

- STANDARD SP NOTES**
- 1) The purpose of this SP is to permit 12 multi-family units. Short-term rental owner occupied and short-term rental, non owner occupied are prohibited.
 - 2) Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance no. 78-840 & approved by the metropolitan department of water services.
 - 3) All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
 - 4) Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
 - 5) The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
 - 6) Size driveway culverts per the design criteria set forth by the metro stormwater manual (minimum driveway culvert in metro right of way is 15" RCP).
 - 7) Metro water services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
 - 8) Individual water and/or sanitary sewer service lines are required for each unit.
 - 9) Solid waste pickup to be provided by a mixture of roll-away trash cans and trash enclosures.
 - 10) Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
 - 11) If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the RM-15A as of the date of the applicable request or application.
 - 12) The final site plan/building permit site plan shall depict any required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within any required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of any required sidewalk. Vertical obstructions are only permitted within any required grass strip or frontage zone.
 - 13) Private driveways shall be maintained by the Homeowner's Association.
 - 14) The final site plan/ building permit site plan shall depict any required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
 - 15) Landscaping and tree density requirements per Metro Zoning Code. A complete landscape plan will be required with the Final SP submittal.

- ARCHITECTURAL STANDARDS**
1. Building façades fronting a street shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing.
 2. Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers.
 3. Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.
 4. Porches shall provide a minimum of six feet of depth.
 5. A raised foundation of 18"- 36" is required for all residential structures.
 6. Height shall be measured from the average elevation (4 most exterior corners) at the finished grade to the midpoint of the primary roof pitch.

MUNICIPALITY CONTACTS

METRO WATER & SEWER 800 SECOND AVENUE S NASHVILLE, TN 37219 CONTACT: CLAY CHRISTIAN PH: 615-862-4066	NDOT 750 S 5th St NASHVILLE, TN 37206 PH: 615-862-8782
NASHVILLE ELECTRIC 1214 CHURCH STREET NASHVILLE, TN 37246 CONTACT: PAUL JACKSON PH: 615-747-3965	METRO STORMWATER 800 SECOND AVENUE S NASHVILLE, TN 37219 CONTACT: ELI ANDERSON PH: 615-862-4706

FEMA FLOOD INFORMATION
Subject site is designated as Zone X (0.2% Annual Flood Chance Hazard) determined by FEMA Firm Flood Insurance Rate Map:
Map # 47037C0229H
Revised 4/5/2017



