

# PRELIMINARY SP FOR 41ST AVENUE

4100 INDIANA AVENUE  
NASHVILLE, TN

**CASE NO. 2021SP-004-001**

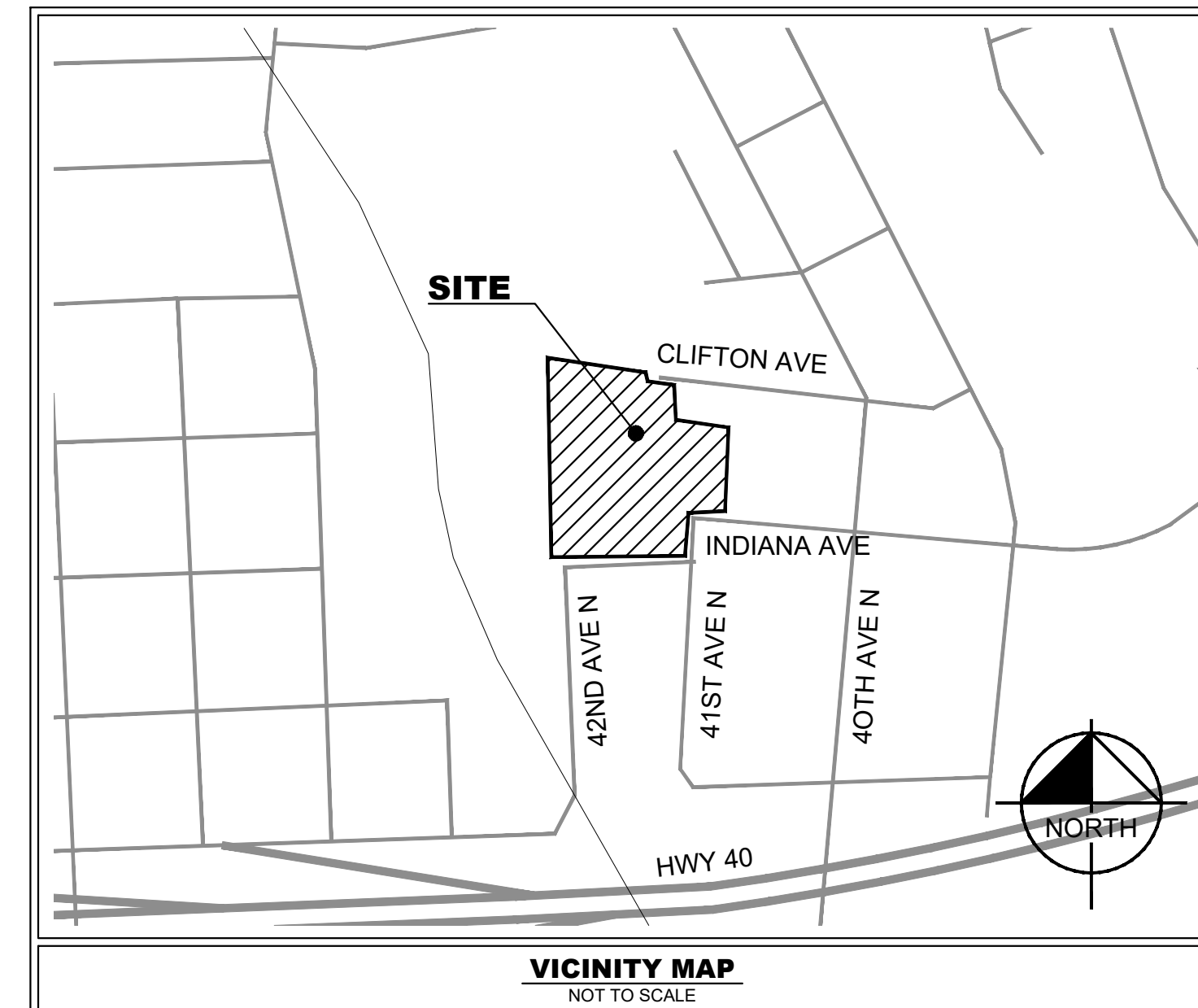
PRELIMINARY SP SET: 12/09/2020  
PRELIMINARY SP SET RESUBMITTAL: 02/24/2021  
PRELIMINARY SP SET RESUBMITTAL: 07/13/2021  
PRELIMINARY SP SET RESUBMITTAL: 08/04/2021

SITE DATA TABLE	
<b>TOTAL SPECIFIC PLAN SITE AREA:</b>	±5.3 AC (PER SURVEY)
<b>SITE ADDRESSES, PARCELS, AND OWNERS:</b>	
1. PARCEL 09112018900, 701 41ST AVE N, ±4.24 AC OWNER: HOOSIER CAPITAL, L.P. 248 HARDING PL, NASHVILLE, TN 37205	
2. PARCEL 09112019000, 4105 CLIFTON AVE, ±0.13 AC OWNER: HOOSIER CAPITAL, L.P. 248 HARDING PL, NASHVILLE, TN 37205	
3. PARCEL 09112019100, 0 CLIFTON AVE, ±0.09 AC OWNER: HOOSIER CAPITAL, L.P. 248 HARDING PL, NASHVILLE, TN 37205	
3. PARCEL 09112019200, 0 CLIFTON AVE, ±0.19 AC OWNER: HOOSIER CAPITAL, L.P. 248 HARDING PL, NASHVILLE, TN 37205	
4. PARCEL 09112020800, 4020 INDIANA AVE, ±0.28 AC OWNER: HOOSIER CAPITAL, L.P. 248 HARDING PL, NASHVILLE, TN 37205	
5. PARCEL 09112020700, 4018 INDIANA AVE, ±0.13 AC OWNER: HOOSIER CAPITAL, L.P. 248 HARDING PL, NASHVILLE, TN 37205	
<b>EXISTING ZONING:</b>	IR, UZO (ALL PARCELS)
<b>EXISTING LAND USE:</b>	AUTO REPAIR AND WASTE MANAGEMENT
<b>EXISTING CCM POLICY:</b>	D-IN, T4-MU
<b>PROPOSED ZONING:</b>	SP (WITH RM40 FALLBACK)
<b>PROPOSED CCM POLICY:</b>	T4-MU
<b>PROPOSED USE:</b>	MULTI-FAMILY RESIDENTIAL
<b>PROPOSED DENSITY:</b>	STACKED TOWNHOMES 94 DU 4-STORIES; 2 BEDROOMS EACH HEIGHT: ±43'-6" TOWNHOMES 18 DU 4-STORIES; 4 BEDROOMS EACH HEIGHT: ±43'-6" TOTAL 112 DU DENSITY 21.13 DU/AC
<b>REQUIRED PARKING:</b>	2 BEDROOMS OR MORE REQUIRE 1.5 SPACES/UNIT 112 TOTAL UNITS = 168 SPACES REQ'D
<b>*PARKING REDUCTION:</b>	0.5 SPACES PER STREET PARKING SPACE 11 STREET SPACES = 5 SPACE REDUCTION TOTAL PARKING REQUIRED: 163 SPACES
<b>PROVIDED PARKING:</b>	<ul style="list-style-type: none"> <li>• STACKED TOWNHOME UNITS: EACH UNIT HAS ONE GARAGE AND ONE TANDEM SPACE. THIS IS EQUIVALENT TO 1.5 SPACES PER UNIT. 94 STACKED UNITS = 141 SPACES PROVIDED</li> <li>• TOWNHOME UNITS: EACH UNIT HAS TWO GARAGE SPACES. THIS IS EQUIVALENT TO 2 SPACES PER UNIT. 18 UNITS = 36 SPACES PROVIDED</li> <li>• ADDITIONAL SURFACE PARKING ON-SITE: 10 SURFACE SPACES PROVIDED</li> <li>• TOTAL ON-SITE PARKING PROVIDED: 141 + 36 + 10 = 187 SPACES (AVERAGE = 1.67 SPACES/UNIT)</li> <li>• ADDITIONAL ON-STREET PARKING: 11 SPACES</li> </ul>
<b>BICYCLE PARKING:</b>	REQUIRED: 1 PER 4 UNITS PROVIDED: 28 RACKS
<b>FLOOR AREA RATIO:</b>	± 1.25, MAX 1.25
<b>IMPERVIOUS SURFACE RATIO:</b>	± 0.67, MAX 0.80

PURPOSE NOTE / DESIGN INTENT
THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT A MULTI-FAMILY DEVELOPMENT TO INCLUDE UP TO 112 MULTI-FAMILY RESIDENTIAL UNITS.

