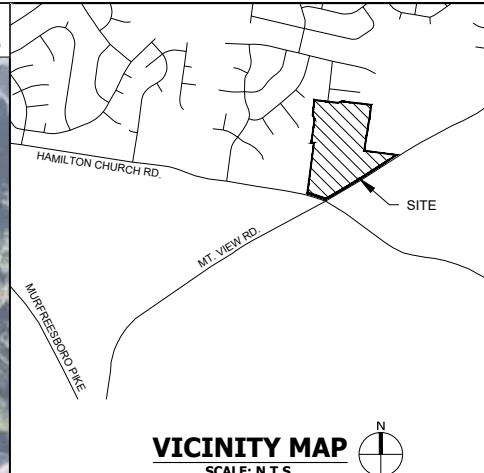






REFER TO SHEET C5.00 FOR APPLICABLE NOTES



VICINITY MAP  
SCALE: N.T.S.

TBR = TO BE REMOVED

**Survey**  
Base information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020. CSDG and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.

**Flood Plain**  
By graphic plotting, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 47037C0403H effective date of April 5, 2017. Zone X is defined as areas determined to be outside of the 500-year floodplain.

**Parcel Line Table**

Line #	Length	Direction
L1	20.48'	N26°40'40"W
L2	39.43'	N14°06'53"E
L3	65.18'	N15°00'53"W
L4	61.04'	N69°25'07"E
L5	40.79'	N83°04'31"W
L6	39.42'	N7°39'22"E
L7	49.81'	S82°38'00"E

**Curve Table**

Curve #	Length	Radius	Chord Direction	Chord Length
C10	88.04'	100.72'	S85°11'09"W	85.26'
C11	32.90'	1200.00'	N70°33'32"W	32.90'



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130 Hillcrest Dr. Ste 110  
Clarksville, TN 37043  
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**6103 MT. VIEW RD.**  
Antioch, Davidson County, Tennessee

ISSUE SET:  
**PRELIM SP SUBMITTAL**  
ISSUE DATE: 12.22.2020

**REVISION SCHEDULE:**

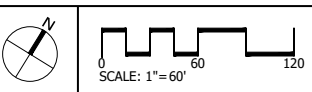
No.	Description	Date
1	Metro Planning Comments	1/19/2021
2	Metro Stormwater Comments	1/29/2021
3	Preliminary SP Submittal	6/15/2021
4	Stormwater Variance Sub.	6/30/2021
5	Stormwater Var. Resubmittal	7/06/2021
6	Preliminary SP Resubmittal	9/21/2021
7	Preliminary SP Resubmittal	10/1/2021

REVISION: | DRAWN: | CHECKED:

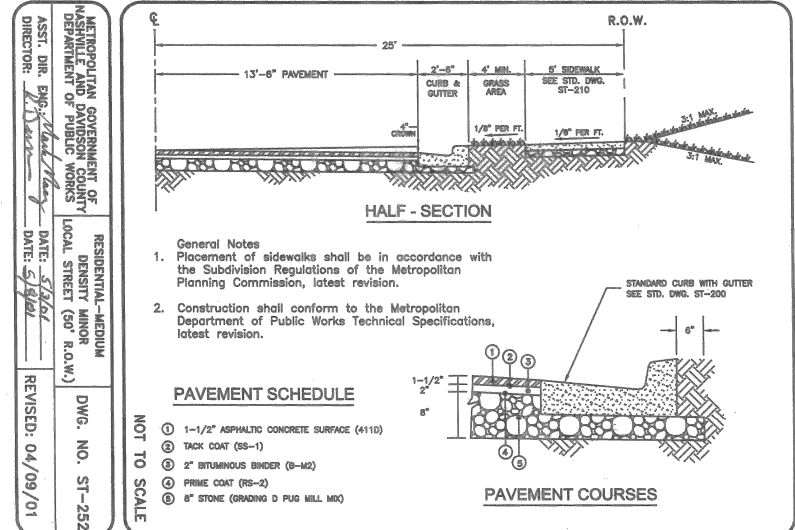
EXISTING CONDITIONS AND DEMOLITION PLAN  
**C1.00**  
PROJECT NO.: 20-526-01

PARCEL 1500008800

- 1 N 630.181.0247 E 1.788.804.4416 EL. 570.011 10" NAIL
- 2 N 630.190.1702 E 1.788.467.6209 EL. 579.200 10" NAIL
- 3 N 630.090.4748 E 1.789.610.3609 EL. 575.364 10" NAIL
- 4 N 631.506.5637 E 1.788.479.1411 EL. 611.455 10" NAIL
- 5 N 631.518.6076 E 1.789.200.5404 EL. 620.489 10" NAIL



Oct 01, 2021 - 9:53am T:\CADD\2020\20-526-01\CADD\Civil\Pre\20-526-01-C1-00 - Existing Conditions and Demolition Plan.dwg



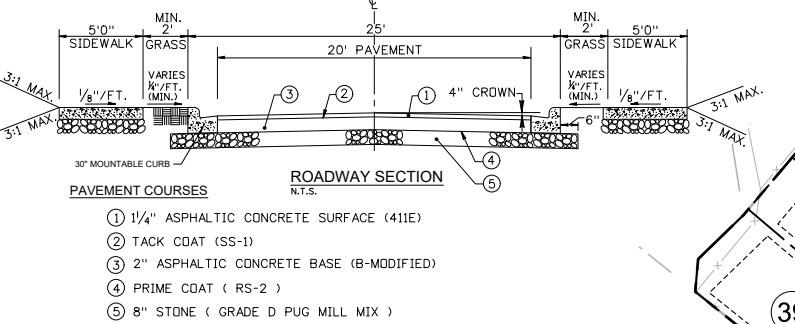
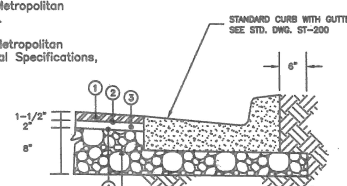
**General Notes**

- Placement of sidewalks shall be in accordance with the Subdivision Regulations of the Metropolitan Planning Commission, latest revision.
- Construction shall conform to the Metropolitan Department of Public Works Technical Specifications, latest revision.

**PAVEMENT SCHEDULE**

- ① 1 1/2" ASPHALTIC CONCRETE SURFACE (4110)
- ② TACK COAT (SS-1)
- ③ 2" ASPHALTIC CONCRETE BASE (B-MODIFIED)
- ④ PRIME COAT (RS-2)
- ⑤ 8" STONE (GRADING & PUG MILL MIX)