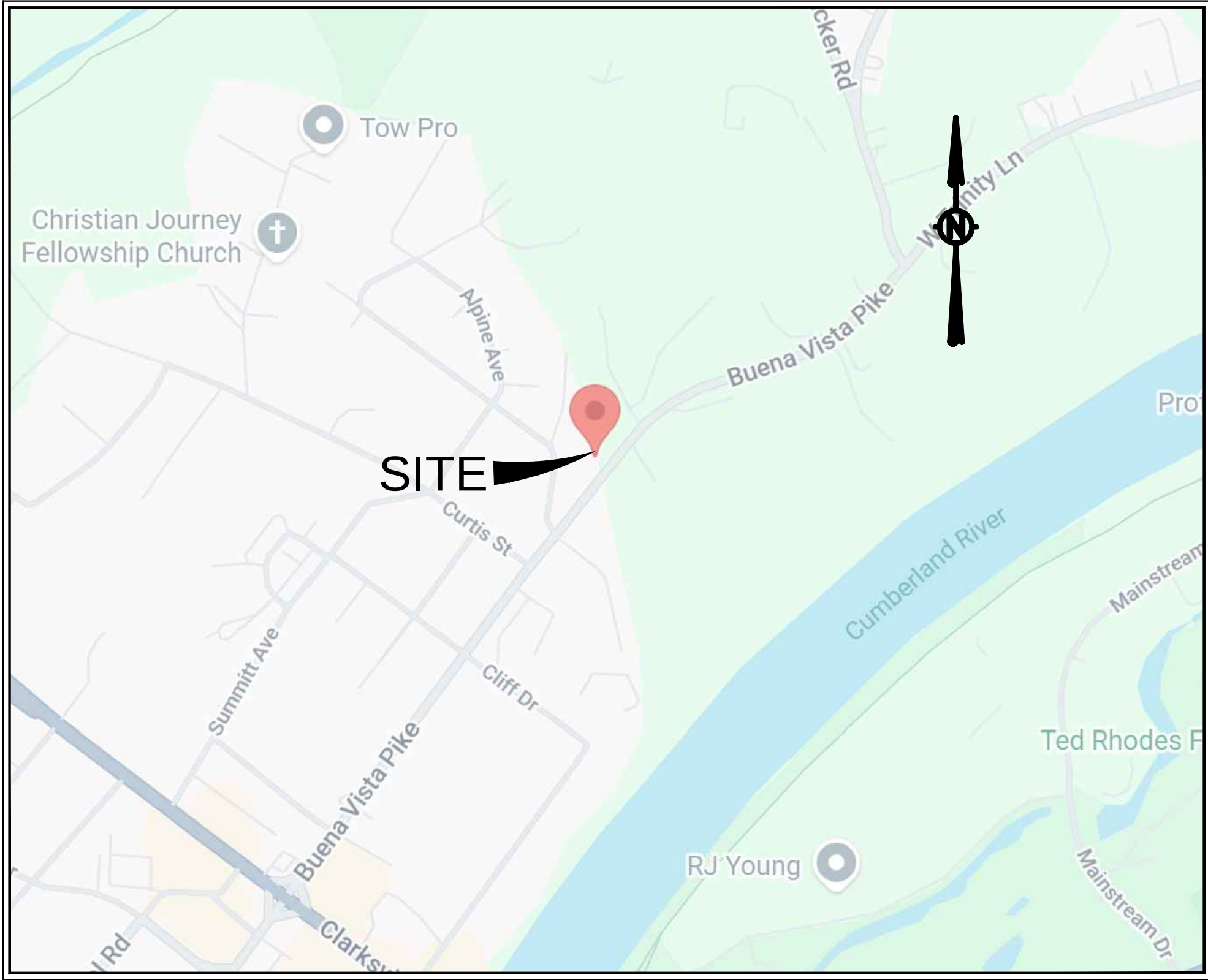
RIVER VIEW TOWNHOMES

PRELIMINARY SP PLAN

FOR

FED DEVELOPMENT

A Residential Development



DAVIDSON COUNTY, TENNESSEE
DISTRICT 2 / Kyonzte Toombs

PRELIM SP # 2026SP-021-001

NES NOTES

1. Where feasible, this development will be served with underground power and pad-mounted transformers.
2. New facilities will not be allowed to site in or to pass through retention areas, including rain gardens, bioretention areas, bio swales, and the like. This includes primary duct between pad-mounted transformers equipment, as well as service duct to a meter.

NDOT NOTES

1. All work within the public right of way requires an excavations permit from the department of public works.
2. Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
3. Stop signs are to be 30 inch by 30 inch.
4. Street signs to have six inch white letter on a nice inch green aluminum blade,, high intensity reflective.
5. All pavement markings are to be thermoplastic.

FIRE MARSHAL NOTES

1. New commercial developments shall be protected by fire hydrant that complies with the 2006 edition of NFPA 1 Table H. To see Table H go to: (<http://www.nashfire.org/prev/tableH51.htm>)
2. No part of any building shall be more than 500 ft. from a fire hydrant via a ahrd surface road per Metro Ordinance 095-1541 Sec. 1568.020 B.
3. All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.5 feet.
4. All dead-end roads over 150 feet in length require a 100 feet diameter turnaround, this includes temporary turnarounds.
5. If more than three stories above grade, Class 1 standpipe system shall be installed.
6. If more than one story below grade, Class 1 standpipe system shall be installed.
7. When a bridge is required to be used as part of a fire department access road, it shall be constructed and maintained in accordance with nationally recognized standards.
8. A fire hydrant shall be procided within 100 feet of the fire department connection.

