNIE E. ET UX
 06300001100 HANCOCK, RONALD A. & EDNA M.
 06200006900 HARRIS, GLENN A & JUDITH G
 06300023700 ODOM FAMILY TRUST & ODOM ET AL
 06300023800 FRAZZINI, CYNTHIA A.
 06300025700 THOMAS P. ROGERS REVOCABLE TRUST, THE
 06301001600 CASLER, SONIA E.
 06301002000 PEEK, R. A. ETUX
 06300029000 MORALES, JOEL & CAZAREZ, SAIRA B.
 06300030100 WONG, AHSHEW
 06300031300 WILLIAMS, DUSTIN FRANKLIN & JACKSON, BAILEY K
 06300010900 JERRY MACK AND ANN FESMIRE HARGIS LEGACY FAMILY LMTD PRNRSHP
 06300011100 BICKEL, KATIE JONES
 06300011200 OAKES, JOSHUA & FLORENCE
 06300011600 MARTINEZ, JENNIFER GUICEL GOMEZ & DUBON, VICTOR H D
 06300012400 ANDERSON, WILLIAM & VICKI
 06300013300 RAYMOND, MARC
 06300016800 BOYD, KELLI L.
 06300018900 FORKUM, JAMES W. ET UX
 06300019400 MENEES, HENRY E. ET UX
 06300020300 DANIEL JOINT REVOCABLE LIVING TRUST, THE
 06300030000 NORTH, DAVID P. & CHERRI BETH
 06300001500 BURCH, JAMES W. ETUX
 06300001600 BURCH, JAMES W. ETUX
 06301002600 LANCE, CHRISTOPHER
 06301004900 BRANNOM, MICHAEL E. & L. D., JR. & CHRISTIAN, SUSAN B
 06301005200 THOMAS, SCOTT & MARGARET
 06300001900 JACKSON, CARTER THOMAS
 06300002200 LIVINGSTON, GEORGE W. & JANET G.
 06300002900 SANFORD, ROBERT L. & ERIKA A.
 06300003200 FORKUM, JAMES W. & PATRICIA L.
 06300003500 PRINCE, LARRY N. ET UX
 06300004600 MCDANIEL, ROBERT F. ETUX
 06300004900 TRAVIS, PHILIP & KAREN C.
 06300004901 AGUILAR, ABRAHAM & PENNA, KARLA VANESSA
 06300005000 SAWYER, ADAM M & ANDREA
 06300005100 TOWNSEND, TIMOTHY E. & CATHLEEN M.
 06300029900 NOLEN, ROBBIN C.

06200008000	MYER, CARL E. & PATRICIA J.
06300000100	BOYD, KELLI L.
06200006700	KINGSBURY, SHERRY
06300021900	BECK, WILLIAM T. ET UX
06300026000	LYNCH, JEFFREY C
06301001400	DARNELL, KATHERINE SHELLEY
06301001700	JOHN, MICHAEL W. ET UX
06200025300	REGULI, DENNIS & CHRISTINA
05300002200	ROMERO, JULIO C.
06300012600	FORD, JOHN CHARLES
06300012800	GRAGG, DAVID WAYNE & JANET R.
06300012900	FORD, JOHN CHARLES
06300013100	FORD, JOHN CHARLES
06300013200	FORD, JOHN CHARLES
06300013500	KLEIBSCHEIDEL, JOINT REVOCABLE LIVING TRUST, THE
06300016600	DANIEL JOINT REVOCABLE LIVING TRUST, THE
06300016700	GRADDY, ANTHONY PAUL
06300017100	ELLIS, MICHAEL P. & CYNTHIA H.
06300018600	GRAMMER, GLENDA
06300021300	BECK, ROBERT J. & SHARON A.
06305000600	FELDMAN, TARRYN

Substitute BL2023-1728 (2023Z-020PR-001)**Parcel Table**

Parcel ID	Property Address	City	State	Zip
06301002500	0 HUDSON RD	MADISON	TN	37115
06300001800	1646 NEELYS BEND RD	MADISON	TN	37115
06300003400	1627 NEELYS BEND RD	MADISON	TN	37115
06300003900	1609 NEELYS BEND RD	MADISON	TN	37115
06300005800	0 MENEES LN	MADISON	TN	37115
06300029300	0 NEELYS BEND RD	MADISON	TN	37115
06300029400	0 NEELYS BEND RD	MADISON	TN	37115
06300029500	0 NEELYS BEND RD	MADISON	TN	37115
06300029600	0 NEELYS BEND RD	MADISON	TN	37115
06300029700	0 NEELYS BEND RD	MADISON	TN	37115
06200007800	1542 NEELYS BEND RD	MADISON	TN	37115
06300001000	1558 NEELYS BEND RD	MADISON	TN	37115
06300022400	1548 NEELYS BEND RD	MADISON	TN	37115
06300022700	1735 HUDSON RD	MADISON	TN	37115
06300023000	1729 HUDSON RD	MADISON	TN	37115
06300023900	1607 NEELYS BEND RD	MADISON	TN	37115
06300026400	1410 NEELYS BEND RD	MADISON	TN	37115
06300027400	1564 HUDSON RD	MADISON	TN	37115
06301001500	1435 NEELYS BEND RD	MADISON	TN	37115
06300030200	0 NEELYS BEND RD	MADISON	TN	37115
06200022000	0 NEELYS BEND RD	MADISON	TN	37115
06200022300	0 NEELYS BEND RD	MADISON	TN	37115
06200022500	1510 NEELYS BEND RD	MADISON	TN	37115
06200024000	591 HIDDEN ACRES DR	MADISON	TN	37115
06200025600	0 NEELYS BEND RD	MADISON	TN	37115
06200025900	560 HIDDEN ACRES DR	MADISON	TN	37115
06200026000	0 HIDDEN ACRES DR	MADISON	TN	37115
06300009800	1719 NEELYS BEND RD	MADISON	TN	37115
06300011000	1624 PAWNEE TRL	MADISON	TN	37115
06300012200	554 MENEES LN	MADISON	TN	37115
06300012700	105 PINEYWOOD ACRES DR	MADISON	TN	37115
06300013000	104 PINEYWOOD ACRES DR	MADISON	TN	37115
06300013400	120 PINEYWOOD ACRES DR	MADISON	TN	37115
06300016400	1705 NEELYS BEND RD	MADISON	TN	37115
06300018700	1541 NEELYS BEND RD	MADISON	TN	37115
06301002700	515 NAWAKWA TRL	MADISON	TN	37115
06301003600	1425 NEELYS BEND RD	MADISON	TN	37115
06301004500	1424 BRANNOM DR	MADISON	TN	37115
06301005300	1525 HUDSON RD	MADISON	TN	37115
06300004500	1606 HUDSON RD	MADISON	TN	37115
06300004700	1650 HUDSON RD	MADISON	TN	37115
06300006400	0 HUDSON RD	MADISON	TN	37115
06300006500	1755 HUDSON RD	MADISON	TN	37115
06300007400	1621 PAWNEE TRL	MADISON	TN	37115
06300028400	0 HUDSON RD	MADISON	TN	37115
06300029200	0 NEELYS BEND RD	MADISON	TN	37115
06200009900	599 HIDDEN ACRES DR	MADISON	TN	37115
06200006800	570 HIDDEN ACRES DR	MADISON	TN	37115
06300022900	1731 HUDSON RD	MADISON	TN	37115
06300023200	0 HUDSON RD	MADISON	TN	37115
06300025900	1562 HUDSON RD	MADISON	TN	37115
06300026100	1554 HUDSON RD	MADISON	TN	37115
06300026200	1546 HUDSON RD	MADISON	TN	37115
06300027300	1566 HUDSON RD	MADISON	TN	37115
06300028800	0 MENEES LN	MADISON	TN	37115
06200022200	0 NEELYS BEND RD	MADISON	TN	37115
06200024700	0 NEELYS BEND RD	MADISON	TN	37115

05300002500	407 NAWAKWA TRL	MADISON TN	37115
05300002600	417 NAWAKWA TRL	MADISON TN	37115
06300009900	1709 NEELYS BEND RD	MADISON TN	37115
06300010800	1645 HUDSON RD	MADISON TN	37115
06300011400	1805 HUDSON RD	MADISON TN	37115
06300011500	508 MENEES LN	MADISON TN	37115
06300012500	113 PINEYWOOD ACRES DR	MADISON TN	37115
06300016500	1707 NEELYS BEND RD	MADISON TN	37115
06300018000	506 MENEES LN	MADISON TN	37115
06300019300	1600 NEELYS BEND RD	MADISON TN	37115
06300020700	520 MENEES LN	MADISON TN	37115
06300028000	620 MENEES LN	MADISON TN	37115
06301002400	1555 HUDSON RD	MADISON TN	37115
06300002600	1633 HUDSON RD	MADISON TN	37115
06300003600	1621 NEELYS BEND RD	MADISON TN	37115
06300004100	1605 NEELYS BEND RD	MADISON TN	37115
06300004200	1601 NEELYS BEND RD	MADISON TN	37115
06300005500	432 MENEES LN	MADISON TN	37115
06300006600	1737 HUDSON RD	MADISON TN	37115
06300029800	1800 NEELYS BEND RD	MADISON TN	37115
05313003300	525 NAWAKWA TRL	MADISON TN	37115
06200007700	1550 NEELYS BEND RD	MADISON TN	37115
06300000202	1448 NEELYS BEND RD	MADISON TN	37115
06200012600	1642 NEELYS BEND RD	MADISON TN	37115
06200012900	1644 NEELYS BEND RD	MADISON TN	37115
06300001100	1544 NEELYS BEND RD	MADISON TN	37115
06200006900	0 NEELYS BEND RD	MADISON TN	37115
06300023700	1546 NEELYS BEND RD	MADISON TN	37115
06300023800	0 HIDDEN ACRES DR	MADISON TN	37115
06300025700	1542 HUDSON RD	MADISON TN	37115
06301001600	1443 NEELYS BEND RD	MADISON TN	37115
06301002000	1521 HUDSON RD	MADISON TN	37115
06300029000	1434 NEELYS BEND RD	MADISON TN	37115
06300030100	0 NEELYS BEND RD	MADISON TN	37115
06300031300	1712 NEELYS BEND RD	MADISON TN	37115
06300010900	1640 PAWNEE TRL	MADISON TN	37115
06300011100	1616 PAWNEE TRL	MADISON TN	37115
06300011200	1610 PAWNEE TRL	MADISON TN	37115
06300011600	612 MENEES LN	MADISON TN	37115
06300012400	117 PINEYWOOD ACRES DR	MADISON TN	37115
06300013300	116 PINEYWOOD ACRES DR	MADISON TN	37115
06300016800	0 NEELYS BEND RD	MADISON TN	37115
06300018900	542 MENEES LN	MADISON TN	37115
06300019400	538 MENEES LN	MADISON TN	37115
06300020300	519 NAWAKWA TRL	MADISON TN	37115
06300030000	320 MENEES LN	MADISON TN	37115
06300001500	1618 NEELYS BEND RD	MADISON TN	37115
06300001600	1620 NEELYS BEND RD	MADISON TN	37115
06301002600	605 NAWAKWA TRL	MADISON TN	37115
06301004900	1409 BRANNOM DR	MADISON TN	37115
06301005200	1547 HUDSON RD	MADISON TN	37115
06300001900	0 NEELYS BEND RD	MADISON TN	37115
06300002200	0 NEELYS BEND RD	MADISON TN	37115
06300002900	616 MENEES LN	MADISON TN	37115
06300003200	1733 NEELYS BEND RD	MADISON TN	37115
06300003500	1625 NEELYS BEND RD	MADISON TN	37115
06300004600	1622 HUDSON RD	MADISON TN	37115
06300004900	1722 HUDSON RD	MADISON TN	37115
06300004901	1732 HUDSON RD	MADISON TN	37115
06300005000	1740 HUDSON RD	MADISON TN	37115
06300005100	0 HUDSON RD	MADISON TN	37115
06300029900	0 NEELYS BEND RD	MADISON TN	37115

06200008000	1540 NEELYS BEND RD	MADISON TN	37115
06300000100	1420 NEELYS BEND RD	MADISON TN	37115
06200006700	1632 NEELYS BEND RD	MADISON TN	37115
06300021900	0 NEELYS BEND RD	MADISON TN	37115
06300026000	1558 HUDSON RD	MADISON TN	37115
06301001400	1427 NEELYS BEND RD	MADISON TN	37115
06301001700	1447 NEELYS BEND RD	MADISON TN	37115
06200025300	1554 NEELYS BEND RD	MADISON TN	37115
05300002200	405 NAWAKWA TRL	MADISON TN	37115
06300012600	109 PINEYWOOD ACRES DR	MADISON TN	37115
06300012800	101 PINEYWOOD ACRES DR	MADISON TN	37115
06300012900	100 PINEYWOOD ACRES DR	MADISON TN	37115
06300013100	108 PINEYWOOD ACRES DR	MADISON TN	37115
06300013200	112 PINEYWOOD ACRES DR	MADISON TN	37115
06300013500	124 PINEYWOOD ACRES DR	MADISON TN	37115
06300016600	0 NAWAKWA TRL	MADISON TN	37115
06300016700	1430 NEELYS BEND RD	MADISON TN	37115
06300017100	1429 BRANNOM DR	MADISON TN	37115
06300018600	1711 NEELYS BEND RD	MADISON TN	37115
06300021300	0 NEELYS BEND RD	MADISON TN	37115
06305000600	1525 NEELYS BEND RD	MADISON TN	37115

AMENDMENT NO. __
TO
RESOLUTION NO. RS2023-2044

Mr. President –

I hereby move to amend Resolution No. RS2023-2044, as follows

1. By amending Section 1 as follows:

Section 1. There shall be established among the accounts of the Metropolitan Government a “Nashville Needs Impact Fund” to be used for the provision of resources to nonprofit entities serving Nashville and Davidson County in public education; public transit; affordable housing; and supporting diversity, equity, and inclusion generally including gender equity in sports. The Fund may also be used for the provision of resources to entities related to professional women’s sports infrastructure, promotion, marketing, and direct recruitment.

2. By amending Section 3 as follows:

Section 3. The Metropolitan Council will form a committee each year to receive and consider applications from qualified nonprofit entities and to recommend appropriations from the Nashville Needs Impact Fund, which the Metropolitan Council may make consistent with the purposes of such fund.

SPONSORED BY:

Nancy VanReece
Member of Council

SUBSTITUTE ORDINANCE NO. BL2023-1773

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by applying a Two Story Overlay District for various properties located east of McGavock Pike and south of Meadowood Drive, (~~227.34~~ 249.01 acres), all of which is described herein (Proposal No. 2023TSO-001-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By applying a Two Story Overlay District for various properties located east of McGavock Pike and south of Meadowood Drive, (~~227.34~~ 249.01 acres),^r being various Property Parcels Nos.as designated on various Maps of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on various Maps of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. The Metropolitan Clerk is directed to publish a notice announcing such change in a newspaper of general circulation within five days following final passage.

Section 4. This Ordinance shall take effect upon publication of above said notice announcing such change in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Jeff Syracuse
Member of Council

Parcel List attached
2023TSO-001-001
Subarea 5 14 ~~North Nashville~~ Donelson-Hermitage-Old Hickory
District 15 (Syracuse)
Application fee paid by: Fee waived by Council

A request to apply a Two Story Overlay District for various properties located east of McGavock Pike and south of Meadowood Drive, (227.34 ~~249.01~~ acres), requested by Metro Councilmember Jeff Syracuse, applicant; various property owners



Substitue BL2023-1773 (2023TSO-001-001)**Owners Table**

Parcel ID	Owner
0850000301	PATTON, GARY T. & WYATT, SARAH E.
08513001500	FINCH, MARK, & TERESA
08513000200	CARTER, ELDON E. ET UX
08513001300	WHITTINGTON, ALAN D & MUSCATELLO, CHRISTIN JOANNA
08513000300	CARTER, ELDON E. ET UX
08513001200	HRUSKA, AMANDA J & GLEN M
08513000400	KENT, JOHN DAVID & ABRA NICOLE
08513001100	LOBAN, JACOB THOMAS
08513000500	BRADLEY, WILLIAM L., JR.
08513001000	CRAFT, KENNETH E. & SHIRLEY D.
08513000100	JARRETT, M. D. & HOLLY & ETAL
08513000800	DONELSON CHURCH OF CHRIST
08513000900	KLEROS, LLC
08500000300	CROTZER, MARY SUE REVOCABLE TRUST ETAL
08404004300	GASPARINI, ANDREW & KILGORE, JILL
08505000300	MARTIN, MATTHEW H. & GWEN ANNE
08408002400	SIMONS, BRETT
08505000400	TOLMAN, KATHLEEN L. & STEPHEN H.
08505002500	IBACH, GEORGE & SUSAN
08505000500	BOYER, PHILIP G. ET UX
08505001900	REED, ROBERT JASPER JR., & LOUISE BRENT
08408008000	EDWARDS, E. L., JR., TESTAMENTARY TRUST
08408012100	EDWARDS, E. L., III & WILLIAM HEATH SR., CO-TRS.
08408012200	MOLE, JOE NATHAN JR. & CHARITY
08408009500	SCHMITZ, JESSE
08408012400	BROWN, LORENZO CARL JR. & JACQUELINE
08408012500	BROWN, CARL F.
08408009600	GIANNITRAPANI, LAURA
08408009700	RITCHEY, AMY & BRIAN
08412001100	BAKER, JUDY T.
08412001200	LARGE, JEFFREY ALAN & CLARK, NATALIE
08412001300	COX, TIMOTHY S. & PAMELA M.
08412001400	RASMUSSEN, BRANDON
08412001500	BERTOLI, MICHAEL ANTONIO
08500005100	BATEY, RICHARD A. & CAROLYN T.
08509002400	DEAROLF, DAVID A. & GAIL Y.
08412015200	2021 JACQUELYN J. SMITH IRREVOCABLE TRUST
08509002500	SULLIVAN, J. MICHAEL & NANCY B.
08509002600	PALMERI, RENATA
08509002700	MARTIN, CHARLES & PAULA S.
08412015400	CROTZER, MARY SUE REVOCABLE TRUST
08404004200	FISHER, TERRY L
08404004100	MORGAN, KENNETH
08408001300	OWINGS, EMILY M & LINDA F
08408001400	HAYS, LINCOLN A. & FRED A. M., CO-TRUSTEES
08408001500	PRICE, MARK G. & MARTHA
08408001600	SONNIER, CYNTHIA M.
08408001700	FASIG, KATHLEEN C. (LE) & JACOB ANDREW
08408001800	ENGLEBROOK, KILA J. & MCCOLLOUGH, CHARLES ALEXANDER
08408002300	HOOD, LUCILLE R. (LE) & MARTHA ANN (LE)
08408001900	POTTIER, AMY D.
08408002000	WILSON, BARBARA M & WILSON, LARRY A JR
08408002200	COOPER, JAMES B. & ROBERTSON, KATHERINE E.
08408002800	TENEPROP, LLC
08408002900	COX, ANN L. & TEDDY P.
08408003000	GRAY, KAY C.
08408003100	GRAY, KAY DR.

08408002100 REGG, WILLIAM T. & BARBARA M.
 08408003200 BIFFLE, STEVEN L.
 08408003300 SANDERS, DONALD H.& BETTY L. D. R.
 08408004700 LINCOYA HILLS BAPT. CHURCH TRS.
 08408004600 LINCOYA HILLS BAPT. CHURCH TRS.
 08408003400 MALASKI, MATTHEW JOEL & KRISTINE F.
 08408004500 OCHOA, ALISON ANNE & JOSE RAMON
 08408004400 RUSH, ALBERT C.
 08408003500 BARTHOLOMEW, DEBORAH KAY & KISER, JOHN DAVID
 08408004300 CHANDLER, KEITH B. & GRAY, HARRIETT KEITH K.ETAL
 08408004200 HOLMAN, EDWARD A. ET UX
 08408004100 NACARATO, JOSEPH
 08408003600 RUEGER, LINDSEY
 08408005000 HUMBLE, MARK WILLIAM
 08408004000 AGNEW, JAMES F. & SARAH C.
 08408005100 BARNARD, LORINDA D
 08408005200 THURMAN, SAMMY
 08408003700 THOMAS, MARGARET G. & ROY T.
 08408005300 FERRELL, GEORGE T. & JULIA C.
 08408005400 DAVIDSON, BUFORD R. & BETTY E.
 08408004900 NAULT, STEPHEN
 08408003900 KINCAID, KIM
 08408006500 NEWMAN, FRANK M. ETUX
 08408003800 POWERS, JAN T.
 08408005500 SMITH, KATHERINE H & MATTHEW M
 08408004800 POINTER,FRANK M.& PAULA J- REV LIV TRUST
 08408006000 BAGGETT, DAVID GLEN, JR.
 08408006600 JERNIGAN, BARBARA & KUPERSTOCK, STUART ETAL
 08408005900 BARRETT, M. LEE, JR.
 08408005600 KIPPES, KENT R.
 08408005700 HORTON, TOBY L.
 08408006700 WALLEN, JEFFREY W. & REBECCA B.
 08408006400 TOLMAN, STEPHEN & KATHLEEN
 08408006800 HAYES, ALAN FRANKLIN & ALYSSA RENEE
 08408005800 GUSS, THOMAS F. & JOYANNA
 08408006900 GALITELLO, JOHN L. & CYNTHIA L.
 08408006300 RIDLEY, WILLIAM A.
 08408007000 MILLER, DAVID WAYNE & LISA BLACKWELL
 08408006200 BINKLEY, JOHN M.& LEIGHSA C.
 08500004600 CLARK, RANDY
 08408008300 DONELSON FREEWILL BAPTIST CHURCH, TRS.
 08408006100 PARKS, ALTA K.
 08408007400 GOOLD, BARRY
 08408007300 KINDER, RANDALL & KIERSTEN
 08408007200 GIBSON, JESSICA R.
 08408007100 CANNON, BETTY B.
 08408007500 CARINI, TIMOTHY DAVID & ZHOU, NA
 08408008400 FERRELL, ALTON D. ET UX
 08408007900 TRAMMELL, DENA
 08408011300 O'CONNELL, COLLEEN
 08408007600 MITCHELL, PHILIP C. ET UX
 08408007800 MENEELY, JANE & QUINN
 08408008500 HELTON, CLAYBRON E. ET UX
 08408010500 DAVIDSON, BRIAN
 08408010600 WHITE, MADELINE
 08408010400 GAMBRELL, MARGARET B.
 08408008600 MAULTSBY, MELANIE REGG & REGG, WILLIAM KEVIN
 08408007700 GARCIA, DEBRA C. & VICTOR C.
 08408011400 MCGLASSON, ROBERT SCOTT & KELLEY L.
 08408010300 VERBLE, LEROY & BETTY JEAN
 08408008700 JOHNSON, MATTHEW & TAYLOR
 08505001100 LATIMER, ANDREA

08408010200 VELUSWAMY, MURALI S. & JK C.
 08408010700 O'NEAL, MICHAEL
 08505001400 RIDGILL, JANET FOX & ERIC T.
 08408011500 THOMPSON, CASS MICHAEL
 08408008800 HOWELL, MICHAEL A. & DEBORAH D.
 08408010100 CERVANTES, LAZARO
 08408009400 FARLEY, EUGENE N. & DOROTHY K.
 08408011600 KLEIN, BARBARA M.& MORROW-VDORICK, C.
 08408010800 O'NEAL, CHERYL H.
 08505001000 DAVIDSON, SANDRA WINTON
 08408009300 LARGE, ALICE ELAINE ATNIP
 08408012300 KILGROW, BUD & BETTYE TRUST
 08408008900 SIMONS, BRETT
 08408010900 DAHLGREN, ROBERT C. & JUDITH H.
 08505001500 SCHUMANN, JULI
 08408010000 MCCORMACK, SHERRIE J.
 08408009200 BERTOLI, MICHAEL ANTONIO
 08408011700 BALTZ, THOMAS G. & HARRIET A.
 08505000900 SEITZMAN, MARC A. & SEITZMAN, AIMEE
 08408011000 WILKENS, JENNA & CHRISTOPHER
 08408011100 ROBERT A. & CHRISTINA M. DIRIENZO REVOCABLE LIVING TR
 08408009100 PARMELEE, JOHN ET UX
 08408009900 MISENHEIMER, CHASE E & KIRKPATRICK, KOURTNEY F
 08408009000 CALDWELL, TIMOTHY THOMAS
 08408011200 HARPER, WILLIAM A & ALEXA B
 08408011800 DICKERSON, KIMBERLY D. & CAMERON, MARJORIE
 08505000800 CRUMBY, ROBERT H. ET UX
 08505000700 GANN, BILLY W.
 08505001600 WILCOX, CHARLES E. ET UX
 08408011900 LIEN, MING
 08408009800 MCCARTHY, ROBERT D. & KATHRYN A.
 08505000600 WALKER, MEGHAN C.
 08408012000 POWERS, LAUREN ELIZABETH & SCARPINE, SAMUEL NATHAN
 08505001700 CARTER, TREBA J.
 08412004400 WRIGHT, ANDREW
 08412005400 SHARP, ANDREW R.
 08509000800 KINNEY, DAVIS & MORGAN MCKENZIE
 08412001600 LARMER, SCOTT A. & ASHLEY M.
 08412004300 INSCOE, WESSLEY & MELISSA
 08412004500 EUBANKS, JONATHAN & LAUREN
 08412004600 MASON, MALLORY
 08509000900 WHITTINGTON, BRENDA B.
 08412004700 JOYNES, ROGER
 08505001200 EARHEART, CHARLES L., JR. & AMY J.
 08505001300 DAVIS, NICHOLAS E. & MEGAN VINSON
 08408008002 LUTSENKO, YURIY & YULIYA
 08412001700 DYE, GREGORY TODD
 08412001800 DAWSON, WILLIAM N. & GIANNITRAPANI, KARLEEN
 08412001900 SULLIVAN, ROBERT L. ET UX
 08412002000 PATRICK, ELIZABETH SAUVAGEOT & DAVID WESLEY
 08509001000 TAYLOR, PATRICIA
 08509001100 WILLIAMS, ROBERT K. & SERVAIS, LISA
 08412002100 GREEN, DEBBIE D. & DOLL, ANDREA
 08412002200 LILLIAN CORAZZA REVOCABLE LIVING TRUST, THE
 08412002300 STRAUSS, ARTURS E. & PAULA H.
 08412003000 WHITE, MICHAEL DAVID
 08412004200 CRANTEK, JEREMY M. & POWELL, APRIL T.
 08412004800 BUCHANAN, DAVID W. & NICOLE S.
 08509000100 PEEK, MICHAEL WAYNE
 08412002900 WINDUS, MICHAEL A. ETUX
 08509001200 SMITH, S. A. ET UX
 08412004900 ROBBINS, MARK W. & CHERYL B.