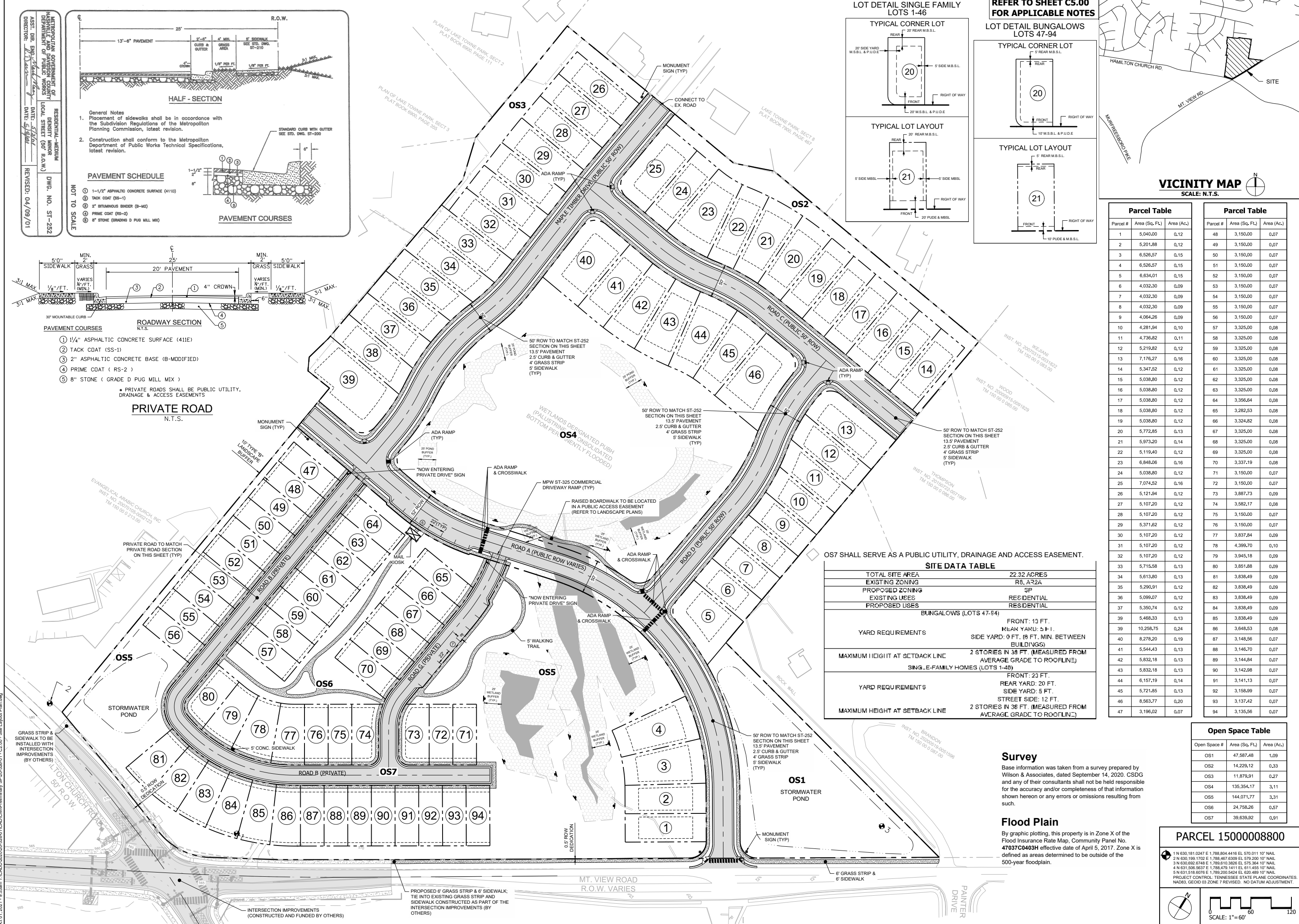
**PAVEMENT COURSES**



- ① 1 1/4" ASPHALTIC CONCRETE SURFACE (411E)
- ② TACK COAT (SS-1)
- ③ 2" ASPHALTIC CONCRETE BASE (B-MODIFIED)
- ④ PRIME COAT (RS-2)
- ⑤ 8" STONE (GRADE D PUG MILL MIX)

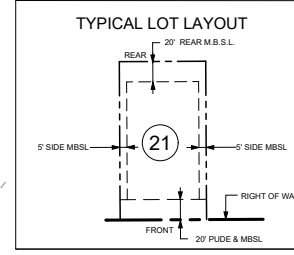
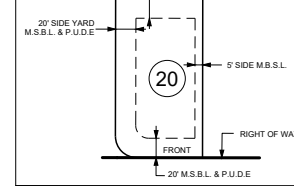
**PRIVATE ROAD**  
N.T.S.

PRIVATE ROADS SHALL BE PUBLIC UTILITY, DRAINAGE & ACCESS EASEMENTS

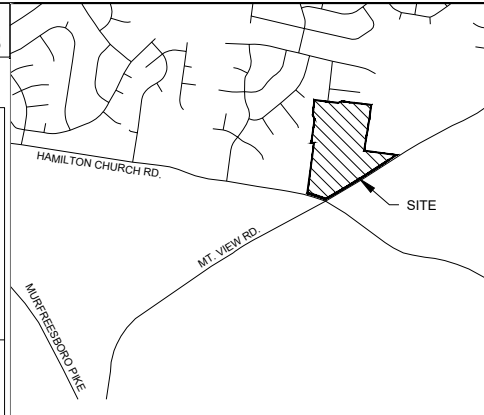
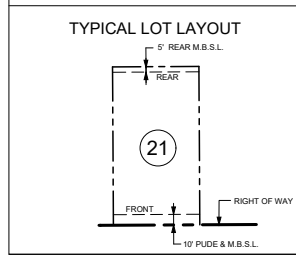
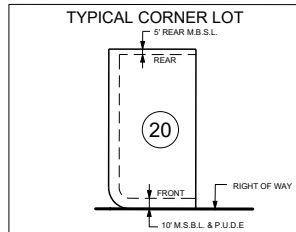


**REFER TO SHEET C5.00 FOR APPLICABLE NOTES**

**LOT DETAIL SINGLE FAMILY LOTS 1-46**



**LOT DETAIL BUNGALOWS LOTS 47-94**



**VICINITY MAP**  
SCALE: N.T.S.

Parcel Table			Parcel Table		
Parcel #	Area (Sq. Ft.)	Area (Ac.)	Parcel #	Area (Sq. Ft.)	Area (Ac.)
1	5,040.00	0.12	48	3,150.00	0.07
2	5,201.88	0.12	49	3,150.00	0.07
3	6,526.57	0.15	50	3,150.00	0.07
4	6,526.57	0.15	51	3,150.00	0.07
5	6,634.01	0.15	52	3,150.00	0.07
6	4,032.30	0.09	53	3,150.00	0.07
7	4,032.30	0.09	54	3,150.00	0.07
8	4,032.30	0.09	55	3,150.00	0.07
9	4,064.26	0.09	56	3,150.00	0.07
10	4,281.94	0.10	57	3,325.00	0.08
11	4,736.82	0.11	58	3,325.00	0.08
12	5,219.82	0.12	59	3,325.00	0.08
13	7,178.27	0.16	60	3,325.00	0.08
14	5,347.52	0.12	61	3,325.00	0.08
15	5,038.80	0.12	62	3,325.00	0.08
16	5,038.80	0.12	63	3,325.00	0.08
17	5,038.80	0.12	64	3,356.64	0.08
18	5,038.80	0.12	65	3,282.53	0.08
19	5,038.80	0.12	66	3,324.82	0.08
20	5,772.85	0.13	67	3,325.00	0.08
21	5,973.20	0.14	68	3,325.00	0.08
22	5,119.40	0.12	69	3,325.00	0.08
23	6,848.06	0.16	70	3,337.19	0.08
24	5,038.80	0.12	71	3,150.00	0.07
25	7,074.52	0.16	72	3,150.00	0.07
26	5,121.94	0.12	73	3,887.73	0.09
27	5,107.20	0.12	74	3,582.17	0.08
28	5,107.20	0.12	75	3,150.00	0.07
29	5,371.62	0.12	76	3,150.00	0.07
30	5,107.20	0.12	77	3,837.84	0.09
31	5,107.20	0.12	78	4,399.70	0.10
32	5,107.20	0.12	79	3,945.18	0.09
33	5,715.58	0.13	80	3,851.68	0.09
34	5,613.80	0.13	81	3,838.49	0.09
35	5,290.91	0.12	82	3,838.49	0.09
36	5,099.07	0.12	83	3,838.49	0.09
37	5,350.74	0.12	84	3,838.49	0.09
38	5,468.33	0.13	85	3,838.49	0.09
39	10,256.75	0.24	86	3,646.53	0.08
40	8,278.20	0.19	87	3,148.56	0.07
41	5,544.43	0.13	88	3,146.70	0.07
42	5,832.18	0.13	89	3,144.84	0.07
43	5,832.18	0.13	90	3,142.98	0.07
44	6,157.19	0.14	91	3,141.13	0.07
45	5,721.85	0.13	92	3,158.99	0.07
46	8,563.77	0.20	93	3,137.42	0.07
47	3,196.02	0.07	94	3,135.56	0.07

OS7 SHALL SERVE AS A PUBLIC UTILITY, DRAINAGE AND ACCESS EASEMENT.