Sheet List Table

Sheet Number	Sheet Title
SP0.0	COVER
SP1.0	EXISTING, SITE, & LANDSCAPE PLAN
SP2.0	GRADING, UTILITY, & FIRE SAFETY PLAN

Applicant & Civil Engineer

Michael Williams, P.E.
Williams and Associates Engineering, inc.
818 18th Ave S, Floor 10
Nashville, TN 37203
Phone: (865) 679-5992
Email: mwilliams@civ-design.com

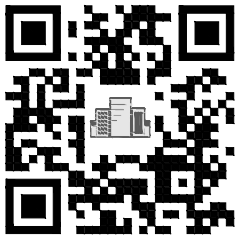
Developer/ Owner

Fed Development, LLC
Edward Fedorovich
4220 Franklin Pike
Nashville, TN 37204
Phone: (615) 818-5432
Email: ed@fedbuilders.com



Williams Engineering

818 18th Ave S, FL 10
Nashville, TN 37203
(865) 679 - 5992
mwilliams@civ-design.com
williamsengineeringgroup.com



RIVER VIEW TOWNHOMES

FOR
FED DEVELOPMENT

2401 BUENA VISTA PIKE, NASHVILLE, TN 37218

REVISIONS	DATE
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DESIGNED BY: MLW

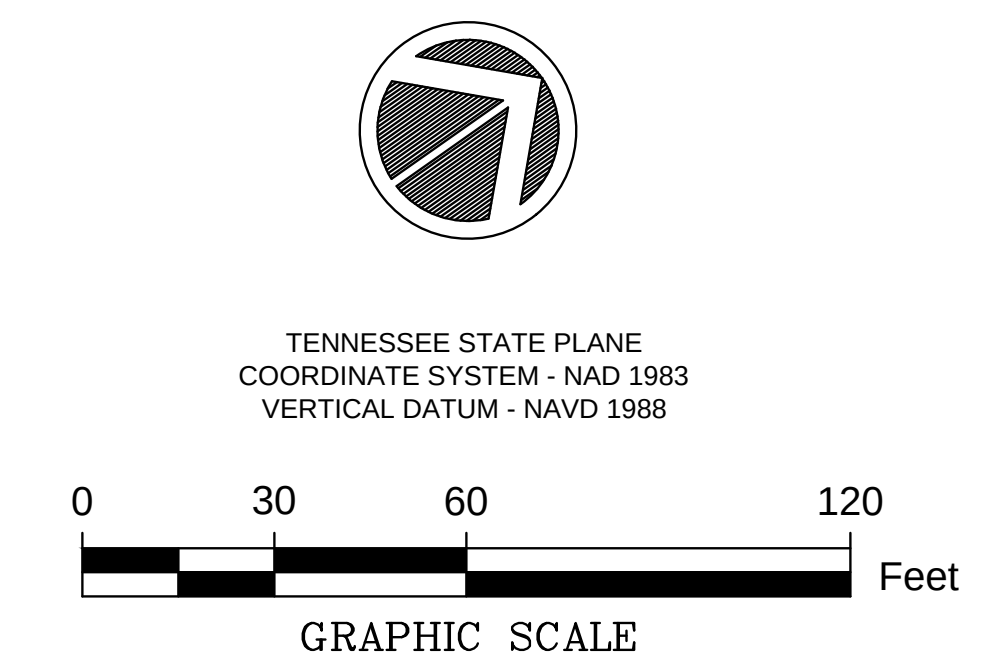
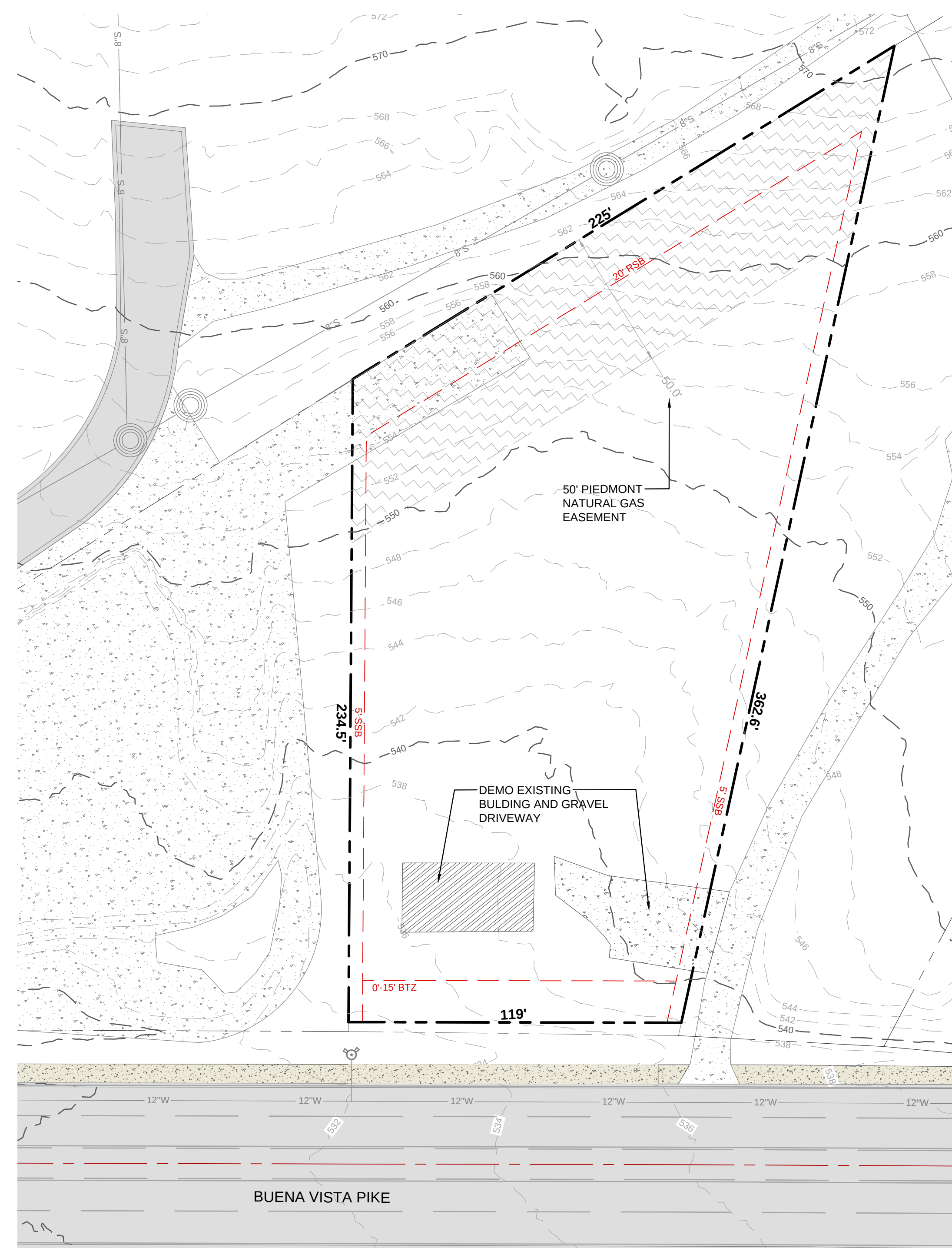
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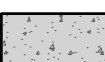
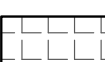
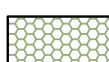
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COVER