08412002400 TRIPP, JOSEPH E. & AMY U.
 08412003100 LUNDY, ANNA & GARCIA, JOSEPH C.
 08412002800 HORTON, LYNN M. & MICHAEL D.
 08412002600 STARTUP, JAMES & KIM
 08509000200 DAVIS, SHARON M.
 08412004100 NILES, GORDON J. & LORI W.
 08412002700 BEATY, GARY D. & PURCELL-BEATY, MARTELLA R.
 08412005500 YANCEY, JOHN H. & JENNIFER L.
 08509001300 HOOVEN, DAVID C. & ANNA P.
 08509000300 BARQUERO, CARLOS A. & LAURA A.
 08412005000 ROBBINS, DANIEL M., JR.
 08412002500 LACZKO, BRIAN J & LEWIS, KATHRYN D
 08412003200 AKIN, DAVID L. ET UX
 08412004000 MARQUES, PETER JAMES & APRIL MICHELLE
 08412003300 WONG, GINH ANN MARIE & CHING F.
 08412003400 ZEOLI, TYLER CHARLES & VELLUCCI, ASHLEY
 08412003500 KIM, DONG C. & SUE
 08412003600 HUHLIN, GILBERT P SR., & ISABELLA A TRS
 08412003700 SMITH, JOHN W. & GEORGANNE M.
 08509001400 MCCOURT, JOHN F.
 08509000400 ALLEY, FRANK B. DR. ETUX
 08412005600 HARPER, WILLIAM HENRY
 08412005100 WADE, SUZANNE E. & CARL F.
 08412005300 COOK, STANLEY L. & MARTHA R.
 08412003800 EALEY, RICHARD
 08412003900 RALPH, SHARON D.
 08509000700 MARCHESE, SHANNON L. & PAUL W.
 08509000600 MADDOX, ROBERT A., JR. & LESLIE
 08412010000 GOLDIE, TRACEY & WARREN
 08509001500 SLUTSKY, MARTIN B. & SHARON F.
 08412005200 ROLLINS, NORMAN D. ETUX
 08412005700 KEELING, JAMES T & GEORGIA J
 08412010100 MARTIN, JAMES E. JR. & ANN W.
 08509000500 HOPPER, MICHAEL E.
 08412010200 BRANNON, MARY L.
 08412011000 GRIFFIN, STEPHEN T. & MABRY-GRIFFIN, LAURA M.
 08412011100 MOTORNY, SERGEY & SARAH
 08509001600 TOMPKINS, KEVIN L. & JILL M.
 08412011200 MOTORNY, SERGEY & SARAH
 08412013900 PRIOLA, PATRICIA ANN
 08412012300 SMITH, JOHN W. ET UX
 08412009900 STREET, WILLIAM F., JR.
 08412012400 DEDMAN, R. WAYNE ET UX
 08412014000 CASIANO, CAROLINE & KEITH
 08412010300 PANVINI, ROBERT S. & DORIA ET AL
 08412014100 NELLES, ANDREW & KNIGHT, MERIBAH
 08412010900 PEDIGO, STEVE W.
 08412015000 GERLEVE, CHARMAINE TALON
 08412009800 HARGROVE, DONALD J.
 08412015100 WHITE, KENT L. & JENNY A.
 08509002200 KNOWLTON, TODD H. & KARI K.
 08509001700 TOMLINSON, MARY C. & ROSSI, SILVANO
 08509002300 GLENN, GEORGE & SUSAN
 08412015500 BERGTHOLD, RONALD M. ET UX
 08412012500 KNOTT, LATONYA
 08412010400 MALONEY, KRISTI ROSE & KAPLIN, KARL E.
 08412014200 BYNUM, JAMES C., III & BERTHA ELLEN
 08412011300 OSBORNE, NEAL P.
 08412010800 YOUNG, DAVID P. ETUX
 08412009700 GALVIN, WILLIAMS & MICHAEL E
 08412013800 DREWNOWSKI, MARY
 08509001800 HIXON, DANIEL A. ET UX

08412012200 FERREIRA, PETER J.
 08412010500 OSBORNE, TIMOTHY E. & MITZI
 08412012600 LEVINE, LINDSAY
 08509002100 BIRDWELL, BEN J. ETUX
 08412011400 CHEEK, WILLIAM D. ETUX
 08412010600 CRAIG, DAVID
 08412014900 VAUGHN, WILLIAM J. ET UX
 08509001900 LADD, ANTHONY M. & CYNTHIA S.
 08412012100 DODD, CATHERINE WYNN & HURST-DODD, ANDREW BENJAMIN
 08412013700 STENBERG, KELLY
 08412014300 ALLEN, JOE H. & BETTYE B., TRS.
 08412012700 SINGER, BETTYE C. & BRANHAM, DEBORAH M.
 08509002000 PURCELL, PHILLIP A.
 08412010700 YOUNG, DAVID P.
 08412011500 OSBORNE, TIMOTHY E. & JOHN E.
 08412011700 YOUNG, DAVID P.
 08412012000 ELKINS, CHAD & CAITLIN
 08412012800 WALTERS, JAN M.
 08412013600 HEATHCOCK, FRED M. & CATHRAN F. (LE) & PAUL B.
 08412014800 URBAN, JAMES P. & SARA E.
 08412014400 WILLIAMS, FRED O. ET UX
 08412011600 MCDADE, DRUE W.
 08412011900 SHAWL, DAVID & SUSAN
 08412012900 ESKEW, ROBERT D. & DAN P.
 08412013500 COWELL, LINDA R.(LE) COWELL, M.W.&B.S.
 08412011800 PEARSON, PRESTON BONNER
 08412014500 SWANN, NATALIE ANNE & ANDREW
 08412014700 CROTZER, TERRY
 08412013200 NICKS, DAVID W. & ROSE MARIE
 08412013000 GAY, RICHARD L. & TERRI T.
 08412013400 MORRISON, GEORGE E. ETUX
 08412013100 GILBERT, CHAD EDWARD & JESSICA LANE
 08412013300 CREECH, L.C. ETUX,TRS.& WOOTEN, ROY ETUX
 08412014600 MURRAY, BRIAN & SHERRY
 08416019200 SCHLABACH, RICHARD A. ET UX
 08412015300 CARTER, ELDON, E. & TREBA J.
 08416019300 HARPER, JOE D. ET UX
 08416019400 SMITH, AARON J. & TANJA
 08416019500 HOWELL, GARY N.
 08416019600 WATSON, CHARLES H., JR.
 08412008900 D. PRICE INVESTMENTS, INC.
 08412009000 PARSONS, JAMES W. & TAMMY G.
 08412009100 GRIGSON, DANNA J. & CRAMER, WILLIAM J.
 08412009200 GURDIAN, ISAC DANIEL & HERNANDEZ, JUAN GABRIEL ET AL
 08412009300 YOUNG, ROGER A.
 08412009400 JOHNSON, LANCE H.
 08412009500 WOODALL, CHARLES, JR. & WENDY
 08412009600 STURGES, RALPH M JR IRREVOCABLE TRUST
 08416019100 WHITE, BYRON E. & SHARON B.
 08416018900 STAFFORD, KATHY
 08416018800 DOAK, VIRGINIA C.
 08416018600 COLLINS, BRYAN & MICHELLE
 08416021800 LORING, ANN S.
 08416019700 WILEY, DONALD E. ET UX
 08416018500 PICUCCI, ANGELO N
 08416019800 CHILDRESS, CONNIE
 08416018700 RAYNOR, HAROLD R. & PATRICIA
 08416020000 SCHWARTAU, ASHLEY REVOCABLE TRUST ET AL
 08416018300 KEITH, MARY BETH
 08416018400 HODGES, LONDON O.
 08416020100 THOMAS, EUGENE GARNER ETUX
 08416018200 RAGLAND, ALBERT L. ET UX

08416020200 HARVEY, CHARLES J & AUDRA L
08416018100 JETTON, DANIEL
08416020300 GRIMES JOHN C.
08416018000 WILLIAMS, LELAND & LAURA
08513000600 SMITH, RONALD B. & DANI
08416017900 DURKIN, JEROME
08416017800 DAWSON, WILLARD D.& NORMA J.-TRUST, THE
08416017700 PHELPS, MATTHEW W.
08416019900 SHERMAN, SALLY A.
08416022100 CONNERETH, PETER
08416019000 L & R HARRIS INVESTMENTS LLC

Substitute BL2023-1773 (2023TSO-001-001)**Parcel Table**

Parcel ID	Property Address	City	State	Zip
0850000301	2811 LEALTO CT	NASHVILLE	TN	37214
08513001500	3200 TODDWAY CT	NASHVILLE	TN	37214
08513000200	0 TODDWAY CT	NASHVILLE	TN	37214
08513001300	3208 TODDWAY CT	NASHVILLE	TN	37214
08513000300	3207 TODDWAY CT	NASHVILLE	TN	37214
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08513000400	3213 TODDWAY CT	NASHVILLE	TN	37214
08513001100	3214 TODDWAY CT	NASHVILLE	TN	37214
08513000500	3264 KNOBVIEW DR	NASHVILLE	TN	37214
08513001000	3216 TODDWAY CT	NASHVILLE	TN	37214
08513000100	3201 TODDWAY CT	NASHVILLE	TN	37214
08513000800	3220 TODDWAY CT	NASHVILLE	TN	37214
08513000900	3218 TODDWAY CT	NASHVILLE	TN	37214
08500000300	2821 LEALTO CT	NASHVILLE	TN	37214
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08505000300	2833 GLENOAKS DR	NASHVILLE	TN	37214
08408002400	2944 WINDEMERE CIR	NASHVILLE	TN	37214
08505000400	2946 WINDEMERE CIR	NASHVILLE	TN	37214
08505002500	3010 FERNBROOK LN	NASHVILLE	TN	37214
08505000500	2948 WINDEMERE CIR	NASHVILLE	TN	37214
08505001900	3004 FERNBROOK LN	NASHVILLE	TN	37214
08408008000	3214 MCGAVOCK PIKE	NASHVILLE	TN	37214
08408012100	3222 MCGAVOCK PIKE	NASHVILLE	TN	37214
08408012200	3224 MCGAVOCK PIKE	NASHVILLE	TN	37214
08408009500	3232 MCGAVOCK PIKE	NASHVILLE	TN	37214
08408012400	3118 B WINDEMERE CIR	NASHVILLE	TN	37214
08408012500	3118 A WINDEMERE CIR	NASHVILLE	TN	37214
08408009600	3116 WINDEMERE CIR	NASHVILLE	TN	37214
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08412001300	3108 WINDEMERE CIR	NASHVILLE	TN	37214
08412001400	3106 WINDEMERE CIR	NASHVILLE	TN	37214
08412001500	3104 WINDEMERE CIR	NASHVILLE	TN	37214
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08412015400	2803 LEALTO CT	NASHVILLE	TN	37214
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08408001700	2928 WINDEMERE CIR	NASHVILLE	TN	37214
08408001800	2932 WINDEMERE CIR	NASHVILLE	TN	37214
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08408001900	2936 WINDEMERE CIR	NASHVILLE	TN	37214
08408002000	2940 WINDEMERE CIR	NASHVILLE	TN	37214
08408002200	2824 GLENOAKS DR	NASHVILLE	TN	37214
08408002800	2911 WINDEMERE CIR	NASHVILLE	TN	37214
08408002900	2915 WINDEMERE CIR	NASHVILLE	TN	37214
08408003000	2919 WINDEMERE CIR	NASHVILLE	TN	37214
08408003100	2923 WINDEMERE CIR	NASHVILLE	TN	37214
08408002100	2828 GLENOAKS DR	NASHVILLE	TN	37214

08408003200	2927	WINDEMERE CIR	NASHVILLE TN	37214
08408003300	2931	WINDEMERE CIR	NASHVILLE TN	37214
08408004700	2916	FERNBROOK LN	NASHVILLE TN	37214
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08408003400	2935	WINDEMERE CIR	NASHVILLE TN	37214
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08408003500	2939	WINDEMERE CIR	NASHVILLE TN	37214
08408004300	2924	FERNBROOK LN	NASHVILLE TN	37214
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08408004100	2928	FERNBROOK LN	NASHVILLE TN	37214
08408003600	2943	WINDEMERE CIR	NASHVILLE TN	37214
08408005000	2901	FERNBROOK LN	NASHVILLE TN	37214
08408004000	2932	FERNBROOK LN	NASHVILLE TN	37214
08408005100	2905	FERNBROOK LN	NASHVILLE TN	37214
08408005200	2909	FERNBROOK LN	NASHVILLE TN	37214
08408003700	2947	WINDEMERE CIR	NASHVILLE TN	37214
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08408004900	3153	MCGAVOCK PIKE	NASHVILLE TN	37214
08408003900	2936	FERNBROOK LN	NASHVILLE TN	37214
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08408003800	2940	FERNBROOK LN	NASHVILLE TN	37214
08408005500	3005	DELANEY DR	NASHVILLE TN	37214
08408004800	3157	MCGAVOCK PIKE	NASHVILLE TN	37214
08408006000	2904	KNOBDAL RD	NASHVILLE TN	37214
08408006600	2925	FERNBROOK LN	NASHVILLE TN	37214
08408005900	2906	KNOBDAL RD	NASHVILLE TN	37214
08408005600	3009	DELANEY DR	NASHVILLE TN	37214
08408005700	3013	DELANEY DR	NASHVILLE TN	37214
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08408006400	3006	DELANEY DR	NASHVILLE TN	37214
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08408005800	2910	KNOBDAL RD	NASHVILLE TN	37214
08408006900	2937	FERNBROOK LN	NASHVILLE TN	37214
08408006300	3008	DELANEY DR	NASHVILLE TN	37214
08408007000	2941	FERNBROOK LN	NASHVILLE TN	37214
08408006200	3012	DELANEY DR	NASHVILLE TN	37214
08500004600	2996	WINDEMERE CIR	NASHVILLE TN	37214
08408008300	2909	KNOBDAL RD	NASHVILLE TN	37214
08408006100	3014	DELANEY DR	NASHVILLE TN	37214
08408007400	3009	MELODY LN	NASHVILLE TN	37214
08408007300	3007	MELODY LN	NASHVILLE TN	37214
08408007200	3005	MELODY LN	NASHVILLE TN	37214
08408007100	3001	MELODY LN	NASHVILLE TN	37214
08408007500	3011	MELODY LN	NASHVILLE TN	37214
08408008400	2913	KNOBDAL RD	NASHVILLE TN	37214
08408007900	2918	KNOBDAL RD	NASHVILLE TN	37214
08408011300	3000	WINDEMERE CIR	NASHVILLE TN	37214
08408007600	3013	MELODY LN	NASHVILLE TN	37214
08408007800	2922	KNOBDAL RD	NASHVILLE TN	37214
08408008500	2917	KNOBDAL RD	NASHVILLE TN	37214
08408010500	3004	MELODY LN	NASHVILLE TN	37214
08408010600	3005	WINDEMERE CIR	NASHVILLE TN	37214
08408010400	3008	MELODY LN	NASHVILLE TN	37214
08408008600	2921	KNOBDAL RD	NASHVILLE TN	37214
08408007700	2924	KNOBDAL RD	NASHVILLE TN	37214
08408011400	3004	WINDEMERE CIR	NASHVILLE TN	37214
08408010300	3012	MELODY LN	NASHVILLE TN	37214
08408008700	2923	KNOBDAL RD	NASHVILLE TN	37214
08505001100	3003	KNOBVIEW DR	NASHVILLE TN	37214
08408010200	3014	MELODY LN	NASHVILLE TN	37214

08408010700	3009 WINDEMERE CIR	NASHVILLE TN	37214
08505001400	3002 KNOBVIEW DR	NASHVILLE TN	37214
08408011500	3008 WINDEMERE CIR	NASHVILLE TN	37214
08408008800	2927 KNOBDALE RD	NASHVILLE TN	37214
08408010100	2930 KNOBDALE RD	NASHVILLE TN	37214
08408009400	3117 WINDEMERE CIR	NASHVILLE TN	37214
08408011600	3012 WINDEMERE CIR	NASHVILLE TN	37214
08408010800	3013 WINDEMERE CIR	NASHVILLE TN	37214
08505001000	3005 KNOBVIEW DR	NASHVILLE TN	37214
08408009300	3113 WINDEMERE CIR	NASHVILLE TN	37214
08408012300	3123 WINDEMERE CIR	NASHVILLE TN	37214
08408008900	3001 KNOBDALE RD	NASHVILLE TN	37214
08408010900	3015 WINDEMERE CIR	NASHVILLE TN	37214
08505001500	3006 KNOBVIEW DR	NASHVILLE TN	37214
08408010000	3004 KNOBDALE RD	NASHVILLE TN	37214
08408009200	3107 WINDEMERE CIR	NASHVILLE TN	37214
08408011700	3016 WINDEMERE CIR	NASHVILLE TN	37214
08505000900	3009 KNOBVIEW DR	NASHVILLE TN	37214
08408011000	3017 WINDEMERE CIR	NASHVILLE TN	37214
08408011100	3025 WINDEMERE CIR	NASHVILLE TN	37214
08408009100	3105 WINDEMERE CIR	NASHVILLE TN	37214
08408009900	3006 KNOBDALE RD	NASHVILLE TN	37214
08408009000	3101 WINDEMERE CIR	NASHVILLE TN	37214
08408011200	3029 WINDEMERE CIR	NASHVILLE TN	37214
08408011800	3020 WINDEMERE CIR	NASHVILLE TN	37214
08505000800	3101 KNOBVIEW DR	NASHVILLE TN	37214
08505000700	3105 KNOBVIEW DR	NASHVILLE TN	37214
08505001600	3100 KNOBVIEW DR	NASHVILLE TN	37214
08408011900	3100 HUNTERS HILL RD	NASHVILLE TN	37214
08408009800	3033 WINDEMERE CIR	NASHVILLE TN	37214
08505000600	3109 KNOBVIEW DR	NASHVILLE TN	37214
08408012000	3104 HUNTERS HILL RD	NASHVILLE TN	37214
08505001700	3104 KNOBVIEW DR	NASHVILLE TN	37214
08412004400	3101 HUNTERS HILL RD	NASHVILLE TN	37214
08412005400	3113 KNOBVIEW DR	NASHVILLE TN	37214
08509000800	3108 KNOBVIEW DR	NASHVILLE TN	37214
08412001600	3101 KNOBDALE RD	NASHVILLE TN	37214
08412004300	3100 KNOBDALE RD	NASHVILLE TN	37214
08412004500	3105 HUNTERS HILL RD	NASHVILLE TN	37214
08412004600	3109 HUNTERS HILL RD	NASHVILLE TN	37214
08509000900	3112 HUNTERS HILL RD	NASHVILLE TN	37214
08412004700	3117 KNOBVIEW DR	NASHVILLE TN	37214
08505001200	3001 KNOBVIEW DR	NASHVILLE TN	37214
08505001300	3000 KNOBVIEW DR	NASHVILLE TN	37214
08408008002	3125 WINDEMERE CIR	NASHVILLE TN	37214
08412001700	2500 LINCOYA CT	NASHVILLE TN	37214
08412001800	2506 LINCOYA CT	NASHVILLE TN	37214
08412001900	2510 LINCOYA CT	NASHVILLE TN	37214
08412002000	2512 LINCOYA CT	NASHVILLE TN	37214
08509001000	3116 HUNTERS HILL RD	NASHVILLE TN	37214
08509001100	3120 HUNTERS HILL RD	NASHVILLE TN	37214
08412002100	2514 LINCOYA CT	NASHVILLE TN	37214
08412002200	2517 LINCOYA CT	NASHVILLE TN	37214
08412002300	3107 KNOBDALE RD	NASHVILLE TN	37214
08412003000	3238 MCGAVOCK PIKE	NASHVILLE TN	37214
08412004200	3106 KNOBDALE RD	NASHVILLE TN	37214
08412004800	3121 KNOBVIEW DR	NASHVILLE TN	37214
08509000100	3117 HUNTERS HILL RD	NASHVILLE TN	37214
08412002900	2507 LINCOYA CT	NASHVILLE TN	37214
08509001200	3124 HUNTERS HILL RD	NASHVILLE TN	37214
08412004900	3125 KNOBVIEW DR	NASHVILLE TN	37214
08412002400	3111 KNOBDALE RD	NASHVILLE TN	37214

08412003100	3242	MCGAVOCK PIKE	NASHVILLE TN	37214
08412002800	2511	LINCOYA CT	NASHVILLE TN	37214
08412002600	2515	LINCOYA CT	NASHVILLE TN	37214
08509000200	3121	HUNTERS HILL RD	NASHVILLE TN	37214
08412004100	3110	KNOBDALE RD	NASHVILLE TN	37214
08412002700	2513	LINCOYA CT	NASHVILLE TN	37214
08412005500	3120	KNOBVIEW DR	NASHVILLE TN	37214
08509001300	3128	HUNTERS HILL RD	NASHVILLE TN	37214
08509000300	3125	HUNTERS HILL RD	NASHVILLE TN	37214
08412005000	3129	KNOBVIEW DR	NASHVILLE TN	37214
08412002500	3115	KNOBDALE RD	NASHVILLE TN	37214
08412003200	3246	MCGAVOCK PIKE	NASHVILLE TN	37214
08412004000	3114	KNOBDALE RD	NASHVILLE TN	37214
08412003300	2506	LUMAR LN	NASHVILLE TN	37214
08412003400	2510	LUMAR LN	NASHVILLE TN	37214
08412003500	2600	LUMAR LN	NASHVILLE TN	37214
08412003600	2608	LUMAR LN	NASHVILLE TN	37214
08412003700	2700	LUMAR LN	NASHVILLE TN	37214
08509001400	3132	HUNTERS HILL RD	NASHVILLE TN	37214
08509000400	3129	HUNTERS HILL RD	NASHVILLE TN	37214
08412005600	3124	KNOBVIEW DR	NASHVILLE TN	37214
08412005100	3133	KNOBVIEW DR	NASHVILLE TN	37214
08412005300	2808	LUMAR LN	NASHVILLE TN	37214
08412003800	3119	KNOBDALE RD	NASHVILLE TN	37214
08412003900	3120	KNOBDALE RD	NASHVILLE TN	37214
08509000700	2822	LUMAR LN	NASHVILLE TN	37214
08509000600	2824	LUMAR LN	NASHVILLE TN	37214
08412010000	3250	MCGAVOCK PIKE	NASHVILLE TN	37214
08509001500	3136	HUNTERS HILL RD	NASHVILLE TN	37214
08412005200	3137	KNOBVIEW DR	NASHVILLE TN	37214
08412005700	2816	LUMAR LN	NASHVILLE TN	37214
08412010100	2505	LUMAR LN	NASHVILLE TN	37214
08509000500	2828	LUMAR LN	NASHVILLE TN	37214
08412010200	3201	FRENO LN	NASHVILLE TN	37214
08412011000	3200	FRENO LN	NASHVILLE TN	37214
08412011100	2605	LUMAR LN	NASHVILLE TN	37214
08509001600	3140	HUNTERS HILL RD	NASHVILLE TN	37214
08412011200	2609	LUMAR LN	NASHVILLE TN	37214
08412013900	3200	KNOBDALE RD	NASHVILLE TN	37214
08412012300	2701	LUMAR LN	NASHVILLE TN	37214
08412009900	3254	MCGAVOCK PIKE	NASHVILLE TN	37214
08412012400	3201	KNOBDALE RD	NASHVILLE TN	37214
08412014000	2807	LUMAR LN	NASHVILLE TN	37214
08412010300	3205	FRENO LN	NASHVILLE TN	37214
08412014100	3201	KNOBVIEW DR	NASHVILLE TN	37214
08412010900	3204	FRENO LN	NASHVILLE TN	37214
08412015000	3200	KNOBVIEW DR	NASHVILLE TN	37214
08412009800	3258	MCGAVOCK PIKE	NASHVILLE TN	37214
08412015100	2819	LUMAR LN	NASHVILLE TN	37214
08509002200	3141	HUNTERS HILL RD	NASHVILLE TN	37214
08509001700	3144	HUNTERS HILL RD	NASHVILLE TN	37214
08509002300	2823	LUMAR LN	NASHVILLE TN	37214
08412015500	3204	MERLYN LN	NASHVILLE TN	37214
08412012500	3205	KNOBDALE RD	NASHVILLE TN	37214
08412010400	3209	FRENO LN	NASHVILLE TN	37214
08412014200	3205	KNOBVIEW DR	NASHVILLE TN	37214
08412011300	3207	MERLYN LN	NASHVILLE TN	37214
08412010800	3212	FRENO LN	NASHVILLE TN	37214
08412009700	3262	MCGAVOCK PIKE	NASHVILLE TN	37214
08412013800	3208	KNOBDALE RD	NASHVILLE TN	37214
08509001800	3148	HUNTERS HILL RD	NASHVILLE TN	37214
08412012200	3206	MERLYN LN	NASHVILLE TN	37214

08412010500	3213	FRENO LN	NASHVILLE TN	37214
08412012600	3209	KNOBDALE RD	NASHVILLE TN	37214
08509002100	3143	HUNTERS HILL RD	NASHVILLE TN	37214
08412011400	3211	MERLYN LN	NASHVILLE TN	37214
08412010600	3217	FRENO LN	NASHVILLE TN	37214
08412014900	3204	KNOBVIEW DR	NASHVILLE TN	37214
08509001900	3152	HUNTERS HILL RD	NASHVILLE TN	37214
08412012100	3210	MERLYN LN	NASHVILLE TN	37214
08412013700	3214	KNOBDALE RD	NASHVILLE TN	37214
08412014300	3209	KNOBVIEW DR	NASHVILLE TN	37214
08412012700	3213	KNOBDALE RD	NASHVILLE TN	37214
08509002000	3145	HUNTERS HILL RD	NASHVILLE TN	37214
08412010700	2600	LINCOYA DR	NASHVILLE TN	37214
08412011500	3215	MERLYN LN	NASHVILLE TN	37214
08412011700	2604	LINCOYA DR	NASHVILLE TN	37214
08412012000	3214	MERLYN LN	NASHVILLE TN	37214
08412012800	3217	KNOBDALE RD	NASHVILLE TN	37214
08412013600	3218	KNOBDALE RD	NASHVILLE TN	37214
08412014800	3208	KNOBVIEW DR	NASHVILLE TN	37214
08412014400	3213	KNOBVIEW DR	NASHVILLE TN	37214
08412011600	3219	MERLYN LN	NASHVILLE TN	37214
08412011900	3218	MERLYN LN	NASHVILLE TN	37214
08412012900	3221	KNOBDALE RD	NASHVILLE TN	37214
08412013500	3222	KNOBDALE RD	NASHVILLE TN	37214
08412011800	2700	LINCOYA DR	NASHVILLE TN	37214
08412014500	3217	KNOBVIEW DR	NASHVILLE TN	37214
08412014700	3212	KNOBVIEW DR	NASHVILLE TN	37214
08412013200	2704	LINCOYA DR	NASHVILLE TN	37214
08412013000	3225	KNOBDALE RD	NASHVILLE TN	37214
08412013400	3226	KNOBDALE RD	NASHVILLE TN	37214
08412013100	3229	KNOBDALE RD	NASHVILLE TN	37214
08412013300	3230	KNOBDALE RD	NASHVILLE TN	37214
08412014600	3221	KNOBVIEW DR	NASHVILLE TN	37214
08416019200	2808	LINCOYA DR	NASHVILLE TN	37214
08412015300	3218	KNOBVIEW DR	NASHVILLE TN	37214
08416019300	3225	KNOBVIEW DR	NASHVILLE TN	37214
08416019400	3220	KNOBVIEW DR	NASHVILLE TN	37214
08416019500	3224	KNOBVIEW DR	NASHVILLE TN	37214
08416019600	3228	KNOBVIEW DR	NASHVILLE TN	37214
08412008900	2501	LINCOYA DR	NASHVILLE TN	37214
08412009000	2503	LINCOYA DR	NASHVILLE TN	37214
08412009100	2601	LINCOYA DR	NASHVILLE TN	37214
08412009200	2605	LINCOYA DR	NASHVILLE TN	37214
08412009300	2609	LINCOYA DR	NASHVILLE TN	37214
08412009400	2701	LINCOYA DR	NASHVILLE TN	37214
08412009500	2705	LINCOYA DR	NASHVILLE TN	37214
08412009600	2707	LINCOYA DR	NASHVILLE TN	37214
08416019100	2801	LINCOYA DR	NASHVILLE TN	37214
08416018900	2809	LINCOYA DR	NASHVILLE TN	37214
08416018800	3229	KNOBVIEW DR	NASHVILLE TN	37214
08416018600	2802	CAPELLA CT	NASHVILLE TN	37214
08416021800	3231	KNOBVIEW DR	NASHVILLE TN	37214
08416019700	3232	KNOBVIEW DR	NASHVILLE TN	37214
08416018500	2800	CAPELLA CT	NASHVILLE TN	37214
08416019800	3236	KNOBVIEW DR	NASHVILLE TN	37214
08416018700	3233	KNOBVIEW DR	NASHVILLE TN	37214
08416020000	3244	KNOBVIEW DR	NASHVILLE TN	37214
08416018300	3237	KNOBVIEW DR	NASHVILLE TN	37214
08416018400	2801	CAPELLA CT	NASHVILLE TN	37214
08416020100	3246	KNOBVIEW DR	NASHVILLE TN	37214
08416018200	3241	KNOBVIEW DR	NASHVILLE TN	37214
08416020200	3256	KNOBVIEW DR	NASHVILLE TN	37214

08416018100	3245	KNOBVIEW DR	NASHVILLE TN	37214
08416020300	3258	KNOBVIEW DR	NASHVILLE TN	37214
08416018000	3249	KNOBVIEW DR	NASHVILLE TN	37214
08513000600	3260	KNOBVIEW DR	NASHVILLE TN	37214
08416017900	3253	KNOBVIEW DR	NASHVILLE TN	37214
08416017800	3257	KNOBVIEW DR	NASHVILLE TN	37214
08416017700	3261	KNOBVIEW DR	NASHVILLE TN	37214
08416019900	3240	KNOBVIEW DR	NASHVILLE TN	37214
08416022100	2807	LINCOYA DR	NASHVILLE TN	37214
08416019000	2805	LINCOYA DR	NASHVILLE TN	37214

ORDINANCE NO. BL2023-____

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by applying a Neighborhood Conservation Zoning Overlay District to various properties located west of Whites Creek Pike and north of Moormans Arm Road, zoned RS10 (169.19 acres), all of which is described herein (Proposal No. 2023NHC-002-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By applying a Neighborhood Conservation Zoning Overlay District to various properties located west of Whites Creek Pike and north of Moormans Arm Road, zoned RS10 (169.19 acres), being various Property Parcels Nos. as designated on various Maps of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 059 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. The Metropolitan Clerk is directed to publish a notice announcing such change in a newspaper of general circulation within five days following final passage.

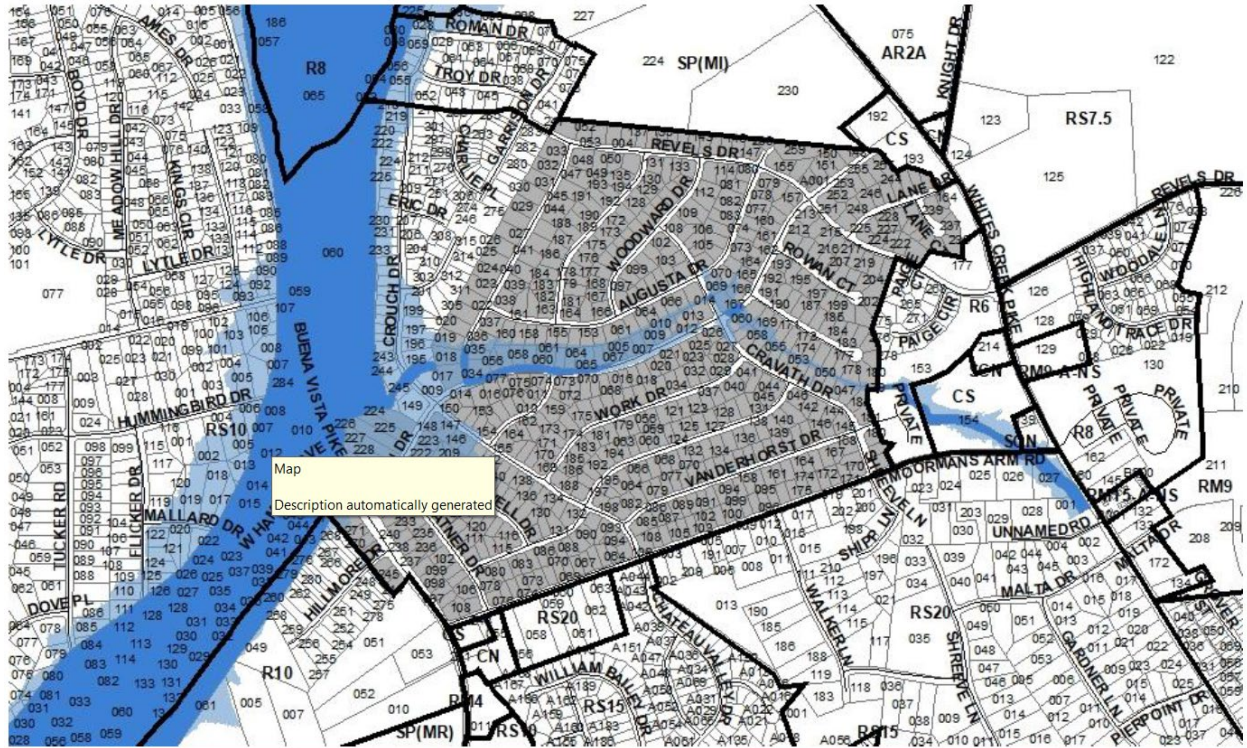
Section 4. This Ordinance shall take effect upon publication of above said notice announcing such change in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

SPONSORED BY:

Kyonzté Toombs
Member of Council

Parcel list attached
2023NHC-002-001
Subarea 03, Bordeaux - Whites Creek - Haynes Trinity
District 02 (Kyonzté Toombs)
Application fee paid by: Fee waived by Council

A request to apply a Neighborhood Conservation Zoning Overlay District to various properties located west of Whites Creek Pike and north of Moormans Arm Road, zoned RS10 (169.19 acres), requested by Councilmember Kyonzté Toombs, applicant; various owners.