**SITE DATA TABLE**

TOTAL SITE AREA	22.32 ACRES
EXISTING ZONING	R6_A22A
PROPOSED ZONING	SP
EXISTING USES	RESIDENTIAL
PROPOSED USES	RESIDENTIAL
<b>BUNGALOWS (LOTS 47-54)</b>	
YARD REQUIREMENTS	FRONT: 10 FT. REAR YARD: 5 FT. SIDE YARD: 0 FT. (8 FT. MIN. BETWEEN BUILDINGS)
MAXIMUM HEIGHT AT SETBACK LINE	2 STORES IN 38 FT. (MEASURED FROM AVERAGE GRADE TO ROOFLINE)
<b>SINGLE-FAMILY HOMES (LOTS 1-46)</b>	
YARD REQUIREMENTS	FRONT: 20 FT. REAR YARD: 20 FT. SIDE YARD: 5 FT. STREET SIDE: 12 FT.
MAXIMUM HEIGHT AT SETBACK LINE	2 STORES IN 38 FT. (MEASURED FROM AVERAGE GRADE TO ROOFLINE)

**Survey**

Base information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020. CSDG and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.

**Flood Plain**

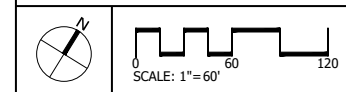
By graphic plotting, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 47037C0403H effective date of April 5, 2017. Zone X is defined as areas determined to be outside of the 500-year floodplain.

**Open Space Table**

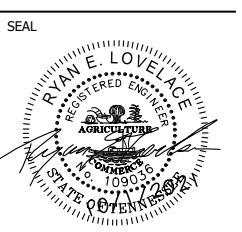
Open Space #	Area (Sq. Ft.)	Area (Ac.)
OS1	47,587.48	1.09
OS2	14,229.12	0.33
OS3	11,879.91	0.27
OS4	135,354.17	3.11
OS5	144,071.77	3.31
OS6	24,758.26	0.57
OS7	39,639.92	0.91

**PARCEL 1500008800**

1 N 630.181 0247 E 1.788,804 4416 EL 570.011 10' NAIL  
 2 N 630.190 1702 E 1.788,467 6209 EL 579.200 10' NAIL  
 3 N 630.695 4716 E 1.789,200 2629 EL 575.364 10' NAIL  
 4 N 631.506 5637 E 1.788,479 1411 EL 611.455 10' NAIL  
 5 N 631.518 6076 E 1.789,200 2624 EL 620.489 10' NAIL  
 PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES.  
 NAD83, GEOID 03 ZONE 7 REVISED. NO DATUM ADJUSTMENT.



**CIVIL SITE CLARKSVILLE**  
 Planning | Engineering  
 Landscape Architecture  
 130 Hillcrest Dr. Ste 110  
 Clarksville, TN 37043  
 931.591.2760  
 csdgtm.com



**6103 MT. VIEW RD.**  
 Antioch, Davidson  
 County,  
 Tennessee

ISSUE SET:  
**PRELIM SP SUBMITTAL**  
 ISSUE DATE: 12.22.2020

**REVISION SCHEDULE:**

No.	Description	Date
1	Metro Planning Comments	1/19/2021
2	Metro Stormwater Comments	1/29/2021
3	Preliminary SP Submittal	6/15/2021
4	Stormwater Variance Sub.	6/30/2021
5	Stormwater Var. Resubmittal	7/06/2021
6	Preliminary SP Resubmittal	9/21/2021
7	Preliminary SP Resubmittal	10/1/2021

REVISION: | DRAWN: | CHECKED:

**SITE LAYOUT PLAN**

**C2.00**  
 PROJECT NO.: 20-526-01

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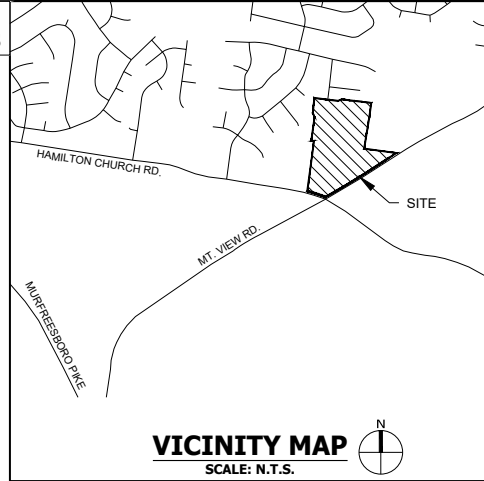
**Metro Water & Sewer Notes:**

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.

**MWS Standard Private Utility Plan Notes**

- All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
- All connection to existing manholes shall be by coring and resilient connector method.
- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
- All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24"x36", and shall show contours around meter boxes.

REFER TO SHEET C5.00 FOR APPLICABLE NOTES



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 931.591.2760  
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SEAL



**6103 MT. VIEW RD.**  
 Antioch, Davidson County, Tennessee



**Metro As-Built Note:**

\*In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, As-Built Certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- Underground detention and water quality infrastructure
- Above ground detention and water quality infrastructure
- Public storm sewer infrastructure
- Cut and fill in the floodplain
- Sink Hole alterations
- Siltation
- Permeable Pavers

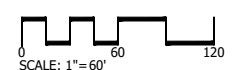
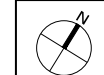
The engineer shall contact Stormwater Development Review staff for submittal requirements.\*

**Metro As-Built Requirements:**

- A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
- An as-built LID spreadsheet.
- Hydrologic and hydraulic calculations for as-built conditions, as required.
- As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
- Any deviations from the approved plans shall be noted on as-built drawings submitted.
- Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
- Cut and fill balance certification for floodplain and sinkhole alterations.
- Water quality buffers shall be surveyed and included with the as-built submittal.
- Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
- Additional testing may be required as/warranted by video inspection.

**PARCEL 1500008800**

- 1 N 630,181.0247 E 1,788,804.4416 EL 570.011 10' NAIL
  - 2 N 630,190.1702 E 1,788,467.6309 EL 579.200 10' NAIL
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  - 4 N 631,506.5637 E 1,788,479.1411 EL 611.455 10' NAIL
  - 5 N 631,518.6076 E 1,789,200.5424 EL 620.489 10' NAIL
- PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES, NAD83, GEOID 03 ZONE 7 REVISION, NO DATUM ADJUSTMENT.



ISSUE SET:  
**PRELIM SP SUBMITTAL**  
 ISSUE DATE: 12.22.2020

REVISION SCHEDULE:

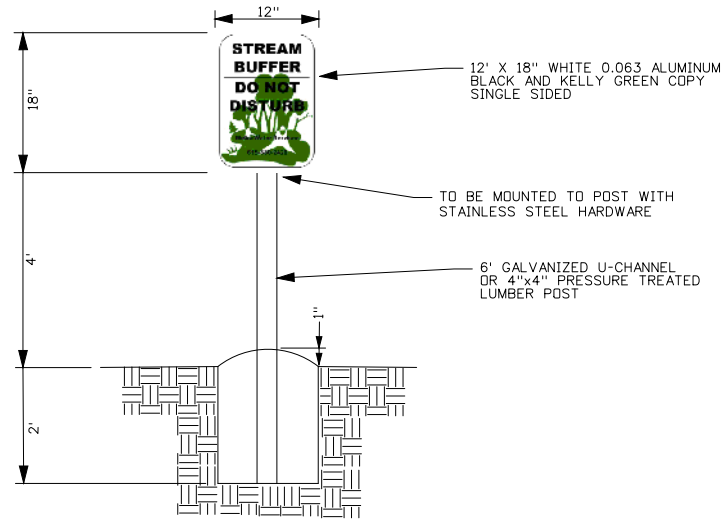
No.	Description	Date
1	Metro Planning Comments	1/19/2021
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5	Stormwater Var. Resubmittal	7/06/2021
6	Preliminary SP Resubmittal	9/21/2021
7	Preliminary SP Resubmittal	10/1/2021

REVISION: | DRAWN: | CHECKED:

UTILITY PLAN

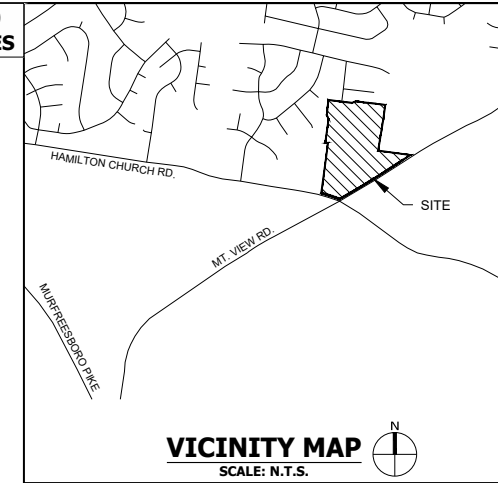
**C3.00**  
 PROJECT NO.: 20-526-01

Oct 01, 2021 - 9:54am T:\CADD\2020\20-526-01\CADD\Civil\Pre\Utility Plan.dwg



**STREAM BUFFER SIGN**  
N.T.S.

REFER TO SHEET C5.00  
FOR APPLICABLE NOTES



**VICINITY MAP**  
SCALE: N.T.S.

**STORMWATER NOTE:**

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT MANUAL AS AUTHORIZED BY ORDINANCE NO. 78-840 AND ANY APPLICABLE METRO CODE PROVISIONS AND BE APPROVED BY THE METRO DEPARTMENT OF WATER SERVICES.
2. THIS PRELIMINARY STORMWATER MANAGEMENT PLAN IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL APPLICATION.

**WETLAND DISTURBANCE NOTE:**

APPLICABLE VARIANCES AND PERMITS SHALL BE APPLIED FOR AT THE TIME OF THE FINAL SP FOR THE PROPOSED WETLAND AND BUFFER DISTURBANCE. PRELIMINARY VARIANCE REQUEST NUMBER 202100007 WAS APPROVED BY THE STORMWATER MANAGEMENT COMMITTEE ON AUGUST 5TH, 2021.

**BUFFER NOTE:**

THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

**Metro As-Built Note:**

\*In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, As-Built Certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- Underground detention and water quality infrastructure
- Above ground detention and water quality infrastructure
- Public storm sewer infrastructure
- Cut and fill in the floodplain
- Sink Hole alterations
- Bio-retention
- Permeable Pavers

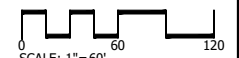
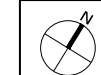
The engineer shall contact Stormwater Development Review staff for submittal requirements.\*

**Metro As-Built Requirements:**

- a. A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
- b. An as-built LID spreadsheet.
- c. Hydrologic and hydraulic calculations for as-built conditions, as required.
- d. As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
- e. Any deviations from the approved plans shall be noted on as-built drawings submitted.
- f. Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
- g. Cut and fill balance certification for floodplain and sinkhole alterations.
- h. Water quality buffers shall be surveyed and included with the as-built submittal.
- i. Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
- j. Additional testing may be required as/warranted by video inspection.

**PARCEL 1500008800**

- 1 N 630,181.0247 E 1,788,804.4416 EL 570.011 10' NAIL
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  - 4 N 631,506.5637 E 1,788,479.1411 EL 611.455 10' NAIL
  - 5 N 631,518.6076 E 1,789,200.5404 EL 620.489 10' NAIL
- PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES.  
NAD83, GEOID 03 ZONE 7 REVISED. NO DATUM ADJUSTMENT.



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SEAL



**6103 MT. VIEW RD.**

Antioch, Davidson  
County,  
Tennessee

ISSUE SET:  
**PRELIM SP SUBMITTAL**  
ISSUE DATE: 12.22.2020

No.	Description	Date
1	Metro Stormwater Comments	1/19/2021
2	Preliminary SP Submittal	6/15/2021
3	Stormwater Variance Sub.	6/30/2021
4	Stormwater Var. Resubmittal	7/06/2021
5	Preliminary SP Resubmittal	9/21/2021
6	Preliminary SP Resubmittal	10/1/2021

REVISION: | DRAWN: | CHECKED:

**GRADING AND DRAINAGE PLAN**

**C4.00**

PROJECT NO.: 20-526-01

General Notes:

- 1. Base information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020.
2. Provide a smooth transition between existing pavement and new pavement. Slight field adjustment of final grades may be necessary.
3. All roadway, driveway, sidewalk, and curb construction shall conform to the requirements and specifications of the local municipality codes and requirements.
4. Concrete for curbs and sidewalks shall be 3500 PSI concrete unless required otherwise by local codes.
5. The site layout is based on control points as noted.
6. The contractor shall conform to all local codes and receive approval where necessary before commencement of any construction.
7. All site related construction materials and installation shall conform to local governing agency regulations and specifications.
8. Handicap ramps shall have a maximum slope of 1:12.
9. All pavement materials and construction shall conform to the local governing agency and state D.O.T. standards and specifications.
10. The contractor shall check all existing conditions, (i.e. inverts, utility routings, utility crossings, and dimensions) in the field prior to commencement of any utility work. Report any discrepancies to the owner's representative.
11. Dimensions are to face of curb and/or exterior face of building unless otherwise noted.
12. Curbs shall be parallel to the centerline of drives. The curb shall be placed only after having all break points (PC & PT of curves) located at the face of curb or at a consistent offset by a land surveyor.
13. Any work unacceptable to the owner's representative or to the local governing authority shall be repaired or replaced by the contractor at no additional expense to the owner.
14. Existing pavement of private or public roadways/drives shall be patched in accordance with the local governing authority's standards wherever utility installation requires removal of the existing pavement.
15. The contractor shall comply with all pertinent provisions of the "manual of accident prevention in construction" issued by AGC of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
16. Contractor shall give all necessary notices and obtain all permits prior to commencement of any construction.
17. In the event of any discrepancies and/or errors found in these site drawings, or if problems are encountered during construction, the contractor shall be required to notify the engineer before proceeding with the work.
18. The general contractor is particularly cautioned that the location and/or elevation of the existing utilities shown hereon is based on utility company records, and where possible, field measurements.
19. Contractor shall exercise extreme caution in the use of equipment in and around overhead and underground electrical wires and services.
20. The owner and engineer do not assume responsibility for the possibility that, during construction, utilities other than those shown may be encountered.
21. Do not scale this drawing as it is a reproduction and subject to distortion.
22. These plans, prepared by CSDG, do not extend to or include systems pertaining to the safety of the construction contractor or its employees.
23. In the case of conflict between this drawing and any other drawing and/or the specifications, the engineer shall be immediately notified for clarification.

Site Demolition Notes:

- 1. Base Information was taken from a survey prepared by Wilson & Associates, dated September 14, 2020.
2. The contractor shall call Tennessee One Call (811) 72 hours prior to proceeding with any excavation.
3. The contractor shall field verify the limits of demolition with the owner's representative prior to commencement of work.
4. The contractor shall conform to local codes, obtain all permits and give all notices required for execution of the work.
5. Cavities left by structure removal shall be suitably backfilled and compacted in accordance with these plans and specifications.
6. The contractor is responsible for all demolition and removal necessary to accomplish the proposed improvements shown on these plans.
7. The contractor is responsible for locating all charted and uncharted utilities. Take care to protect utilities that are to remain.
8. In areas where existing pavement, walks, or curbs are to be removed, saw cut to provide a clean edge.
9. All materials being removed and not relocated under the new construction, including trees and shrubs, signs, utility structures, etc., shall be first offered to the owner's representative.
10. The contractor shall use water sprinkling and other suitable methods as necessary to control dust and dirt caused by the demolition work.
11. The contractor shall preserve and protect survey control points and shall be responsible for replacement of any disturbed control points.
12. No utility or storm sewer lines shall be demolished until the new lines have been installed and are placed into operation.
13. Contractor shall coordinate phasing of the demolition with the owner's representative and local governing agency prior to beginning work.
14. Where water line and sewer line abandonment is planned, the contractor may abandon water lines and sewer lines in place where they occur at least 24" (to top of the pipe) below final subgrade elevations.
15. Existing lights and poles being removed shall be first offered to the owner's representative prior to disposing of them.
16. Existing trees to be preserved are to be barricaded before beginning construction.
17. The contractor shall incorporate into his work any isolation valves or temporary plugs required to construct new utility lines and demolish existing utility lines.
18. Existing irrigation lines lie within the area affected by the proposed construction.
19. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on the site.
20. Selective clearing consisting of removal of vines, saplings under 1" diameter and underbrush shall be performed in tree preservation areas internal to the project and noted on plans.