TRAFFIC IMPROVEMENTS
THE DEVELOPMENT SHALL PROVIDE THE FOLLOWING RECOMMENDED TRAFFIC IMPROVEMENTS WITH FINAL SITE PLAN. SEE TRAFFIC STUDY DATED 6/30/2021 PREPARED BY KIMLEY-HORN.
<b>AT 40TH AVENUE NORTH AT INDIANA AVE NORTH/CLIFTON AVENUE SOUTH:</b>
• REFRESH EXISTING CROSSWALK PAVEMENT MARKINGS AND STOP BARS.
<b>AT 41ST AVENUE NORTH AT INDIANA AVENUE NORTH:</b>
• CONSTRUCT THE NORTHERN INTERSECTION LEG WITH ONE SOUTHBOUND APPROACH LANE AND ONE NORTHBOUND RECEIVING LANE.
• INSTALL STOP CONTROL AND CROSSWALKS ON THE NORTHERN INTERSECTION LEG.
• INSTALL STOP CONTROL AND CROSSWALKS ON THE EASTERN INTERSECTION LEG.
• INSTALL STOP CONTROL ON THE SOUTHERN INTERSECTION LEG.
• PROVIDE ADEQUATE INTERSECTION SIGHT DISTANCE IN ACCORDANCE WITH THE CRITERIA PROVIDED IN A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS.
<b>AT 41ST AVENUE NORTH AT CLIFTON AVENUE NORTH:</b>
• CONSTRUCT THE SOUTHERN INTERSECTION LEG WITH ONE NORTHBOUND APPROACH LANE AND ONE SOUTHBOUND RECEIVING LANE.
• INSTALL STOP CONTROL AND CROSSWALKS ON THE SOUTHERN INTERSECTION LEG.
<b>OTHER IMPROVEMENTS:</b>
• RESTRIPE CROSSWALKS AND STOP BARS AT THE INTERSECTION OF 40TH AVENUE NORTH AND INDIANA AVENUE/CLIFTON AVENUE SOUTH.
• INSTALL CROSSWALKS AND STOP CONTROL ACROSS THE SOUTHERN INTERSECTION LEG OF 41ST AVENUE NORTH EXTENSION AND CLIFTON AVENUE NORTH.
• INSTALL CROSSWALKS AND STOP CONTROL ACROSS THE NORTHERN AND EASTERN LEGS OF 41ST AVENUE NORTH AND INDIANA AVENUE NORTH.
• RESURFACE THE PAVEMENT AT THE END OF CLIFTON AND ADD CURB AND GUTTER.

GENERAL DEVELOPMENT NOTES
1. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF ANSII 117.1, 2009 EDITION AND THE FAIR HOUSING ACT. U.S. Justice Department: <a href="http://www.justice.gov/ethairhousing/fairhousing/about_fairhousingact.htm">http://www.justice.gov/ethairhousing/fairhousing/about_fairhousingact.htm</a>
2. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.



**COUNCIL DISTRICT 21  
COUNCIL MEMBER BRANDON TAYLOR  
CITY OF NASHVILLE  
DAVIDSON COUNTY, TN**

**PRELIMINARY DEVELOPMENT SCHEDULE**

CONSTRUCTION START: JANUARY 2022  
CONSTRUCTION COMPLETION: AUGUST 2022

STANDARD SP NOTES
1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. THIS PARCEL LIES WITHIN "ZONE X" (AREA OF MINIMAL FLOOD HAZARD) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0237H DATED APRIL 5, 2017.
3. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
4. WHEEL CHAIR ACCESSIBLE CURB RAMP, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
5. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
6. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
7. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
8. INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH BUILDING.
9. SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTERS AS SHOWN ON PLAN.
10. MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASES THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
11. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
12. APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
13. THE DEVELOPER OF THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE SP ADOPTED TREE ORDINANCE PER METRO CODE. ALL SURFACE PARKING AREAS MUST MEET THE "PARKING AREA SCREENING AND LANDSCAPING" REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE.
14. ACCORDING TO THE NRCS SOIL MAP, THE SOILS ON THE PROPERTY ARE MAURY-URBAN LAND COMPLEX (MCB AND MSD, 2-15% SLOPES). THESE SOILS ARE NOT "PROBLEM SOILS" AS NOTED PER METRO ZONING CODE.
15. SITE SLOPES RANGE FROM 5-20%. THERE ARE NO NATURALLY OCCURRING SLOPES OVER 20%.
16. THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
17. SIGNAGE SHALL MEET METRO DESIGN STANDARDS AND BE REVIEWED WITH THE BUILDING PLANS.
18. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE FOR TWO POINTS FOR EMERGENCY VEHICLE ACCESS WILL BE PROVIDED WITH THE PUBLIC ROAD CONNECTIONS.
20. ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
21. THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN PLACE.
22. <b>FALLBACK ZONING:</b> FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM40 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OF APPLICATION.
23. DRAWING FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
24. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
25. BUILDING FAÇADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 20% GLAZING.
26. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
27. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
28. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
29. A MINIMUM RAISED FOUNDATION OF 18" - 36" SHALL BE PROVIDED WITH THE EXCEPTION OF COMMERCIAL USES, ACCESSIBLE UNITS, VISITABLE UNITS, AND TOPOGRAPHICALLY CHALLENGED UNITS, CHALLENGING SITE TOPOGRAPHY AY RESULT IN RAISED/LOWERED FOUNDATIONS AT STRATEGIC LOCATIONS.

SHEET INDEX	
Sheet Number	Sheet Title
C0-00	COVER
--	SURVEY (BY OTHERS)
C1-10	DEMOLITION PLAN
C2-00	SITE LAYOUT
C4-00	GRADING AND DRAINAGE PLAN
C6-00	UTILITY PLAN
L1-00	LANDSCAPE PLAN

**OWNER / DEVELOPER**

**Toll Brothers**

TOLL BROTHERS, INC.  
4080 MCGINNIS FERRY ROAD, SUITE 701  
ALPHARETTA, GA, 30005  
PHONE: (678)-699-1403  
CONTACT: JR CROWE

**APPLICANT**

**Kimley»Horn**

214 Oceanside Drive, Nashville, TN 37204  
Main: 615.564.2701 | [www.kimley-horn.com](http://www.kimley-horn.com)  
© 2020 Kimley-Horn and Associates, Inc.

**PROJECT DESIGN TEAM**

**ARCHITECT**  
SMITH GEE STUDIO.  
602 TAYLOR ST., SUITE 201  
NASHVILLE, TN 37208  
PHONE: (615) 739-5555

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
214 OCEANSIDE DRIVE  
NASHVILLE, TENNESSEE 37204  
PHONE: (615) 564-3627  
CONTACT: PHILIP H. NEAL JR., P.E.