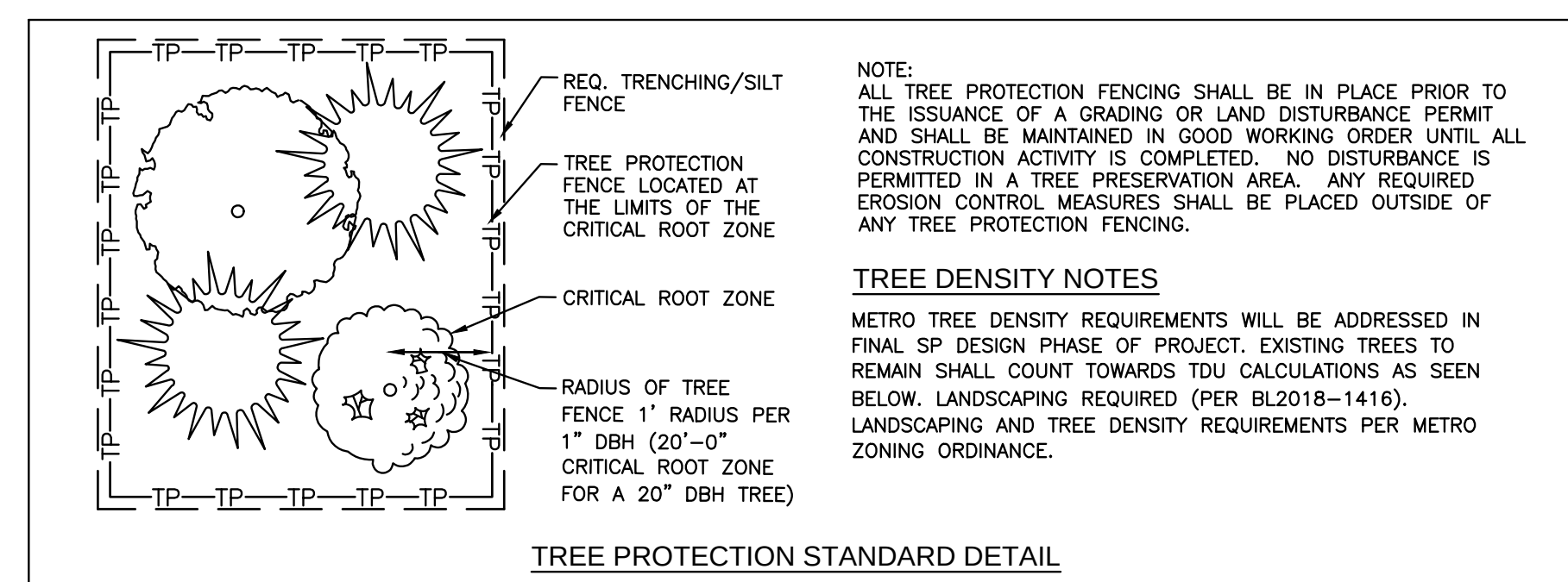
SP0.0



LEGEND

	PROPERTY LINE
	EXISTING FENCE
	EXISTING OVERHEAD POWER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING PUBLIC ROAD
	ASPHALTIC CONCRETE
	PRIVATE DRIVE
	PROPOSED DRIVEWAY RAMP
	STORMWATER TREATMENT & CONVEYANCE
	PERMEABLE PAVEMENT
	GRASS STRIP/ GREEN SPACE
	CONCRETE SIDEWALK
	PROPOSED BUILDING
	PROPOSED CURB & GUTTER
	PRETREATMENT CELLS
	BIORETENTION (LVL2)

DEVELOPMENT / SITE DATA TABLE	
METRO ZONING REGULATORY INFORMATION	
CURRENT ZONING	R10
PROPOSED ZONING	SP
USE	MULTIFAMILY
TOTAL AREA	1.03 AC
SIDE SETBACK	5 FT
STREET SETBACK	0' TO 15' BTZ
REAR SETBACK	20 FT
LANDSCAPE BUFFER	Per Metro Zoning Code
HEIGHT STANDARDS	3 STORIES / 35 Feet
MAX FAR	0.75
MAX ISR	0.70
METRO PARKING REQUIREMENTS	
NO. UNITS (3 Br - 2.5 Ba)	12 UNITS
PARKING REQUIRED (3 Br)	30 SPACES (2.5 SPACE/ 3 BR)
GARAGE PARKING PROVIDED	24 SPACES
PARKING STALL PROVIDED	6 SPACES
TOTAL PARKING PROVIDED	30 SPACES