Site Utility Notes:

- 1. The sanitary sewer line shall be PVC-SDR 35. The domestic water line shall be Type K copper.
2. Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water department.
3. Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project.
4. The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
5. Provide a minimum 36" of cover over all water lines unless required otherwise by the local water department.
6. All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
7. Coordinate the exact location of all utilities entering the building with the plumbing plans.
8. Safeguard existing utilities from damage during construction of this project.
9. Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction.
10. All connections to existing manholes shall be by the coring and resilient seal method.
11. Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
12. The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to allow the required bracing at bends and tees.
13. The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans.
14. Contractor shall mark the location of all new PVC lines with #8 wire.
15. The location of existing utilities shown on these plans are approximate only.
16. Fire hydrant assemblies include the appropriate sized tee (with kicker), 6" line to hydrant, 6" gate valve (with valve box), and fire hydrant (with kicker).
17. Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer recommendations prior to installation of drainage or utility lines.
18. The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials.
19. Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new condition at no additional cost to the owner.
20. Sanitary sewer services shall be 6" diameter PVC (SDR 35) at a minimum slope of 1.0% unless shown otherwise on the drawings.
21. Some utilities can be located by call the "Tennessee One Call" System, Inc.
22. The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick.
23. The contractor shall be responsible for coordinating the sequencing of construction for all utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
24. All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone.
25. Existing manholes located in fill/cut areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
26. The contractor shall maintain 10 feet horizontal separation between sanitary sewer lines and water lines.
27. The fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee.
28. The proposed gas line construction and installation shall be coordinated with the local gas by the contractor.
29. The proposed electric line construction and installation shall be coordinated with the local electric company by the contractor.
30. The proposed telephone line construction and installation shall be coordinated with the local telephone company by the contractor.
31. Siamese stand pipe to be galvanized steel.

Metro Water & Sewer Notes:

- 1. All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
2. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
3. The contractor is to provide and maintain the construction identification sign for private development approved.
4. After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance.
5. All connections to existing manholes shall be by coring and resilient connector method.
6. Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction.
7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
8. Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (.dwg) format.
9. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
10. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
11. All water mains must be located within the paved area including all blow-off assemblies.
12. All connection to existing manholes shall be by coring and resilient connector method.
13. Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
14. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
15. Irrigation line shall be copper from the meter to the backflow preventer.
16. The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
17. All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
18. Backflow device to remain accessible at all times.
19. Plan size shall be 24"x36", and shall show contours around meter boxes.

MWS Standard Private Utility Plan Notes

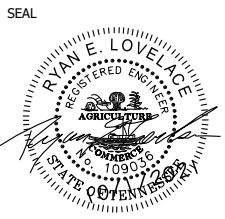
- 1. All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
2. All connection to existing manholes shall be by coring and resilient connector method.
3. Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
4. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
5. Irrigation line shall be copper from the meter to the backflow preventer.
6. The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
7. All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
8. Backflow device to remain accessible at all times.
9. Plan size shall be 24"x36", and shall show contours around meter boxes.

Site Grading, Drainage & Erosion Control Notes:

- 1. The disturbed area for this project shall be determined during Final SP.
2. The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
3. The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
4. If any springs or underground streams are exposed during construction, permanent French drains may be required.
5. Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
6. Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative.
7. All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
8. Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority.
9. Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
10. Minimum grade on asphalt or concrete paving shall be 1.0%.
11. Construct silt barriers before beginning any grading operations.
12. This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated.
13. Do not disturb vegetation or remove trees except when necessary for grading purposes.
14. Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted.
15. Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity.
16. Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed.
17. Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials.
18. All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
19. Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction.
20. Remove sediment from all drainage structures before acceptance by local governing agency.
21. Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
22. Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas.
23. Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area.
24. All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
25. All fill material on this project shall be approved by the geotechnical engineer prior to placement.
26. All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
27. It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner.
28. The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer.
29. Strip topsoil from all cut and fill areas and stockpile.
30. The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement.
31. In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations.
32. All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable.
33. All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation.
34. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
35. All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings.
36. The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
37. The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible.
38. The depth of foundations and/or footings for buildings and walls adjacent to bio-retention areas shall be based on the excavated depth of the bio-retention area and not the planting surface elevation.
39. Contractor shall install railings at top of wall as required by local and federal requirements.



CIVIL SITE CLARKSVILLE
Planning | Engineering
Landscape Architecture
130 Hillcrest Dr. Ste 110
Clarksville, TN 37043
931.591.2760
csdgtm.com



6103 MT. VIEW RD.
Antioch, Davidson County, Tennessee

ISSUE SET: PRELIM SP SUBMITTAL
ISSUE DATE: 12.22.2020

Table with 2 columns: No., Description, Date. Rows include Metro Planning Comments, Preliminary SP Submittal, Stormwater Variance Sub., Stormwater Var. Resubmittal, Preliminary SP Resubmittal, Preliminary SP Resubmittal.

REVISION: DRAWN: CHECKED:

CIVIL NOTES

C5.00 PROJECT NO.: 20-526-01

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SEAL



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	Preliminary SP Resubmittal	10/1/2021
	Developer commitments	10/6/2021

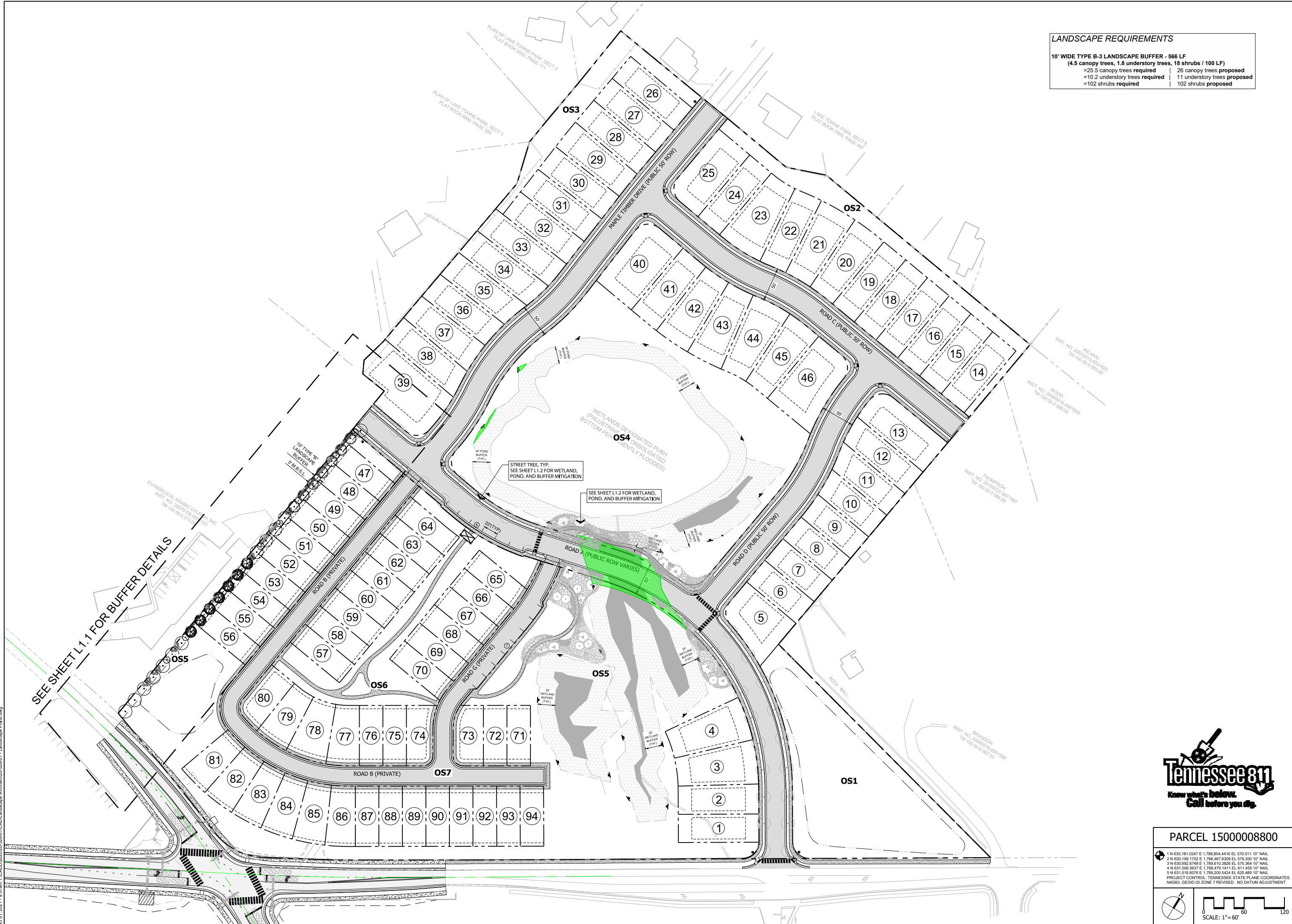
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**ARCHITECTURAL  
ELEVATIONS**