**SURVEY**  
CHERRY LAND SURVEYING  
622 WEST IRIS DRIVE  
NASHVILLE, TN 37204  
PHONE: (615) 269-3972  
CONTACT: MICHAEL CHARETTE

PLAN REVISIONS		
REVISION NO.	DATE	REMARKS
FILE NUMBER <b>11866500</b>	SHEET NUMBER <b>C0-00</b>	TOTAL SHEETS <b>7</b>

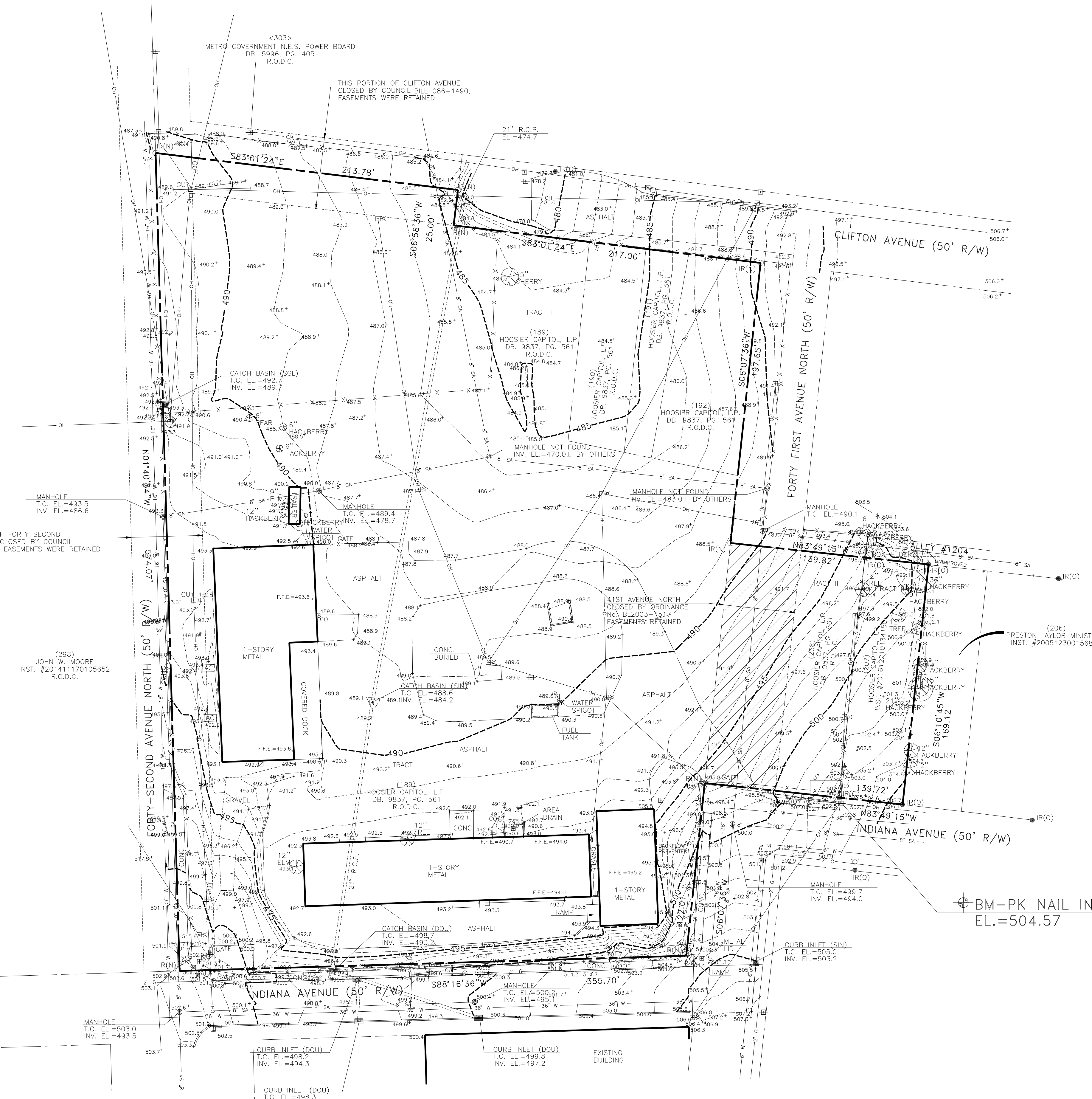


**NOTES**

- 1) THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER, NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-800-351-1111.
- 2) PARCEL NUMBERS SHOWN THUS ( ) REFER TO TAX MAP 91-12. PARCEL NUMBERS SHOWN THUS < > REFER TO TAX MAP 91-8.
- 3) BY MEANS OF GRAPHIC PLOTTING UPON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 47037C237 H, DATED: 04-05-17, IT HAS BEEN DETERMINED THAT THE PARCEL DESCRIBED HEREON DOES NOT LIE WITHIN A FLOOD HAZARD AREA. FLOOD ZONE: X
- 4) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 5) THIS PROPERTY IS CURRENTLY ZONED: IR, EXCEPT PARCEL 207 & 208 THEY ARE ZONED OR20.

**LEGEND**

WATER VALVE	→
WATER METER	⊞
FIRE HYDRANT	⊞
GAS METER	⊞
GAS VALVE	⊞
IRON ROD NEW	○ (N)
IRON ROD OLD	○ (O)
CLEAN-OUT	○ (CO)
GUARD POST	○ (GP)
SIGN POST	○ (SP)
CATCH BASIN	⊞
BENCHMARK	⊞
MANHOLE	⊞
UTILITY POLE	⊞
LIGHT POLE	⊞
TREE	⊞
PROPERTY LINE	— — — — —
EDGE OF PAVEMENT	— — — — —
EDGE OF CONC.	— — — — —
WALL	— — — — —
CURB	— — — — —
OVERHEAD UTILITY	— OH — OH —
WATER LINE	— W — 6" —
SEWER LINE	— SA — 8" —
GAS LINE	— G — 4" —
STORM SEWER/CULVERT	— ST — 12" —
CONTOUR LINE	— 650 —
FENCE LINE	— X — X —



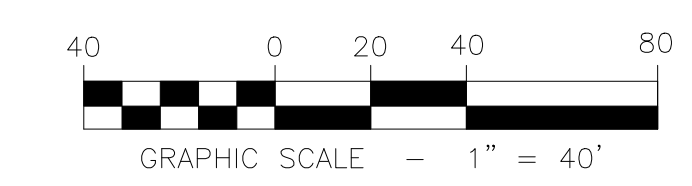
**DESCRIPTION**

**TRACT 1**  
Being a parcel of land in Nashville, First Civil District, Twenty-First Councilmanic District, Davidson County, Tennessee, located in the northwesterly quadrant of the intersection of Forty-First Avenue North and Indiana Avenue, and being more particularly described as follows:  
BEGINNING at the point of intersection of the northerly right-of-way line of Indiana Avenue and the westerly right-of-way line of Forty-First Avenue North; thence, with said northerly right-of-way line North 89 deg 42 min 00 sec West, 354.60 feet to a point in the centerline of Forty-Second Avenue North as closed by Metropolitan Council Bill No. 086-1490; thence, with said centerline North 00 deg 20 min 30 sec East, 582.12 feet to the point of intersection with the centerline of Clifton Avenue; thence, with said centerline South 81 deg 00 min 00 sec East, 213.78 feet to a point, said point being the terminus of that portion of Clifton Avenue closed by the aforementioned Council Bill; thence, leaving said centerline South 09 deg 00 min 00 sec West, 25 feet to a point in the southerly right-of-way line of said Clifton Avenue; thence with said right-of-way line South 81 deg 00 min 00 sec East 217.00 feet to the point of intersection with the westerly right-of-way line of Forty-First Avenue North; thence, with said right-of-way line South 08 deg 09 min 00 sec West, 496.90 feet to the point of beginning. Containing 224,697 square feet or 5.16 acres, more or less, according to a survey by Barge, Waggoner, Sumner & Cannon, File No. 10590-02, dated 8/20/1992.

**TRACT 2**  
Land in Davidson County, Tennessee, being 45 feet of the west side of Lot 1 in the Subdivision of Lot 14, Plan of the Town of Clifton; a plan of said lot is of record in the Chancery Court of Davidson County, Tennessee, in the case of William L. Stanley, Guardian, vs. J. B. Stanley, et al. Beginning at the northeast corner of Boss Street and Weller Street, or Indiana Avenue, extended, and running easterly along the north side of Weller Street, or Indiana Avenue, 45 feet, fronting 45 feet on Weller Street, or Indiana Avenue, extended, and extending between parallel lines with the easterly line of Boss Street, northerly 169.12 feet, more or less, to an alley and showing 45 feet on said alley.  
Together with that portion of 41st Avenue North included in said property abandoned by the Council of the Metropolitan Government of Nashville & Davidson County, by Metropolitan County Council Ordinance No. BL2003-1517, in the County Court Clerk's Office for said County.  
Derivation for Tracts 1 and 2:  
Being the same property conveyed to HOOSIER CAPITAL, L.P., A TENNESSEE LIMITED PARTNERSHIP, by Quitclaim Deed from J. CLARK AKERS, III, of record in Book 9837, page 561, dated October 6, 1995, said Register's Office. For further reference, see deeds of record in Book 4202, page 216, Book 4202, page 222, Book 4202, page 224, Book 5180, page 181, Book 5216, page 703, Book 6867, page 525, Book 8332, page 654, and in Book 8741, page 670, said Register's Office, and in Ordinance No. 086-1490, and Ordinance No. BL2003-1517, in the County Court Clerk's Office for said County.  
**TRACT 3**  
Land in the 35th Councilmanic of Davidson County, Tennessee, as follows:  
Beginning at a point on the north side of Weller Street, and Indiana Avenue, Forty-Five feet from the northeast corner of Boss Street and Weller Street, and Indiana Avenue, in an easterly direction. Thence with the northerly margin of Weller Street and Indiana Avenue Easterly Forty-Five feet to a point some being the west line property now owned by Lucy Wiley, fronting 45 feet on the northerly side of Weller Street and extending back between parallel line 169 feet to an alley.  
Being the same property conveyed to HOOSIER CAPITAL, L.P. by deed from BEVERLY DAVIS, dated December 16, 2016, of record in Instrument No. 201612210134150, said Register's Office.