APN	Owner	PropAddr	PropCity	PropState	PropZip
05914027200	JORDAN, ANNIE C.	3853 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914027100	BALDWIN, EVELENE	3849 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914027000	RUCKS, ANDERSON C., JR.	3845 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914026900	CHUMLEY, JOHNNY F. & DORENE	800 HILLMORE DR	NASHVILLE	TN	37218
05914024600	SFR XII NASHVILLE OWNER I LP	3837 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914024500	WOLDESCLASSIE, ALMAZ	3833 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914024400	DAVIS, ALBERT L., SR.	3829 BUENA VISTA PIKE	NASHVILLE	TN	37218
05910001900	PERRY, WILLIAM C. JR., ETUX	3809 DUNBAR DR	NASHVILLE	TN	37207
05910001800	SHELTON, JEFFREY H.	3805 DUNBAR DR	NASHVILLE	TN	37207
05910001700	WALLS, AUDREY C.	3801 DUNBAR DR	NASHVILLE	TN	37207
05914022400	AMNL ASSET COMPANY 2 LLC	768 ROWAN DR	NASHVILLE	TN	37207
05914022500	COBBINS, CLARENCE E., SR. ET UX	772 ROWAN DR	NASHVILLE	TN	37207
05914022600	HINES, LUCIAN & MAUREEN L.	776 ROWAN DR	NASHVILLE	TN	37207
05914022700	WILLIS, REBECCA	780 ROWAN DR	NASHVILLE	TN	37207
05914022800	SIMS, JACQUELYN	784 ROWAN DR	NASHVILLE	TN	37207
05914022900	BETTS, JEFFREY LAMAR	788 ROWAN DR	NASHVILLE	TN	37207
05914023000	DIAZ, ALMA J.	792 ROWAN DR	NASHVILLE	TN	37207
05910005100	MANIGO, OSCAR JR. ETUX	760 REVELS DR	NASHVILLE	TN	37207
05910003300	SOUTH CENTRAL CONF. ASSOC. OF 7TH DAY ADVENTISTS,INC.	3865 DUNBAR DR	NASHVILLE	TN	37207
05910003200	WILKERSON, LETECIA	3861 DUNBAR DR	NASHVILLE	TN	37207
05910003100	BEARD, QUANDA	3857 DUNBAR DR	NASHVILLE	TN	37207
05910003000	WOODARD, AVIS J.	3853 DUNBAR DR	NASHVILLE	TN	37207
05910002900	RANDOLPH, RONALD R. ETUX	3849 DUNBAR DR	NASHVILLE	TN	37207
05910002800	EWING, ZELMA C. ET AL	3845 DUNBAR DR	NASHVILLE	TN	37207
05910002700	POLITE, JAMES B. ETUX	3841 DUNBAR DR	NASHVILLE	TN	37207
05910002600	GIBSON, MICHELLE	3837 DUNBAR DR	NASHVILLE	TN	37207
05910002500	TRUETT, BEVERLY B. & JONES, SHARON B. ET AL	3833 DUNBAR DR	NASHVILLE	TN	37207
05910002400	CAMPBELL, JOHN E.,SR. & CAMPBELL-GRAY, L.	3829 DUNBAR DR	NASHVILLE	TN	37207
05910002300	TRICE, ARDIE ETUX	3825 DUNBAR DR	NASHVILLE	TN	37207
05910002200	ALDERSON, EUGENE	3821 DUNBAR DR	NASHVILLE	TN	37207
05910002100	COGGINS RECOVERY LLC	3817 DUNBAR DR	NASHVILLE	TN	37207
05910002000	BARR, WANDA NICOLE & STUART	3813 DUNBAR DR	NASHVILLE	TN	37207
05910005200	HAMMONDS, JAMES & DEBORAH	756 REVELS DR	NASHVILLE	TN	37207
05910005300	SLAUGHTER, CHRISTOPHER L.	752 REVELS DR	NASHVILLE	TN	37207
05910005400	SLAUGHTER, KEITH	748 REVELS DR	NASHVILLE	TN	37207
05911000400	LAMBERSON, LARRY W & MARGARET L	744 REVELS DR	NASHVILLE	TN	37207
05911013700	CULP, JAMES C.,JR. & EMELE P.	740 REVELS DR	NASHVILLE	TN	37207
05911013800	COTTON, EVELYN & MICHAEL ALBERT	736 REVELS DR	NASHVILLE	TN	37207
05911013900	CORTNER, MONIKA & BATTLE, MAMIC	732 REVELS DR	NASHVILLE	TN	37207
05911014000	PERSON, DEBORAH A.	728 REVELS DR	NASHVILLE	TN	37207
05911014100	COOPER, LAVONYA J. & REGGINA	724 REVELS DR	NASHVILLE	TN	37207
05911014200	MAYBERRY, RICHARD W. ETUX	720 REVELS DR	NASHVILLE	TN	37207
05911014300	SHELTON, JAMES HENRY ETUX	716 REVELS DR	NASHVILLE	TN	37207
05911014400	KENDRICK, CHERYL E.	712 REVELS DR	NASHVILLE	TN	37207
05911014500	MILES, NATHANIEL A. ETUX	708 REVELS DR	NASHVILLE	TN	37207
05911014600	YOUNG, LEROY ETUX	704 REVELS DR	NASHVILLE	TN	37207
05911014700	OPENDOOR PROPERTY TRUST I	700 REVELS DR	NASHVILLE	TN	37207
05911028800	COURE, DOROTHY J. & ARNETT, DONNIE B.	0 AUGUSTA DR	NASHVILLE	TN	37207
05911025900	STALLWORTH, WILLIE LEWIS ETUX	0 AUGUSTA DR	NASHVILLE	TN	37207
05911013400	STALLWORTH, WILLIE ET UX	3944 AUGUSTA DR	NASHVILLE	TN	37207
05911015500	BUFORD, JOSEPH ETUX	692 REVELS DR	NASHVILLE	TN	37207
05911015000	ROBERTSON, JERRY	636 ROWAN DR	NASHVILLE	TN	37207
05911014900	CAUDELL, CHARLES	632 ROWAN DR	NASHVILLE	TN	37207
05911014800	METRO GOV'T BT BACK TAX SALE	0 ROWAN DR	NASHVILLE	TN	37207
05911025700	RODGERS, ROY	623 ROWAN DR	NASHVILLE	TN	37207
05911015100	OKAFOR, UGOCHUKWU N.	640 ROWAN DR	NASHVILLE	TN	37207
05911025600	BROADNAX, ANDREW J.	627 ROWAN DR	NASHVILLE	TN	37207
05911015400	MCELVY, STEPHANIE MARIE & CABANAS, CIRO LAREDO	688 REVELS DR	NASHVILLE	TN	37207
05911015200	YOKLEY, ARTHUR S. SR. & ARTHUR S. JR.	644 ROWAN DR	NASHVILLE	TN	37207
05911024200	WEBB, EMMA JANE	610 LANE DR	NASHVILLE	TN	37207
05911024300	CLARK, SHEILA R.	614 LANE DR	NASHVILLE	TN	37207
059110A90000CO	O.I.C. HOMES AT 648 ROWAN DRIVE	648 C ROWAN DR	NASHVILLE	TN	37207
05911024100	BUCHANAN, JOYCE	606 LANE DR	NASHVILLE	TN	37207
05911024000	BRATTON, ESLEY W. ET UX	605 LANE DR	NASHVILLE	TN	37207
05911023900	NELSON, LYNISE	609 LANE DR	NASHVILLE	TN	37207
05911023800	WILLIAMS, SHERRY ANN ET AL	612 LANE CT	NASHVILLE	TN	37207
05911023700	GREEN, CALINE	608 LANE CT	NASHVILLE	TN	37207
05911023600	DIVENS, GEORGE G. ETUX	604 LANE CT	NASHVILLE	TN	37207
05911023300	COLLINS, BEN ETUX	605 LANE CT	NASHVILLE	TN	37207
05911023500	JACKSON, LINDA JOYCE	600 LANE CT	NASHVILLE	TN	37207
05911023400	PHILLIPS, JANET & COPLEN, EARL EDWARD	601 LANE CT	NASHVILLE	TN	37207

05911026000	SIMS, HARVEY R. & JOY M.	644 REVELS DR	NASHVILLE	TN	37207
059110A00100CO	DMN PROPERTIES, LLC	646 ROWAN DR	NASHVILLE	TN	37207
059110A00200CO	DMN PROPERTIES, LLC	648 ROWAN DR	NASHVILLE	TN	37207
05911025500	LANE, ADRIC ET UX	631 ROWAN DR	NASHVILLE	TN	37207
05911025400	HUGHEY, MIKE & TINA	635 ROWAN DR	NASHVILLE	TN	37207
05911024400	BUTLER, DARRELL EUGENE	618 LANE DR	NASHVILLE	TN	37207
05911025300	BUSH, FRANK & SWANSON, WILMA & SNELL, CONNIE	641 ROWAN DR	NASHVILLE	TN	37207
05911024500	WHITTEN, CHARLES EDWARD	622 LANE DR	NASHVILLE	TN	37207
05911024600	MCCLAIN, LESTER	626 LANE DR	NASHVILLE	TN	37207
05911025200	BUCHANAN, ANTOINE F., SR. & TERENCE D.	645 ROWAN DR	NASHVILLE	TN	37207
05911024700	HAYNES, FRANCES MAE	630 LANE DR	NASHVILLE	TN	37207
05911024800	RANKIN, BAILEY	634 LANE DR	NASHVILLE	TN	37207
05911025100	CURRY, CLEO A	649 ROWAN DR	NASHVILLE	TN	37207
05911023000	MEENUGA, KALYAN	615 LANE DR	NASHVILLE	TN	37207
05911025000	MASSEY, MAMIE R.	676 REVELS DR	NASHVILLE	TN	37207
05911022900	MCCLAIN, LOUISE	619 LANE DR	NASHVILLE	TN	37207
05911022800	BRADEN, ROBERT J.JR. ET UX	623 LANE DR	NASHVILLE	TN	37207
05911024900	LEWIS, MARY E. & LEWIS, PEARLIE	638 LANE DR	NASHVILLE	TN	37207
05911022700	WILSON, ANNIE ELIZABETH	627 LANE DR	NASHVILLE	TN	37207
05911023100	MUNOZ, EMMA MORGANNE	615 LANE CT	NASHVILLE	TN	37207
05911022600	MORTON, MICHAEL R & MCMEEL, JAMES S	633 LANE DR	NASHVILLE	TN	37207
05911023200	BATEY, SHERRELL & MINIS	611 LANE CT	NASHVILLE	TN	37207
05911022500	JOLLEY, ZOLA P., TRUSTEE	660 REVELS DR	NASHVILLE	TN	37207
05911022300	DANDRIDGE, ERICA N.	650 REVELS DR	NASHVILLE	TN	37207
05911022200	SMITH, ERNEST E. ET UX	646 REVELS DR	NASHVILLE	TN	37207
05911022400	PEGRAM, ELVIN EDWARD ETUX	654 REVELS DR	NASHVILLE	TN	37207
05911022100	JOHNSON, JANICE M.	649 REVELS DR	NASHVILLE	TN	37207
05911020300	DUNCANSON, CYNTHIA K. & PETER L.	604 ROWAN CT	NASHVILLE	TN	37207
05911020200	ADAMS, CLAUDIA MAI & ADAMS, LINIKA SHON	600 ROWAN CT	NASHVILLE	TN	37207
05911020100	GIBSON, TYLER NOBLE	601 ROWAN CT	NASHVILLE	TN	37207
05911018200	CANTRELL, RUTH A.	608 BALDWIN CT	NASHVILLE	TN	37207
05911018100	PATTON, AVERY	604 BALDWIN CT	NASHVILLE	TN	37207
05911018000	MOORE, LEON ET UX	600 BALDWIN CT	NASHVILLE	TN	37207
05911017900	VALENTINE, CALVIN ET UX	601 BALDWIN CT	NASHVILLE	TN	37207
05911004700	DERRICK, SANDRA J. & DENNIS LEE	3814 CRAVATH DR	NASHVILLE	TN	37207
05915018200	CAMPBELL, PAULA J.	3812 CRAVATH DR	NASHVILLE	TN	37207
05915018100	SMITH, SAPHRONIA E.	3810 CRAVATH DR	NASHVILLE	TN	37207
05915018000	BRAZELTON, MIA & MONIQUE	3804 CRAVATH DR	NASHVILLE	TN	37207
05915017900	COMER, JOE	3802 CRAVATH DR	NASHVILLE	TN	37207
05915017800	BLUNT, DEBORAH D.	644 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017000	HARDY, JAMYE BOWINS	648 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017100	HENRY, JAMES E. ETUX	650 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017200	VANLIER, TERRANCE	652 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017300	BLACK, WALTER JR. ETUX	654 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017400	BLAIR, HERBERLENE N.	656 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017500	FRAZIER, CLECHETTE Y.	658 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017600	HOGGETT, VICTOR E.	660 MOORMANS ARM RD	NASHVILLE	TN	37207
05915017700	GRAY, KENNETH L. & CONSTANCE	662 MOORMANS ARM RD	NASHVILLE	TN	37207
05915009500	HALE, PAMELA LARKINS	702 MOORMANS ARM RD	NASHVILLE	TN	37207
05915009600	BROWN, ARNELLA M. & JAMES III, & MARC G.	704 MOORMANS ARM RD	NASHVILLE	TN	37207
05915009700	STEVENS, JIMMIE & SMITH, MIA STEVENS & MARK	706 MOORMANS ARM RD	NASHVILLE	TN	37207
05915009800	EMANUEL, MATTIE L.	708 MOORMANS ARM RD	NASHVILLE	TN	37207
05915009900	THACKER, MURRAY M., JR. & MARY L., TRUSTEES	710 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010000	DOSS, PRESTON D.	712 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010100	JMR INVESTMENTS, LLC	714 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010200	GOODEN, CHARLES CONSTANTINE & EARTHIE ELIZABETH	716 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010300	PAYNE, FRANCES J.& FRANSCENE K., ET AL	718 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010400	HEGWOOD, ROBERT A JR. & RAGLAND, LIBBY A	720 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010500	TUCKER, LAURA L.	722 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010600	CLEGGETT, ANNIE R.	724 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010700	MCDOWELL, IVORY	726 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010800	MCDOWELL, IVORY L.	728 MOORMANS ARM RD	NASHVILLE	TN	37207
05915010900	WHITLEY, RAYMOND ETUX	730 MOORMANS ARM RD	NASHVILLE	TN	37207
05914009400	ANTHONY, BRENDA F.	3803 CROUCH DR	NASHVILLE	TN	37207
05915011000	TUBAR, JOSE FELIX TAPERIA & CAJON, FILOMENA B. RAXON	3801 CROUCH DR	NASHVILLE	TN	37207
05914006400	THOMPSON, CINDY & LESLIE	734 MOORMANS ARM RD	NASHVILLE	TN	37207
05914006500	WHITMON, MARQUES	736 MOORMANS ARM RD	NASHVILLE	TN	37207
05914006600	SCRUGGS, MAX WALTER ETUX	738 MOORMANS ARM RD	NASHVILLE	TN	37207
05914006700	MCDONALD, MARIAN	740 MOORMANS ARM RD	NASHVILLE	TN	37207
05914006800	SOWELL, JAMES H. ETUX	742 MOORMANS ARM RD	NASHVILLE	TN	37207
05914006900	KILCREASE, JOHN H. ETUX	744 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007000	TRIBUE, BESSIE	746 MOORMANS ARM RD	NASHVILLE	TN	37207

05914008000	MAYHEW, HOUSTON, JR. & LUELLA	765 RINGGOLD DR	NASHVILLE	TN	37207
05914007100	HELMS, JAMES JR	748 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007900	GORDON, HENRY R. ET UX	767 RINGGOLD DR	NASHVILLE	TN	37207
05914007200	HICKS, EUSTACE M. ET UX	750 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007300	ROBERTS, RICARDO D. SR.	752 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007400	PERRY, FANNIE H.	754 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007500	THOMAS, FRANK E., JR.	756 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007800	ARA INVESTMENT GROUP, LLC	3802 BOATNER DR	NASHVILLE	TN	37207
05914007600	BROOKS, ANN TURNER	758 MOORMANS ARM RD	NASHVILLE	TN	37207
05914007700	BRIGHT, MARTIEZ CORDELL	760 MOORMANS ARM RD	NASHVILLE	TN	37207
05914010700	KIDANENRIAM, TINBIT & WELDEGERGISH, MICHAEL	762 MOORMANS ARM RD	NASHVILLE	TN	37207
05914010800	WOODING, WALTER R.	764 MOORMANS ARM RD	NASHVILLE	TN	37207
05914009500	HURT, LOVIE JR. ET UX	3800 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914023100	ANDERSON, DEBORAH J. DAVIS	789 ROWAN DR	NASHVILLE	TN	37207
05914024200	JOHNSON, TIFFANY	3836 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914024100	JONES, KENNETH B. ET UX	3832 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914024000	WILLIAMS, TONY P.	3828 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914023900	TIDWELL, BRYAN K. II	3824 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914023800	HINDS, REGINA L.	3820 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914020300	MCKISSACK, JERMAINE S.	3817 BOATNER DR	NASHVILLE	TN	37207
05914023700	WINTERS, JOHNNIE JR. ETUX	3816 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914010000	DRAKE, VIRGINIA GAIL	3810 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914009900	HENDERSON, GREG B. & LATONYA E.	3808 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914009800	FISHER, ROBERT MURRAY ETUX	3806 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914009700	GREER, PATRICIA A.	3804 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914009600	YEARGIN, JERRY III & PATRICIA F	3802 BUENA VISTA PIKE	NASHVILLE	TN	37218
05914009100	LEACH, GEORGE T.,SR. & JOAN	3809 CROUCH DR	NASHVILLE	TN	37207
05914009200	JACKSON, JAMES A. & JOANNE, TRUSTEES	3807 CROUCH DR	NASHVILLE	TN	37207
05914009000	LANCASTER, LINNEA & JEFFREY	745 RINGGOLD DR	NASHVILLE	TN	37207
05914009300	JACKSON, JAMES A. & JOANNE P., TRUSTEES	3805 CROUCH DR	NASHVILLE	TN	37207
05914008900	ROBERTS, KIMYONA	747 RINGGOLD DR	NASHVILLE	TN	37207
05914008800	HALL, PATRICIA A.	749 RINGGOLD DR	NASHVILLE	TN	37207
05914008700	MAXWELL, RICHARD L. III & SHEILA	751 RINGGOLD DR	NASHVILLE	TN	37207
05914008600	WASHINGTON, BERNICE M. ET UX	753 RINGGOLD DR	NASHVILLE	TN	37207
05914008500	UTLEY, REGINALD L.	755 RINGGOLD DR	NASHVILLE	TN	37207
05914008400	NASHVILLE RENTALS II, LLC	757 RINGGOLD DR	NASHVILLE	TN	37207
05914008300	BROWN, JAMARI	759 RINGGOLD DR	NASHVILLE	TN	37207
05914008200	RAWLS, MOLLYE B. & JOYCE ELAINE	761 RINGGOLD DR	NASHVILLE	TN	37207
05914008100	TOWNSEND, MONTOYA	763 RINGGOLD DR	NASHVILLE	TN	37207
05914023200	BROWN, LARRY THOMAS & PAMELA ROCHELLE ETAL	3833 BOATNER DR	NASHVILLE	TN	37207
05914023300	HILL, ENOCH & EMILY	3831 BOATNER DR	NASHVILLE	TN	37207
05914023400	CARNEY, EDNA I. TURNER	3827 BOATNER DR	NASHVILLE	TN	37207
05914023500	DAVIS, LISA	3823 BOATNER DR	NASHVILLE	TN	37207
05914023600	FREEMAN, TOMEKA M.	3819 BOATNER DR	NASHVILLE	TN	37207
05914010100	LARSEN, JESSICA	3813 BOATNER DR	NASHVILLE	TN	37207
05914010200	WASHINGTON, RICHARD H.	3811 BOATNER DR	NASHVILLE	TN	37207
05914010300	YOUNG, ROBERT	3809 BOATNER DR	NASHVILLE	TN	37207
05914010400	WESTMORELAND, DONALD	3807 BOATNER DR	NASHVILLE	TN	37207
05914010500	BEARD, DONALD S.	3805 BOATNER DR	NASHVILLE	TN	37207
05914010600	BLAIR, STEVEN D. & KIRK, BRENDA E. & COLSTON, CARLA T	3803 BOATNER DR	NASHVILLE	TN	37207
05914021100	MOORE, MARY ALICE	3837 ATWELL DR	NASHVILLE	TN	37207
05914022000	HUFF, DARLENE MAXINE	3838 BOATNER DR	NASHVILLE	TN	37207
05914021900	HILL, GEORGE HOWARD	3834 BOATNER DR	NASHVILLE	TN	37207
05914021200	WRIGHT, PHILLIP JR.	3833 ATWELL DR	NASHVILLE	TN	37207
05914021800	ROYSTER, ANGELA HAYES	3832 BOATNER DR	NASHVILLE	TN	37207
05914021300	TRICE, MARY FRANCES	3829 ATWELL DR	NASHVILLE	TN	37207
05914021400	BROOKS, DEQUILA	3825 ATWELL DR	NASHVILLE	TN	37207
05914021700	CHICQUELO, D. R. & HARDISON, H. & EGBUNINE, C.	3828 BOATNER DR	NASHVILLE	TN	37207
05914020400	BROWN, YVONNE E.	0 BOATNER DR	NASHVILLE	TN	37207
05914012100	DOTSON, JUDY C.	3821 ATWELL DR	NASHVILLE	TN	37207
05914021600	HDT PROPERTIES, LLC	3822 BOATNER DR	NASHVILLE	TN	37207
05914012000	NICHOLS, SAMUELS	3819 ATWELL DR	NASHVILLE	TN	37207
05914011900	JOHNSON, L. KELLEY	3817 ATWELL DR	NASHVILLE	TN	37207
05914021500	KILCREASE, LILLIAN	3818 BOATNER DR	NASHVILLE	TN	37207
05914011800	DUKE, WILLIAM C. ETUX	3815 ATWELL DR	NASHVILLE	TN	37207
05914010900	STANTON, ROBIN R.	3812 BOATNER DR	NASHVILLE	TN	37207
05914011700	WILLIAMS, LINDA JEAN	3813 ATWELL DR	NASHVILLE	TN	37207
05914011000	TBR SFR NASHVILLE OWNER 1 LP	3810 BOATNER DR	NASHVILLE	TN	37207
05914011600	BANKS, CARL E. ET UX	760 RINGGOLD DR	NASHVILLE	TN	37207
05914011100	GOGGINS, DAVID ETUX	3808 BOATNER DR	NASHVILLE	TN	37207
05914011300	MACUR, DAVID & MEGHAN	766 RINGGOLD DR	NASHVILLE	TN	37207
05914011400	BROWN, VANDELEER, JR. & GLORIA F.	764 RINGGOLD DR	NASHVILLE	TN	37207

05914011500	TOWNSEND, THALIA R.	762 RINGGOLD DR	NASHVILLE	TN	37207
05914011200	HENRY, HADASSAH	768 RINGGOLD DR	NASHVILLE	TN	37207
05914014800	METRO GOV'T WW WATER & SEWER	3843 CROUCH DR	NASHVILLE	TN	37207
05914014700	PERRY, JOSEPH & WILLE	3841 CROUCH DR	NASHVILLE	TN	37207
05914014600	HENRY, EDDIE L. & QUANSTELLA	3839 CROUCH DR	NASHVILLE	TN	37207
05914022300	CLK INVESTMENTS, LLC	767 ROWAN DR	NASHVILLE	TN	37207
05914014500	JENNINGS, WILLIAM RAY ETUX	3837 CROUCH DR	NASHVILLE	TN	37207
05914021000	JOHNSON, DORIS JEAN S. & DUAN E.	3842 ATWELL DR	NASHVILLE	TN	37207
05914020900	BOWERS, BRENDA L.	3838 ATWELL DR	NASHVILLE	TN	37207
05914014400	CAMPBELL, DOROTHY B.	3835 CROUCH DR	NASHVILLE	TN	37207
05914022200	LISTER, ALEXANDRA & JONATHAN	773 ROWAN DR	NASHVILLE	TN	37207
05914014200	TODD, ERMA	3831 CROUCH DR	NASHVILLE	TN	37207
05914020800	BOWENS, KEISHA L.	3834 ATWELL DR	NASHVILLE	TN	37207
05914014100	LISA CARTER REVOCABLE LIVING TRUST	3829 CROUCH DR	NASHVILLE	TN	37207
05914022100	HARRIS, NESBIT	777 ROWAN DR	NASHVILLE	TN	37207
05914014000	MILLER, CHARLES J. ETUX	3827 CROUCH DR	NASHVILLE	TN	37207
05914013900	HODGES, JIMMIE F. ET UX	3825 CROUCH DR	NASHVILLE	TN	37207
05914020700	WORTHLEY-SELDON, MICHAEL J.	3830 ATWELL DR	NASHVILLE	TN	37207
05914020600	DOZIER, JAMES T.	3826 ATWELL DR	NASHVILLE	TN	37207
05914013800	LOVELL, ALICE	3823 CROUCH DR	NASHVILLE	TN	37207
05914012200	BLACK, WILLIAM THOMAS ETUX	3822 ATWELL DR	NASHVILLE	TN	37207
05914013700	LARAMORE, GEORGE B.	3821 CROUCH DR	NASHVILLE	TN	37207
05914012300	SFR XII NM NASHVILLE OWNER 1, LP	3820 ATWELL DR	NASHVILLE	TN	37207
05914013600	DONNELL, BETTY	3819 CROUCH DR	NASHVILLE	TN	37207
05914013500	SMITH, GAYLE DENISE	3817 CROUCH DR	NASHVILLE	TN	37207
05914012400	EDMONDSON, RODNEY D.,SR. & JULIA H.	3818 ATWELL DR	NASHVILLE	TN	37207
05914013400	THOMAS, GWENDOLYN M.	3815 CROUCH DR	NASHVILLE	TN	37207
05914012500	BEARD, GREGORY & KEISHA	3816 ATWELL DR	NASHVILLE	TN	37207
05914013300	LEWIS, WANDA	3813 CROUCH DR	NASHVILLE	TN	37207
05914012600	DARTHARD, BELVYA ANITA	3814 ATWELL DR	NASHVILLE	TN	37207
05914013200	JAMES, HERMAN & NANCY	3811 CROUCH DR	NASHVILLE	TN	37207
05914012700	MILLER, DYLAN D & JONES, ALYSSA KAY	3812 ATWELL DR	NASHVILLE	TN	37207
05914013000	OSEMWEGIE, MOSES I. ET UX	752 RINGGOLD DR	NASHVILLE	TN	37207
05914013100	OSEMWEGIE, MOSES & MABEL	0 RINGGOLD DR	NASHVILLE	TN	37207
05914012800	HEAD, MONICA R.	756 RINGGOLD DR	NASHVILLE	TN	37207
05914020500	METRO GOV'T BT BACK TAX SALE	0 ATWELL DR	NASHVILLE	TN	37207
05910007500	SUDDETH, DAVID A	741 ROWAN DR	NASHVILLE	TN	37207
05910007400	STEWART, JOHN, JR. & ALMA	739 ROWAN DR	NASHVILLE	TN	37207
05910007600	DANIELS, MICHAEL L., SR. & CARRIE B.	743 ROWAN DR	NASHVILLE	TN	37207
05910007700	MALESICK, RANDY LEE II	745 ROWAN DR	NASHVILLE	TN	37207
05910001600	LAGRA L. NEWMAN LIVING TRUST	747 ROWAN DR	NASHVILLE	TN	37207
05910001500	LEWIS, RICHARD A. II., & DELORES A.	751 ROWAN DR	NASHVILLE	TN	37207
05910001100	HARDEN, SHIRLEY J.	742 BONTEMPS DR	NASHVILLE	TN	37207
05910001400	SCALES FAMILY TRUST	755 ROWAN DR	NASHVILLE	TN	37207
05910001000	LEWIS, RICHARD HENRY (LE) & LAUNDREA LYNNETTE & ETAL	744 BONTEMPS DR	NASHVILLE	TN	37207
05914015800	SIMMONS, CAROLYN	746 BONTEMPS DR	NASHVILLE	TN	37207
05914015000	FREEMAN, SHINISHA & CARLOS	3842 CROUCH DR	NASHVILLE	TN	37207
05914015700	LYONS, ALBERTA	748 BONTEMPS DR	NASHVILLE	TN	37207
05914015600	JONES, CLAUDE M. ET UX	750 BONTEMPS DR	NASHVILLE	TN	37207
05914015500	FINCH, JAMES R. ETUX	752 BONTEMPS DR	NASHVILLE	TN	37207
05914015100	CARLISLE, FANNIE (LE) & JAMES L. JR. & ET AL	3840 CROUCH DR	NASHVILLE	TN	37207
05914015200	PRICE, NATHANIEL SR. ETUX	3838 CROUCH DR	NASHVILLE	TN	37207
05914015300	GARNER, JOHNNY JR. ETUX	3836 CROUCH DR	NASHVILLE	TN	37207
05914016200	CLAYBROOKS, CARNELL L.	747 BONTEMPS DR	NASHVILLE	TN	37207
05914016300	ARMSTRONG, JO ANN MADDEN	749 BONTEMPS DR	NASHVILLE	TN	37207
05914015400	SMITH, CONSTANCE MARIE RIDLEY	3834 CROUCH DR	NASHVILLE	TN	37207
05914016400	MCNEAL, WANDA Y.	751 BONTEMPS DR	NASHVILLE	TN	37207
05914016500	DAVIS, KENNETH D. & VIRGINIA ANN	753 BONTEMPS DR	NASHVILLE	TN	37207
05914017100	CAMPBELL, LENE & JAMES	750 WORK DR	NASHVILLE	TN	37207
05914016600	RAYBON, SHAWN	3826 CROUCH DR	NASHVILLE	TN	37207
05914016700	HUNTER, VERONICA Y.	3824 CROUCH DR	NASHVILLE	TN	37207
05914017000	STALLWORTH, WILLIE & DOROTHY	752 WORK DR	NASHVILLE	TN	37207
05914016800	RIDLEY, PHINIZEE ETUX	3822 CROUCH DR	NASHVILLE	TN	37207
05914016900	SHUTE, KENNETH N.	3820 CROUCH DR	NASHVILLE	TN	37207
05915016700	HARC, LLC	655 VANDERHORST DR	NASHVILLE	TN	37207
05910003700	TAYLOR, THOMAS JR., & ANN M.	3816 DUNBAR DR	NASHVILLE	TN	37207
05910016000	BATTLE, ADRIENNE	3804 AUGUSTA DR	NASHVILLE	TN	37207
05910003600	ADAMS, HELEN	3812 DUNBAR DR	NASHVILLE	TN	37207
05910003500	SEARCY, DOROTHY P.	3804 DUNBAR DR	NASHVILLE	TN	37207
05910005700	YANDOW, KYLE & HINES, MARA	740 ROWAN DR	NASHVILLE	TN	37207
05910005600	RUBIO, ANA A CASTELLANOS	742 ROWAN DR	NASHVILLE	TN	37207
05910003400	METRO GOV'T WW WATER & SEWER	3800 DUNBAR DR	NASHVILLE	TN	37207