**A1.0**

PROJECT NO.: 20-526-01



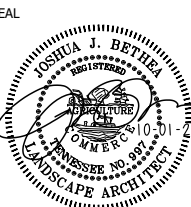


**LANDSCAPE REQUIREMENTS**

**10' WIDE TYPE B-3 LANDSCAPE BUFFER - 566 LF**  
 (4.5 canopy trees, 1.8 understory trees, 18 shrubs / 100 LF)  
 =25.5 canopy trees required | 26 canopy trees proposed  
 =10.2 understory trees required | 11 understory trees proposed  
 =102 shrubs required | 102 shrubs proposed



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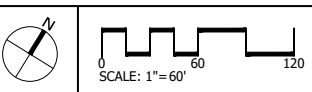
REVISION SCHEDULE:

No.	Description	Date
1	Stormwater Variance Sub.	6/30/2021
2	Stormwater Var. Resubmittal	7/06/2021
3	Preliminary SP Resubmittal	9/21/2021
4	Preliminary SP Resubmittal	10/01/2021



**PARCEL 1500008800**

- 1 N 630,181.0247 E 1,788,804.4416 EL 570.011 10' NAIL
  - 2 N 630,190.1722 E 1,788,467.6209 EL 579.200 10' NAIL
  - 3 N 630,090.4748 E 1,789,610.3609 EL 575.364 10' NAIL
  - 4 N 631,506.5637 E 1,788,479.1411 EL 611.455 10' NAIL
  - 5 N 631,518.6076 E 1,789,200.5424 EL 620.489 10' NAIL
- PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES.  
 NAD83, GEOID 03 ZONE 7 REVISED. NO DATUM ADJUSTMENT.



REVISION: | DRAWN: | CHECKED:  
 | LMH | JJB

**LANDSCAPE  
ORDINANCE PLAN**

**L1.0**  
 PROJECT NO.: 20-526-01

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**LANDSCAPE REQUIREMENTS**

10' WIDE TYPE B-3 LANDSCAPE BUFFER - 566 LF  
 (4.5 canopy trees, 1.8 understory trees, 18 shrubs / 100 LF)  
 =25.5 canopy trees required | 26 canopy trees proposed  
 =10.2 understory trees required | 11 understory trees proposed  
 =102 shrubs required | 102 shrubs proposed

EVANGELICAL ARABIC CHURCH, INC  
 INST. NO. 20070105-0002123  
 TM 150 00 0 213.00

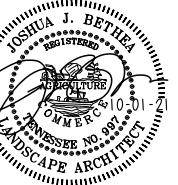
**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AR	8	ACER RUBRUM 'OCTOBER GLORY'™ / OCTOBER GLORY MAPLE	B & B	2" CAL	10' - 12' H
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	NRS	11	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	B & B	2" CAL	6' - 8' H
	JV	4	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	2" CAL	8' - 10' H
	MG	7	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	B & B	2" CAL	8' - 10' H
	PS	7	PINUS SYLVESTRIS / SCOTCH PINE	B & B	2" CAL	6' - 8' H
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
	HQA	25	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H	48" o.c.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
	IG	50	ILEX GLABRA / INKBERRY HOLLY	3 GAL	18" H	36" o.c.
	PLO	27	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL	3 GAL	18" H	48" o.c.



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SEAL



**6103 MT. VIEW RD.**  
 Antioch, Davidson  
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 Tennessee

ISSUE SET:  
**PRELIM SP SUBMITTAL**  
 ISSUE DATE: 12.22.2020

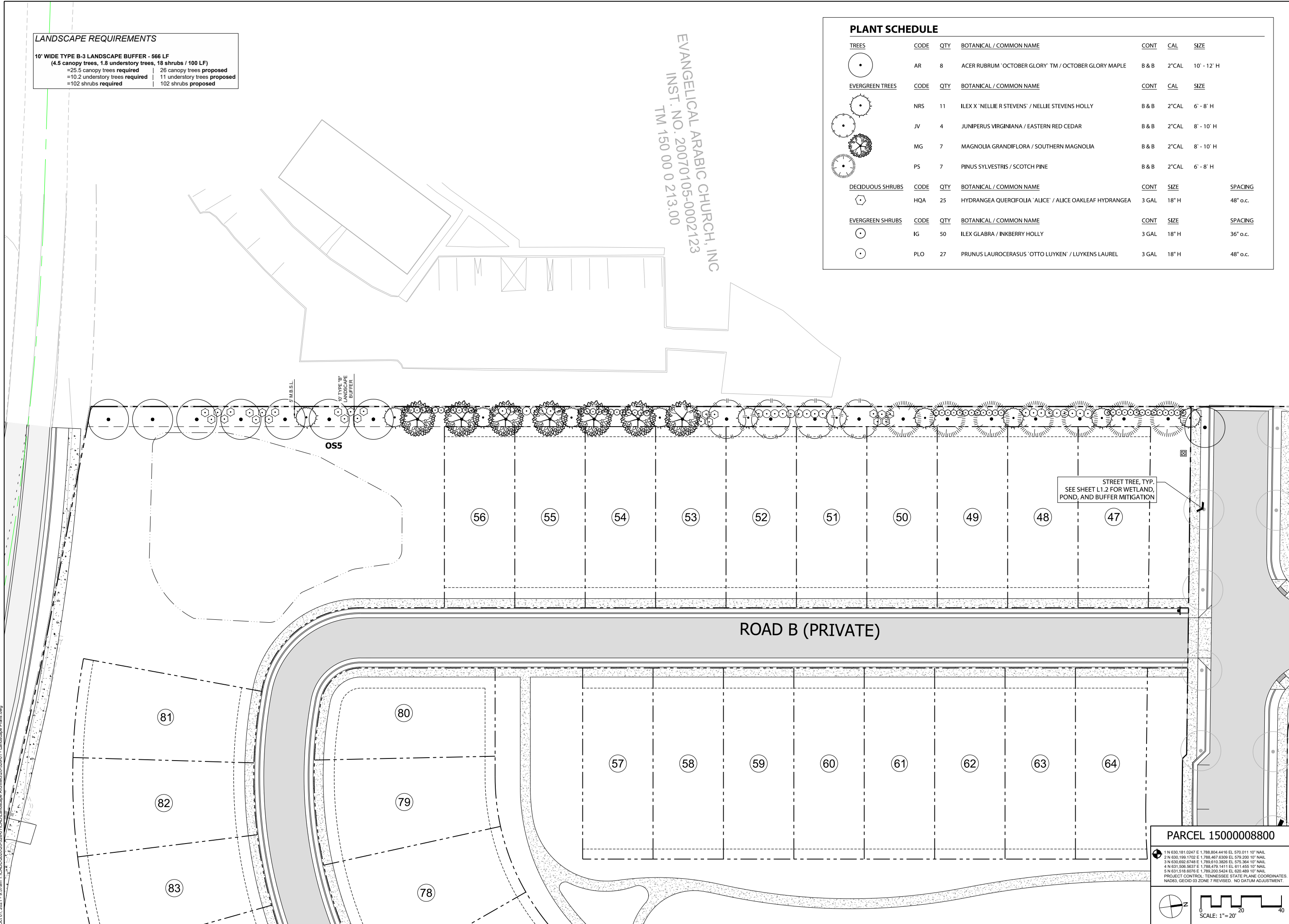
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	2	Stormwater Var. Resubmittal	7/06/2021
	3	Preliminary SP Resubmittal	9/21/2021
	4	Preliminary SP Resubmittal	10/01/2021