RIVER VIEW TOWNHOMES FOR FED DEVELOPMENT

2401 BUENA VISTA PIKE, NASHVILLE, TN 37218

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DESIGNED BY: MLW

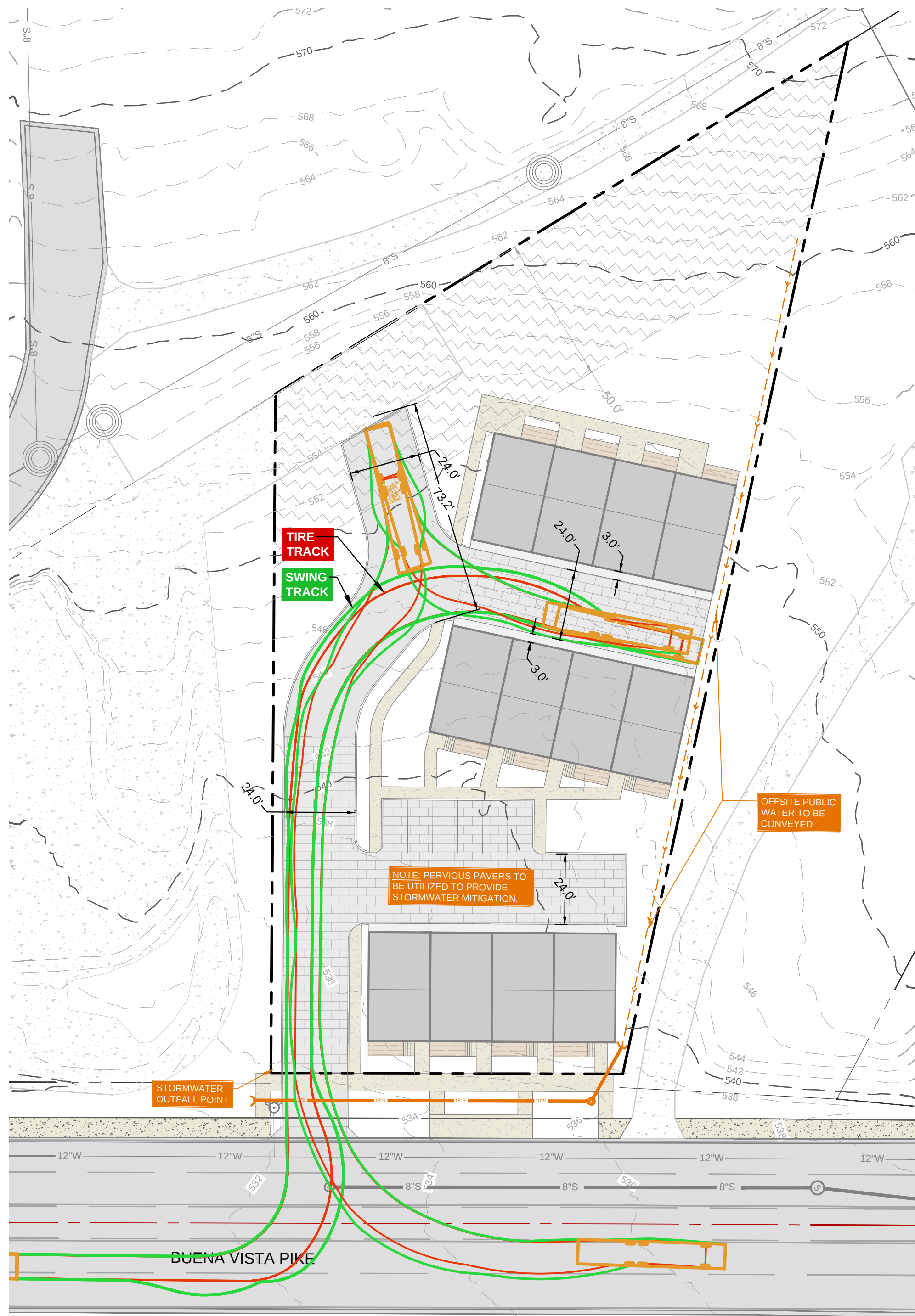