05910007100	HAYES, JOSHUA L.	731 ROWAN DR	NASHVILLE	TN	37207
05910007300	GREER, JASMINE	737 ROWAN DR	NASHVILLE	TN	37207
05910007200	SHELTON, TAWANSIE F.	733 ROWAN DR	NASHVILLE	TN	37207
05910001200	HOWELL, MARY	739 BONTEMPS DR	NASHVILLE	TN	37207
05914017700	RAYFORD, ROSANNA W. REVOCABLE TRUST, THE	738 WORK DR	NASHVILLE	TN	37207
05914015900	KELLY, FRANK R. & JOANNA	741 BONTEMPS DR	NASHVILLE	TN	37207
05914017600	HARRISON, LARRY DARNELL SR.	740 WORK DR	NASHVILLE	TN	37207
05914017500	HARC, LLC	742 WORK DR	NASHVILLE	TN	37207
05914016000	GROVES, CHARLES E. ETUX	743 BONTEMPS DR	NASHVILLE	TN	37207
05914016100	FINCH, SAMUEL ET UX	745 BONTEMPS DR	NASHVILLE	TN	37207
05914017400	PERCY WARNER LLC	744 WORK DR	NASHVILLE	TN	37207
05914017300	LARRY, ALBERT ETUX	746 WORK DR	NASHVILLE	TN	37207
05914017200	BROWN, REGINALD LEE	748 WORK DR	NASHVILLE	TN	37207
05915016800	DUNN, MARSHEKA S.	3805 CRAVATH DR	NASHVILLE	TN	37207
05915016600	STEVENSON, GRANT III ETUX	659 VANDERHORST DR	NASHVILLE	TN	37207
05915016500	SMITH, JIMMY D. ET UX	663 VANDERHORST DR	NASHVILLE	TN	37207
05915016900	HOGUE, PHILLIP A IRREVOCABLE TRUST	3803 CRAVATH DR	NASHVILLE	TN	37207
05914018500	BLACK, MELVIN C. ETUX	747 WORK DR	NASHVILLE	TN	37207
05915016400	HAMILTON, ADREANA & CARLTON, SHIRLEY A.	667 VANDERHORST DR	NASHVILLE	TN	37207
05915016300	WILSON, BRENNARD K., II	701 VANDERHORST DR	NASHVILLE	TN	37207
05914018600	CRAIG, MARIO	749 WORK DR	NASHVILLE	TN	37207
05914019100	LANIER, JERRY R. & COLISTA & VARA	742 RINGGOLD DR	NASHVILLE	TN	37207
05915006400	DISMUKES, ROBYN L. & MICHAEL R.	735 RINGGOLD DR	NASHVILLE	TN	37207
05914018700	GOLDEN RATIO PROPERTIES, LLC	3816 CROUCH DR	NASHVILLE	TN	37207
05914019000	PROSSER, MARC M. & POWELL-PROSSER, SHERRI A.	744 RINGGOLD DR	NASHVILLE	TN	37207
05914019500	GOOCH, LINDA G.	737 RINGGOLD DR	NASHVILLE	TN	37207
05914018800	ST. MARTIN, JONATHAN DAVID	3814 CROUCH DR	NASHVILLE	TN	37207
05914019600	CONLEY, WILLODES	739 RINGGOLD DR	NASHVILLE	TN	37207
05914018900	SHOCKLEY, FOSTER B. JR. ETUX	3812 CROUCH DR	NASHVILLE	TN	37207
05915008100	PETERS, PAMELA JOY SOUTHERN & TOM WILLIE	734 VANDERHORST DR	NASHVILLE	TN	37207
05915008200	PARKEY, JACK	736 VANDERHORST DR	NASHVILLE	TN	37207
05914019700	GRIGSBY, MELVIN SHERMAN & WARREN, VERONICA	741 RINGGOLD DR	NASHVILLE	TN	37207
05914019800	MILLER, FLOYD	3806 CROUCH DR	NASHVILLE	TN	37207
05915008300	SUMMERS, LUTHER M. ETUX	3804 CROUCH DR	NASHVILLE	TN	37207
05910005800	JOHNSON, CAROLYN F.	738 ROWAN DR	NASHVILLE	TN	37207
05910005900	OTEN, IRVIN B., III	736 ROWAN DR	NASHVILLE	TN	37207
05910006000	JORDAN, ELMORE JR & ELEANOR	734 ROWAN DR	NASHVILLE	TN	37207
05910006100	MASSEY, ADDIE	732 ROWAN DR	NASHVILLE	TN	37207
05910006200	SLOSS, EDWIN B.	730 ROWAN DR	NASHVILLE	TN	37207
05910006300	CARTHEN, CLYDE L. & GARNETT, BELITA	728 ROWAN DR	NASHVILLE	TN	37207
05910006400	RYANS FAMILY PROPERTIES, LLC	726 ROWAN DR	NASHVILLE	TN	37207
05910006500	MAJORS, DAVID ANDREW ETUX	724 ROWAN DR	NASHVILLE	TN	37207
05910006600	BERRY, ARTHUR J. & MYRNA J.	722 ROWAN DR	NASHVILLE	TN	37207
05910006700	BOOTH, JAMES M.	720 ROWAN DR	NASHVILLE	TN	37207
05910015200	BRYANT, THURMAN M. & ELLIS, PATRICIA A.	3836 AUGUSTA DR	NASHVILLE	TN	37207
05910015300	LU, XIAO QING & ZHAO, JIANXIN	3832 AUGUSTA DR	NASHVILLE	TN	37207
05910015400	LEE, JAMES	3828 AUGUSTA DR	NASHVILLE	TN	37207
05910015500	LAWRENCE, KENNETH M. ETUX	3824 AUGUSTA DR	NASHVILLE	TN	37207
05910015600	BRANDON, LAURA ELIZABETH	3820 AUGUSTA DR	NASHVILLE	TN	37207
05910015700	ANDERSON, JIMMY L. ETUX	3816 AUGUSTA DR	NASHVILLE	TN	37207
05910015800	THOMPSON, JAMES H. ETUX	3812 AUGUSTA DR	NASHVILLE	TN	37207
05910015900	BROWN, WILLIAM C. & MARSHALENE	3808 AUGUSTA DR	NASHVILLE	TN	37207
05911004600	MCDANIEL, STACY	701 RINGGOLD DR	NASHVILLE	TN	37207
05915008400	JACKSON, REGINALD JARON & RUDD, ALANNAH DEMEE	3802 CROUCH DR	NASHVILLE	TN	37207
05915008500	JONES, DAVID O. & DEIRDRE D.	733 VANDERHORST DR	NASHVILLE	TN	37207
05915008600	JONES, DAVID O. SR & BARKER, BEVERLY J	731 VANDERHORST DR	NASHVILLE	TN	37207
05915008700	BARNES, WENFORD & NETTIE B	729 VANDERHORST DR	NASHVILLE	TN	37207
05915008800	MINOR, JUSTIN ETUX	727 VANDERHORST DR	NASHVILLE	TN	37207
05915008900	SUMMERS, DEBORAH E.	725 VANDERHORST DR	NASHVILLE	TN	37207
05915009000	WALWYN, PAUL J.	723 VANDERHORST DR	NASHVILLE	TN	37207
05915009100	BOOTH, RENEE	721 VANDERHORST DR	NASHVILLE	TN	37207
05915009200	JONES, JOSEPHINE	719 VANDERHORST DR	NASHVILLE	TN	37207
05915009300	BOWDEN, JOHN A. ET UX	717 VANDERHORST DR	NASHVILLE	TN	37207
05915009400	CORLEW, WILLIAM H., SR.	715 VANDERHORST DR	NASHVILLE	TN	37207
05915014100	LOCKRIDGE, CHARLES M & MALCOLM A & MATTHEW W & ETAL	703 RINGGOLD DR	NASHVILLE	TN	37207
05915014200	PERRY PROPERTY TRUST #2	3819 CRAVATH DR	NASHVILLE	TN	37207
05915014300	WALLER, MARY	3817 CRAVATH DR	NASHVILLE	TN	37207
05915014400	OCHIENG, JOSIAH & SYLVIA KAYE	3815 CRAVATH DR	NASHVILLE	TN	37207
05915014500	BRACKETT, MATTHEW & CHELSEA LIVING TRUST	650 VANDERHORST DR	NASHVILLE	TN	37207
05915014600	STOKES, THEODORE ETUX	654 VANDERHORST DR	NASHVILLE	TN	37207
05915014700	CLARK, WILLARD T. ET UX	658 VANDERHORST DR	NASHVILLE	TN	37207
05915015700	RICHARDSON, THELMA LUCILLE	713 VANDERHORST DR	NASHVILLE	TN	37207

05915015800	MEYER, L. PAUL & CHONG O.	711 VANDERHORST DR	NASHVILLE	TN	37207
05915015900	GILL, THOMAS E. ETUX	709 VANDERHORST DR	NASHVILLE	TN	37207
05915016000	MAYBERRY, LEE A. & GOLDEN, LORIE S.	707 VANDERHORST DR	NASHVILLE	TN	37207
05915016100	ELLIS, LATONYA M.	705 VANDERHORST DR	NASHVILLE	TN	37207
05915016200	VANCE, PRINCE E. & EMMA J.	703 VANDERHORST DR	NASHVILLE	TN	37207
05911001600	LASSITER, CLINTON & HARDEN, MERLICIA	723 ROWAN DR	NASHVILLE	TN	37207
05910006800	MOTLEY, GWENDOLYN D. TRUSTEE	725 ROWAN DR	NASHVILLE	TN	37207
05910006900	ROBINSON, SHERON	727 ROWAN DR	NASHVILLE	TN	37207
05910007000	NASHVILLE RENTALS II, LLC	729 ROWAN DR	NASHVILLE	TN	37207
05911000300	GODDARD, THOMAS A.	730 WORK DR	NASHVILLE	TN	37207
05911000200	BROWN, LEONARD G. & WILLIAMS, KIMBERLY	732 WORK DR	NASHVILLE	TN	37207
05911000100	MCKINNIE, GLORIA LEONARD & LORIA NICOLE	734 WORK DR	NASHVILLE	TN	37207
05914017800	OPENDOOR PROPERTY TRUST I	736 WORK DR	NASHVILLE	TN	37207
05914018200	PAYNE, BROOKE A	741 WORK DR	NASHVILLE	TN	37207
05914018300	TUCKER, SYNTHIA	743 WORK DR	NASHVILLE	TN	37207
05914019400	CAMPBELL, WOODROW W. JR. ETUX	736 RINGGOLD DR	NASHVILLE	TN	37207
05914018400	WADE, JOHN M., SR. ET UX	745 WORK DR	NASHVILLE	TN	37207
05914019300	SHOCKLEY, FOSTER B. & LEATHA S.	738 RINGGOLD DR	NASHVILLE	TN	37207
05915007000	JOLLEY, ZOLA P., TRUSTEE	723 RINGGOLD DR	NASHVILLE	TN	37207
05915006900	CAMPBELL, CALVIN C. ETUX	725 RINGGOLD DR	NASHVILLE	TN	37207
05915006800	BARTON, KENNETH G. & CAROL A.	727 RINGGOLD DR	NASHVILLE	TN	37207
05914019200	SHOCKLEY, FOSTER B.,JR. & LEATHA	740 RINGGOLD DR	NASHVILLE	TN	37207
05915006700	RUSSELL, CLAUDIA F. & CHARLOTTE & CHELSEA	729 RINGGOLD DR	NASHVILLE	TN	37207
05915006600	ARMSTRONG, EARLEST E. ETUX	731 RINGGOLD DR	NASHVILLE	TN	37207
05915006500	MOORE, YVETTE M.	733 RINGGOLD DR	NASHVILLE	TN	37207
05915007500	HOLDER, THOMAS Q. ET UX	722 VANDERHORST DR	NASHVILLE	TN	37207
05915007600	PRIMM, ELOISE & PRIMM, SANDRA	724 VANDERHORST DR	NASHVILLE	TN	37207
05915007700	FORD-SAUNDERS, ESTELLA	726 VANDERHORST DR	NASHVILLE	TN	37207
05915007800	HANCOCK, RICHARD D. ET UX	728 VANDERHORST DR	NASHVILLE	TN	37207
05915007900	CRAIG, ALFRED JAMES ETUX	730 VANDERHORST DR	NASHVILLE	TN	37207
05915008000	LAIRD, WILLIAM J. JR. ET UX	732 VANDERHORST DR	NASHVILLE	TN	37207
05911003800	GEORGE, ROBERT E. ET UX	711 WORK DR	NASHVILLE	TN	37207
05911003700	LANGFORD, HENRY JR. & YVONNE M.	715 WORK DR	NASHVILLE	TN	37207
05915012300	RANDOLPH, JESSE & BRENDA	717 WORK DR	NASHVILLE	TN	37207
05915012200	JORDAN, TOMEKIA L.	721 WORK DR	NASHVILLE	TN	37207
05915012900	JOHNSON, BREVERLY E	712 RINGGOLD DR	NASHVILLE	TN	37207
05915012100	WOOD, HERBERT & VICTORIA	725 WORK DR	NASHVILLE	TN	37207
05915012800	HOLDER, WILHELMINA B.	714 RINGGOLD DR	NASHVILLE	TN	37207
05915012000	CHATMAN, PATRICIA	727 WORK DR	NASHVILLE	TN	37207
05915005600	MOORE, DERRICK & DARLENE	729 WORK DR	NASHVILLE	TN	37207
05915012700	TAYLOR, VALERIE R. & VICKIE RENEE'	716 RINGGOLD DR	NASHVILLE	TN	37207
05915005500	WILLIAMS, VALARIE LYNN	731 WORK DR	NASHVILLE	TN	37207
05915012600	SPICER, SABRINA & CAMERON, TRAVIS	718 RINGGOLD DR	NASHVILLE	TN	37207
05915005400	FOX, HOLLY S & MCMAHON, THOM J	733 WORK DR	NASHVILLE	TN	37207
05915012500	MAHAMED, FLARRIE K.	720 RINGGOLD DR	NASHVILLE	TN	37207
05914017900	WATKINS, FLETCHER LIVING TRUST	735 WORK DR	NASHVILLE	TN	37207
05915012400	WALKER, KIMMERY	722 RINGGOLD DR	NASHVILLE	TN	37207
05914018000	JETTON, TRILBY	737 WORK DR	NASHVILLE	TN	37207
05915005800	PORTER, HAZEL F. ETUX	724 RINGGOLD DR	NASHVILLE	TN	37207
05914018100	ALLEN, BRENDA D.	739 WORK DR	NASHVILLE	TN	37207
05915005900	EISMA, JARROD J & DEAN F	726 RINGGOLD DR	NASHVILLE	TN	37207
05915013600	DANIELS, LORA S.	713 RINGGOLD DR	NASHVILLE	TN	37207
05915006000	WALKER, DEAUNDREA LEE	728 RINGGOLD DR	NASHVILLE	TN	37207
05915013500	HORTON, CARLA EARLINE	715 RINGGOLD DR	NASHVILLE	TN	37207
05915006100	HEAD, JORDAN S & CHRISTOPHER C & HEAD, CAROLYN JOAN	730 RINGGOLD DR	NASHVILLE	TN	37207
05915013400	MANNING, JOE B. ETUX	717 RINGGOLD DR	NASHVILLE	TN	37207
05915006200	JONES, ODIE D. & ELIZABETH A.	732 RINGGOLD DR	NASHVILLE	TN	37207
05915013300	LANIER, MARY B.	719 RINGGOLD DR	NASHVILLE	TN	37207
05915006300	FLETCHER, LILLIE A.	734 RINGGOLD DR	NASHVILLE	TN	37207
05915013200	HOWELL, ROSE MARIE	721 RINGGOLD DR	NASHVILLE	TN	37207
05915015500	RUBUR HOLDINGS, LLC	712 VANDERHORST DR	NASHVILLE	TN	37207
05915015600	WATERS, KENNETH O.	714 VANDERHORST DR	NASHVILLE	TN	37207
05915007200	MOSELEY, N.V.(LE), R.A. & R.L.	716 VANDERHORST DR	NASHVILLE	TN	37207
05915007300	SPENCER, RODERICK C. ETUX	718 VANDERHORST DR	NASHVILLE	TN	37207
05915007400	RAYBON, JOHN THOMAS ETUX	720 VANDERHORST DR	NASHVILLE	TN	37207
05915014000	VAUGHN, TOMEKIA	705 RINGGOLD DR	NASHVILLE	TN	37207
05915013900	NERO, DANA LAQUANA & JANNIE DELOIS	707 RINGGOLD DR	NASHVILLE	TN	37207
05915013800	TOWNSEND, THAYER R. ETUX	709 RINGGOLD DR	NASHVILLE	TN	37207
05915014800	DEAN, CHRISTINA PRINS	662 VANDERHORST DR	NASHVILLE	TN	37207
05915013700	REED, LAWRENCE K. ETUX	711 RINGGOLD DR	NASHVILLE	TN	37207
05915014900	EVANS, MYRTLE L.	668 VANDERHORST DR	NASHVILLE	TN	37207
05915015000	JONES, ADDIE M.	700 VANDERHORST DR	NASHVILLE	TN	37207

05915015100	RANKINS, KENNETH L. & KAREN L. & KEVIN L.	702 VANDERHORST DR	NASHVILLE	TN	37207
05915015200	HYDE, ALONZO E. & ANGELA M.	704 VANDERHORST DR	NASHVILLE	TN	37207
05915015300	TODD, CARL D.	706 VANDERHORST DR	NASHVILLE	TN	37207
05915015400	GRAYSON, JACOB ANDREW & MCCOY, KATHY J.	708 VANDERHORST DR	NASHVILLE	TN	37207
05910015100	JOHNSON, ISAAC J. ET AL	3840 AUGUSTA DR	NASHVILLE	TN	37207
05911000500	MYERS, JOHN E. ETUX	718 ROWAN DR	NASHVILLE	TN	37207
05911000600	THICKLIN, CHESTER ETUX	716 ROWAN DR	NASHVILLE	TN	37207
05911000700	ROSS, CHARLES & CLEOPATRA GAMBIZA	714 ROWAN DR	NASHVILLE	TN	37207
05911000800	MARTIN, JERSHUA & BRANDON, BYRON JR	712 ROWAN DR	NASHVILLE	TN	37207
05911000900	KING, MILDRED & TAYLOR, DORLINE MARIE ET AL	710 ROWAN DR	NASHVILLE	TN	37207
05911001000	TALLEY, JACQUELINE Y.	708 ROWAN DR	NASHVILLE	TN	37207
05911001100	SHERMAN, CHARLES & LULA BELL	706 ROWAN DR	NASHVILLE	TN	37207
05911001200	BAILEY, SHATIKA	704 ROWAN DR	NASHVILLE	TN	37207
05911001300	TAYLOR, MICHAEL	702 ROWAN DR	NASHVILLE	TN	37207
05911001400	MCGUIRE, VERNON R. ETUX	700 ROWAN DR	NASHVILLE	TN	37207
05911001700	SIMPSON, WANDA FAYE	721 ROWAN DR	NASHVILLE	TN	37207
05911001800	REED, GRETCHEN LEAH & MAHER, DAVID	719 ROWAN DR	NASHVILLE	TN	37207
05911001900	REDMOND, JENEENE BANKS	717 ROWAN DR	NASHVILLE	TN	37207
05911002000	SHARP, ESTHER BELL T.	715 ROWAN DR	NASHVILLE	TN	37207
05911002100	CHURCH, ESTHER B.	713 ROWAN DR	NASHVILLE	TN	37207
05911002200	WHITE, TAMARA D.	711 ROWAN DR	NASHVILLE	TN	37207
05911002300	CLAYBROOKS, CONNIE & JACQUELINE ET AL	709 ROWAN DR	NASHVILLE	TN	37207
05911002400	BOND, GLADYS	707 ROWAN DR	NASHVILLE	TN	37207
05911002500	JOHNSON, WM. H. MCGAVOCK JR. ETUX	705 ROWAN DR	NASHVILLE	TN	37207
05911002600	GOLDTHREATE, TERRY L. & CHARLENE E.	701 ROWAN DR	NASHVILLE	TN	37207
05911002700	FRIERSON, HAROLD E. ET UX	3839 CRAVATH DR	NASHVILLE	TN	37207
05911002800	WADE, CAMILLE	700 WORK DR	NASHVILLE	TN	37207
05911002900	HYDE, WANDA F.	704 WORK DR	NASHVILLE	TN	37207
05911003000	SCOTT, KATHERINE M. & TURNER, JOSELYN	708 WORK DR	NASHVILLE	TN	37207
05911003100	BROWN, WILMA (LE) & HUGHES, CASSANDRA W.	712 WORK DR	NASHVILLE	TN	37207
05911003200	WATKINS, AWANDA G. & SHARON E.	716 WORK DR	NASHVILLE	TN	37207
05911003300	BROOKS, LILLARD R. ETUX	720 WORK DR	NASHVILLE	TN	37207
05911003400	ALEXANDER, HARRY W. ETUX	724 WORK DR	NASHVILLE	TN	37207
05911003500	HAWKINS, MARY LOUISE	726 WORK DR	NASHVILLE	TN	37207
05911003600	MCLAY, WANDA P.	728 WORK DR	NASHVILLE	TN	37207
05911003900	BARBEE, HOWARD M. ETUX	709 WORK DR	NASHVILLE	TN	37207
05911004000	CORLEY, KATHRYN DIANA	705 WORK DR	NASHVILLE	TN	37207
05911004100	SPICER, JOE & JUANITA	701 WORK DR	NASHVILLE	TN	37207
05911004200	PRICE, MARY LOU E.	3831 CRAVATH DR	NASHVILLE	TN	37207
05911004300	JERNIGAN, WILLIAM T. JR. ETUX	3829 CRAVATH DR	NASHVILLE	TN	37207
05911004400	JOHNSON, SETH J. & LADER, SKADI KYAN	700 RINGGOLD DR	NASHVILLE	TN	37207
05911004500	ROBINSON, VERLEEN FRANCIS ABSTON	704 RINGGOLD DR	NASHVILLE	TN	37207
05911006100	LOWE, KATHERINE	3844 AUGUSTA DR	NASHVILLE	TN	37207
05911006200	BENTON, ROBERT L. & DOROTHY B. TRUSTEES	3848 AUGUSTA DR	NASHVILLE	TN	37207
05911006300	STRONG, BLONDELL M. & KIMBROUGH, CHARLES E.	3852 AUGUSTA DR	NASHVILLE	TN	37207
05911006400	JONES, CELESTE & MARCO	3856 AUGUSTA DR	NASHVILLE	TN	37207
05911006500	COOKSEY, MARSHALL E. & EMMA J., TRS.	3860 AUGUSTA DR	NASHVILLE	TN	37207
05911006600	COOK, MARVIN	3864 AUGUSTA DR	NASHVILLE	TN	37207
05911006700	BRYANT, RUBY P. & WALKER, JR. ET AL	3868 AUGUSTA DR	NASHVILLE	TN	37207
05911006800	JONES, THEODORE J. ETUX	3872 AUGUSTA DR	NASHVILLE	TN	37207
05915013000	LEE, VALERIE M.	710 RINGGOLD DR	NASHVILLE	TN	37207
05915013100	REED, DEBORAH & LAWRENCE	708 RINGGOLD DR	NASHVILLE	TN	37207
05910003900	ALLEN, SHIRLEY & GIBSON, JEWYL CERVAN	3828 DUNBAR DR	NASHVILLE	TN	37207
05910018300	CAMBRONERO, ALFREDO & GINETTE	3809 DUBOIS DR	NASHVILLE	TN	37207
05910018000	EPPERSON, HARVEY L., JR. & TAMMY D.	3808 DUBOIS DR	NASHVILLE	TN	37207
05910016100	PARKER, AARON W. & ELAYANNE R.	3805 AUGUSTA DR	NASHVILLE	TN	37207
05910016200	BOSTIC, JOHN A., JR.	3811 AUGUSTA DR	NASHVILLE	TN	37207
05910003800	PARKER, AARON W. & ELAYANNE R.	3824 DUNBAR DR	NASHVILLE	TN	37207
05910016700	JOHNSON, LAKEILIA M.	3805 WOODWARD DR	NASHVILLE	TN	37207
05910018200	GUYTON, JOHN A. ETUX	3805 DUBOIS DR	NASHVILLE	TN	37207
05911019900	DORSE, RENITA	611 ROWAN CT	NASHVILLE	TN	37207
05910018100	SMITH, LEROY, ET UX	3804 DUBOIS DR	NASHVILLE	TN	37207
05910016500	CONSTANTIN, FLORIN & MEGAN ELISE GIANNESCHI	3831 AUGUSTA DR	NASHVILLE	TN	37207
05911020000	TRUETT, AZZELL & CAPRICE & KATRINA	607 ROWAN CT	NASHVILLE	TN	37207
05910016600	ESTILL, JACQUELINE C.	3837 AUGUSTA DR	NASHVILLE	TN	37207
05910016300	PERRY, TIFFANY ROCHELLE	3817 AUGUSTA DR	NASHVILLE	TN	37207
05910016400	STANTON, ROBERT L & ROBIN R & FORD, HELEN & DEBRA	3825 AUGUSTA DR	NASHVILLE	TN	37207
05911018500	KING, GEORGE W., JR ET UX	620 BALDWIN CT	NASHVILLE	TN	37207
05911018400	1ST CHOICE PARTNERS, LLC & FTN INVESTMENTS, LLC	616 BALDWIN CT	NASHVILLE	TN	37207
05911018300	MILLER, ERICA	612 BALDWIN CT	NASHVILLE	TN	37207
05911017300	COOK, MARVIN	625 BALDWIN CT	NASHVILLE	TN	37207
05911017400	CROSBY, ALISHA MARIE	621 BALDWIN CT	NASHVILLE	TN	37207

05911017500	WELCH, SHIRLEY ANN	617 BALDWIN CT	NASHVILLE	TN	37207
05911017600	BSFR I OWNER I LP	613 BALDWIN CT	NASHVILLE	TN	37207
05911017700	TODD, NATALIE Y.	609 BALDWIN CT	NASHVILLE	TN	37207
05911005300	SHUTE, ELIZABETH A. & SHUTE, JOHN H.	3826 CRAVATH DR	NASHVILLE	TN	37207
05911005200	PRUDHOMME, CHARLES R.	3824 CRAVATH DR	NASHVILLE	TN	37207
05911017800	MCCLAIN, LESTER C.	605 BALDWIN CT	NASHVILLE	TN	37207
05911005100	OWENS, ELLA DEAN LIVING TRUST	3822 CRAVATH DR	NASHVILLE	TN	37207
05911005000	FISHER, THELMA	3820 CRAVATH DR	NASHVILLE	TN	37207
05911004900	RAYBON, WILLIAM A. ETUX	3818 CRAVATH DR	NASHVILLE	TN	37207
05911004800	MOOSA, MARYAM	3816 CRAVATH DR	NASHVILLE	TN	37207
05910017700	JOHNSON, DANA H ETUX	3820 DUBOIS DR	NASHVILLE	TN	37207
05911019300	DAVIS, MARIA	675 ROWAN DR	NASHVILLE	TN	37207
05910017800	JENNINGS, ERNEST HALL ETUX	3816 DUBOIS DR	NASHVILLE	TN	37207
05911019400	ADKINSON, THELMA L.	631 ROWAN CT	NASHVILLE	TN	37207
05910016900	CARVIN, WILLIE & DEBORAH JEAN	3813 WOODWARD DR	NASHVILLE	TN	37207
05911009800	JORDAN, KATHLEEN	3818 WOODWARD DR	NASHVILLE	TN	37207
05911019200	ZEZATTI, OSCAR	681 ROWAN DR	NASHVILLE	TN	37207
05911019500	SAVELY, MAURICE	627 ROWAN CT	NASHVILLE	TN	37207
05910017900	SHELTON, THERESA	3812 DUBOIS DR	NASHVILLE	TN	37207
05911019600	HAYNES, JEFFERY L. & BURNS, TERRIA L.	623 ROWAN CT	NASHVILLE	TN	37207
05910016800	RIEHLE, NICHOLAS	3809 WOODWARD DR	NASHVILLE	TN	37207
05911009700	JONES, MARVIN H. ET UX	3810 WOODWARD DR	NASHVILLE	TN	37207
05911019100	FRYE, TIM	685 ROWAN DR	NASHVILLE	TN	37207
05911009400	ZAKKAK, KAITLIN S. & NASSIF	3857 AUGUSTA DR	NASHVILLE	TN	37207
05911019700	WATSON, THOMAS L. ET UX	619 ROWAN CT	NASHVILLE	TN	37207
05911019000	CAUDELL, CHARLES	640 BALDWIN CT	NASHVILLE	TN	37207
05911009500	GIBSON, TERENCE L. & JEWYL	3853 AUGUSTA DR	NASHVILLE	TN	37207
05911018900	MCCLAIN, LESTER CALVIN, TRUSTEE	636 BALDWIN CT	NASHVILLE	TN	37207
05911019800	HODGES, PATRICIA	615 ROWAN CT	NASHVILLE	TN	37207
05911009600	CAMBRONERO, ALFREDO & GINETTE	3800 WOODWARD DR	NASHVILLE	TN	37207
05911018800	WEBSTER, FLORA MAY	632 BALDWIN CT	NASHVILLE	TN	37207
05911016800	ANDRE PAYNE REVOCABLE LIVING TRUST	693 ROWAN DR	NASHVILLE	TN	37207
05911018700	MCCLAIN, LESTER C	628 BALDWIN CT	NASHVILLE	TN	37207
05911018600	SFR XII NM NASHVILLE OWNER 1, LP	624 BALDWIN CT	NASHVILLE	TN	37207
05911016900	WEBB, CHARLES & PEALIE	641 BALDWIN CT	NASHVILLE	TN	37207
05911006000	HICKSON, SUSAN SPECIAL NEED TRUST, THE	697 ROWAN DR	NASHVILLE	TN	37207
05911017000	GREER, PEGGY ANN TRUSTEE	637 BALDWIN CT	NASHVILLE	TN	37207
05911017100	WILLIAMS, RACHEL (LE) & SHARPE, CAROLYN R	633 BALDWIN CT	NASHVILLE	TN	37207
05911005900	SYKES, THEODORE R. ETUX	3838 CRAVATH DR	NASHVILLE	TN	37207
05911017200	BAUGH, STEPHANIE & AUDREY ET AL	629 BALDWIN CT	NASHVILLE	TN	37207
05911005800	BUSH, THOMAS H. ET UX	3836 CRAVATH DR	NASHVILLE	TN	37207
05911005700	WOODSON, CAROLYN	3834 CRAVATH DR	NASHVILLE	TN	37207
05911005600	JORDAN, GLYNIS	3832 CRAVATH DR	NASHVILLE	TN	37207
05911005500	TALLEY, LUCIUS FREDERICK JR & KATHLEEN	3830 CRAVATH DR	NASHVILLE	TN	37207
05911005400	QUIRIN, WILMA J. & JAMES A.	3828 CRAVATH DR	NASHVILLE	TN	37207
05910004800	ADAMS, CLAUDIE D.	755 REVELS DR	NASHVILLE	TN	37207
05910004900	RANDOLPH, BARBARA	751 REVELS DR	NASHVILLE	TN	37207
05910005000	RANDOLPH, BARBARA	747 REVELS DR	NASHVILLE	TN	37207
05911013600	ROWLAND, CHARLES J. ETUX	3861 DUBOIS DR	NASHVILLE	TN	37207
05911013100	WILLIAMS, COSTELLA	3866 DUBOIS DR	NASHVILLE	TN	37207
05911013200	LEWIS, CLIFTON, JR.	729 REVELS DR	NASHVILLE	TN	37207
05911013300	BELL, SADIE(LE) & SADIE BELL IRREVOCABLE TRUST	725 REVELS DR	NASHVILLE	TN	37207
05911011600	JOYNER, SAMUEL R. & JOHNNIE B. & JOHNNIE L.	721 REVELS DR	NASHVILLE	TN	37207
05911011300	HUDSON, CHARLES R. & DOROTHY	3864 WOODWARD DR	NASHVILLE	TN	37207
05911011400	HUDSON, CHARLES R. ETUX	709 REVELS DR	NASHVILLE	TN	37207
05911011500	PILLOW, THOMAS & GLORIA REVOCABLE LIVING TRUST	705 REVELS DR	NASHVILLE	TN	37207
05911008000	BRIDGES, MOREY MURRAY & HAYES, CONSTANCE LEE	701 REVELS DR	NASHVILLE	TN	37207
05910004700	MAJORS, ELEXANDER ET UX	3862 DUNBAR DR	NASHVILLE	TN	37207
05911013500	BELLINGER, PHELPS CAROLYN	3857 DUBOIS DR	NASHVILLE	TN	37207
05911013000	STALLWORTH, WILLIE & DOROTHY	3862 DUBOIS DR	NASHVILLE	TN	37207
05910019400	FOLSTON, ORLANDA	3853 DUBOIS DR	NASHVILLE	TN	37207
05911007900	DANABY, JAMES JR., ETUX	3940 AUGUSTA DR	NASHVILLE	TN	37207
05911011700	KRANTZ, CARL DENVER SR. & KATHY	3857 WOODWARD DR	NASHVILLE	TN	37207
05911015600	BARNES, JIMMIE	691 REVELS DR	NASHVILLE	TN	37207
05911011200	RESICAP TENNESSEE OWNER III LLC	3860 WOODWARD DR	NASHVILLE	TN	37207
05911008100	JONES, MYRTLE L. A.	3933 AUGUSTA DR	NASHVILLE	TN	37207
05911011800	SALES, WALKER (LE) & KELVIN W. & CHANDRA J.	3853 WOODWARD DR	NASHVILLE	TN	37207
05911007800	GRIFFIN, SHIRLEY	3936 AUGUSTA DR	NASHVILLE	TN	37207
05911015700	PATTON, LARRY E SR & MILDRED L & LARRY E JR & CHANTEL	652 ROWAN DR	NASHVILLE	TN	37207
05911008200	DARTIS, ELEANOR LAPRADE	3929 AUGUSTA DR	NASHVILLE	TN	37207
05911007700	TULLOSS, ALVAS C., JR. ETUX	3932 AUGUSTA DR	NASHVILLE	TN	37207
05911015800	FERGUSON, CLARENCE E.	656 ROWAN DR	NASHVILLE	TN	37207