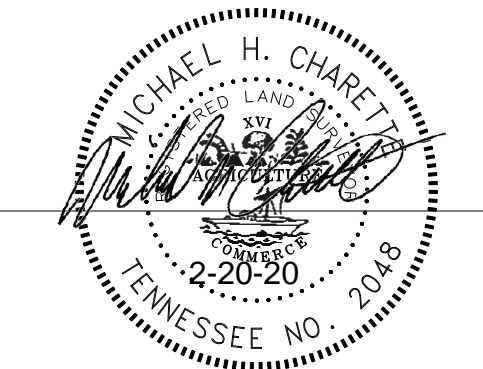
**TOTAL AREA**  
230,907 Sq. Ft. (5.30 ACRES ±)

TOPOGRAPHIC SURVEY  
OF  
**PARCELS 189, 190, 191,  
192, 207 AND 208**  
TAX MAP 91-12  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
SCALE: 1" = 40' - DATE: FEBRUARY 20, 2020



WE HEREBY CERTIFY THAT THIS SURVEY AND THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF.

**CHERRY LAND SURVEYING, INC.**  
622 WEST IRIS DRIVE  
NASHVILLE, TENNESSEE 37204  
(615)269-3972 FAX:(615)269-9345  
E-MAIL: cherryls@comcast.net

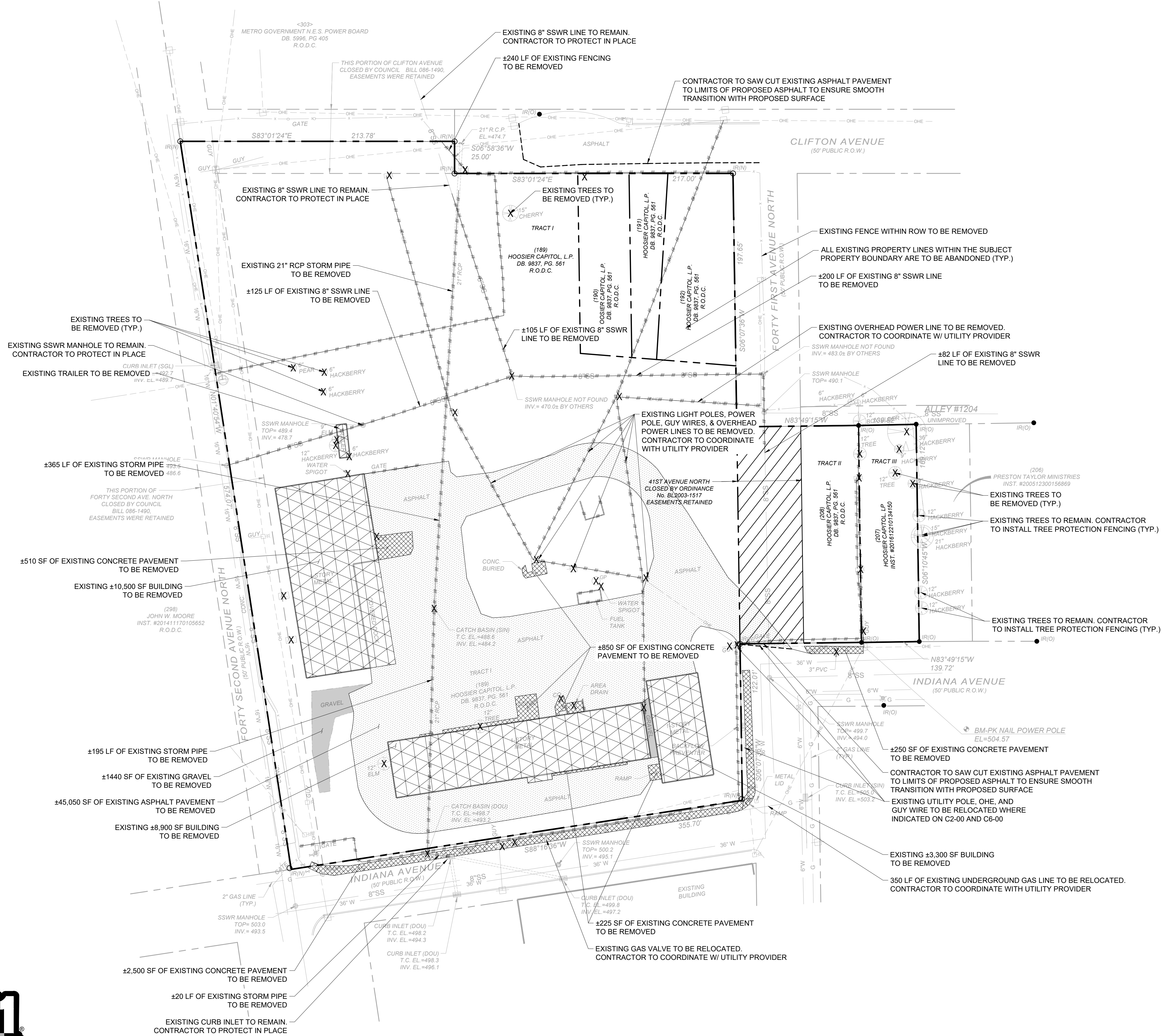


MICHAEL H. CHARETTE R.L.S. # 2048

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**Know what's below.  
Call before you dig.**

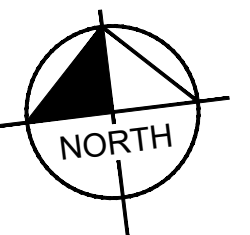
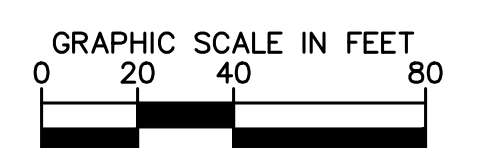


NO.	DATE	BY

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: 7/13/2021  
KIMLEY-HORN PROJECT NO. 118665000

DEMOLITION PLAN

SHEET NUMBER  
**C1-10**



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on the document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SITE LEGEND**

- PROPOSED SIGNAGE
- PARKING COUNT
- PROPOSED ADA ACCESSIBLE RAMP
- PROPERTY LINE
- EASEMENT / SETBACK LINE

**PAVING LEGEND**

- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT

**UNIT TYPE**

- STACKED 24' X 50' (2 UNITS PER PAD)
- PARK-UNDER 20' X 43' (1 UNIT PER PAD)