REVISION: | DRAWN: LMH | CHECKED: JJB

**LANDSCAPE ORDINANCE PLAN**

**L1.1**  
 PROJECT NO.: 20-526-01

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**PARCEL 1500008800**

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 2 N 630,190.1702 E 1,788,467.6309 EL 579.200 10' NAIL  
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 4 N 631,506.5637 E 1,788,479.1411 EL 611.455 10' NAIL  
 5 N 631,518.6076 E 1,789,200.5424 EL 620.489 10' NAIL  
 PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES  
 NAD83, GEOID 03 ZONE 7 REVISED. NO DATUM ADJUSTMENT.



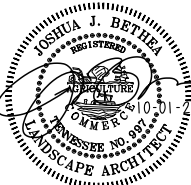
PROPOSED MITIGATION

MITIGATION AREA  
 MITIGATION RATE OF 1 SF DISTURBED : 2 SF MITIGATED  
 =7,932 SF disturbed area | 16,006 SF mitigation area



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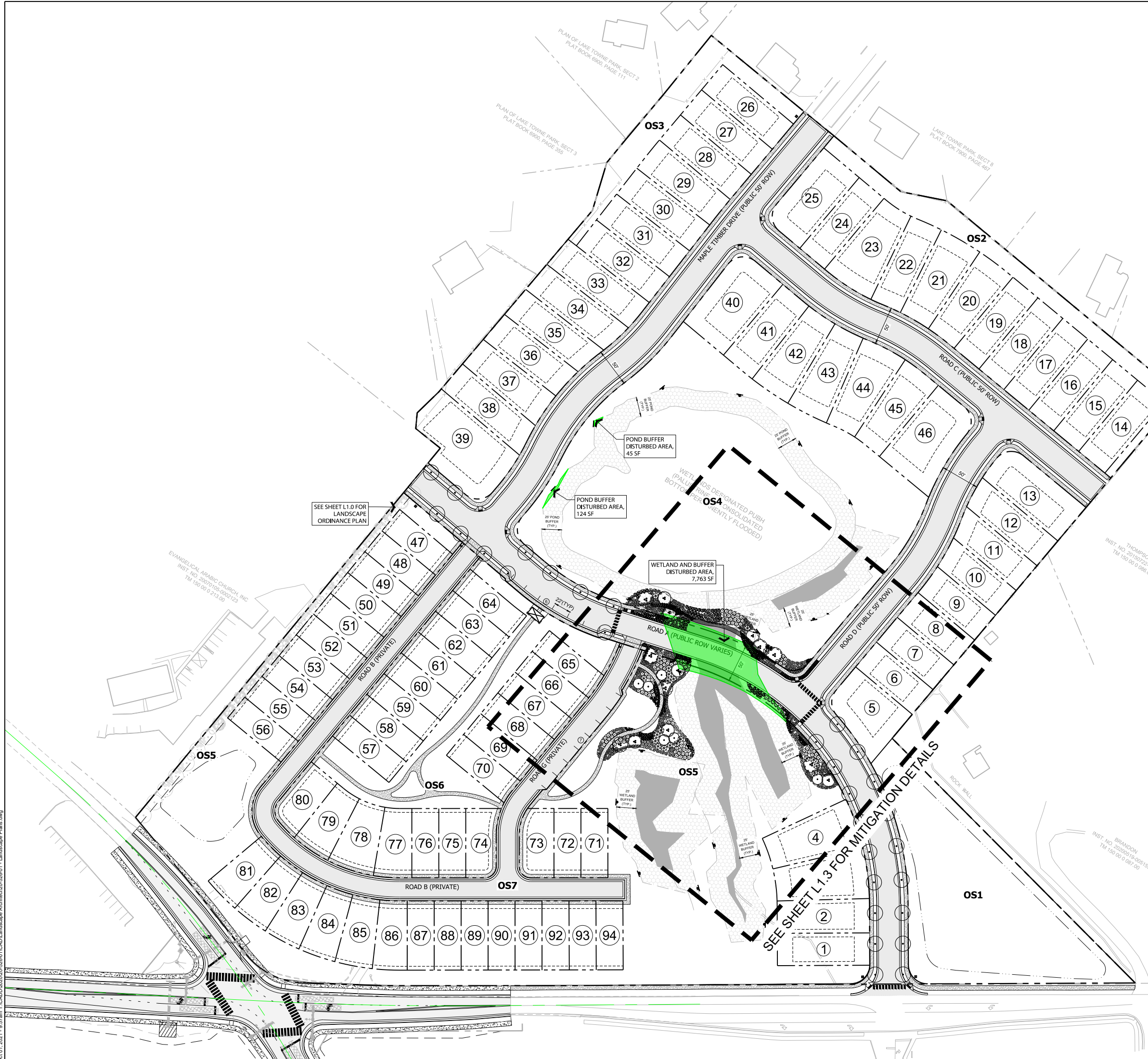
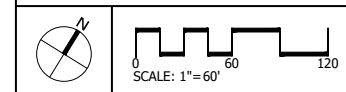
ISSUE SET:  
**PRELIM SP  
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 ISSUE DATE: 12.22.2020

REVISION SCHEDULE:	
No.	Description
1	Stormwater Variance Sub.
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3	Preliminary SP Resubmittal
4	Preliminary SP Resubmittal
5	Preliminary SP Resubmittal



PARCEL 15000008800

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  - 5 N 631,518.6076 E 1,789,200.5404 EL 620.489 10' NAIL
- PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES.  
 NAD83, GEOID 03 ZONE 7 REVISED. NO DATUM ADJUSTMENT.



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 INST. NO. 20190105-002123  
 TM 150 00 0 213.00  
 WOOD  
 INST. NO. 20080105-0091829  
 TM 150 00 0 085.00  
 THOMPSON  
 INST. NO. 20150222-0011997  
 TM 150 00 0 036.00  
 IREJANI  
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 BRANDON  
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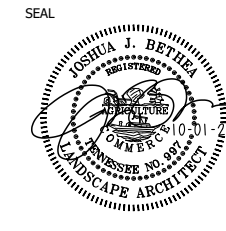
REVISION: DRAWN: CHECKED:  
 LMH JJB