05911007600	WHITE, BOOKER T. JR. ETUX	3928 AUGUSTA DR	NASHVILLE	TN	37207
05911015900	COTTON, KAYLA KEAIRA	660 ROWAN DR	NASHVILLE	TN	37207
05910004300	BRIGGANCE, RICHARD ET UX	3846 DUNBAR DR	NASHVILLE	TN	37207
05910004200	LAWS, KENNETH	3842 DUNBAR DR	NASHVILLE	TN	37207
05910018600	SHAW, SARAH V & TOLAN G	3821 DUBOIS DR	NASHVILLE	TN	37207
05910004100	WARFIELD, MARGARET J.	3838 DUNBAR DR	NASHVILLE	TN	37207
05910018500	SANDERS, GLORIA	3817 DUBOIS DR	NASHVILLE	TN	37207
05910004000	MENDEZ, TODD & GRACE	3834 DUNBAR DR	NASHVILLE	TN	37207
05910018400	BEAMON, SOPHIA K.	3813 DUBOIS DR	NASHVILLE	TN	37207
05910019300	PRICE, CORY V.	3849 DUBOIS DR	NASHVILLE	TN	37207
05910004600	CAMPBELL, TOMMY	3858 DUNBAR DR	NASHVILLE	TN	37207
05910019200	KREBS, ALLYSON & BOSSHART, ASHLEY	3845 DUBOIS DR	NASHVILLE	TN	37207
05910004500	CAMPBELL, EDWARD ET UX	3854 DUNBAR DR	NASHVILLE	TN	37207
05910019100	BRIDGES, MOREY MURRAY	3841 DUBOIS DR	NASHVILLE	TN	37207
05910019000	FONTANA, BRITTANY & MOHAMED, VIJAY	3837 DUBOIS DR	NASHVILLE	TN	37207
05910004400	ALLEN, SHELEETA L. & ERNEST R., JR.	3850 DUNBAR DR	NASHVILLE	TN	37207
05910018900	PRICE, HOWARD T. ETUX	3833 DUBOIS DR	NASHVILLE	TN	37207
05910018800	PRICE, YOHANCE	3829 DUBOIS DR	NASHVILLE	TN	37207
05910017400	OAKLEY, PAUL	3834 DUBOIS DR	NASHVILLE	TN	37207
05910018700	PATRICK, ALFONZA J. & MARY CARVER-	3825 DUBOIS DR	NASHVILLE	TN	37207
05911010200	YOKLEY, ARTHUR S., SR. & ARTHUR S. JR.	3834 WOODWARD DR	NASHVILLE	TN	37207
05910017500	MINLAR PROPERTIES, LLC	3830 DUBOIS DR	NASHVILLE	TN	37207
05911012500	MCCALL, THOMEKA FRANCESCA	3825 WOODWARD DR	NASHVILLE	TN	37207
05911010300	WOODARD, JAMES E. ETUX	3863 CRAVATH DR	NASHVILLE	TN	37207
05910017100	KEY, VIOLA	3821 WOODWARD DR	NASHVILLE	TN	37207
05910017600	WALKER, KEVIN M. & ANGELIA P.	3824 DUBOIS DR	NASHVILLE	TN	37207
05911010100	WISER, LEIGH B.	3830 WOODWARD DR	NASHVILLE	TN	37207
05911010400	AMADASUN, CANDACE	3857 CRAVATH DR	NASHVILLE	TN	37207
05910017000	WHITE, BERTHA O.	3817 WOODWARD DR	NASHVILLE	TN	37207
05911010000	PORTER, WILLIAM T. ET UX	3826 WOODWARD DR	NASHVILLE	TN	37207
05911009900	HARRIS, EMILY & RUCKER, ANNA & FENNELL, ETHEL	3822 WOODWARD DR	NASHVILLE	TN	37207
05911008900	TEAM 9 REAL ESTATE SOLUTIONS LLC	3853 CRAVATH DR	NASHVILLE	TN	37207
05911009000	BASHAW, BRYANT SR. (LE) & BRYANT JR. & ET AL	3869 AUGUSTA DR	NASHVILLE	TN	37207
05911009200	BROWN, LARRY D. & JANICE D.	3865 AUGUSTA DR	NASHVILLE	TN	37207
05911009300	MCCORD, WILLIE M.	3861 AUGUSTA DR	NASHVILLE	TN	37207
05911011100	HICKSON, REGINA	3856 WOODWARD DR	NASHVILLE	TN	37207
05911011000	THOMPSON, BETTY ANN DOWELL (LE) & KIM JERROD	3852 WOODWARD DR	NASHVILLE	TN	37207
05911010900	MOORE, CATHERINE	3848 WOODWARD DR	NASHVILLE	TN	37207
05910017200	SMITH, BRANDON & BRIEN	3842 DUBOIS DR	NASHVILLE	TN	37207
05911010800	PELLAM, KIMBERLY J.	3868 CRAVATH DR	NASHVILLE	TN	37207
05911012300	WYNN, BRENDA G.	3833 WOODWARD DR	NASHVILLE	TN	37207
05910017300	WELLS, ERNEST E., SR. ET UX	3838 DUBOIS DR	NASHVILLE	TN	37207
05911010700	BAILEY, PATRICIA	3864 CRAVATH DR	NASHVILLE	TN	37207
05911010600	K & K LEASING, INC.	3860 CRAVATH DR	NASHVILLE	TN	37207
05911012400	MCLAURINE, WILLIE MAE	3829 WOODWARD DR	NASHVILLE	TN	37207
05911010500	FLY, ANDREW CALVIN	3856 CRAVATH DR	NASHVILLE	TN	37207
05911008700	MURRAY-DUNN, PERLIE MAE	3905 AUGUSTA DR	NASHVILLE	TN	37207
05911007200	BROOKS, ERIC	3912 AUGUSTA DR	NASHVILLE	TN	37207
05911008800	GUNN, RONALD ST.	3901 AUGUSTA DR	NASHVILLE	TN	37207
05911007100	RUCKER, LATOLYA	3908 AUGUSTA DR	NASHVILLE	TN	37207
05911016400	OFFUTT, FRANK L. & WORD, JAMES L.	680 ROWAN DR	NASHVILLE	TN	37207
05911007000	WHIESGAR, OBADIAH G. & SARAH A.	3904 AUGUSTA DR	NASHVILLE	TN	37207
05911016500	STARNES, EVELYN	684 ROWAN DR	NASHVILLE	TN	37207
05911006900	GREEN, ELVIS RASCUE ETUX	3900 AUGUSTA DR	NASHVILLE	TN	37207
05911016600	COOK, MARVIN	688 ROWAN DR	NASHVILLE	TN	37207
05911016700	TURNER, ANTONIO C	692 ROWAN DR	NASHVILLE	TN	37207
05911001500	LAWLESS, MARIAN & GLENN, HOWARD	3844 CRAVATH DR	NASHVILLE	TN	37207
05911012900	FRANCO HOMES INC	3858 DUBOIS DR	NASHVILLE	TN	37207
05911011900	SCHENK, CHRISTINE HOLLY & HIRSCHFELD, LANE MATTHEW	3849 WOODWARD DR	NASHVILLE	TN	37207
05911012800	WALLACE, VERONICA A.	3854 DUBOIS DR	NASHVILLE	TN	37207
05911012000	TUCKER, RONALD J. ETUX	3845 WOODWARD DR	NASHVILLE	TN	37207
05911012700	SMITH, MARVIN E. ET UX	3850 DUBOIS DR	NASHVILLE	TN	37207
05911008300	BEVERLY, EARL THOMAS ETUX	3925 AUGUSTA DR	NASHVILLE	TN	37207
05911012100	REED, RODNEY & PORSHA	3841 WOODWARD DR	NASHVILLE	TN	37207
05911012600	CARTER, SAMUEL M. ETUX	3846 DUBOIS DR	NASHVILLE	TN	37207
05911008400	LEWIS, HARRISON L. ETUX	3921 AUGUSTA DR	NASHVILLE	TN	37207
05911012200	RALEY, DILLON & HALPHEN, LACEY R.	3837 WOODWARD DR	NASHVILLE	TN	37207
05911007500	BARTON, MADELINE L. & BEVERLY B.	3924 AUGUSTA DR	NASHVILLE	TN	37207
05911016000	KILCREASE, SEAN M. & DALLISA	664 ROWAN DR	NASHVILLE	TN	37207
05911008500	GRIFFIN, LYNN	3917 AUGUSTA DR	NASHVILLE	TN	37207
05911007400	MOORMAN, CHARLES ANTHONY	3920 AUGUSTA DR	NASHVILLE	TN	37207
05911016100	BAKER, RANDY & VELISA	668 ROWAN DR	NASHVILLE	TN	37207

05911008600	JONES, HOWARD E.& BARBARA J.	3911 AUGUSTA DR	NASHVILLE	TN	37207
05911007300	BYLES, WILLIAM L.	3916 AUGUSTA DR	NASHVILLE	TN	37207
05911016200	ADAMS, JUSTIN T.	672 ROWAN DR	NASHVILLE	TN	37207
05911016300	FRY, ERIC D & WANDA J	676 ROWAN DR	NASHVILLE	TN	37207
05911021300	MILLER, MARTHA LUCILLE	655 ROWAN DR	NASHVILLE	TN	37207
05911021400	COVINGTON, BRENDA F.& WM.& MOORE, L.V.	677 REVELS DR	NASHVILLE	TN	37207
05911021200	ANDERSON, CHERYL	661 ROWAN DR	NASHVILLE	TN	37207
05911021500	MONTES, REY M & RECINOS, LUISA M	673 REVELS DR	NASHVILLE	TN	37207
05911021100	GAMBLE, EDDIE	667 ROWAN DR	NASHVILLE	TN	37207
05911021600	GUNN, MARY FRANCES	669 REVELS DR	NASHVILLE	TN	37207
05911021000	PARRISH, CAROLYN J.	632 ROWAN CT	NASHVILLE	TN	37207
05911021700	CRUTCHER, LATROY W.	665 REVELS DR	NASHVILLE	TN	37207
05911020900	COOK, MARVIN	626 ROWAN CT	NASHVILLE	TN	37207
05911021800	TODD, LORI	661 REVELS DR	NASHVILLE	TN	37207
05911020800	PETERS, DAVID WAYNE	624 ROWAN CT	NASHVILLE	TN	37207
05911021900	STARKS, SHARIKA D	657 REVELS DR	NASHVILLE	TN	37207
05911022000	CARNAHAN, DWIGHT L.	653 REVELS DR	NASHVILLE	TN	37207
05911020700	CARPENTER, DEBORAH R.	620 ROWAN CT	NASHVILLE	TN	37207
05911020600	PORTER, CYNTHIA R.	616 ROWAN CT	NASHVILLE	TN	37207
05911020500	GRAY, ELIZABETH A.	612 ROWAN CT	NASHVILLE	TN	37207
05911020400	TALLEY, MADIE A.	608 ROWAN CT	NASHVILLE	TN	37207

ORDINANCE NO. BL2023-____

An ordinance to authorize building material restrictions and requirements for BL2023-____, a proposed Neighborhood Conservation Zoning Overlay District to various properties located west of Whites Creek Pike and north of Moormans Arm Road, zoned RS10 (169.19 acres), all of which is described herein (Proposal No. 2023NHC-002-001). **THE PROPOSED ORDINANCE REQUIRES CERTAIN MATERIALS TO BE RESTRICTED IN THE CONSTRUCTION OF BUILDINGS.**

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That the building material restrictions and requirements as a part of BL2023-____, a proposed Neighborhood Conservation Zoning Overlay District to various properties located west of Whites Creek Pike and north of Moormans Arm Road, zoned RS10 (169.19 acres), all of which is described herein (Proposal No. 2023NHC-002-001), as described in "Exhibit A" are hereby authorized.

Section 2. Any request for a waiver from part or all of the building material restrictions and requirements contained within this ordinance shall be submitted to the Metropolitan Historic Zoning Commission at the time of application for a historic preservation permit.

Section 3. The Metropolitan Clerk is directed to publish a notice announcing such change in a newspaper of general circulation within five days following final passage.

Section 4. This Ordinance shall take effect upon publication of above said notice announcing such change in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

SPONSORED BY:

Kyonzte Toombs
Member of Council

NEIGHBORHOOD CONSERVATION ZONING DESIGN GUIDELINES FOR MID CENTURY DISTRICTS



METROPOLITAN HISTORIC ZONING COMMISSION

Metropolitan Government of
Nashville and Davidson County

Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
615-862-7970
www.nashville.gov/mhc
historicalcommission@nashville.gov

Approved 2021

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I. INTRODUCTION

WHAT IS REVIEWED:

IN A HISTORIC LANDMARK OVERLAY

- *New construction (primary and secondary structures)*
- *Additions – increased footprint, height, or building envelope of an existing structure*
- *Demolition (in-whole or in-part)*
- *Relocation of structures*
- *Construction of appurtenances (with the exception of portable storage buildings less than 100 square feet)*
- *Signage*
- *Repairs and alterations to existing structures*
- *Setback determinations*

IN A HISTORIC LANDMARK INTERIORS

- *Alterations within certain interior spaces identified at the time of designation*

IN A HISTORIC PRESERVATION OVERLAY

- *New construction (primary and secondary structures)*
- *Additions – increased footprint, height, or building envelope of an existing structure*
- *Demolition (in whole or in-part)*
- *Relocation of structures*
- *Construction of appurtenances (with the exception of portable storage buildings less than 100 square feet)*
- *Signage*
- *Repairs and alterations to existing structures*
- *Setback determinations*

A. THE NEIGHBORHOOD CONSERVATION ZONING OVERLAY

Please also see *MHZC Hand Book*.

Neighborhoods in more than two thousand towns and cities in the United States use historic zoning as a tool to protect their unique architectural characters. There are quantifiable reasons for historic zoning: it gives neighborhoods greater control over development; it stabilizes property values; it decreases the risk of investing in one’s building; it promotes heritage tourism; it protects viable urban housing stock; and it preserves natural resources by conserving building materials. There are less quantifiable, but equally important, reasons for historic zoning—it protects our past for future generations, it nurtures a sense of community, and it provides a sense of place.

Historic zoning overlays are **locally** designated and administered by the Metropolitan Historic Zoning Commission (MHZC), an agency of the Metropolitan Government of Nashville and Davidson County. Historic zoning overlays are applied in addition to the base or land-use zoning of an area. *Historic zoning overlays do not impact use.*

Like the National Register of Historic Places, historic zoning honors an area’s historical significance. There are five types of historic zoning overlays: historic preservation, neighborhood conservation, historic bed and breakfast, historic landmarks, and historic landmark interiors.

In neighborhood conservation and historic bed and breakfast homestay zoning overlays, certain exterior work on buildings—new construction, additions, demolition, and relocation—is reviewed to ensure that the neighborhood’s historic character is preserved. In addition to the projects reviewed in neighborhood conservation and historic bed and breakfast zoning overlays, historic preservation and historic landmark overlays also review exterior alterations to existing buildings - like replacing windows, altering storefronts, or painting brick. Overlays with historic preservation or historic landmark zoning are not more historically significant than those with neighborhood conservation zoning; rather, the MHZC, in conjunction with neighborhood input and local council member direction, determined that these overlays are most compatible with the goals of the neighborhood and the MHZC.



I. INTRODUCTION

B. WHAT ARE THE DESIGN GUIDELINES?

The Metropolitan Historic Zoning Commission (MHZC) is the architectural review board that reviews applications for work on properties within historic zoning overlay districts. Its nine members, appointed by the mayor, include representatives from historic zoning overlays, the Metropolitan Planning Commission, the Metropolitan Historical Commission, architect(s), and others. Design review is administered according to a set of design guidelines. The guidelines are criteria and standards, developed jointly by the MHZC and the residents of the neighborhood, which are used in determining the architectural compatibility of proposed projects. The guidelines provide direction for project applicants and ensure that the decisions of the MHZC are not arbitrary or based on anyone's personal taste.

The guidelines protect the neighborhood from new construction or additions not in character with the neighborhood and from the loss of architecturally or historically important buildings.

By state and local legislation, design guidelines for historic overlays must be in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*—criteria developed by the National Park Service and used by private and public preservation organizations throughout the country. (Please see I.D.)

The Neighborhood Conservation Zoning Overlays (NCZO), included in these design guidelines, have the same set of design guidelines (Part I) and chapters specific to each district (Part II). Where the general NCZO guidelines and the district specific chapters conflict, the district specific chapters shall prevail.

The italicized sections of the design guidelines contain interpretive information that is meant to make the guidelines easier to understand and memorialize precedent-setting decisions.

Illustrations are intended to provide example buildings and circumstances.

It is important to remember that every building and site is different, and what may be appropriate for one building or site may not be appropriate for another.

IN A NEIGHBORHOOD CONSERVATION OVERLAY (NCZO) (also B&B Homestays)

- *New construction (primary and secondary structures)*
- *Additions – increased footprint, height or building envelope of an existing structure*
- *Demolition (in-whole or in-part)*
- *Relocation of structures*
- *Setback determinations*



I. INTRODUCTION

C. PURPOSE OF THE DESIGN GUIDELINES

Within Title 17 of the Metro Codes of Ordinances, “historic zoning” is used as the general term for Nashville’s five types of zoning overlay districts applicable to historic properties: historic preservation, neighborhood conservation, historic bed and breakfast, historic landmark, and historic landmark interiors.

1. Design guidelines are criteria and standards which the Metropolitan Historic Zoning Commission must consider in determining the appropriateness of proposed work within a neighborhood conservation zoning district. Appropriateness of work must be determined in order to accomplish the goals of historic and neighborhood conservation zoning, as outlined in Article III, Chapter 17.36 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance:
 - a. To preserve and protect the historical and/or architectural value of buildings or other structures;
 - b. To regulate exterior design, arrangement, texture, and materials proposed to be used within the historic district to ensure compatibility;
 - c. To create an aesthetic appearance which complements the historic buildings or other structures;
 - d. To foster civic beauty;
 - e. To strengthen the local economy; and
 - f. To promote the use of historic districts for the education, pleasure, and welfare of the present and future citizens of Nashville and Davidson County.

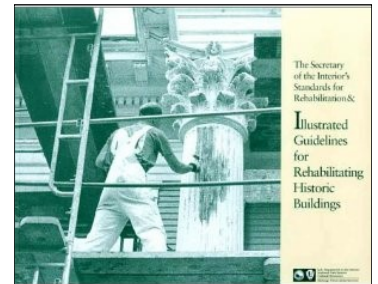


I. INTRODUCTION

D. SECRETARY OF INTERIOR STANDARDS

By Tennessee state law, all design guidelines for historic overlays must comply with the Historic Preservation Act of 1966, as amended. The section of the Act which deals specifically with rehabilitation of historic properties is the Secretary of the Interior's Standards for Treatment of Historic Properties. The Standards are a series of concepts about maintaining, repairing, and replacing historic materials, as well as designing new construction or making alterations. When the design guidelines do not provide guidance for a specific request, the Standards shall be relied upon.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- 9. New additions, exterior alterations or related new construction will not destroy historic*



The full set of [Secretary of Interior Standards](#) may be found online.



I. INTRODUCTION

materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*



II. DESIGN GUIDELINE PRINCIPLES

- A. Italicized sections of the guidelines contain interpretive information that is meant to make the guidelines easier to understand and to communicate how the commission has interpreted the guidelines; they are not part of the guidelines. Illustrations are intended only to provide example buildings and circumstances. It is important to remember that every building and site is different, and what may be appropriate for one building or site may not be appropriate for another.
- B. The design guidelines for neighborhood conservation zoning overlays-mid century consist of two parts. Part I includes basic design guidelines that apply to all neighborhood conservation zoning overlay districts, listed in Part II. Part II includes chapters specific to each overlay, as well as maps and short histories. Both parts should be considered when planning a project. When Part I of the design guidelines conflicts with a district-specific design guideline in Part II, the district-specific design guidelines shall prevail.
- C. These guidelines shall apply to the exteriors of buildings, new construction in-whole or in-part, demolition in-whole or in-part, and moving a building.
- D. The following actions that do not require the removal of a historic feature(s) may not require a Preservation Permit. (These actions may still require a Building Permit. Please check with Codes Department before proceeding with work.)

Site

- Fences and walls that are not attached to a structure. (See [Building a Fence in Davidson County](#))
- Structures without a roof such as some playground equipment
- Uncovered patios that are flush with existing grade and do not extend into setbacks
- Yard art (structure without a roof or foundation)
- All plants, including trees, bushes, flowers, etc. (Structures to accommodate living elements may require review.)
- In-ground pools that do not include above-ground decking or structures
- Resurfacing existing driveways, walkways, or parking pads
- Uncovered accessibility ramps



II. DESIGN GUIDELINE PRINCIPLES



Example of a small storage building without a permanent foundation.

Buildings

- New free-standing buildings and structures that are less than 100 square feet, do not have a permanent foundation, and are located to the rear of the property.
 - Garden or play structures that do not have a permanent foundation, do not have sides, and are less than 200 square feet.
 - Screening in of porches, when the screening does not require the removal of porch posts and does not require additional framing.
 - Uncovered rear and side decks that are close to grade (does not create usable space underneath) and do not extend into setbacks.
 - Replacement of window sashes and doors that maintains historic casings and the opening's dimensions and locations.
 - Hoods over entrances that do not require posts, do not extend wider than two feet beyond each side of the door trim, and do not extend more than three feet deep.
 - Installation of fabric window and door awnings that do not extend wider than two feet beyond each side of the window or door trim, and do not extend more than three feet deep.
 - Replacement roofing materials (not including roof framing)
 - Paint color
 - Replacement railings or posts on existing porches
 - Roof color
- E. The public facades—front- and street-facing sides—of proposals for new buildings shall be more carefully reviewed than other facades.
- F. New buildings do not need to imitate past architectural styles but should be similar to historic forms and massings found in the district. New buildings inspired by historic styles and forms, but identifiable as new construction, are appropriate.
- G. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- H. Reconstruction may be appropriate when it accurately reproduces a no-longer existing building on its original site, if the building (1) would have contributed to the historic and architectural character of the area; (2) will be compatible in terms of style, height, scale, massing, and materials with the buildings



II. DESIGN GUIDELINE PRINCIPLES

immediately surrounding it; and (3) is accurately based on documentary, physical, or pictorial evidence.



III. DEMOLITION

A . PRINCIPLE

1. The primary purpose of neighborhood conservation zoning overlays is to prevent demolition of historic buildings and their character-defining features.
2. The demolition of a building or major portion of a building, which contributes historically, culturally, or architecturally to the character and significance of the district, is not appropriate.
3. The historic character-defining features of a historic building should not be altered, removed, or destroyed.
4. Replacement windows and doors that do not change the dimensions and location of the openings is not considered partial-demolition and so is not reviewed. Replacement of historic casings for openings is not appropriate. Alteration of the location and dimensions of window and door opening is partial-demolition and so reviewed.
5. Replacement roofing material, that does not require the removal of framing material and roofing details such as trim, or roofing features such as chimneys, is not considered partial-demolition and so is not reviewed.
6. The removal of a building's primary cladding material is considered partial-demolition because removal can weaken the structural integrity of most buildings. Replacement of secondary cladding material such as siding in a gable field or on dormer is not reviewed.



III. DEMOLITION

B. GUIDELINES

1. Partial-demolition of a structure

- a. Character-defining features of historic buildings shall be retained. Partial-demolition of historic buildings is appropriate if the feature to be removed is not a character-defining feature. Examples of non character-defining features are features that have lost historic integrity or that were added in recent years.
- b. Replacement of historic materials or features may be necessary in the case of extreme deterioration. In those cases, replacement materials and features should match the historic material and feature in terms of design, location, and dimensions. If the original is not known, it shall be similar to common historic examples on buildings of a similar style and form found in the neighborhood. Substitute materials may be appropriate if the material has the same dimensions, texture, design, and workability as the historic material. For instance, smooth-faced fiber-cement lap siding is a common substitute material for wood lap siding.
- c. Historic masonry cladding shall be retained. It is appropriate to remove cladding installed over historic cladding. *It is recommended that historic siding be repaired rather than replaced. When historic siding is replaced, its recommended that the windows and door casings be retained and that the new siding meet the reveal and dimensions of the historic siding.*
- d. Historic window and door dimensions and locations should be retained. Limited changes to window and door openings may be appropriate on the rear or side facades, beyond the midpoint of the house, so long as the new window and door pattern meets the design guidelines for “proportion and rhythm of openings.”
- e. Historic building wall dimensions, exterior cladding, and locations shall be retained. Generally, removal of the rear wall for an addition may be appropriate if the two rear corners are maintained.
- f. Partial-demolition of non-contributing buildings is appropriate if demolition does not result in a form or condition that would not meet the design



III. DEMOLITION

guidelines for “new construction” or if partial-demolition brings the existing building closer to into compliance with the design guidelines for new construction.

2. Full-demolition of a structure

- a. Historic buildings shall be retained unless the denial of the demolition will result in an economic hardship, as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.
- b. Full-demolition of non-contributing buildings is appropriate as they do not contribute to the historic character of the district.



III. DEMOLITION

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IV. MATERIALS

MATERIALS, TEXTURE, DETAILS & MATERIAL COLOR

- A. Specific materials are italicized so that the list can be revised as more materials become available and as the quality and workability of existing materials improves. Materials listed are to provide general guidance to applicants based on the Commission’s past decisions. Applicants are always welcome to propose new materials not listed as “appropriate” or re-propose materials listed as “inappropriate.”
- B. The texture, details, and dimensions of new materials for replacement or new construction shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Replacement materials should mimic historic materials in texture, dimensions, and workability. Materials that create a false version of a historic material are not appropriate. For instance, a “wood-grain” fiber-cement lap siding creates a texture that did not exist historically, as wood cladding historically had a smooth finish.
1. Paint color and roof color are not reviewed. *It is recommended that one solid color be used for roofing rather than multiple colors to create a pattern or random speckled” design.*

2. *Inappropriate materials include:*

Foundations

- *Stone veneer without mortar*

Cladding

- *Synthetic sidings such as vinyl, aluminum, and E.F.IS.*
- *T-1-11- type building panels*
- *Stud wall lumber*
- *Embossed wood grain*
- *Unpainted or unstained wood*
- *Shingle siding*

Chimneys

- *Fiber cement panels*
- *Lap siding*



IV. MATERIALS

Roofing

- *Metal*
- *Wood or similar shingles*
- *Slate or slate-like materials*
- *Clay tile*

Windows

- *Brass comes on leaded or stained glass windows.*

3. *Appropriate materials include:*

Foundations

- *Continuous concrete, concrete block, parge coated concrete block, brick to-grade*

Cladding

- *Brick should be the primary cladding material as all the historic buildings are primarily brick.*
- *Accent materials are found in the following locations: split between levels, in gable fields, on a projecting bay or surrounding an entry. Appropriate accent materials include faux stone, stucco, lap, and vertical and horizontal wood or smooth finished fiber-cement*
- *Masonry should have the color, dimensions, textures, and mortar tooling of like historic examples. Appropriate brick colors include red, yellow, orange and tan bricks, mix of brown to orange bricks, white bricks. Typically brick color is original color of brick and not paint.*

Chimneys

- *Brick is appropriate for chimneys.*

Roofing

- *Asphalt and architectural shingles*

Trim & Architectural Features

- *All wood or materials to substitute for wood should be milled and painted.*
- *Composite materials are appropriate for trim and decking*

IV. MATERIALS

Exception

Outbuildings that are under two hundred square feet, have no permanent foundation, are under ten feet, six inches in height, and are located at the rear of the property, do not need to meet the design guidelines for materials.

- C. Windows with single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
- D. Four inch (nominal) casings are required around doors, windows, and vents on non-masonry walls. Trim should be thick enough to extend beyond the clapboard.
- E. Brick moulding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry walls.