**SITE DATA TABLE**

**TOTAL SPECIFIC PLAN SITE AREA:** ±5.3 AC (PER SURVEY)

**SITE ADDRESSES, PARCELS, AND OWNERS:**

- PARCEL 09112018900, 701 41ST AVE N, ±4.24 AC  
OWNER: HOOSIER CAPITAL, L.P.  
248 HARDING PL, NASHVILLE, TN 37205
- PARCEL 09112019000, 4105 CLIFTON AVE, ±0.13 AC  
OWNER: HOOSIER CAPITAL, L.P.  
248 HARDING PL, NASHVILLE, TN 37205
- PARCEL 09112019100, 0 CLIFTON AVE, ±0.09 AC  
OWNER: HOOSIER CAPITAL, L.P.  
248 HARDING PL, NASHVILLE, TN 37205
- PARCEL 09112019200, 0 CLIFTON AVE, ±0.19 AC  
OWNER: HOOSIER CAPITAL, L.P.  
248 HARDING PL, NASHVILLE, TN 37205
- PARCEL 09112020800, 4020 INDIANA AVE, ±0.28 AC  
OWNER: HOOSIER CAPITAL, L.P.  
248 HARDING PL, NASHVILLE, TN 37205
- PARCEL 09112020700, 4018 INDIANA AVE, ±0.13 AC  
OWNER: HOOSIER CAPITAL, L.P.  
248 HARDING PL, NASHVILLE, TN 37205

**EXISTING ZONING:** IR, U20 (ALL PARCELS)

**EXISTING LAND USE:** AUTO REPAIR AND WASTE MANAGEMENT

**EXISTING CCM POLICY:** D-IN, T4-MU

**PROPOSED ZONING:** SP (WITH RM40 FALLBACK)

**PROPOSED CCM POLICY:** T4-MU

**PROPOSED USE:** MULTI-FAMILY RESIDENTIAL

**PROPOSED DENSITY:**

- STACKED TOWNHOMES: 94 DU
- 4-STORIES, 2 BEDROOMS EACH
- HEIGHT: ±43'-6"
- TOWNHOMES: 18 DU
- 4-STORIES, 4 BEDROOMS EACH
- HEIGHT: ±43'-6"
- TOTAL: 112 DU
- DENSITY: 21.13 DU/AC

**REQUIRED PARKING:**

- 2 BEDROOMS OR MORE: REQUIRE 1.5 SPACES/UNIT
- 112 TOTAL UNITS = 168 SPACES REQ'D
- \*PARKING REDUCTION: 0.5 SPACES PER STREET PARKING SPACE
- 11 STREET SPACES = 5.5 SPACE REDUCTION
- TOTAL PARKING REQUIRED: 163 SPACES

**PROVIDED PARKING:**

- STACKED TOWNHOME UNITS: EACH UNIT HAS ONE GARAGE AND ONE TANDEM SPACE. THIS IS EQUIVALENT TO 1.5 SPACES PER UNIT
- 94 STACKED UNITS = 141 SPACES PROVIDED
- TOWNHOME UNITS: EACH UNIT HAS TWO GARAGE SPACES. THIS IS EQUIVALENT TO 2 SPACES PER UNIT
- 18 UNITS = 36 SPACES PROVIDED
- 10 SURFACE SPACES PROVIDED
- TOTAL ON-SITE PARKING PROVIDED: 141 + 36 + 10 = 187 SPACES (AVERAGE = 1.67 SPACES/UNIT)
- ADDITIONAL ON-STREET PARKING: 11 SPACES

**BICYCLE PARKING:** REQUIRED: 1 PER 4 UNITS  
PROVIDED: 28 RACKS

**FLOOR AREA RATIO:** ± 1.25, MAX 1.25

**IMPERVIOUS SURFACE RATIO:** ± 0.67, MAX 0.80

- STANDARD SP NOTES**
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  - THIS PARCEL LIES WITHIN "ZONE X" (AREA OF MINIMAL FLOOD HAZARD) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0237H DATED APRIL 5, 2017.
  - THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
  - WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
  - THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
  - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
  - INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH BUILDING.
  - SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTERS AS SHOWN ON PLAN. MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
  - THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
  - APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
  - THE DEVELOPER OF THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE SP ADOPTED TREE ORDINANCE PER METRO CODE. ALL SURFACE PARKING AREAS MUST MEET THE PARKING AREA SCREENING AND LANDSCAPING REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE. ACCORDING TO THE NRCS SOIL MAP, THE SOILS ON THE PROPERTY ARE MAURY-URBAN LAND COMPLEX (MUB AND MSD, 2-15% SLOPES); THESE SOILS ARE NOT "PROBLEM SOILS" AS NOTED PER METRO ZONING CODE.
  - SITE SLOPES RANGE FROM 5-20%. THERE ARE NO NATURALLY OCCURRING SLOPES OVER 20%.
  - THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
  - SIGNAGE SHALL MEET METRO DESIGN STANDARDS AND BE REVIEWED WITH THE BUILDING PERMITS.
  - THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE FOR TWO POINTS FOR EMERGENCY VEHICLE ACCESS WILL BE PROVIDED WITH THE PUBLIC ROAD CONNECTIONS.
  - ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
  - THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN PLACE.
  - FALLBACK ZONING: FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM40 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OF APPLICATION.
  - DRAWING FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
  - ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
  - BUILDING FAÇADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 20% GLAZING.
  - WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
  - EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
  - PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
  - A MINIMUM RAISED FOUNDATION OF 18" - 36" SHALL BE PROVIDED WITH THE EXCEPTION OF COMMERCIAL USES, ACCESSIBLE UNITS, VISITABLE UNITS, AND TOPOGRAPHICALLY CHALLENGED UNITS. CHALLENGING SITE TOPOGRAPHY MAY RESULT IN RAISED/LOWERED FOUNDATIONS AT STRATEGIC LOCATIONS.

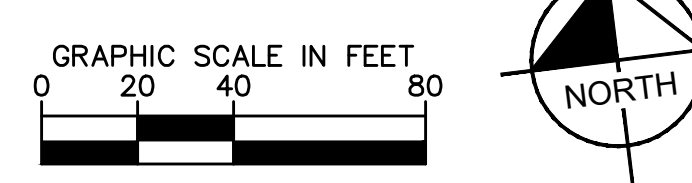
**CASE NO. 2021SP-004-001**  
**41ST AVENUE**  
**TOLL BROTHERS**  
 NASHVILLE, TN

**Kimley»Horn**  
 214 OceanSide Drive, Nashville, TN 37204  
 Main: 615.564.2701 | www.kimley-horn.com  
 © 2020 Kimley-Horn and Associates, Inc.

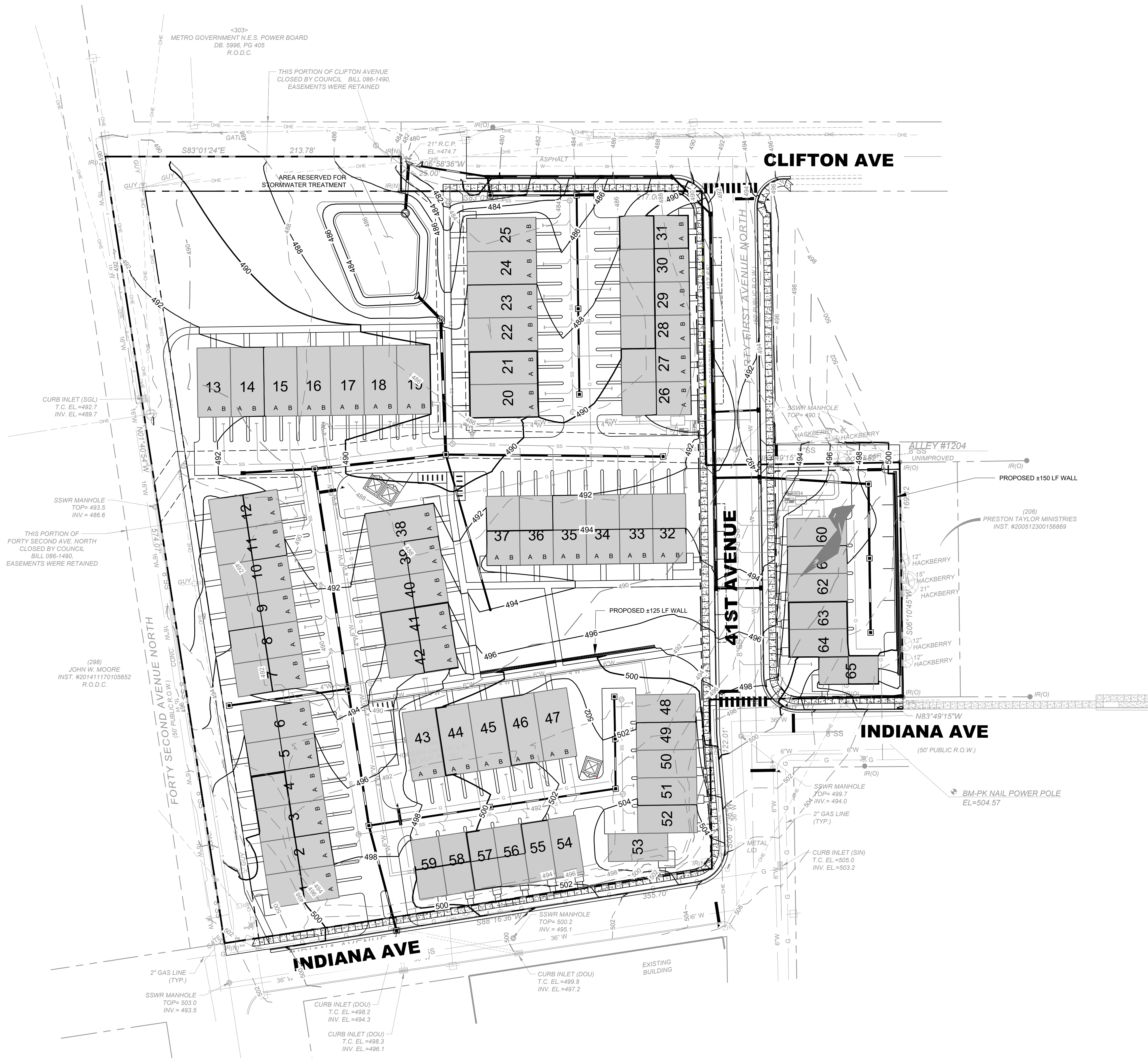
NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 8/3/2021  
 KIMLEY-HORN PROJECT NO. 118665000