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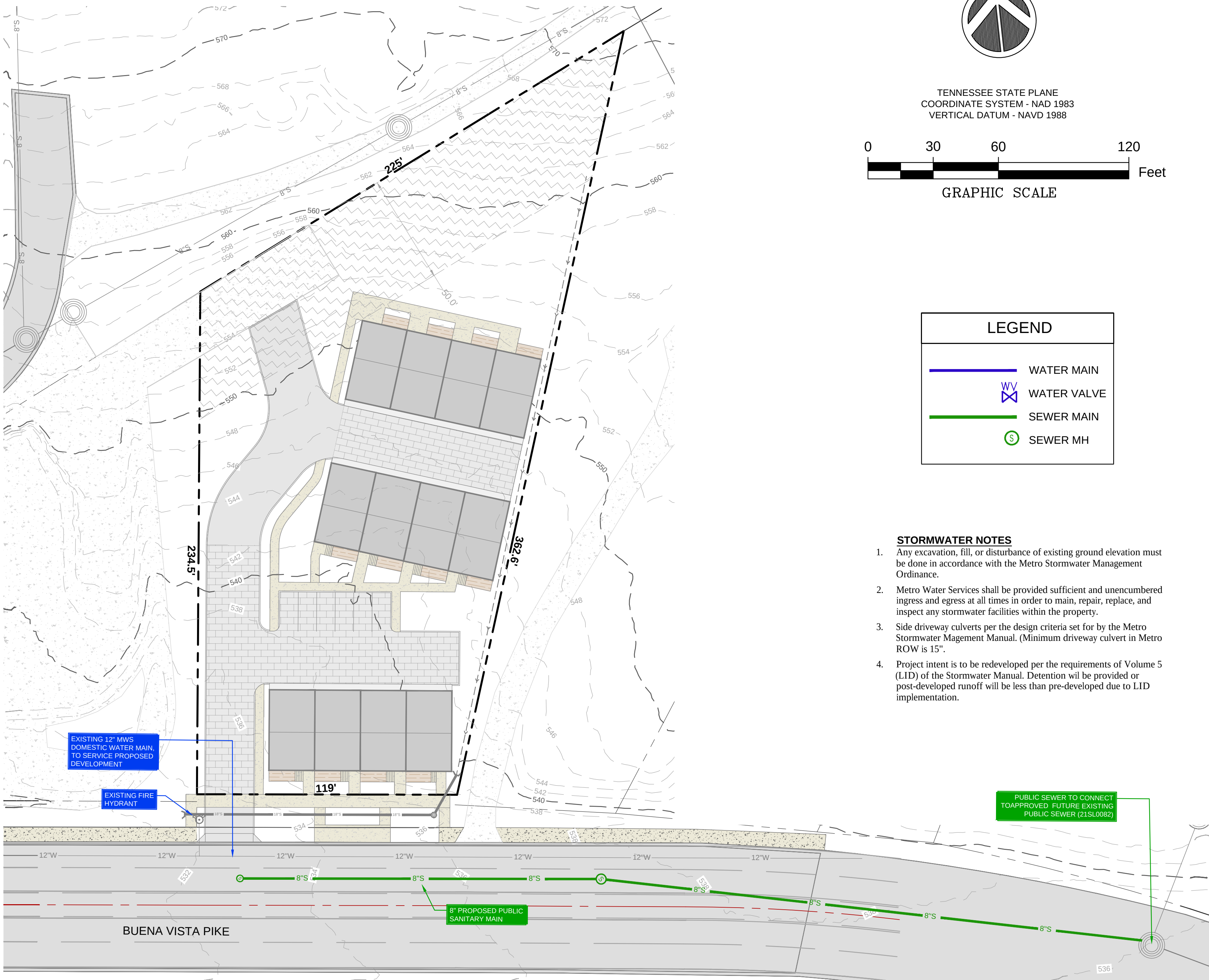
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EXISTING, SITE,
& LANDSCAPE
PLAN