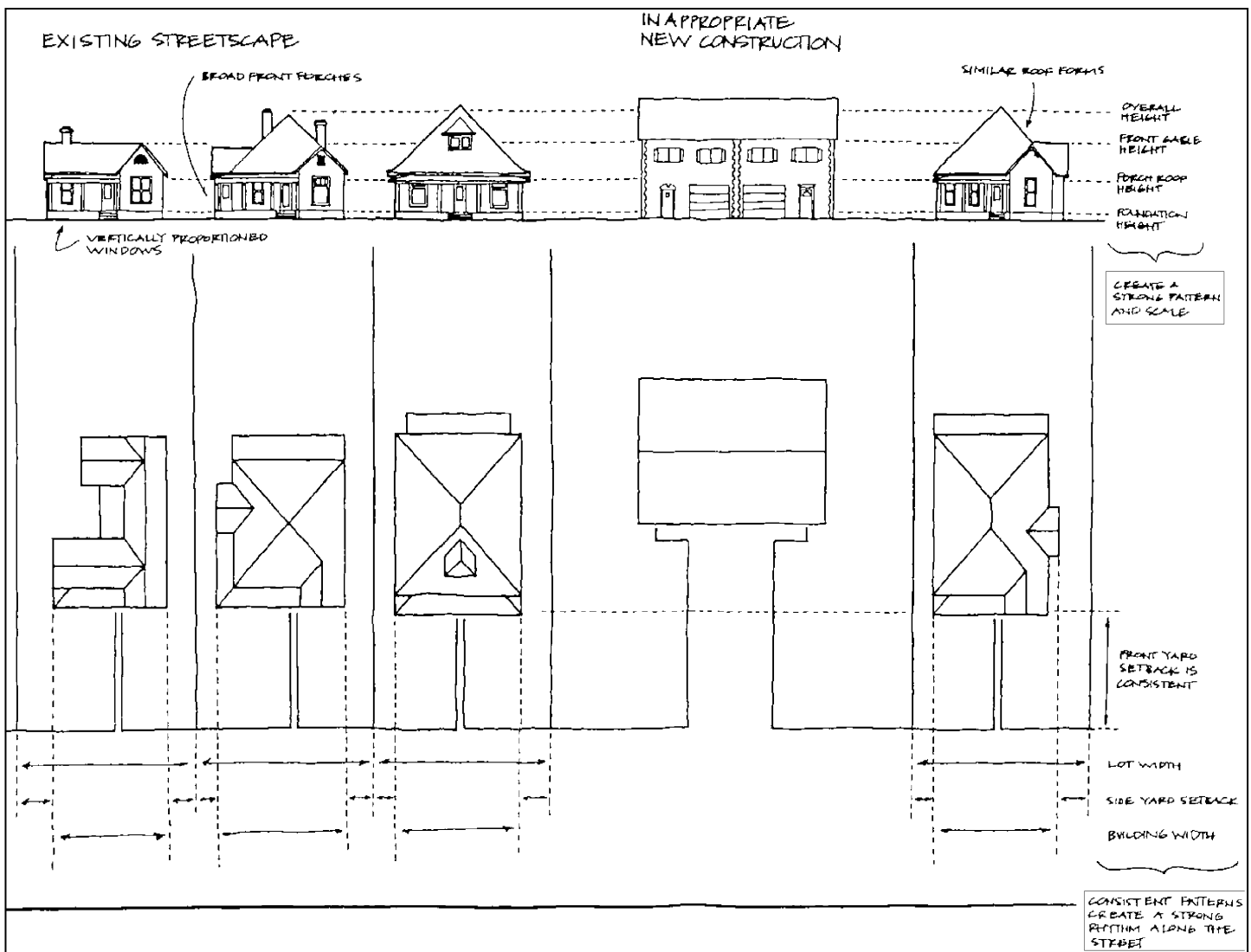
IV. MATERIALS

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V. NEW CONSTRUCTION-INFILL

A. MASSING & SCALE

1. The height of the foundation wall, porch roof(s), walls, and ridges, and the width of a new building should be compatible with surrounding historic buildings of the same building type and on same the block face. Where there are block faces with little historic context, the adjoining blocks may be used.



The infill (4th building from the left) is inappropriate for multiple reasons. It does not meet the established rhythm of the street which is created by side setbacks and the widths of the buildings. It is taller and wider than the established context. The overall form is not consistent with the historic buildings in that it is a two-story form with a side-gable roof in an area where the context is one and one-half stories with gabled ell and pyramidal roof forms. Front-loading garages are also not found in this context. The windows have a horizontal proportion rather than the vertical proportion found on the historic buildings. The front yard setback is not consistent with the setbacks established by the historic buildings.



V. NEW CONSTRUCTION-INFILL

B. FORM

1. The most appropriate building and roof forms for new construction are ones that are similar to historic buildings on the block face and buildings that are typical for the overall district. Considerations are the general form and orientation of the main massing of the building and roof pitches and shape.
2. New buildings should have a primary entrance oriented with the door or an element of the entry facing the street.
3. Roof and upper level decks are not appropriate.

C. SITING, SETBACK , ORIENTATION & RHYTHM OF SPACING

1. For most lots, historically, there was a primary buildings facing the street on a large lot. A few lots have small secondary structures that are significantly subordinate in size to the primary building and located in the rear yard. New development should follow this pattern.
2. The setback from front- and side-yard property lines established by adjacent historic buildings should be maintained.
3. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions, and outbuildings (ordinance no. 17.40.410).
 - a. Front setbacks generally should be the average between the historic front setbacks established on either side of the proposed infill. If the lot has non-contributing or vacant lots on either side, the front setbacks of nearby historic buildings may be considered.
 - b. Side setbacks should maintain the dominant rhythm along a street established by building widths and spaces between buildings. Infill buildings should maintain that rhythm even when lots are subdivided.
 - c. Rear setbacks are determined based on a combination of bulk standards and an appropriately-scaled building for the district.



V. NEW CONSTRUCTION-INFILL

d. When a building is unable to meet bulk standard setback requirements, appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity
- Setbacks of like structures historically found on the site as determined by historic maps, site plans, or photographs
- Shape of lot
- Proximity of adjoining structures
- Property lines
- Easements
- The extent of and the number of protrusions beyond the footprint such as bays/oriels, balconies and roof overhangs

Bulk standards established by the zoning ordinance didn't exist when our historic districts developed so the Commission looks more to the historic context to determine appropriate setbacks.

4. Vehicular storage, such as garages and carports, may be attached to the principal building or may be detached.
5. Driveways should not exceed twelve feet in width.
6. New infill buildings should be oriented to (facing) the shortest street-facing side of a lot.
7. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utility connections should be placed no closer to the street than the mid-point of the structure. It is recommended that power lines should be placed underground, if they are carried from the street and not from the rear or an alley.
8. Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces (Metro owned and public right-of-ways) by any individual, group or agency, shall be presented to the MHZC for review of compatibility with the historic character of the district.

D. PROPORTION & RHYTHM OF OPENINGS

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.



V. NEW CONSTRUCTION-INFILL

2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.



VI. NEW CONSTRUCTION-ADDITIONS

A. GENERAL PRINCIPLES

1. Additions to historic buildings should be compatible with the historic buildings to which they are attached.
2. Additions to non-contributing buildings should be considered in terms of new construction-infill, taking into account existing conditions and historic context. Existing conditions do not need to be altered to meet the design guidelines; however, if they are to be altered, the result must meet the design guidelines.
3. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material, and character of the property, neighborhood, or environment.

B. MASS, SCALE & CONNECTION

1. An addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions should be physically distinguished from the historic building and generally fit within the shadowline of the existing building.
2. In order to ensure that an addition has achieved proper scale, the addition should be shorter and narrower than the existing building. One story additions should set in at least 1' from the rear corner and two-story additions should set in at least 2' from the rear corner and remain at that width or less for the entirety of the addition. Exceptions to an addition not being narrower than the historic building follows in sections 4.
3. Generally, additions should not exceed the number of stories of the historic building to which it is attached and should not be taller.
4. Rear additions that extend to be wider than the historic building may be possible when the applicant has exhausted other options and in the following conditions:
 - The lot shape or easements makes an addition that meets the guidelines problematic.



VI. NEW CONSTRUCTION-ADDITIONS

- The addition is designed to leave the corners of the building visible and intact and does not wrap around a corner.
 - Eaves and ridges of addition do not exceed the main corresponding elements of the historic building.
 - The portion that extends beyond the side wall does not exceed one-story.
5. Where an addition attaches to a historic roof form, it shall sit below the ridge of the roof.
 6. The height of the addition's roof, eaves, and foundation should be less than or equal to the existing structure.
 7. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.
 8. In order to achieve compatibility in scale, an addition should not be larger than the existing building. The diversity of housing type and size are character-defining features of the historic districts; therefore, it is not the goal of the overlay to ensure that all buildings can become the same size. Generally, the addition's footprint should not more than double the footprint of the historic building.
 9. The creation of an addition through enclosure of a front porch/entry is not appropriate. The creation of an addition through the enclosure of a side porch, carport, or garage may be appropriate if the enclosure is constructed in such a way that the historic form, openings, and features of the porch, carport or garage remain visible and prominent and the enclosure has an open design.
 10. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the historic structure would be unimpaired.
 11. Adding front porches to contributing houses that did not have a front porch historically is not appropriate.



VI. NEW CONSTRUCTION-ADDITIONS

C. SITING & SETBACK

1. The setback from front- and side-yard property lines established by the historic buildings should be maintained.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions, and accessory structures (ordinance no. 17.40.410).
 - a. Front additions are rarely appropriate. When they are, the new front setback generally should be the average between the historic front setbacks established on either side of the building.
 - b. Rear setbacks are determined based on a combination of bulk standards and an appropriately scaled building for the district.
 - c. When a building is unable to meet bulk standard setback requirements, appropriate setbacks will be determined based on:
 - The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity
 - Setbacks of like structures historically found on the site as determined by historic maps, site plans, or photographs
 - Shape of lot
 - Proximity of adjoining structures
 - Property lines
 - Easements
 - Protrusions beyond the footprint such as bays/oriels, balconies, and roof overhangs
3. When a driveway is needed, it should be paved and not exceed twelve feet in width.
5. *Utility connections such as gas meters, electric meters, phone, cable and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utility connections should be placed no closer to the street than the mid-point of the structure. If power lines are carried from the street and not from the rear or an alley, it is recommended they be placed underground.*



VI. NEW CONSTRUCTION-ADDITIONS

6. Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces (Metro owned and public right-of-ways) by any individual, group or agency, shall be presented to the MHZC for review of compatibility with the historic character of the district.

D. PROPORTION & RHYTHM OF OPENINGS

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in an addition shall be compatible, by not contrasting greatly, with the historic building, or in the case of additions to non-historic buildings, with historic buildings in the vicinity.
2. Window openings should be representative of the window patterns of the historic building or in the case of additions to non-historic buildings, with historic buildings in the vicinity.

E. ROOF ADDITIONS: DORMERS, DECKS, SKYLIGHTS AND SOLAR PANELS

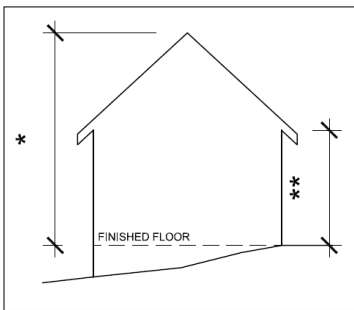
1. Rooftop additions, other than skylights and solar panels, are not appropriate.
2. Dormer additions are only appropriate on the rear of the building as they are not a common historic feature.
3. Rear dormers should be inset from the side walls of the building by a minimum of two feet (2').
4. Rooftop decks shall not be added to existing roof forms or new construction as they can dramatically change a historic roof form and are not typical of historic building forms.
5. Solar panels should be parallel with the existing roof slope and not extend beyond the roof edge. Where possible, solar panels should be located on rear or side roof planes or outbuildings rather than front roof planes of primary buildings.
6. Skylights should be parallel with the existing roof slope and have a flat profile. In general, skylights should not be located on the front roof plane and should not exceed 15 square feet on any given roof plane.



VII. NEW CONSTRUCTION-DETACHED OUTBUILDINGS & GARDEN STRUCTURES

A. GENERAL PRINCIPLES

1. Attached garages shall be guided by the design guidelines for additions.
2. New free-standing buildings and structures that are less than 100 square feet, do not have a permanent foundation, and are located to the rear of the property do not require a preservation permit.
2. Parameters provided by these design guidelines is per lot and should not be considered as a maximum per unit, in cases where zoning allows for more than one unit.



B. Massing & Form

1. Number of stories should not exceed one-story. Ridge heights shall not exceed 18' from finished floor or the height of the primary dwelling, as measured from finished floor, whichever is less. The height of the historic building shall be determined based on the historic building itself and not on additions.
3. Maximum foundation height shall not exceed one foot from existing grade on the corner of the building that sits on the highest area of existing grade. (Grade may need to be adjusted for water runoff but should not be built up for the sole purpose of increasing building height.)
4. Roof slope of the outbuilding should be similar to the slope of the primary building.
5. Eaves should not extend more than two feet.

C. SITING & SETBACKS

1. Generally new detached outbuildings should be placed in rear yards.
2. In many cases, outbuildings may be as close as 5' to a rear or side property line, with the following exceptions:



VII. NEW CONSTRUCTION-DETACHED OUTBUILDINGS & GARDEN STRUCTURES

- a. On corners lots, the outbuilding should not be closer to the side street than the primary building.
 - b. On double-frontage lots, the rear setback should match the historic context on the second street. If there is no context, it should be a minimum of 10' from the rear property line or 20' if the garage doors face the rear.
 - c. On lots where a rear property line abuts a side-property line, the rear setback should be a minimum of 10'.
3. An outbuilding should be a minimum of 6' from any other building, even those that may be on neighboring properties.
 4. When a setback determination is found to be appropriate, the "edge of the building" shall be considered the maximum of any protrusion beyond the footprint such as bays/oriels, balconies, awnings and hoods, and roof overhangs.



VIII. RELOCATION



A. PRINCIPLES

1. Moving a historic building from its original site should be avoided.
2. Moving a non-contributing building, or a building which has irretrievably lost its architectural and historical integrity, outside of the district is appropriate. Moving it elsewhere within the district is not appropriate.

B. GUIDELINES

1. Moving a building into the district is appropriate if the building will be compatible with the historic buildings surrounding the new location in terms of height, scale, setback, and rhythm of spacing, materials, texture, details, material color, roof shape, orientation, and proportion and rhythm of openings.
2. Moving a building out of the district is not appropriate unless:
 - a. the building does not contribute to the district's historical and architectural significance, or has irretrievably lost its architectural and historical integrity;
or
 - b. the building is historic, but the loss of its architectural and historical integrity in its original location is certain.
3. Moving a building from one location to another within the district is not appropriate unless:
 - a. the building will be compatible with the historic buildings surrounding the new location in terms of height, scale, setback and rhythm of spacing, materials, texture, details, material color, roof shape, orientation, and proportion and rhythm of openings; and
 - b. if historic, the loss of its architectural and historical integrity in its original location is certain.

In some cases, moving a residential building to a new foundation also requires approval of the Metro Planning Commission, according to 13-3-502 of the Tennessee Code Annotated. Please contact the Planning Department for additional information.



IX. DEFINITIONS

Addition: *New construction that increases the square footage or height of an existing structure. Common forms of additions that are reviewed are dormers, covered porches, carports, porte cocheres and the addition of conditioned spaced.*

Adjacent: *Close proximity, surrounding*

Appropriate: *Suitable for, or compatible with, a property or district, based on accepted standards and techniques for historic preservation.*

Block Face: *One side of a street block.*

Boxed entrance: *A vestibule that is primarily enclosed. Common feature of English cottage and Tudor style buildings. Also known as an “enclosed entrance” or “enclosed portico or vestibule.”*

Certificate of Appropriateness: *See Preservation Permit.*

Character-defining Features: *Character-defining features include the overall shape of the building, its materials, craftsmanship, decorative details, features, as well as the various aspects of its site and environment.*

Clerestory Window: *A portion of an interior rising above the roof and having windows admitting daylight to the interior.*

Contributory Status: *Contributing buildings are those that contribute to the historic character of the district, and non-contributing buildings do not contribute to the overlay’s historic character. Contributory status is determined based on the historic integrity of the building, the history and development of the district, and the date of construction. Generally, contributory status for each building is evaluated at the time the overlay is adopted; however, contributory status can change over time as new information becomes available and as districts age.*

Deck: *A floor that is flush with the ground, or slightly above, exposed to the elements and does not have a roof over it.*

Demolition: *The tearing down of a building, or a portion thereof.*

Dormer: *A vertical window projecting from, or recessed into the slope of a roof; usually provided with its own roof. There are three basic types:*

Roof dormer: All walls (side and front) project out from the roof but not from the wall below

Wall dormer: Front of dormer is flush with the wall below

Recessed (or inset) dormer: Has both side walls set into the roof rather than projecting from the roof.

Double frontage lot: *A lot, other than a corner lot, that has frontage on two or more streets that do not intersect at a point abutting the property.*

VIII. DEFINITIONS

Elevation: *A scaled drawing that illustrates the view of a face of a building. Also used as a synonym for façade.*

Embossed Grain: *The embossed pattern pressed into a manufactured material, simulating wood grain or texture.*

Facade: *An exterior face of a building.*

Form: *The formal structure of a building—the manner of arranging and coordinating the elements and part of a building. A sense of three-dimensional mass and volume, the external outline of the building.*

Footprint: *The area on a project site that is used by the building structure and is defined by the perimeter of the building plan. Parking lots, landscapes, and other nonbuilding facilities are not included in the building footprint.*

Historic: *A structure or site, usually constructed more than fifty years ago, which possesses historical or architectural significance, based on the criteria for listing in the National Register of Historic Places.*

Muntin: *A secondary framing member to hold panes within a window or glazed door.*

Mullion: *A vertical member separating (and often supporting) window, doors or panels set in series.*

New Construction: *Any building, addition, structure, or appurtenance constructed on a lot after the establishment of a historic overlay.*

Orientation: *The directional expression of the front facade of a building, i.e., facing the street, facing north.*

Outbuilding: *An additional structure on a lot where the primary building has a residential form. Form, rather than current or potential use or zoning, is the factor which determines what is a primary building and what is an outbuilding. Some examples of outbuildings are carports, garages, sheds, studios, accessory dwellings, pool houses, play houses, and garden structures, such as pergolas and green houses. The Metro Department of Codes & Building Safety determines how an outbuilding can be used.*

Period of Significance: *The span of time during which significant events and activities occurred. Events and associations with historic properties are finite; most properties have a clearly definable period of significance.*

Porch Beam: *(Sometimes also referred to as a “porch rack.”) The beam at the top of porch columns which supports the porch roof.*

Porte Cochere: *A carriage porch or portico-like structure generally located at a secondary entrance to a building and attached to the primary building.*

Preservation Permit: *A legal document issued by the Metropolitan Historic Zoning Commission confirming review and approval*



VIII. DEFINITIONS

of work to be done on property within the boundaries of an historic or neighborhood conservation zoning overlay districts. A preservation permit is required before obtaining a building permit. Previously called Certificate of Appropriateness.

Public Right-of-Way: *Publicly owned and maintained streets and walkways. For the purposes of historic, neighborhood conservation, and landmark zoning overlays, alleys are not considered public rights-of-way.*

Public Space: *Any area owned, leased, or for which there is held an easement by a governmental entity, or an area that is required to be open to the public.*

Reconstruction: *Construction of an accurate replica of a historic building or portion thereof, based on physical, pictorial or documentary evidence.*

Relocation: *The moving of a building from one site to another.*

Roof Overhang: *The portion of the roof that extends beyond the wall of the building. Also known as the eave.*

Rooftop Deck: *An uncovered deck projecting from or recessed into the roof form of a building. It is generally located at or above the primary eave of the portion of the roof to which it is attached.*

Setback Determination: *The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions, and accessory structures (ordinance no. 17.40.410). The commission has a policy to follow the setbacks of bulk zoning and setbacks specifically noted in these design guidelines. Any construction approved to take place within the setback area is a setback determination.*

Shall: *What must happen.*

Shadowline: *The two-dimensional outline of a building's mass as viewed on a front elevation. This typically includes the primary walls and roof, but excludes chimneys and bays*

Should: *What must happen unless circumstances illustrate why an alternative is more appropriate.*

Style: *Architectural Style is characterized by the features that make a building or other structure notable or historically identifiable. Styles emerge from the history of a society and often reflect changing fashions, beliefs, and religions, or the emergence of new ideas, technology, or materials.*

Vestibule: *A small foyer leading into a larger space. Entrance vestibules are generally enclosed on the sides.*

Yard Art: *Man-made ornament in a private yard or garden that is not attached to a structure and is not a structure itself.*



ARCHITECTURAL STYLES

ARCHITECTURAL OVERVIEW

Ranch forms are typical of mid-century neighborhoods, constructed primarily between 1950 and 1980.

Ranch

- One-story horizontal massing
- Low-pitched roof with deep eave overhangs
- Asymmetrical fenestration and large expanses of windows, picture windows, corner windows, bands of windows, or clerestory windows
- Combo of siding materials
- Wide or prominent chimneys (or no chimney)
- Planters and patios often with sliding glass doors
- Colonnaded porches along the face
- Wrought iron or wood accents
- Integrated wing walls
- Attached garages, carports, or breezeways
- Partially exposed basement level
- Integrated garage or patio at basement level



612 Pierpoint Drive is an example of a Transitional Ranch.

Transitional Ranch

- Cross between minimal traditional and Ranch
- One-story horizontal massing
- Compact size
- Asymmetrical fenestration
- Low-pitched roof with wide eave overhang
- Picture, double-hung, and casement windows
- Combination of siding materials
- Attached carport or garage



2408 Gardner Lane is an example of a Ranch.

Contemporary Ranch

Typically all the characteristic of a ranch apply for a contemporary ranch but it may also have:

- Low-pitched roof with deep eave overhangs or a prominent roofline with “prowed” eaves, roof cutouts, or exposed beams
- Large windows
- Asymmetrical entry designs



ARCHITECTURAL STYLES

Split-level

- A combo of 1 and 2-story wings
- Varied roof height, corresponding to differing interior levels
- Integrated garages
- Low-pitched roof with deep eave overhangs or prominent roofline with “prowed” eaves, roof cutouts, or exposed beams
- Large expanses of windows, corner windows, bands of windows, or clerestory windows
- Combo of siding materials
- Prominent front entrance that may include double doors, transoms, decorative lighting, or an exaggerated height;
- Planters
- Wrought iron or wood accents
- One continuous roof (split foyer only)
- Integrated garages



647 Shipp Lane is an example of a Split Level.

Split form

- Often with exposed basements—extra level often due to grade
- Integrated garages
- Low-pitched roof with deep eave overhangs or prominent roofline with “prowed” eaves, roof cutouts, or exposed beams
- Large expanses of windows, corner windows, bands of windows, or clerestory windows
- Combo of siding materials
- Prominent front entrance that may include twin doors, transoms, decorative lighting, or an exaggerated height;
- Planters
- Wrought iron or wood accents
- One continuous roof (split foyer only)
- Integrated garages



2512 Shreeve Lane is an example of a Split Form.



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METROPOLITAN HISTORIC ZONING COMMISSION

Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, TN 37204
Phone: 615-862-7970

The Metropolitan Historic Zoning Commission reviews applications to create new historic overlay districts and reviews and approves preservation permits in historic and conservation districts for new construction, alterations, additions, repair, and demolition. For design guidelines, permit applications, and meeting information, visit us at www.nashville.gov/mhc.

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NEIGHBORHOOD CONSERVATION ZONING DESIGN GUIDELINES FOR MID CENTURY DISTRICTS

Haynes Heights <i>Adopted March 21, 2021</i>	39
Haynes Manor <i>Adopted DRAFT</i>	49
Lathan-Youngs <i>Adopted February 21, 2023</i>	55

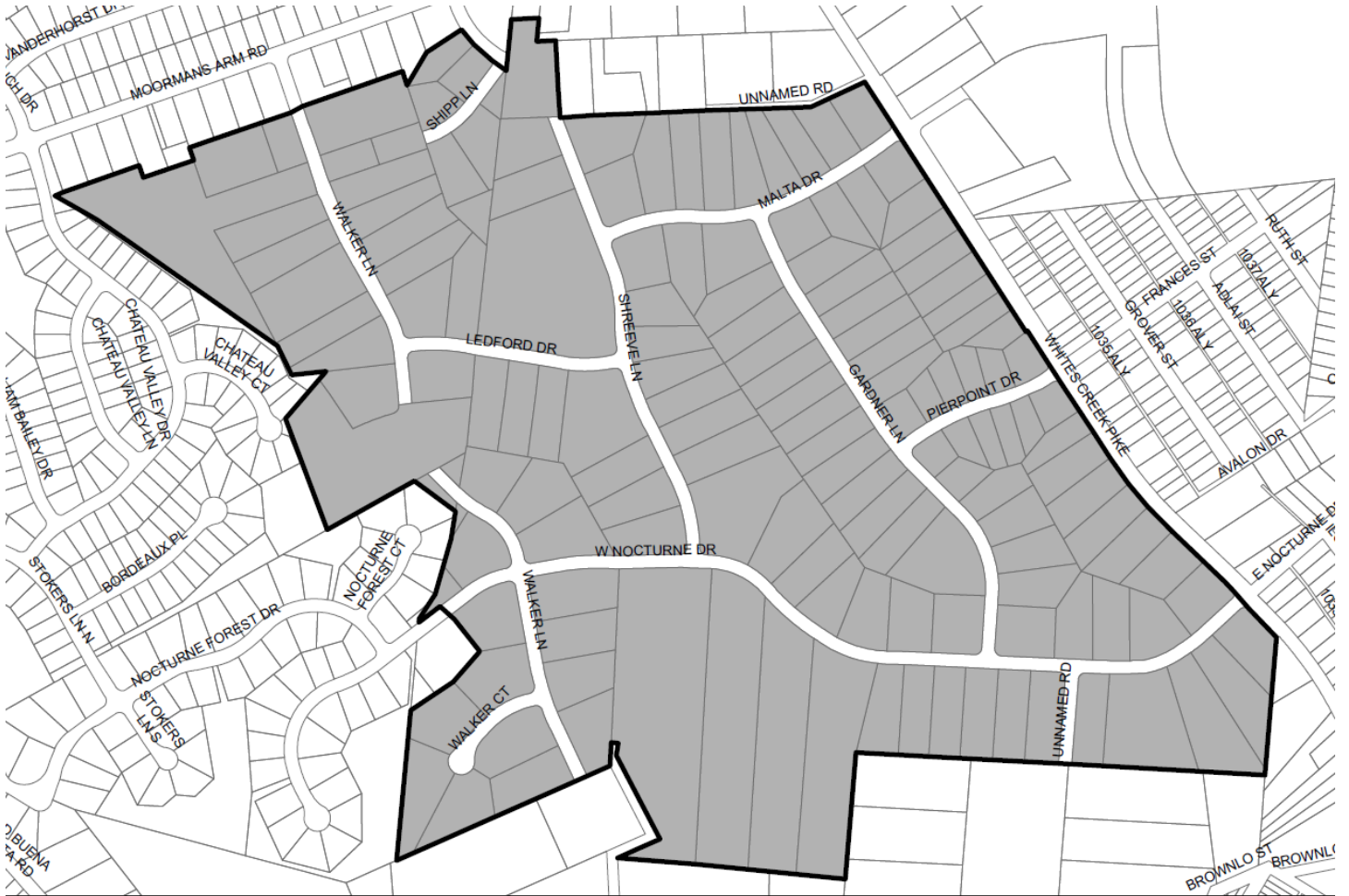


HAYNES HEIGHTS

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HAYNES HEIGHTS



Overlay boundaries.



HAYNES HEIGHTS

A SHORT HISTORY

Developed by and for African Americans during the Jim Crow era, the Haynes Heights neighborhood was populated by doctors, lawyers and educators, among others. Haynes Heights afforded members of the Black community the type of neighborhood that they envisioned for themselves and their families, one that was not available to them in established neighborhoods of segregated Nashville. Leaders within Nashville's Black communities took notice of the subdivision and noted it as a sign of progress. They called the area the "clean outskirts of the city" and believed the private financial backing of the development showed how African Americans had an appreciation for finer living conditions the same as other racial groups.



Haynes Heights Community Lake

Haynes Heights is located north of West Trinity Lane. The first mention of Haynes Heights as a subdivision occurred in 1954. In October 1954, the Davidson County Planning Commission approved a 14.2 acre development for African Americans which would include 102 home sites. The approved subdivision was estimated to cost \$1,000,000. Developer K. Gardner estimated that houses would cost, on average, \$10,000. The subdivision included lots along Whites Creek Pike, Manila Street (later renamed West Nocturne Drive), Francis Street (later renamed Pierpoint Drive), Malta Drive, Shreeve Lane, Ledford Drive, and Gardner Lane. Today, Haynes Heights also includes Walker Court, Walker Lane, and Shipp Lane. Within the neighborhood is the Haynes Heights Community Lake, a small body of water along Ledford Drive and Shreeve Lane.



Reverend William Haynes. Photo from the Tennessee Tribune.

An early survey of Davidson County shows the area that would later become Haynes Heights was sparsely populated in the late nineteenth century. The land bounded by the Cumberland River, Whites Creek Pike, Ewing Creek, and Buena Vista Pike was split between five main property owners. The owners included John C. Thomas and the Wilkinson, Mowman, Bratton, and Cantrell families. Situated near two major turnpikes and the river, the Buena Vista Ferry would have ushered people and goods across the Cumberland from downtown Nashville to the more rural parts of Davidson County.

Reverend William Haynes, who the neighborhood is named after, was born into enslavement. His father was a white plantation owner while his mother was enslaved. Upon emancipation, Haynes went on to become a prominent educator, minister, and real estate developer within Nashville. He was involved with moving Roger Williams University, now American Baptist Theological Seminary, from



HAYNES HEIGHTS

Hillsboro Road to Whites Creek Pike. The move occurred after some of the university’s buildings burned in 1905. The move to Whites Creek put the higher education institution closer to African American neighborhoods in the northern part of Nashville. As a leader in the Tennessee Negro Baptist Association and the pastor of Sylvan Street Baptist Church, Haynes worked closely to reestablish the school in Nashville.

In addition to Roger Williams, Reverend Haynes became involved with primary education. He was gifted land by his father in Davidson County, near Whites Creek. In 1931, he went on to donate a parcel of land for Haynes School, a school for African American students. Built originally as an elementary school on Youngs Lane, the school went through several iterations. In 1938, community members petitioned the Davidson County School Board for the twelfth grade to be added to the school, as it only went to the eleventh grade at the time. Additionally, they asked for a new building to house the only high school for African Americans in the county. The existing school building housed both elementary and high school students. By August 1938, Haynes School began serving African American students through their senior year of high school. Two years later, community members in the Haynes area again petitioned the school board for a more modern building to house their students. The County Board of Education approved the new building, which opened in 1940. The new Haynes High School was located on West Trinity Lane. Ten years later, the County allocated funds for a new Haynes Elementary School as well. Both Haynes Elementary and High were on West Trinity Lane, further solidifying the area as an African American community complete with educational and religious institutions.