SITE LAYOUT  
 SHEET NUMBER  
**C2-00**



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**GRADING NOTES**

- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER DOES NOT APPLY TO RETAINING WALLS, AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
- INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
- TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES BEFORE YOU DIG. CALL ONE CALL-811 OR 1-800-525-8000.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

**METRO STORMWATER NOTES**

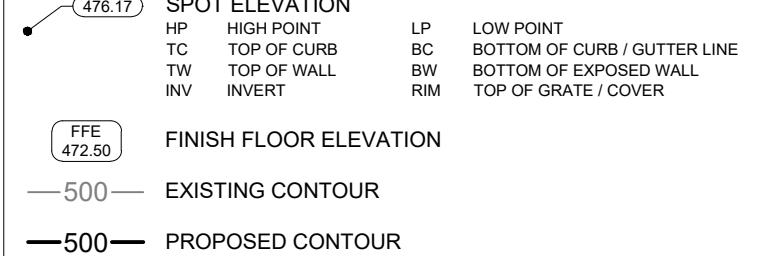
**FEMA NOTE:**  
THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP #4703C0237H, EFFECTIVE APRIL 5, 2017.

- CONSTRUCTION SCHEDULE:**
- PRE-CONSTRUCTION MEETING
  - INSTALLATION OF EROSION CONTROL MEASURES
  - EROSION INSPECTION BY EPSC AND METRO
  - ISSUANCE OF GRADING PERMIT
  - CONSTRUCTION

CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.

**TDEC NOTICE OF COVERAGE NOTE:**  
THIS PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND IS REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC.  
THE TOTAL DISTURBED AREA IS ±5.87 ACRES.

**GRADING PLAN LEGEND**



**STORMWATER NOTES**

- FINAL WATER QUALITY AND DETENTION SYSTEMS WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- SIDE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15').
- DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORMWATER APPROVAL. COMMENTS ONLY. THE DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.

**SP NOTES**

- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS. EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- A MINIMUM RAISED FOUNDATION OF 18" - 36" SHALL BE PROVIDED WITH THE EXCEPTION OF COMMERCIAL USES, ACCESSIBLE UNITS, VISITABLE UNITS, AND TOPOGRAPHICALLY CHALLENGED UNITS. CHALLENGING SITE TOPOGRAPHY AS RESULT IN RAISED/LOWERED FOUNDATIONS AT STRATEGIC LOCATIONS.



**Kimley»Horn**  
214 OceanSide Drive, Nashville, TN 37204  
Main: 615.564.2701 | www.kimley-horn.com  
© 2020 Kimley-Horn and Associates, Inc.

**CASE NO. 2021SP-004-001**  
**41ST AVENUE**  
**TOLL BROTHERS**  
NASHVILLE, TN

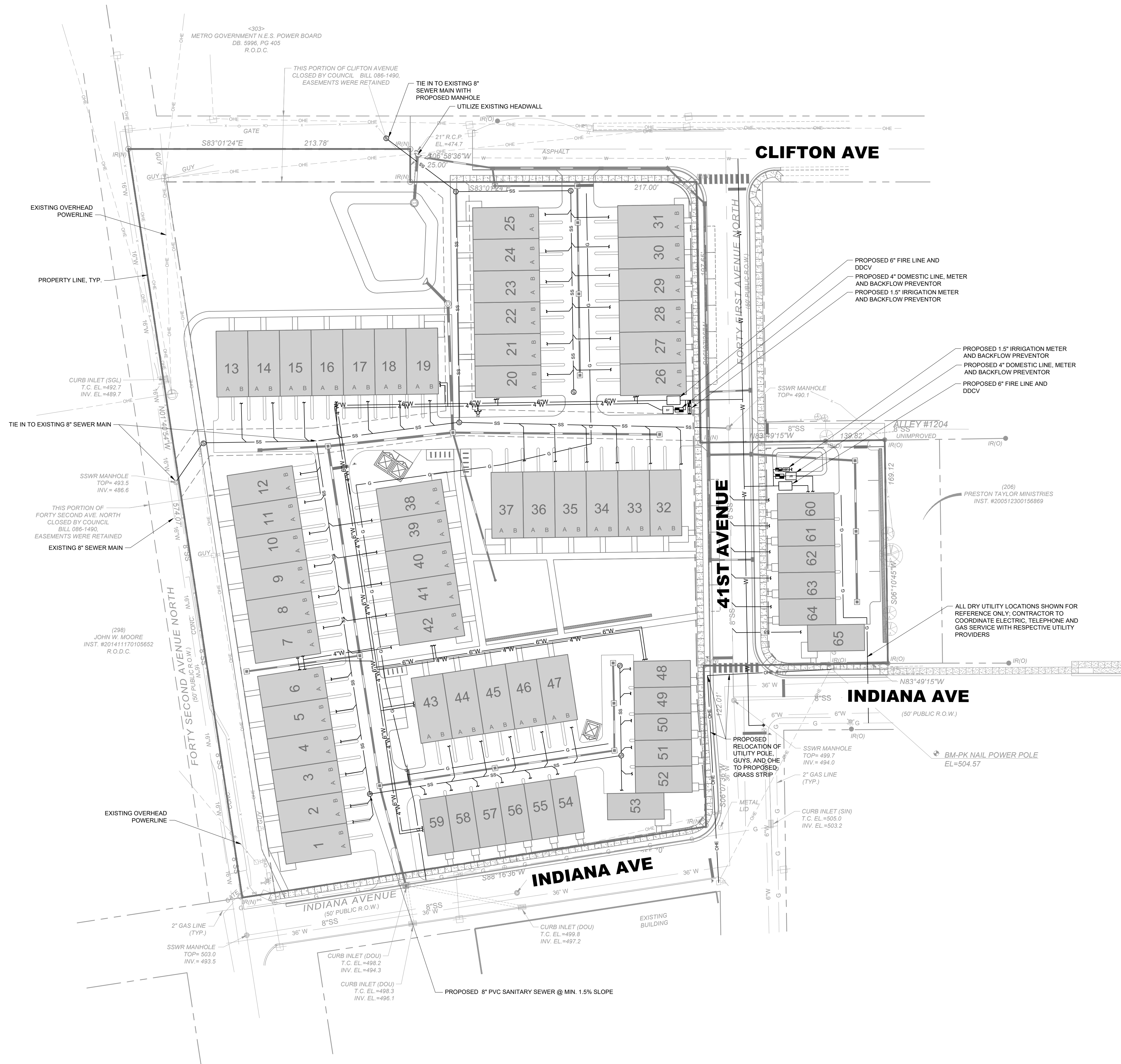
NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: 8/3/2021

KIMLEY-HORN PROJECT NO. 11865000  
GRADING AND DRAINAGE PLAN

SHEET NUMBER  
**C4-00**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- ### METRO NASHVILLE WATER SERVICES STANDARD NOTES
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
  - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
  - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
  - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
  - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
  - REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
  - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
  - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES. ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
  - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
  - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
  - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
  - ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
  - VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
  - IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
  - THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
  - ALL SEWER SERVICES SHALL BE 8 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
  - BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
  - PLAN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.

### EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

### VALVE NOTE

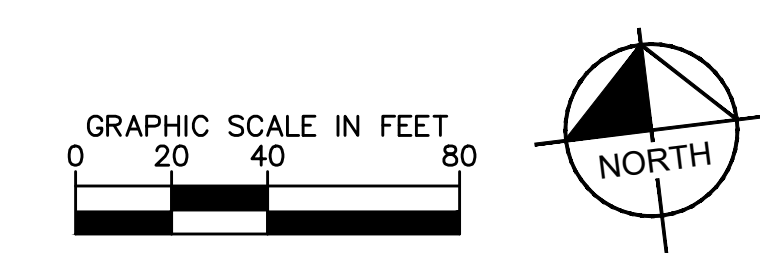
ALL VALVES SHALL BE INSTALLED IN METRO NASHVILLE WATER SERVICES APPROVED VALVE BOX AND COVER. COVER TO BE MARKED WITH "WATER".

- ### UTILITY NOTES
- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
  - AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
  - ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES' STANDARD SPECIFICATIONS.
  - MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
  - REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
  - ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
  - THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
  - CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.
  - ALL EXISTING UTILITIES SHALL BE CUT AND CAPPED AT MAIN.

**CASE NO. 2021SP-004-001**  
**41ST AVENUE**  
**TOLL BROTHERS**  
 NASHVILLE, TN

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

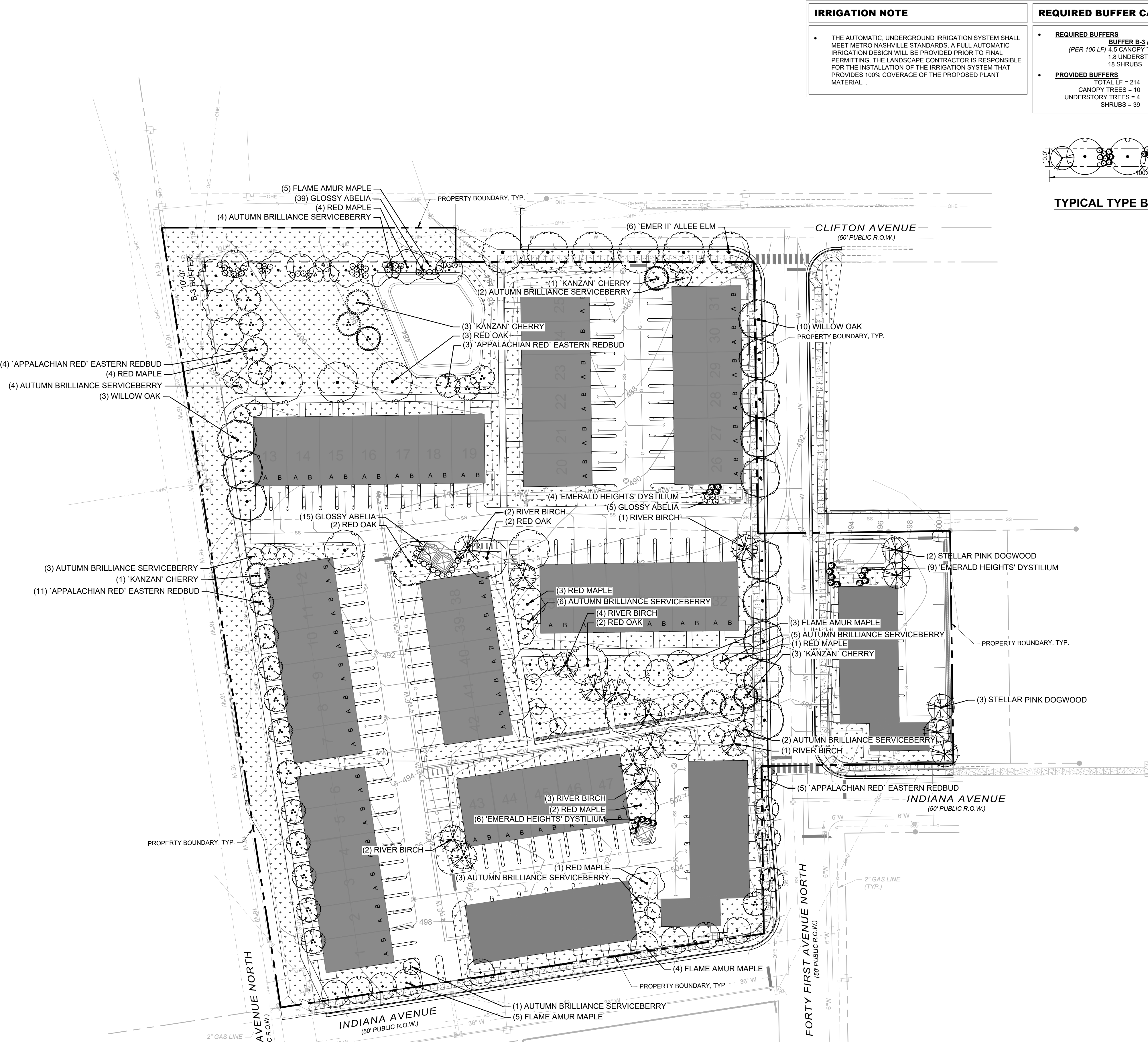
DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 8/3/2021  
 KIMLEY-HORN PROJECT NO. 118665000



UTILITY PLAN  
 SHEET NUMBER  
**C6-00**

**Kimley»Horn**  
 214 OceanSide Drive, Nashville, TN 37204  
 Main: 615.564.2701 | www.kimley-horn.com  
 © 2020 Kimley-Horn and Associates, Inc.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CANOPY TREES		BOTANICAL NAME		COMMON NAME		SPACING		SIZE		ROOT		CONDITION	
17	ACER GINNALA	FLAME AMUR MAPLE	AS SHOWN	3" CAL. MIN. 8' HT.	B&B	MATCHED; FULL							
15	ACER RUBRUM	RED MAPLE	AS SHOWN	3" CAL. 10'-12' HT.	B&B	5' CLEAR TRUNK, FULL CANOPY							
13	BETULA NIGRA	RIVER BIRCH	AS SHOWN	2" CAL. PER STEM, 6-8' HT.	B&B	MATCHED; FULL; 3-5 CANES							
13	QUERCUS PHELLOS	WILLOW OAK	AS SHOWN	3" CAL. MIN. 10' HT.	B&B	FULL MATCHED; 6' CLEAR TRUNK							
9	QUERCUS RUBRA	RED OAK	AS SHOWN	3" CAL. MIN. 10' HT.	B&B	MATCHED; FULL							
6	ULMUS PARVIFOLIA	'EMER II' ALLEE ELM	AS SHOWN	3" CAL. 10'-12' HT.	B&B	5' CLEAR TRUNK, FULL CANOPY							
UNDERSTORY TREES		BOTANICAL NAME		COMMON NAME		SPACING		SIZE		ROOT		CONDITION	
39	ABELIA X GRANDIFLORA	'AUTUMN BRILLIANCE' SERVICEBERRY	AS SHOWN	2" CAL. MIN. 6-8' HT.	B&B	3-5 STEMS							
23	CERCIS CANADENSIS	'APPALACHIAN RED' EASTERN REDBUD	AS SHOWN	2" CAL. MIN. 6-8' HT.	B&B	4' CLR. TRUNK, MATCHED, FULL CANOPY							
5	CORNUS X FRUTIGAN	STELLAR PINK DOGWOOD	AS SHOWN	2" CAL. MIN. 6-8' HT.	B&B	FULL MATCHED							
8	PRUNUS SERRULATA	'KANZAN' CHERRY	AS SHOWN	2" CAL. MIN. 8-10' HT.	B&B	3-5 STEMS; 4' CLR. TRUNK							
SHRUBS		BOTANICAL NAME		COMMON NAME		SPACING		SIZE		ROOT		CONDITION	
59	ABELIA X GRANDIFLORA	GLOSSY ABELIA	AS SHOWN	3 GAL. 24" MIN. HT.	B&B								
19	DISTYLUM 'EMERALD HEIGHTS'	'EMERALD HEIGHTS' DYSTILIUM	5' O.C.	5 GAL. 30" MIN. HT.	CONT	MATCHED; FULL							
GROUND COVERS		BOTANICAL NAME		COMMON NAME		SPACING		SIZE		ROOT		CONDITION	
87,492	SOD	BERMUDA SOD											TIGHT, SAND ROLLED JOINTS. FREE OF WEEDS & DEBRIS