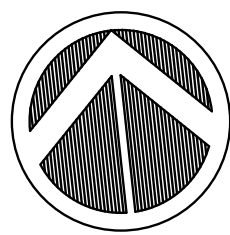
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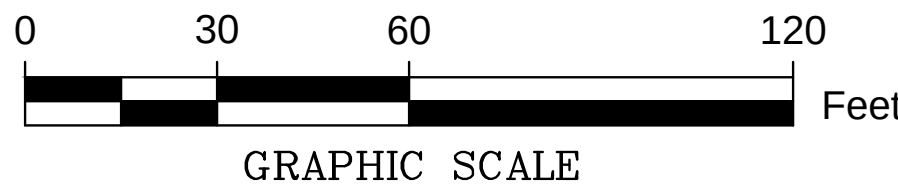
GRADING, DRAINAGE,
& FIRE SAFETY PLAN



UTILITY PLAN



TENNESSEE STATE PLANE
COORDINATE SYSTEM - NAD 1983
VERTICAL DATUM - NAVD 1988



LEGEND	
	WATER MAIN
	WATER VALVE
	SEWER MAIN
	SEWER MH

STORMWATER NOTES

- Any excavation, fill, or disturbance of existing ground elevation must be done in accordance with the Metro Stormwater Management Ordinance.
- Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to main, repair, replace, and inspect any stormwater facilities within the property.
- Side driveway culverts per the design criteria set for by the Metro Stormwater Magement Manual. (Minimum driveway culvert in Metro ROW is 15".
- Project intent is to be redeveloped per the requirements of Volume 5 (LID) of the Stormwater Manual. Detention will be provided or post-developed runoff will be less than pre-developed due to LID implementation.