621 Malta Drive



2485 Walker Lane

The development of the Haynes Heights neighborhood coincided with the development of the surrounding community. The schools and churches provided African American Nashvillians a sense of place within a Jim Crow city. Although outside of city limits during the era of redlining, much of northern Nashville became the only place for African Americans to live. The term “redlining” comes from the practice of mortgage lenders drawing red lines on maps to show areas of low incomes or of a certain race where they did not want to grant loans, based on discriminatory reasons rather than an individual’s qualifications or creditworthiness. With most of northwest Nashville rated D based on the Homeowners Loan Corporation’s (HOLC) rating system for mortgages, Whites Creek Pike up to Youngs Lane was colored red on the 1940 map. Redlining perpetuated segregation across the country, and Nashville was no different. The areas around Fisk



HAYNES HEIGHTS

University, Tennessee Agricultural and Industrial, and Roger-Williams, all African American colleges, were labeled as hazardous via the red shading. As a result, the Federal Housing Authority, among other lenders, would not provide loans in these areas. Therefore, many African Americans formed their own communities in these spaces. Nearly a decade after the HOLC stopped producing redlining maps, Haynes Heights was developed along Whites Creek Pike in the middle of what was once deemed a hazardous neighborhood simply because African Americans lived, worshipped, and learned there.



701 Ledford Drive

With the county’s Planning Commission’s announcement of the 102-home development for African Americans, newspapers reported that Haynes Heights would be the largest, private suburban development for Nashville’s Black population. Leaders within Nashville’s African American communities took notice of the subdivision and noted it as a sign of progress. They called the area the “clean outskirts of the city” and believed the private financial backing of the development showed how African Americans had “an appreciation for finer living conditions the same as other racial groups.” In order to market the new subdivision, contractor N.H. Barker placed advertisements in local newspapers which highlighted the fact that homes in Haynes Heights would be all-electric. His advertisements bragged that the homes would be “styled for easy, modern living and designed electrically for year ‘round comfort.” However, advertisements for Haynes Heights also let Nashvillians know that the subdivision was exclusively for African Americans. Barker’s advertisements for the development included phrases such as “Colored Exclusively” and “Colored Haynes Heights” to ensure the neighborhood remained segregated.



Gardner Lane

The developers of the neighborhood also placed deed restrictions on all lots within Haynes Heights. These restrictions have since expired but were meant to ensure that the neighborhood embodied the lifestyle that the burgeoning black upper class planned, disallowing “noxious or offensive operations,” poultry and livestock, trailers and barns and requiring all homes to be connected to the water main supply. The restrictions placed an emphasis on single-family homes, with some special conditions for duplexes. Lots were not allowed to be subdivided. Setbacks were relegated, which provided the neighborhood with large front yards. Detached garages could not exceed one-story and had to be placed in the rear of the lot. In order to keep all lots well maintained, the developers wrote a clause that allowed them to cut the grass and clean up the lot if a family did not, but the charges would result in a lien on the lot. All single-family homes had to be at least 800 square feet



HAYNES HEIGHTS

while duplexes had to be at least 1,700 square feet. These restrictions kept the neighborhood uniform in some respects, while also allowing for creativity of individually chosen home designs rather than simply offering a collection of specific designs from which a homeowner could choose. Many of the homes are representative of the popular, mid-century ranch style, including traditional, transitional, and split-level forms with a wide variety of architectural features and materials.

Despite the goals of the residents to create a modern and safe neighborhood for their families, racism made its way into the neighborhood. In October 1957, a series of cross burnings occurred across Davidson County. *The Tennessean* reported three crosses were burnt in Haynes Heights between 8 and 10 o'clock the night of October 17; that week alone police had found seven cross burning across the county. Around 10 o'clock the night of October 28, a cross was burned on Malta Drive in Haynes Heights. Long-time resident, Gail Barbee still remembers a cross burning in the tree outside of her bedroom window and the fear it engendered. The series of cross burnings occurred roughly one month after Nashville desegregated its school system.

Despite the cross burnings, African Americans in Nashville still praised Haynes Heights as a symbol of Black prosperity at the close of the decade. A 1959 report touted the neighborhood as an example of luxury exclusively for African Americans. The “tastefully and expensively furnished” “long, low ranch style homes” became symbols of prosperity. In regards to Haynes Heights, the fact that the homes were built for African Americans, not just homes that white families had moved out of, made the neighborhood an important example.

Throughout the 1960s, the neighborhood continued to grow as more lots were sold and houses built. Residents of Haynes Heights remained connected via social activities at Haynes High School, neighborhood groups, roller derbies and skating leagues. Residents of the neighborhood who grew up in Haynes Heights remember walking home from school with friends to socialize, picking up other children in the community as they walked the entire neighborhood. Children used the large front yards, a special feature of the neighborhood, and the neighborhood lake as their playgrounds. Women in the neighborhood connected by organizing social events for themselves and the neighborhood. They formed a Bridge Club and organized Christmas parties each year for community members. Residents recall that the 12 + 1 Bridge Club, lasted more than twenty years. (The “+1” was a non-resident

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HAYNES HEIGHTS

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Haynes Heights Phone CA 51131

The Tennessean. December 9, 1956.

**2 Housing Projects
For Negroes Started**

Developments To Cost \$2,000,000;
Construction in Line With FHA

By ALBERT CASON

Two large Negro housing projects to cost in the neighborhood of \$2,000,000 are being developed here.

They are:

- Normal Heights subdivision, a 50-house development on Deak avenue and Twenty-sixth avenue, North, being built by W. L. Bainbridge company.
- Haynes Heights subdivision, a 102-house project on Whites Creek pike near Haynes high school, which is being developed by N. H. Barker, builder, and Guaranty Mortgage company.

Insurance companies, with mortgages being handled here through Guaranty Mortgage company.

The Normal project, which will have 20 houses completed in about two weeks, will cost about \$350,000, its houses will sell at \$7250 on 30-year loans.

The Haynes subdivision, which has seven houses under construction, will cost at least \$1,250,000, and its houses will sell between \$9500 and \$25,000.

W. L. Bainbridge Jr. and Herschel Greer said the projects are in line with a program being pushed by FHA, and others, to provide more and better housing

Partial article from The Tennessean, April 26, 1955.



HAYNES HEIGHTS

member who was a relative of one of the 12 resident-members.)

Throughout the years, the neighborhood has fought against non-residential growth. In January 1964, Haynes Heights residents, organized as the Haynes Heights Community Civic League, and urged Council to deny a zoning change request which would have allowed industries to build in the community. N.G. Simons, the director of Riverside Hospital, argued the industrial uses would have adverse effects on the neighborhood and his hospital. He went on to ask, “Does every Negro community have to have an industrial complex?” Ultimately, Metro Council voted down the zoning change.



2513 Shreve Lane

Shortly after that win, the neighborhood fought against Inman Otey, of Otey Development Co., who sought to use \$68 million to create more equitable projects for African Americans in Nashville. The ten initial projects announced included a commercial community center in Haynes Heights, set for development in 1969. The Metro Planning Commission, at one point, pushed for the development of a large low-income housing complex in the Haynes Heights area. In 1973, residents persuaded the Metro Board of Zoning Appeals to deny a request for a landfill along West Trinity Lane. During their protest, Councilman Troy Jones claimed, “years and years of indifference to the needs of black homeowners in the area,” led to so many zoning change requests for things like industrial uses and landfills. In 1988, the neighborhood fought against an apartment complex entrance in their neighborhood. Twice, between 1992 and 1995, the Haynes Heights neighborhood defeated a rezoning to allow for a produce warehouse in their neighborhood. 2001 brought plans for a group home and 2017, plans for a 200-unit apartment complex along nearby Buena Vista Pike. In addition, the Haynes Heights residents fought against displacement due to highway development, which was ultimately rerouted. In an interview with *The Tennessean*, Johnnie Thomas, president of the Northwest Nashville Civic Association, explained that many of the long-term residents of Haynes Heights felt as though the neighborhood they built was never truly safe from inappropriate development.



The neighborhood participates in a rezoning charette with the Planning Department in 2017. Photograph from the Planning Department.

Despite the lack of appreciation over the years for what Haynes Heights residents built, the Haynes Heights neighborhood remains intact and largely unchanged. Many of the homes are contributing resources to the National Register eligible district, with very few demolitions and new construction. The lots still include large, front yards and there have been minimal subdivisions of property. The values and goals of early residents to create their own family-oriented, middle- to upper-class oasis in a world of segregation and racism remains embodied in the physical layout and architecture



HAYNES HEIGHTS

of this neighborhood.

Since 2010, the home owners of Haynes Heights organized a neighborhood association to improve the quality of life in the neighborhood in matters of land use, environmental protection, public services, consumer protection, preservation of the historic and unique character and civic welfare of the community to include, but not be limited to, social, economic, public safety concerns within Metropolitan Nashville Davidson County, TN and especially within the vicinity of Haynes Heights. It is the Haynes Heights Neighborhood Association, Inc. that has initiated and shepherded the Historical Conversation Zoning Overlay application process.



622 W Nocturne Drive



HAYNES HEIGHTS

SUMMARY OF HISTORIC CONTEXT

(This information is not a part of the design guidelines. It is provided for planning purposes and may change over time, as more information is learned and the district ages. This information is general for the entire neighborhood. A more immediate context is used for guiding infill design.)

The district is characterized by large lots (1-5 acres) with large front yards, one-lane paved driveways, and lighted streets without sidewalks. The neighborhood has a three acre private lake in the center of the subdivision.

Period of Significance: 1950-1980

Number of Stories: Infill should generally be one story but may have a portion that is two-stories or an exposed basement level. Full basements are typical.

Typical Roof Forms: In most areas, residential roof pitches of the main form are low pitched front, side and hipped forms, and layers of hipped and cross-gabled forms. Roof overhangs vary from minimal to deep overhangs. Dormers are not appropriate on front and side facades as they are not a historic characteristic of this district.

Entrances: Double doored entrances, single and single with one side light, recessed entrances, and small projecting gabled porches, and uncovered and covered stoops are typical in the neighborhood.

Windows: Casements, casements with hopper windows below, ribbon windows, horizontal and vertically oriented windows, double-hung windows, and triangular shaped windows in gable fields following the pitch of the roof are typical in the neighborhood. Faux shutters, window boxes, and window grilles are common features of windows.

Cladding: The most appropriate primary cladding for infill is brick, as the majority of buildings have brick facades. Brick colors include red, yellow, orange, and tan bricks; mix of brown to orange bricks; and white bricks. Typically brick color is



HAYNES HEIGHTS

original color of brick and not paint. Accent materials include stucco, lap and horizontal sidings, and occasionally stone. Accent materials are horizontal in nature, often split between levels, but also found in gable fields, on a projecting bay, or surrounding an entry.

Outbuildings: Detached outbuildings are rare. Where they existing they are no more than one-story and the footprints are generally less than 300 square feet.

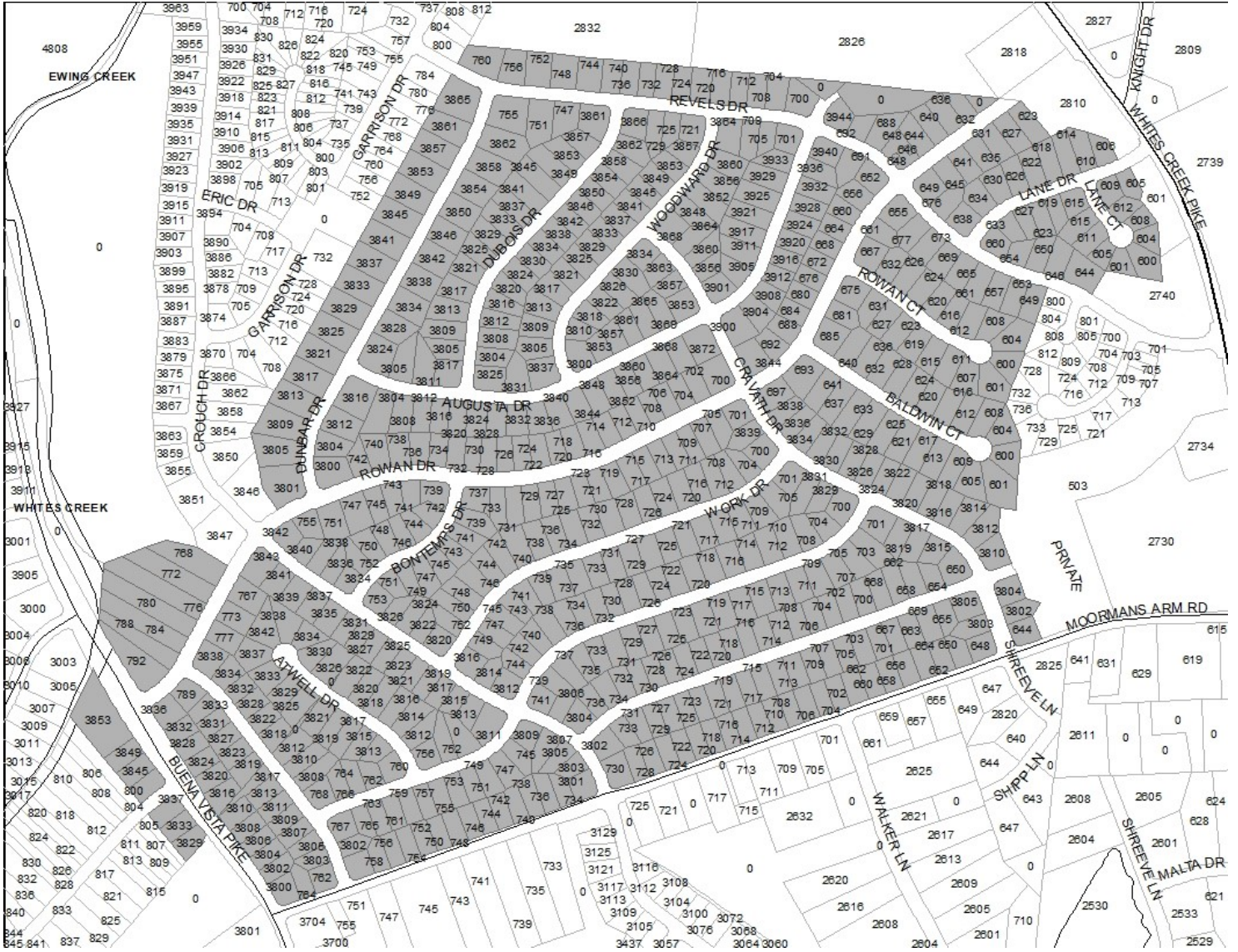


HAYNES MANOR

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HAYNES MANOR



Draft map of neighborhood that may or may not represent the final overlay boundaries.



HAYNES MANOR

A SHORT HISTORY

To be added if adopted



HAYNES MANOR



HAYNES MANOR

SUMMARY OF HISTORIC CONTEXT

(This information is not a part of the design guidelines. It is provided for planning purposes and may change over time, as more information is learned and the district ages. This information is general for the entire neighborhood. A more immediate context is used for guiding infill design.)

The district is characterized by large curvilinear streets which create a variety of lot sizes and shapes. The typical lot has a one-lane paved driveways, with mailboxes on the street and without sidewalks. Several streets have the same house on all lots.

Period of Significance: 1950-1980

Number of Stories: Infill should not exceed two-stories.

Typical Roof Forms: The most common roof form are cross gables and cross gables and hipped, side gable and hipped. Pitches are low and roof overhangs vary from minimal to deep. Dormers are not appropriate on front and side facades as they are not a historic characteristic of this district.

Forms: The most typical form is a rectangle with the long side facing the street and “L” shapes. For split-levels, the second level sometimes cantilevers a slight amount.

Entrances: Double doored entrances, single and single with one side light, recessed entrances are common. Some buildings have recessed porches or gabled porches. Full-two story buildings typically have a gabled porch that stretches the two levels without a second level floor,

Windows: Casements, casements with hopper windows below, ribbon windows, horizontal and vertically oriented windows, double-hung windows, and small octagonal windows are typical in the neighborhood. Panels below windows are seen frequently on all types of windows. Faux shutters, window boxes, and window grilles are common features of windows. Some moderately projecting oriel windows are also common.



HAYNES MANOR

Cladding: The most appropriate primary cladding for infill is brick, or a combination of brick and lap siding. Brick colors include red, yellow, orange, and tan bricks; mix of brown to orange bricks; and white bricks. Typically brick color is original color of brick and not paint. Accent materials include faux stone, stucco, lap vertical siding.

Outbuildings: Auto storage is both attached and detached. When detached, it is often close to the rear of the building. Auto storage is often open-sided carports and also enclosed garages. Front loading garages are rare. Where they existing they are no more than one-bay and recessed into the body of the house.



LATHAN-YOUNGS

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LATHAN-YOUNGS



Overlay boundaries.



LATHAN-YOUNGS

A SHORT HISTORY

Lathan Court, a short dead-end street in North Nashville and portions of Youngs Lane, are significant in the areas of Community Planning and Development and Ethnic Heritage: African American. Formally established as a subdivision in the late 1950s, the Lathan-Youngs neighborhood is significant as a mid-20th century neighborhood developed by and for African Americans during the “Jim Crow” era when Black residents created their own communities within the context of redlining and other discriminatory policies that ensured physical separation between white and Black Nashvillians. Neighborhood residents included elite Black professionals. The neighborhood exemplifies mid-century single-family homes in the Ranch and Split-Level styles.

Development of The Court

The Lathan-Youngs part of the greater Haynes-Trinity neighborhood was subdivided as part of the “Free Silver Plan” and “Addition to Free Silver Plan” by J.B. Haynie, in 1898 and 1907. Haynie was a follower of the Free Silver Movement which began in the late 1800s, and pushed for the standard for national currency to be silver in addition to gold. The leader of the movement, William Jennings Bryan, visited Nashville several times, including in 1897, to see the Tennessee Centennial Exposition.

Haynie, a White business owner and developer, was owner of the “Old Curiosity Shop,” on Summer Street, a business started by his father. The shop, later known as Haynie & Co. carried millinery items and dry goods. In addition to his retail business, Haynie was prolific in real estate with almost daily newspaper advertisements for selling, buying, and trading real estate. He also offered to build homes and loan money for the construction. He worked with multiple partners throughout the years in all areas of the city and county.

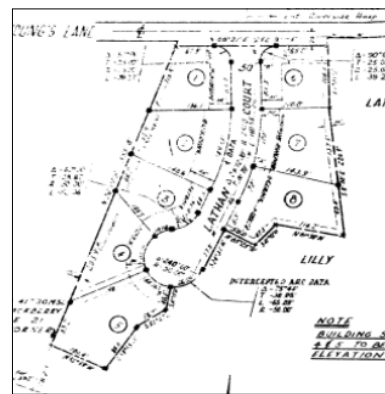


LATHAN-YOUNGS

From the beginning, the Free Silver Plan development was marketed to Black buyers. One example is an advertisement in the December 12, 1909 *Tennessean* that noted for sale “to colored people” lots in Free Silver Plan for \$75 an acre.

In 1899 and up until at least 1904, lots were going for \$14 each. (How much acreage was in a lot was not specified.) In 1909 an add titled “To Colored People,” listed a 5 acre plan at \$375 and a 10 acre lot at \$750. For an additional \$300 to \$750, Hayne & Vaughn would build a house for the buyer.

Youngs Lane was established in the late 1920s and Lathan Court in the late 1950s. The portion of Youngs Lane included in the overlay and Lathan Court were developed in the 60s and 70s. Many of the houses on Youngs Lane were previously part of lot C in the 1898 subdivision. In 1957, a portion of the Free Silver subdivision, south of Youngs Lane, was further subdivided as the Riverside Homes development by Gaines & Gaines Construction Co, owner and developer. The land that makes up Lathan Court (lot 30 of the Free Silver Plan) was purchased from William Lathan Sr., (1895-1967), for whom the road is named. Lathan’s obituary hints that he was involved in the development, but to what extent beyond selling the property, is not known.



1957 Plat for Riverside Homes

Lots 1903 and 1905 Lathan Court were not included in the Gains & Gaines 1957 subdivision. Lathan kept the southern end by the Cumberland River, what is now 1903 Lathan Court for himself. He also retained the newly subdivided 0, 1900, and 1905 Lathan Court. He sold 0 and 1905 Lathan to Milton D. and Josephine Dungey on June 26, 1967. [Lathan sold 1900 Lathan Court to Gaines & Gaines at an unknown time.](#) 1903 Lathan Court sold at auction in 1974 to Geneva Reardon.



Rita Lathan, age 3, appeared in *The Tennessean*. The caption read, ‘Pastor Tells Church It ‘Must Grow’, November 19, 1956.

In 1958, Gaines & Gaines ran an advertisement in the *Nashville Banner*, offering the lots on Lathan Court for \$2,650 or the possibility of building to the customer’s plans. The add was titled “COLORED.” Another example is a *Tennessean* advertisement from 1963 for 1909 Lathan, constructed by James Chandler and sold



LATHAN-YOUNGS



*Life Magazine,
September 26, 1960*

to the Bradley family. The home was described as brick with 3 bedrooms, den, 1.5 baths, 2-car garage and an “unusual design.” In 1963 it was priced at \$18,650.

Gaines & Gaines was a prolific Nashville developer, appearing in a listing of contractors in a two-page advertisements for Owens-Corning Fiberglass in the May 30 and September 26, 1960, issues of *Life Magazine*. This ad also reflects that the homes on Lathan Court, used the latest in available building materials and were designed to be “state of the art.”

Architecture of The Court & Youngs Lane

Lathan Court and Youngs Lane, like so many developments, were a part of the building boom that began at the end of World War II, with returning GIs starting new families, and continued into the 1970s.

The homes on Lathan Court and the included portion of Youngs Lane were constructed in two of the popular styles of the time, [Split Levels and Ranch homes](#).

The 1960s Ranch rambler separated the private main suite from the children’s rooms with public living, dining, and kitchen spaces. This reflected the importance of functionality in Ranch style houses and also created the signature rambling, elongated form. Innovative design elements, including patios with sliding glass doors, picture windows, and built-in planter boxes, were incorporated into the plans of Ranch houses. These elements emphasized outdoor living in the Ranch style.

The Split level, also known as a “step up” or “tri-level” developed in the 1930s.

A multi-story modification of the Ranch style, the Split-Level style emerged full-fledge in the mid-1950s and remained popular through the 1970s. Commonly constructed of brick or a brick-and-wood combination, the Split-Level style contains a two-story wing attached at mid-height to a one-story section. A



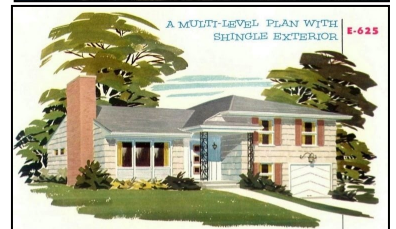
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division of space based on function gives this house its distinctive multi-level appearance. These levels typically include a family den and garage on the lowest level, a kitchen, dining area, and living room on the middle level, and sleeping quarters in the upstairs level. In lieu of the carports often attached to Ranch homes, the Split-Level style includes enclosed garages with decorative doors facing the street.

Houses of the post-war era were designed to accommodate modern conveniences, such as attached garages, and built in appliances. All the Lathan-Youngs homes have brick as a primary cladding material, which speaks to the fact that the builder was building with a middle-class buyer in mind. In 1963, there was an open house for one of the Lathan homes. *The Tennessean* advertisement notes that the home was furnished by Harley-Holt Co. Also in 1963, Capitol Realty was selling 1904 Lathan for \$11,244 (assumed loan). This house was brick with 2 bedrooms and a den. Otey's Development Co., Inc. was selling a 3-bedroom home in 1964 for \$19,850.

The homes were likely kits or stock plans. Greg Ishmael Dennis (1902 Lathan Court) remembers his home as a kit home to which his father added a two-car garage to the right and indeed it is similar to stock plans from multiple companies but longer. (The auto bays have since been enclosed.) His father added on to the back of the house in 1974 or '75. The house is also unique for the area in that is built on slab where the others were built on a block foundation.

Houses often change over time as families grow and standards of living change; however, the buildings on Lathan Court and Youngs Lane have changed very little, at least on the outside. There are no large additions or revisions that undermine the homes' historic characters. The most common change is one that is common for other neighborhoods too and that is the enclosure of attached garages to be used as living space.



1900 Lathan Court (top) is similar to a historic 1955 house plan (bottom) from an unknown company.



The 2010 flood took its toll, but the buildings were repaired.



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The People of the Court

When he was a part of the development of Lathan Court, William Lathan reserved 1903 Lathan Court, with its river views for himself. According to his obituary in *The Tennessean*, Lathan lived at 1903 Lathan Court at the time of his death in 1967. The area that is now Lathan Court follows, or closely follows, the same lines as what was lot 30 in the 1907 “Free Silver Plan.” Lathan purchased lot 30 from Dr. T.E. Huntley, reverend, who led the first national Negro Ministers Prayer march on Washington, D.C. in 1948, which sparked the proclamation for the first Civil Rights Bill by President Truman. His church in St. Louis, MO hosted Dr. Martin Luther King’s first sermon in St. Louis in 1961.



“American Baptist Set Commencement” *The Tennessean*, May 28, 1953.

Lathan is significant in Nashville history for becoming Nashville’s first Black policeman in 1938. His 1967 obituary reads:

A native of Birmingham, Lathan was an automobile salesman here for 30 years. At one time he operated the Ever-Ready Cab Co. Mayor Thomas L Cummings appointed Lathan as a “special policeman” on the force, working special assignments, driving for Cummings and serving special duty on the Fisk and Tennessee A&I State University campuses. In recent years, Lathan developed Lathan Court on the Cumberland River, nine luxury-type houses near Riverside Hospital.

Lathan was a member of the Black military police during World War II and used that experience to be hired as the first Nashville police officer. Lathan joined the police force on May 1, 1948, along with seven other Black officers, but was the first to actually be hired. These officers were assigned to predominantly Black districts within the city. Their first assignment was crowd control during a speech by Roscoe Conklin Simmons on May 2, 1948, at the Ryman Auditorium.



Nashville’s first seven Black police officers. Lathan is seen in the first row, right. Photo from *Tennessee Lawmen*.

Lathan had at least one harrowing experience during his time as an officer. In 1958 he killed a man who attacked him from behind and slashed his throat with a knife. Lathan served for nine years.



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Lathan’s wife, Rosa Woodfork Lathan (D.1973) is noted in a June 1968 *Tennessean* article as having an unusual Easter lily with 20 blooms.

Combating racism through the police department, was just one way residents of Lathan Court impacted Nashville and illustrate the rising Black middle class. The original owners of 1902 Lathan court, Dr. James and Thelma Dennis owned their own funeral home on Whites Creek Pike, Dennis Funeral Home. Thelma Dennis was the mortician. Benjamin Ogleton, Jr. (1906 Lathan Court) was a postman. Preston Taylor, co-owner of many properties on Youngs Lane was a prominent African American undertaker and founder of the popular Greenwood Park and Cemetery.

The Swetts lived for a time at 1908 Lathan Court. In 1938, with nothing more than a second grade education, Walter and Susie Swett (1908 Lathan Court) opened a gas station. In 1952, they opened a grocery at 28th and Albion and in 1954, Swett’s Dinette at 28th and Clifton. The original building may be gone but the Swett’s legacy in the restaurant business continues today with locations at 2725 Clifton Avenue and the Nashville International Airport and, for many years, at the Farmer’s Market on Rosa L. Parks Blvd. (Interestingly, the restaurant was always integrated.) Residents of the area were also active in local politics, volunteer work and civic duties. Ehrai Acklen’s (801 and 803 Youngs Lane) husband, Theodore Acklen, played semi-professional baseball in the National Black League in the 1930s. He opened Del Morocco night club (1933-1968) on Jefferson while a sophomore at A&I University. In 1967 James Dennis (1902 Lathan Court) was elected as a Metro Action Commissioner. Georgia Miller (1900 Lathan Court) served as a “division head” to raise funds for the YWCA in 1943. Charles T. McFarland (1907 Lathan Court), as did others, served in the military. He was a World War II veteran who survived the bombardment at Pearl Harbor on the USS Arizona naval ship. James Dennis Jr was a sergeant in the Air Force. Josephine Dungey (1905 Lathan Court) was an active member of the Nashville Club of the National Association of Negro



William Lathan, date unknown. Photo from Tennessee Lawmen..



Thelma Dennis and her Chevrolet Impala, c. 1970. Photo courtesy of Deborah Ogleton-White.



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Business and Professional Women’s Club. Ehrai Acklen was a co-chair of the 1979 bi-annual Debutante Cotillion, a fundraiser for scholarships and charities, including the United Negro College Fund. The Ogleton family hosted award winning gospel artist Shirley Caesar in their home. Even the youth were involved in the community. Annie Ogleton entered The *Nashville Banner* talent contest at Pearl High School.



Emma Ogleton (left) hosts Pastor Shirley Caesar (right) in her home. Caesar, known as the “The Queen of Gospel Music” has won 11 Grammys, in addition to Dove and Stellar Awards. Photo courtesy of Deborah Ogleton-White.

Although a product of racial discriminatory practices, the neighborhood was a clean, quiet, and safe place to raise a family. Sampson Bradley purchased a home in the Shephard Hills subdivision, a predominately white neighborhood in 1962. Before the family could even move in, the home was damaged by arson on November 30, 1962. A few months later, in 1963, the Bradleys had purchased a home on Lathan Court.

The Lathan-Youngs neighborhood was more than a residential neighborhood, it was a complete community. The district was near an African-American hospital, Black-owned businesses, and one of the three all-Black Nashville high schools. Multiple generations remember walking to and from Haynes High School. Gregory Ishmael Dennis, Vicelia Johnson, Gina Ogleton and Debra Ogleton-White, who all grew up on Lathan Court in the 60s and 70s, remember the feelings of security and family that organically developed on their little road. Gina Ogleton described the neighborhood as a “quiet, safe place to grow up in with summer days filled with playing hide-and-go-seek, making mud pies and nights of catching fireflies.”

Gregory Ishmael Dennis said that Mr. Lathan had a skeleton key to all the homes so he could let children in who returned from school, when their parents were not home.

Benjamin and Emma Ogleton, Jr., had a goal to purchase a home with a yard for their children which no doubt echoes the goal of all the families that first called Lathan Court home. Due to racist loan practices of the time, it was not always easy



Annie Ogleton as pictured in a Nashville Banner article about their talent contest, December 8, 1950.



Benjamin Ogleton. Photo courtesy of Deborah Ogleton-White.



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for Black families to purchase in more developed areas of the city and the areas where they could purchase were not always safe. Benjamin, a retired navy man with an honorable discharge who served from February 1953 to November 1958, worked three jobs to make the family’s dream a reality. He worked as a mail carrier, a security guard at Fisk University, and a janitor at a local design firm. In addition to managing the home, Emma, worked outside of the home as a nurse technician and later as a Department of Children’s Services case worker.

Each house had multiple children . The current adult residents who grew up there recollect their immediate neighbors and those on Youngs Lane being allowed to play anywhere on The Court, at least until the streetlights came on. They also remember group games of any type that involved a ball. Gina said, “the parents always joined together to keep a watch on all of us kids no matter whose house we were playing at. Our yard (The Ogletons) was often the playground for the neighborhood because of the size of our yard.” Dennis recalls that his neighbor, Mr. Stewart owned a masonry company, where his brothers worked. Stewart would often come home and join a basketball game on the Dennis’ rear-yard, dirt, court almost always making the goal. Even NBA player and two-time Niasmith Memorial Basketball Hall of Fame inductee, Oscar Robertson of the Cincinnati Royals and Milwaukee Bucks played on the neighborhood court, according to Dennis.