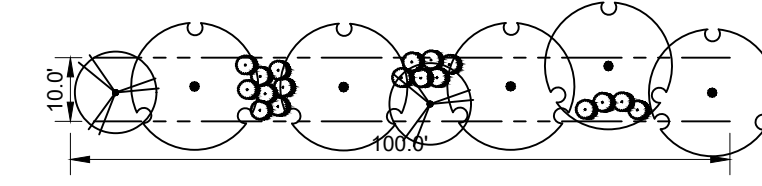
**IRRIGATION NOTE**

- THE AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM SHALL MEET METRO NASHVILLE STANDARDS. A FULL AUTOMATIC IRRIGATION DESIGN WILL BE PROVIDED PRIOR TO FINAL PERMITTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE OF THE PROPOSED PLANT MATERIAL.

**REQUIRED BUFFER CALCULATIONS**

**REQUIRED BUFFERS**  
 BUFFER B-3 (SEE PLAN FOR LOCATION)  
 (PER 100 LF) 4.5 CANOPY TREES  
 1.8 UNDERSTORY TREES  
 18 SHRUBS

**PROVIDED BUFFERS**  
 TOTAL LF = 214  
 CANOPY TREES = 10  
 UNDERSTORY TREES = 4  
 SHRUBS = 39



TYPICAL TYPE B-3 BUFFER

**LANDSCAPE REQUIREMENTS**

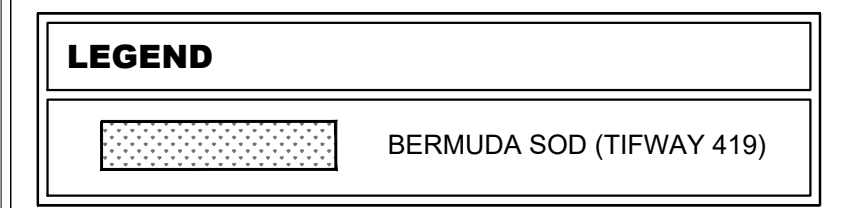
**INTERIOR PARKING AREAS**  
 REQUIRED:  
 1. AT LEAST 8% OF THE GROSS AREA SHALL BE LANDSCAPED. (0.83 ACRES OF PARKING)  
 2. A MINIMUM OF 1 TREE PER 15 PARKING SPACES SHALL BE INSTALLED. (154 PARKING SPACES)  
 3. A MINIMUM OF NINETY SF OF PLANTING AREA SHALL BE REQUIRED FOR EACH NEW CANOPY TREE WHEN OUTSIDE OF THE UZO DISTRICT.  
 PROVIDED:  
 1. INTERIOR LANDSCAPE AREA ACHIEVED.  
 2. A MINIMUM OF 1 TREE PER 15 PARKING SPACES ACHIEVED  
 3. A MINIMUM OF NINETY SF OF PLANTING AREA FOR EACH NEW CANOPY TREE ACHIEVED

**TREE DENSITY UNITS**  
 REQUIRED TDUS: 79.2  
 PROVIDED TDUS: 50.25  
 MITIGATION BANK CREDITS: 29  
 TOTAL: 79.25

**STREET TREES**  
 1 STREET TREE SHALL BE PLANTED FOR EVERY 30 FEET OF STREET FRONTAGE ACHIEVED

**LANDSCAPE DATA TABLE**

PROJECT NAME:	41ST AVENUE
PROPERTY ADDRESS:	4100 INDIANA AVENUE NASHVILLE TN
MAP AND PARCEL ID:	MAP 091 PARCEL 09112018900 #092
METRO GRADING PERMIT #:	IR, UZO AUTO REPAIR AND WASTE
EXISTING ZONING:	T4-MU
EXISTING LANDUSE:	MULTIFAMILY RESIDENTIAL
MANAGEMENT:	N/A
PROPOSED CCM POLICY:	5.3.AC
PROPOSED LANDUSE:	
OVERLAY DISTRICT:	
SITE AREA (AC):	



Date: 12/9/2020  
 Map: 091 Parcel: 09112018900  
 Application Number:  
 Project Name: 41st Avenue  
 Address: 4100 Indiana Avenue, Nashville TN

Acreage (area of parcel including building site)	5.3
Minus Building Coverage Area	(-) 1.7
Equals Adjusted Acreage	(=) 3.6
Multiply by Required Tree Density Unit per acre choose one	(x) 22
Required TDU for Project	(=) 79.2

**HERITAGE TREE(S) RETAINED**

DBH	# of Trees	Value	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
total	0		0

add total to line 6

**RETAINED TREE(S)**

DBH	# of Trees	Value	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
total	0		0

add total to line 6

**REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES**

DBH	# of Trees	Value	TDU
2"	13	x .5	6.5
3"	28	x .6	16.8
4"		x .7	0
5"		x .9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
total	23.3		0

add total to line 7

**EXAMPLES but not limited to:**

Deciduous- Oak, Maple, Poplar, Planetree, Ginkgo

Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar

Mature height greater than 30'

Total TUD Retained on-site	0
Total TDU for Replacement Trees- On-site	(+) 49.4
Total Credits Paid to Tree Mitigation Bank*	(+) 30
Total Density Units Provided	(=) 79.4

1 Credit = 1 TDU = \$725.00  
 total must exceed lines 5

**TREE DENSITY WORKSHEET**

**RETAINED TREE(S)**

DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
total	0		0

add total to line 6

**RETAINED TREE(S)**

DBH	# of Trees	Value	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
total	0		0

add total to line 6

**REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES\***

DBH	# of Trees	Value	TDU
2"	66	x .25	16.5
3"	32	x .3	9.6
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
total	26.1		0

add total to line 7

**EXAMPLES but not limited to:**

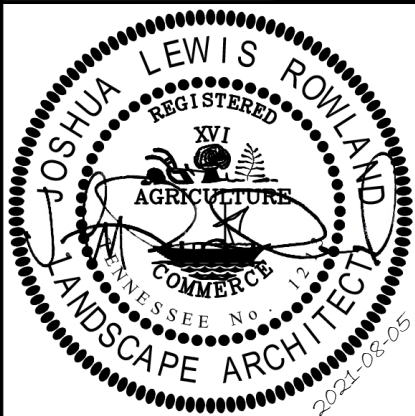
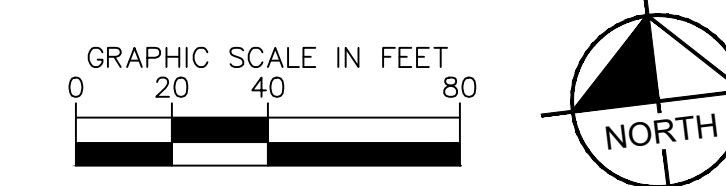
Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo

Understory Deciduous-Deciduous- Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple

Understory Evergreen- Dwarf Magnolia, Hybrid Holly, Cherry Laurel (tree form)

Mature height avg. 30' or less.

Small Understory Columnar varieties receive no TDU credit



DESIGNED BY:	KHA
DRAWN BY:	KHA
CHECKED BY:	JLR
DATE:	8/3/2021
KIMLEY-HORN PROJECT NO.	118665000