EROSION PREVENTION & SEDIMENT CONTROL NOTES

- All control measures must be properly installed and maintained in accordance with the manufacturer's specifications, tdec and local standards.
- Contractors shall verify location, depth, and size of existing utilities prior to beginning construction, and shal be responsible for making the necessary arrangements with the governing utility company for utilites requiring relocation.
- Bmp capacity [sediment traps, silt fences, sedimentation ponds, and other sediment control] shall not be reduced by more than 50% at any given time. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the contractor must replace or modify the control for relevant site situations.
- Where permanent or temporary vegetation cover is used as a control measure, the timing of the planting is critical. Planning for planting of vegetation cover during winter or dry months should be avoided.
- If sediment escapes the permitted area, off-site accumulations of sediment that have not reached a stream must be removed at a frequency sufficient to minimize offsite impacts. The contractor shall not initiate remediation/restoration of a stream without consulting the division first. The noi general permit does not authorize access to private property. Arrangements concerning removal of sediment on adjoining property must be settled by the contractor and adjoining landowner.
- Litter, construction debris, and construction chemicals exposed to storm water shall be picked up prior to anticipated storm events or before being carried off of the site by wind or otherwise prevented from becoming a pollutant source for storm water discharges. After use, materials used for epsc should be removed or

otherwise prevented from becoming a pollutant source for storm water discharge.

- Erodible material storage areas (including overburden and stockpiles of soil) and borrow pits are considered part of the site and should be addressed with appropriate bmp's accordingly.
- The following records shall be maintained on or near site: the dates when major grading activities occur; the dates when construction activities temporarily or permanently cease or a portion of the site; the dates when stabilization measures are initiated; inspection records and rainfall records. Contractor shall maintain a rain gauge and daily rainfall records at the site, or use a reference site for a record of daily amount of precipitation.
- A copy of the swppp shall be retained on-site and should be accessible to the director and the public. Once site is inactive or does not have an onsite location adequate to store the swppp, the location of the swppp, along with a contact phone number, shall be posted on-site. If the swppp is located off-site, reasonable local access to the plan, during normal working hours, must be provided.
- Off-site vehicle tracking of sediments and the generation of dust shall be minimized. A stabilized construction access (a point of entrance/exit to a construction site) shall be constructed as needed to reduce the tracking of mud and dirt onto public roads by construction vehicles.
- Inspections must be performed at least twice every calendar week. Inspections shall be performed at least 72 hours apart. Where sites or portions of construction sites have been temporarily stabilized, or runoff is unlikely due to winter conditions or due to extreme drought, such inspection has to be conducted once per month until thawing or precipitation results in runoff or construction activities resumes. Inspection requirement do not apply to definable areas that have been finally stabilized, as designed by the engineer. Written notification of the intent to change the inspection frequency and the justification for such request must be submitted to the local

- environmental field office, or the division's nashville central office for projects of tdot or rva. Should the division discover that monthly inspection of the division discover that monthly inspections of the site are not appropriate due to insufficient stabilization measures or otherwise, twice weekly inspections shall resume. The division may inspect the site to confirm or deny the notification to conduct monthly inspections.
- Inspectors performing the required twice weekly inspections must have an active certification and a record of certification must be kept on site. Based on the results of the inspection, any inadequate control measures or control measures in despair shall be replaced or modified, or repaired as necessary, before the next rain event, but in no case more than 7 days after the need identified.
 - Outfall points shall be inspected to determine whether epsc measures are effective in preventing significant impacts to receiving waters. Where discharge locations are inaccessible, nearby downstream locations shall be inspected. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.
 - Contractor shall provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during preconstruction meeting. Control of other site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality is also required by the Grading Permittee
 - Exposed areas to be stabilized with 14 days after construction activities in the areas that have temporarily or permanently ceased. Areas with a slope of 3:1 or steeper shall be stabilized within 7 days.
 - All slopes 3:1 or steeper to be stabilized with erosion control blankets or matting.



RIVER VIEW TOWNHOMES

FOR
FED DEVELOPMENT

2401 BUENA VISTA PIKE, NASHVILLE, TN 37218

REVISIONS	DATE
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DESIGNED BY: MLW

DATE: 6/16/2026

SCALE: 1"=30'

JOB #: 20260107-1

GRADING,
UTILITY, & FIRE
SAFETY PLAN

SP2.0