The first families of the area took pride in their new homes. For many, the all-brick homes spoke of success. Deborah Ogleton said that her high school boy friend, told her in later days, that when he would come to pick her up, he thought her family was wealthy because of the home she lived in. “As kids,” she explained, “all we knew is that we had a beautiful two-story home with a nice, big yard to run around in.” Vicelia McFarland Johnson’s family moved from Waverly Avenue to Lathan Court when she was 4. Her father and Mr. Ogleton both worked in the post office so Mr. Ogleton may have been the reason that the Johnson’s first considered



Gina and Deborah Ogleton walking the neighborhood in April of 1965. Photo courtesy of Deborah Ogleton-White.



Kevin Ogleton and Eugene Smith on their bikes. Photo courtesy of Deborah Ogleton-White.



Emma Ogleton. Photo courtesy of Deborah Ogleton-White.



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Dwight Ogleton passes a football to his youngest sibling, Kevin. November 1965. Photo courtesy of Deborah Ogleton-White.

Lathan Court. For the McFarlands, the move fulfilled a dream for a bigger house in a “nice neighborhood” and was an opportunity to own their own home that no one else had lived in.

Looking to the Future

Johnson says the housing styles and architectural character seen in the neighborhood are representative of the struggles that African-Americans experienced to obtain safe and beautiful places to live. Recognizing the important history embodied in the neighborhood, property owners requested a historic overlay. Gina Ogleton sums it up well when she said, “even though we are all now adults with grown children, and some even having grandchildren, we purpose to preserve our neighborhood of modest homes with lots of character, close friendships like family, a safe atmosphere, charm and peacefulness for our family members and generations to come. It’s our heart’s desire to maintain the legacy of what hard work, perseverance and community can accomplish, which is what our parents modeled and passed down to us while providing us a secure, fun and loving environment to flourish in, as well as a part of the American dream, that we are very proud of.” For Johnson, her home is more than just a house. She describes the neighborhood as being a part of who she is, a place of love and respect. The strong sense of community is evidenced in many stories of the people who still live or have returned to live in the homes they grew up in. As of 2022, the area is little changed, both in the sense of neighborhood that remains and physically in terms of its architecture.



Kita Ogleton executes a layup shot at the goal Benjamin Ogleton, Jr installed for his family. Photo courtesy of Deborah Ogleton-White.



Emma and Lizgett Ogleton sit in front of a Christmas tree. Photos courtesy of Deborah Ogleton-White.



LATHAN-YOUNGS



LATHAN-YOUNGS

SUMMARY OF HISTORIC CONTEXT



Ranch home at 1909 Lathan Court.

(This information is not a part of the design guidelines. It is provided for planning purposes and may change over time, as more information is learned and the district ages. This information is general for the entire neighborhood. A more immediate context is used for guiding infill design.)

The district is characterized by lots in a variety of shapes and depths. There are one-lane paved driveways. Streets have no sidewalks and mailboxes at the street.

Period of Significance: 1955-1970



825 Youngs Lane is an example a cantilevered second level.

Number of Stories: Infill should generally be one story or a compilate between a one-story and two story dwelling, known as a split level.

Typical Roof Forms: In most areas, residential roof pitches of the main form are low pitched side gable and hipped forms. Dormers are not appropriate on front and side facades as they are not a historic characteristic of this district.

Entrances: Double doored entrances, single and single with one side light, recessed entrances, and small projecting gabled porches, and uncovered and covered stoops are typical in the neighborhood.



Split Level house at 1906 Lathan Court.

Windows: Horizontal oriented windows and picture windows are typical. Oriel windows with a slight projection are found in the district. Faux shutters, are common features of windows.

Cladding: The most appropriate primary cladding for infill is brick, as the majority of buildings have brick facades. Brick colors include red, orange, beige, green, and white bricks. Accent materials include lap siding.



827 Youngs Lane is an example a cantilevered second level.

Outbuildings: Detached outbuildings are rare. Where they existing they are no more than one-story, the footprints are generally less than 300 square feet and the are typically storage sheds rather than garages.



LATHAN-YOUNGS

ORDINANCE NO. BL2023-___

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from RS10 to R10 zoning for property located at 2619 Old Buena Vista Road, approximately 300 feet northwest of Day Street (0.41 acres), all of which is described herein (Proposal No. 2023Z-004PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS10 to R10 zoning for property located at 2619 Old Buena Vista Road, approximately 300 feet northwest of Day Street (0.41 acres), being Property Parcel No. 001.04 as designated on Map 070-07 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be on Map 070 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Prior to the issuance of building permits, right-of-way for the future collector street required to meet the Public Works standards shall be dedicated.

Section 4. The Metropolitan Clerk is directed to publish a notice announcing such change in a newspaper of general circulation within five days following final passage.

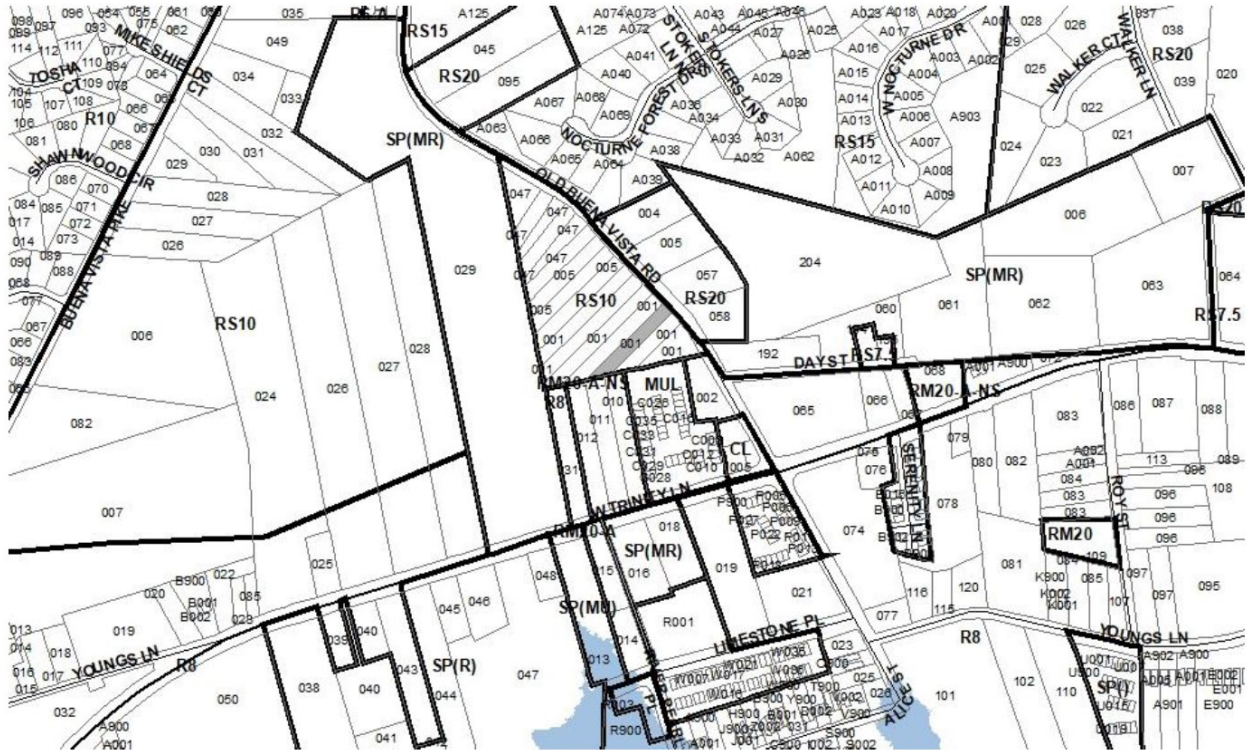
Section 5. This Ordinance shall take effect upon publication of above said notice announcing such change in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

SPONSORED BY:

Kyonzté Toombs
Member of Council

2023Z-004PR-001
Map 070-07, Parcel(s) 001
Subarea 03, Bordeaux - Whites Creek - Haynes Trinity
District 02 (Kyonzté Toombs)
Application fee paid by: Reginald C Holder

A request to rezone from RS10 to R10 zoning for property located at 2619 Old Buena Vista Road, approximately 300 feet northwest of Day Street (0.41 acres), requested by Reginald Holder, applicant; Reginald Holder & Cassandra Christiansen, ETAL, owners.



ORDINANCE NO. BL2023-___

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from RS5 to R6 zoning for property located at 1210 Katie Avenue, approximately 260 feet north of Fern Avenue, (0.17 acres), all of which is described herein (Proposal No. 2023Z-014PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS5 to R6 zoning for property located at 1210 Katie Avenue, approximately 260 feet north of Fern Avenue, (0.17 acres), being Property Parcel No. 112 as designated on Map 071-10 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 071 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. The Metropolitan Clerk is directed to publish a notice announcing such change in a newspaper of general circulation within five days following final passage.

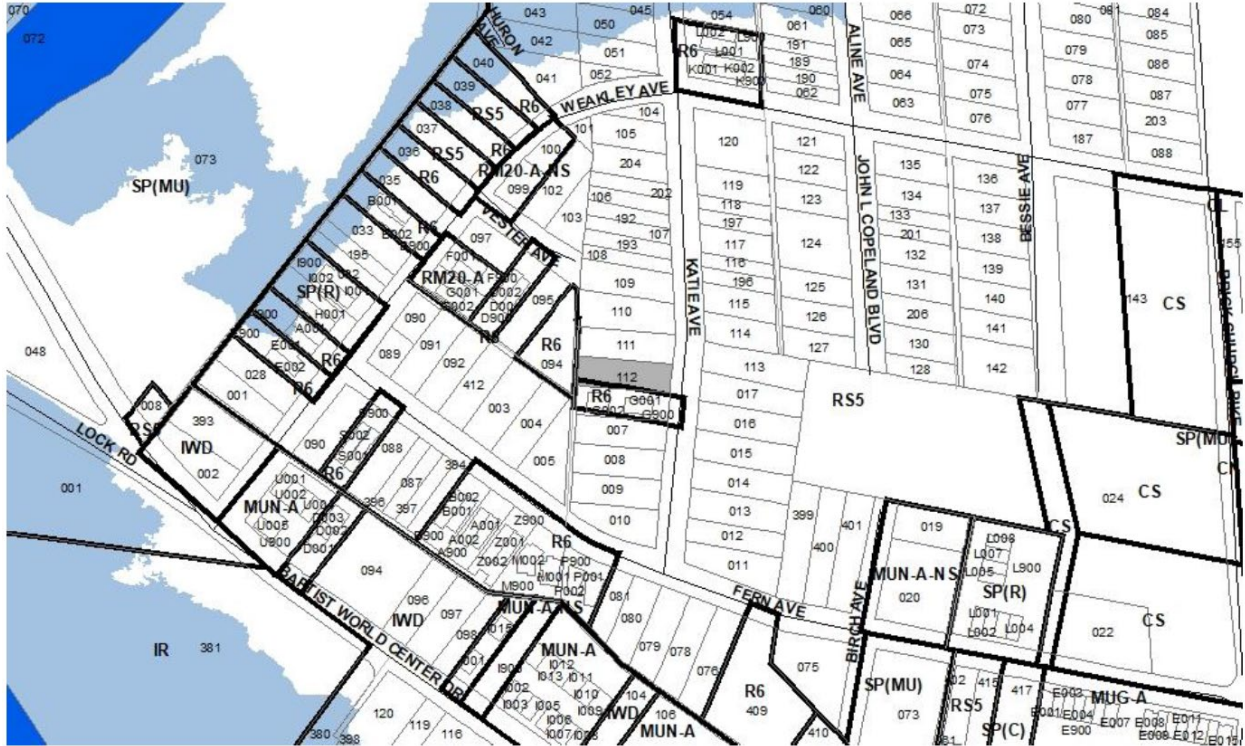
Section 4. This Ordinance shall take effect upon publication of above said notice announcing such change in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

SPONSORED BY:

Kyonzté Toombs
Member of Council

2023Z-014PR-001
Map 071-10, Parcel(s) 112
Subarea 03, Bordeaux - Whites Creek - Haynes Trinity
District 02 (Kyonzté Toombs)
Application fee paid by: The Vance Group Brian Vance

A request to rezone from RS5 to R6 zoning for property located at 1210 Katie Avenue, approximately 260 feet north of Fern Avenue, (0.17 acres), requested by Brian Vance, Inc., applicant; Brian Milton Vance & James Garty, owners.



AMENDMENT NO. __
TO
ORDINANCE NO. BL2022-1449

Mr. President –

I hereby move to amend Ordinance No. BL2022-1449 by amending Section 1, proposed Metropolitan Code of Laws Section 2.153.020, Subsection A, as follows:

- A. The bicycle and pedestrian advisory commission shall be composed of thirteen voting members. Eleven members shall be appointed by the mayor as follows: one member from a non-profit community group advocating biking and walking; one member who is a student or faculty member from a local university; one member from ~~the name of~~ a local organization that represents disabled persons; one member who is a transportation planning, policy, or design professional; one member from either AARP, Fifty-Forward, or other senior citizen advocacy organization; one member of a local bicycle club; one member of a walking, running, or hiking club; one member from an urban planning or multi-modal transportation support organization; one member from a parks or greenways friends group; two members who are interested in biking and walking. One member shall be appointed by the vice-mayor. One member shall be elected by the council. All appointments must be confirmed by a majority of the membership to which the council is entitled. All members shall serve without compensation. The membership of the commission shall reflect the diversity of citizens of Nashville and Davidson County. The chair shall be appointed by the mayor from the voting membership. The chair shall serve for one year.

SPONSORED BY:

Freddie O'Connell
Member of Council

AMENDMENT NO. ____
TO
SUBSTITUTE ORDINANCE NO. BL2022-1631

Mr. President –

I hereby move to amend Substitute Ordinance No. BL2022-1631 as follows:

- I. By amending Section 1, proposed Metropolitan Code of Laws Section 2.147.020, as follows:

2.147.020 - Definitions.

“Entertainment Industry” means commercial activity that involves the production and sale of entertainment, ~~whether in music, film, television, digital streaming content, and virtual/augmented reality or within the metaverse/omniverse~~ including the music industry, film and television industry, video game industry, fashion industry, and all other creative industries.

Occupations in the entertainment industry include, but are not limited to, musicians, recording artists, songwriters, composers, music producers, record label executives, recording studio owners, recording engineers, music venue owners, music craftsman (such as a luthier), performing rights organizations, actors, film/television studio executives, screenwriters, directors, casting agents, film/television producers, crew members, editors, location scouts, videographers, voiceover artists, digital designers, grips, stagehands, film/television marketing professionals, entertainment related bankers, packaging/distribution financiers, managers, publicists, stylists, theatre companies, fashion design/promotion, playwrights, theater directors, film/television/digital gaming composers, graphic software architects and other occupations not listed herein.

- II. By amending Section 1, to modify the section paragraph of proposed Metropolitan Code of Laws Section 2.147.030, Subsection A, as follows:

All members shall hold occupations in the Entertainment Industry with a minimum of five years of professional experience. ~~The commission shall never have more than 10 members from any single industry serving at any one time.~~ To foster diverse opinions on the commission, no single occupation or industry shall be represented by more than four members.

Sponsored by:

Joy Styles
Member of Council

SECOND SUBSTITUTE ORDINANCE NO. BL2022-1631

An Ordinance to amend Title 2 of the Metropolitan Code of Laws to create the Nashville Music, Film & Entertainment Commission.

WHEREAS, the Fisk Jubilee Singers first put Nashville on the map as a great city of music while travelling the world during the 1870s in support of Fisk University, performing for Queen Victoria and many famous audiences; and

WHEREAS, WSM's Grand Ole Opry radio show became increasingly popular in the 1920s and helped solidify Nashville's brand as "Music City" when a radio program of that name showcased Nashville's talent further cemented Nashville as a musical center becoming the birthplace of country music; and

WHEREAS, over the last 60 years, the music industry has created dynamic and innovative opportunities to both creatives and entrepreneurs in addition to being a major economic generator for the region; and

WHEREAS, Nashville has also been a growing destination for the film and television industry over the past few decades, beginning with Robert Altman's iconic film *Nashville* in 1975; and

WHEREAS, such films as *Coal Miner's Daughter*, *The Green Mile*, *Walk the Line*, and *Country Strong* have been shot in Nashville; and

WHEREAS, airing on ABC and CMT from 2012 through 2018, the television show *Nashville* was filmed and produced in Nashville; and

WHEREAS, the Nashville Film Office, originally formed in 1993, was substantially impacted through six different incarnations across three different mayoral administrations, where each new administration used its incoming prerogative to reconstruct the Office, from its own independent entity to a department under the Mayor's Office of Economic and Community Development, with increasing instability and limited effectiveness, ultimately eroding the Office in function and budget until 2007 when it was disbanded completely and the film permitting function moved the Parks Department; and

WHEREAS, in 2001 a group of film and television industry executives and production companies formed FilmNashville to collectively solicit out of state business and to foster a relationship between a Nashville Film Office and the Tennessee Film Commission, the group set up offices within the then Convention and Visitors Bureau in 2004, which succeeded in compiling the first film/television Location and Production directory; and

WHEREAS, in 2006, the State of Tennessee, via the Tennessee Film Commission, passed the Visual Content Act to compete with cities and states that already had or would soon create film incentives in the form of rebates, and/or transferable tax credits; and

WHEREAS, the Tennessee Film Commission subsequently changed its brand to the Tennessee Entertainment Commission to include other entertainment industries; and

WHEREAS, in 2018 the Tennessee Entertainment Commission and Tennessee Department of Economic and Community Development ("ECD") proposed and secured the passage of

legislation for an expansion of the Visual Content Act to enable incentives to include feature films, television, video games, animation, digital entertainment and music scoring; and

WHEREAS, in 2021 the Tennessee Entertainment Commission and ECD proposed and secured passage of legislation for a new Franchise and Excise (“F&E”) Tax Credit that could be applied to all entertainment industry categories served by the Tennessee Entertainment Commission; and

WHEREAS, especially in the digital age, any music, film, and entertainment entity within Nashville will need to work with, and be in alignment with, the Tennessee Entertainment Commission in order to optimally utilize the new F&E tax incentive to generate much greater levels of industry activity in the Nashville area; and

WHEREAS, there is a lack of diversity in the music, film, and entertainment industries of Nashville, and thorough training and aspirational information is needed and necessary at high school levels in all neighborhoods, with a coherent process established to flow students interested in music, film, and entertainment careers upward to Nashville vocational colleges and universities, such a strategy for diversity would enrich the content created in Nashville; and

WHEREAS, the establishment of a Music, Film, & Entertainment Commission would both recognize the specific needs of Nashville’s creative industries while synergizing and sustaining those efforts broadly into a cohesive Commission.

~~WHEREAS, though known worldwide as “Music City”, all of Nashville’s creative industries have grown substantially over the last ten years. While the music industry has been at the forefront, Nashville must likewise strategically nurture relationships within the film/television, theatre, virtual reality, and other creative industries in order to embrace, support, and uplift all creative industries across the board, and~~

~~WHEREAS, the establishment of a Nashville Entertainment Commission (“NEC”) would equitably address all of Nashville’s creative industries and build positive relationships across sectors. The NEC would encourage the recruitment of out-of-state projects and the development of locally created content to help drive tourism and additional tax revenues to Metro Nashville and further facilitate the creation of intellectual property content owned by Nashvillians; and~~

~~WHEREAS, the NEC would recruit and develop projects by having membership comprised of creative industry executives and lay people who have national and international relationships which would have transformational economic impacts for Nashville and Davidson County; and~~

~~WHEREAS, in order to foster greater diversity in the entertainment industries of Nashville, the NEC would create a focused and intentional process to create and maintain cultural representation and engage students interested in entertainment careers through Metro schools as well as Nashville area colleges and universities, and~~

~~WHEREAS, in 2006, the State of Tennessee, via the Tennessee Film Commission, passed the Visual Content Act to compete with cities and states that already had or would soon create film incentives in the form of rebates, and/or transferable tax credits; and~~

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~~WHEREAS, in 2018 the Tennessee Entertainment Commission and Tennessee Department of Economic and Community Development (“ECD”) proposed and secured the passage of legislation for an expansion of the Visual Content Act to enable incentives to include feature films, television, video games, animation, digital entertainment and music scoring; and~~

~~WHEREAS, in 2021 the Tennessee Entertainment Commission and ECD proposed and secured passage of legislation for a new Franchise and Excise (“F&E”) Tax Credit that could be applied to all entertainment industry categories served by the Tennessee Entertainment Commission; and~~

~~WHEREAS, the Nashville Entertainment Commission, in conjunction with the new Nashville Office of Music, Film and Entertainment, shall endeavor to bring projects to the Nashville area that can capitalize on the new tax incentives created by the Tennessee Entertainment Commission and Tennessee Department of Economic and Community Development and build relationships with these two entities.~~

NOW THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 2 of the Metropolitan Code of Laws is hereby amended by creating a new Chapter 2.147 as follows:

Chapter 2.147 ~~Nashville~~ Music, Film, & Entertainment Commission

2.147.010 – Established.

There is hereby established a commission to be known as the “~~Nashville~~ Music, Film, & Entertainment Commission”, referred to in this chapter as “commission.”

2.147.020 – Definitions.

“Entertainment Industry” means commercial activity that involves the production and sale of entertainment, ~~whether in music, film, television, digital streaming content, and virtual/augmented reality or within the metaverse/omniverse~~ including the music industry and the film and television industry.

~~Occupations in the entertainment industry include, but are not limited to, musicians, recording artists, songwriters, composers, music producers, record label executives, recording studio owners, recording engineers, music venue owners, music craftsman (such as a luthier), performing rights organizations, actors, film/television studio executives, screenwriters, directors, casting agents, film/television producers, crew members, editors, location scouts, videographers, voiceover artists, digital designers, grips, stagehands, film/television marketing professionals, entertainment related bankers, packaging/distribution financiers, managers, publicists, stylists, theatre companies, fashion design/promotion, playwrights, theater directors, film/television/digital gaming composers, graphic software architects and other occupations not listed herein.~~

“Film and television industry” means commercial activity that involves the production, distribution, and sale of entertainment, whether in film, television, digital streaming content, virtual/augmented reality or within the metaverse/omniverse.

“Music industry” means commercial activity that involves the production, distribution, and sale of music.

2.147.030 – Composition, Membership, and term of office.

A. The commission shall be composed of two councils, to be known as the Music City Music Council and the Film and Television Advisory Council. The Music City Music Council shall be focused on the music industry and the Film and Television Advisory Council shall be focused on the film and television industry. Members of the commission shall serve on the councils at the discretion of the commission chair.

B. The commission shall be composed of 15 members. Four members shall be appointed by the mayor and confirmed by the council. ~~One member shall be a council member elected by the Council's Public Facilities, Arts and Culture Committee. Two~~ Three members shall be selected by the council from nominations submitted by council members. ~~Five members shall be selected by the council from nominations submitted from the Entertainment Industry at large. One~~ Two members shall be selected by the council from nominations submitted by the International Alliance of Theatrical Stage Employees (IATSE) from its membership and confirmed by the council. ~~One~~ Two members shall be selected by the council from nominations submitted by the Screen Actors Guild – American Federation of Television and Radio Artists (SAG-AFTRA) from its membership and confirmed by the council. ~~One~~ Two members shall be selected by the council from nominations submitted by the American Federation of Musicians (AFM) from its membership and confirmed by the council. Two members shall be selected by the Recording Academy Nashville Chapter from its membership and confirmed by the council. The executive director of the Metropolitan Arts Commission, the director of visual and performing arts for Metropolitan Nashville Public Schools, a representative of the Nashville Education, Community, and Arts Television Corporation, a representative of the Nashville Chamber of Commerce, and a representative of the Nashville Convention and Visitors Corporation shall serve as ex officio members.

~~All members shall hold occupations in the Entertainment Industry with a minimum of five years of professional experience. The commission shall never have more than 10 members from any single industry serving at any one time.~~

B. Members of the commission shall serve without compensation.

C. Commission members shall serve staggered ~~five~~ three-year terms. Of the initial members appointed, ~~the three members appointed by the mayor and SAG-AFTRA shall be appointed for one year, the three members appointed by the council and AFM shall be appointed for two years, and three~~ the members appointed by IATSE and the Recording Academy Nashville Chapter shall be appointed for three years, three members shall be appointed for four years, and three members shall be appointed for five years. The appointing authorities shall equitably divide the durations of their respective initial appointments until the commission is fully appointed as described here.

2.147.040 - Purpose Mission of the commission

The ~~purpose~~ mission of the commission shall be to create policies to:

- A. ~~Establish, develop, market, promote and maintain relationships related to the recruitment of entertainment projects and endeavors to Nashville and Davidson County and the development and promotion of Promote the entertainment industry in Nashville and Davidson County and recruit projects and employment related to the entertainment industry. This includes promoting projects that involve multiple sectors of the entertainment industry; projects that promote economic development; and projects that create jobs related to the entertainment industry to local, regional, national, and international companies.~~
- B. ~~Promote gender and racial equity and work to address quality of life issues facing individuals in the entertainment industry in Nashville and Davidson County across all creative sectors through multiple initiatives, including (i) the creation of a directory of services and needs for entertainment productions within Nashville and Davidson County, and (ii) facilitating greater awareness at high schools in Metro Nashville of potential careers in the entertainment industry, facilitating practical pathways and training into Nashville vocational schools, two-year colleges, and university programs, culminating in guidance to career and business opportunities in the private sector.~~
- C. ~~Support small and independent businesses within the entertainment industry in Nashville and Davidson County.~~
- D. ~~Promote education initiatives and programming related to the entertainment industry.~~
- CE. ~~Endeavor to ~~w~~Work closely with and build relationships with, the Tennessee Entertainment Commission to establish and maintain operational connectivity to franchise and excise tax incentives and other opportunities for recruitment, promotion, and development of entertainment projects achieve this mission.~~

2.147.045 – Primary goals of the commission.

The primary goals of the commission shall be to:

- A. ~~Create and maintain a strong brand identity for Nashville and Davidson County related to the Entertainment Industry;~~
- B. ~~Pursue top-tier rankings within national and international entertainment industry publications and ratings services;~~
- C. ~~Provide significant and sustained assistance and investment in the Entertainment Industry in Nashville;~~
- D. ~~Establish means, mechanisms, and metrics to maintain diversity and inclusion within all sectors of the Entertainment Industry;~~
- E. ~~Establish workforce development and education initiatives to help Nashville and Davidson County grow its own workforce for the Entertainment Industry;~~
- F. ~~Address quality of life issues affecting those within the Entertainment Industry, including affordable housing, financial planning, and healthcare access; and~~
- G. ~~Engage in community outreach to all citizens and residents of Nashville and Davidson County.~~

2.147.050 - Powers and Duties.

To carry out the commission's purposes, the commission shall have authority to:

- A. Elect a chair and other officers as necessary to carry out the functions and duties of the commission.
- B. Promulgate and maintain regulations and bylaws for the commission.
- C. Recruit and hire the executive director who shall serve as the executive director of the commission and of the Nashville Office of Music, Film and Entertainment.
- D. Promote, market, and support the Nashville Office of Music, Film and Entertainment; ~~including the creation of a strategic plan for the Nashville Office of Music, Film and Entertainment that outlines the goals, purpose, and duties of the office and the creation of a diversity and inclusion plan for the office.~~
- E. Meet no less than once per quarter. The Music City Music Council and the Film and Television Advisory Council shall meet on an as needed basis, at the discretion of the chair of the commission.
- ~~E. Create advisory committees to address the issues in Entertainment Industry. Members of these advisory committees are to be selected by the commission. Advisory committee members are not required to be current members of the commission but must hold occupations in the Entertainment Industry and should have a minimum of five years of professional experience. The commission shall create the following advisory committees and may create additional advisory committees as needed:~~
 - 1. Film and television production
 - 2. Music industry
 - 3. Diversity and inclusion
 - 4. Independent venue preservation
- ~~F. Submit recommendations to the Metropolitan Council and mayor's office for the establishment of separate boards or commissions representing individual sectors of the entertainment industry, if deemed necessary for the effective pursuit by such sector(s) of the goals and objectives established herein.~~
- ~~G. Establish additional membership requirements for advisory committee members.~~

2.147.060 – Office of Music, Film, and Entertainment.

- A. There shall be an Office of Music, Film, and Entertainment, led by an executive director, to carry out the duties and mission of the commission.
- B. Among other duties as described by the commission, the executive director and approved staff shall be responsible for:
 - i. Assisting the entertainment industry with securing necessary permitting;
 - ii. Building relationships for community engagement;
 - iii. Assisting with location scouting;
 - iv. Establishment of relationships with Metropolitan Nashville departments and non-governmental partners;
 - v. Any additional actions necessary to carry out the duties and responsibilities established by this chapter.

2.147.060-065 - Staffing.

The work of the commission and of the ~~Nashville~~ Office of Music, Film and Entertainment shall be managed by an executive director, who shall be appointed by the commission in accordance with Section 2.147.050.C and serve at the pleasure of the commission. ~~Additional staff may be provided for by the metropolitan government upon the recommendation of the commission.~~ The executive director and any staff shall be organized under the Mayor's Office.

Section 2. This Ordinance shall take effect from and after its final passage, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

SPONSORED BY:

Jeff Syracuse
Member of Council

AMENDMENT NO. __
TO
ORDINANCE NO. BL2023-1690

Mr. President –

I hereby move to amend Ordinance No. BL2023-1690, as follows

1. By amending Section 1, proposed Metropolitan Code of Laws Section 15.64.035, Subsection A, as follows:

A. Definitions:

For purposes of this Chapter:

“Affordable Housing” means housing that, on an annual basis, costs thirty percent (30%) or less than the estimated median household income for households earning sixty percent (60%) or less of the area median income for the Nashville-Davidson County metropolitan statistical area as determined by the United States department of housing and urban development, adjusted for family size.

“Impervious Area” shall mean the portion of a parcel of property that is covered by any material, including without limitation roofs, streets, sidewalks and parking lots paved with asphalt, concrete, compacted sand, compacted gravel or clay, that substantially reduces or prevents the infiltration of storm water. Impervious area shall not include natural undisturbed surface rock.

“Impervious Surface” is a term applied to any ground or structural surface that water cannot penetrate or through which water penetrates with great difficulty, including but not limited to paved concrete or asphalt areas, graveled areas with limited infiltration, and roofs.

“Project Area” shall mean the surface area of a parcel or parcels, either whole or part, that is or will be part of a Project or a common plan of development.

“Project” shall mean a project for which a development permit is required by the Metropolitan Code of Laws.

“Post Development Impervious Surface Project Area” shall mean all impervious surface within the Project Area.

2. By amending Section 1, proposed Metropolitan Code of Laws Section 15.64.035, by adding a new Subsection H, as follows:

H. Waiver. The stormwater capacity fee may be waived by the Director, or the Director’s designee, for a Project where the majority of residential units are restricted for Affordable Housing.

SPONSORED BY:

Jeff Syracuse
Member of Council