MITIGATION PLAN

**L1.2**  
 PROJECT NO.: 20-526-01



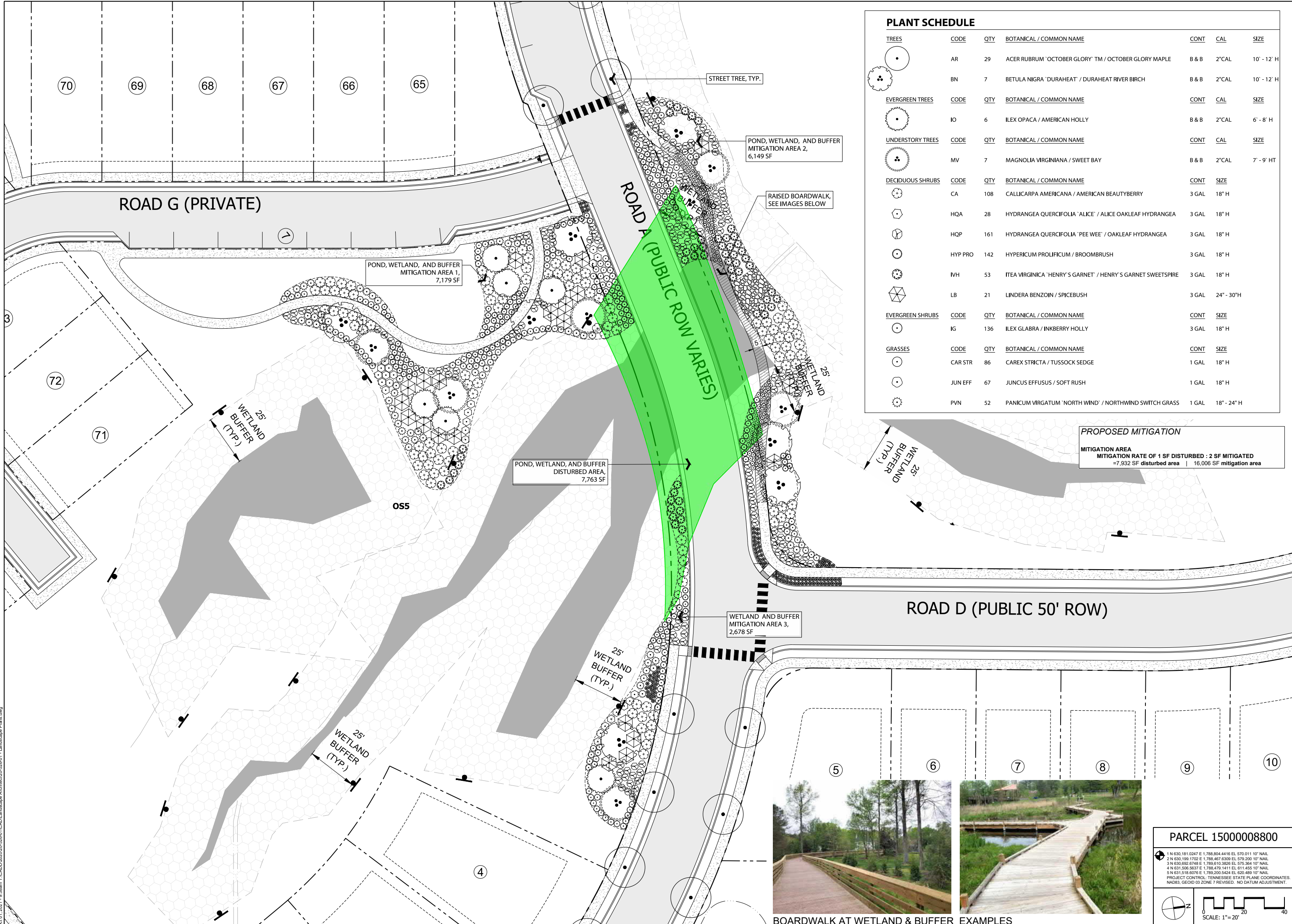
**CIVIL SITE CLARKSVILLE**  
 Planning | Engineering  
 Landscape Architecture  
 130 Hillcrest Dr, Ste 110  
 Clarksville, TN 37043  
 931.591.2760  
 csdgn.com



**6103 MT. VIEW RD.**  
 Antioch, Davidson  
 County,  
 Tennessee

**PLANT SCHEDULE**

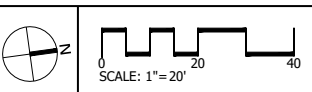
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AR	29	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	2" CAL	10' - 12' H
	BN	7	BETULA NIGRA 'DURAHEAT' / DURAHEAT RIVER BIRCH	B & B	2" CAL	10' - 12' H
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	IO	6	ILEX OPACA / AMERICAN HOLLY	B & B	2" CAL	6' - 8' H
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	MV	7	MAGNOLIA VIRGINIANA / SWEET BAY	B & B	2" CAL	7' - 9' HT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	CA	108	CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY	3 GAL	18" H	
	HQA	28	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H	
	HQP	161	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA	3 GAL	18" H	
	HYP PRO	142	HYPERICUM PROLIFICUM / BROOMBRUSH	3 GAL	18" H	
	IVH	53	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	3 GAL	18" H	
	LB	21	LINDERA BENZOIN / SPICEBUSH	3 GAL	24" - 30" H	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	IG	136	ILEX GLABRA / INKBERRY HOLLY	3 GAL	18" H	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	CAR STR	86	CAREX STRICTA / TUSsock SEDGE	1 GAL	18" H	
	JUN EFF	67	JUNCUS EFFUSUS / SOFT RUSH	1 GAL	18" H	
	PVN	52	PANICUM VIRGATUM 'NORTH WIND' / NORTHWIND SWITCH GRASS	1 GAL	18" - 24" H	



BOARDWALK AT WETLAND & BUFFER EXAMPLES

**PARCEL 1500008800**

- 1 N 630,181.0247 E 1,788,804.4416 EL 570.011 10' NAIL
  - 2 N 630,199.1702 E 1,788,467.6309 EL 579.200 10' NAIL
  - 3 N 630,092.4748 E 1,789,610.3609 EL 575.364 10' NAIL
  - 4 N 631,506.5637 E 1,788,479.1411 EL 611.455 10' NAIL
  - 5 N 631,518.6076 E 1,789,200.3424 EL 620.489 10' NAIL
- PROJECT CONTROL: TENNESSEE STATE PLANE COORDINATES  
 NAD83, GEOID 03 ZONE 7 REVISED, NO DATUM ADJUSTMENT.



ISSUE SET:  
**PRELIM SP SUBMITTAL**  
 ISSUE DATE: 12.22.2020

REVISION SCHEDULE:	No.	Description	Date
	1	Stormwater Variance Sub.	6/30/2021
	2	Stormwater Var. Resubmittal	7/06/2021
	3	Preliminary SP Resubmittal	9/21/2021
	4	Preliminary SP Resubmittal	10/01/2021

REVISION: DRAWN: CHECKED:  
 LMH JJB

**MITIGATION PLAN**

**L1.3**  
 PROJECT NO.: 20-526-01

Oct 01, 2021 - 9:58am T:\CAD\2020\20-526-01\CAD\Landscape Architect\20-526-01 - Landscape Plans.dwg

**General Notes:**

- This property is located within Metro Nashville, Davidson County. Contractor shall conform to all necessary requirements outlined by the standards of the City of Metro - Nashville.
- All work shall be performed by fully qualified Plantsmen. Use good Horticultural practices to keep all plants and plant material installed in a living, healthy condition up to the date of termination of the Contractor's responsibility for care.
- The Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Contractor at the time of bidding.
- The Contractor is responsible for locating all underground utilities and shall avoid damage to existing utilities during the course of the work.
- The Contractor is responsible for repairing any damage to utilities, site structures, etc., resulting from landscape construction.
- The Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth on this plan set and the specifications.
- The Contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- No material shall be planted before finish grading has been completed.
- The plants delivered to the project site shall be planted as soon as site conditions permit. Contractor shall take care in scheduling plant deliveries and the size of the deliveries so that long periods of storage are avoided. Adequately protect plants placed in temporary storage from the sun and wind; water plants so as to maintain their appearance and health. Plants that have not been properly maintained during temporary storage may be rejected by the Landscape Architect.
- Should the Contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, stem of utility lines or other conditions that will jeopardize the health and vigor of the plants, he/she must advise the Owner's Representative in writing of the conditions prior to installing the plants. Otherwise, the Contractor warrants that the planting areas are suitable for proper growth and development of the plant material to be installed and Contractor shall take responsibility for the cost of any revision.
- It is the responsibility of the Contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil of planting mix and installing trees or shrubs. The Contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed, or the planting relocated to an area approved by the Owner's Representative.
- Prior to installation of plant materials, the width and length of all parking lot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of pavement elevation. Excavated material is to be removed from the landscape areas and disposed of off site or in an area approved by the Project Engineer. No asphaltic construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking area islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the elevations indicated on the grading plans.
- All shrub and ground cover beds not in parking lot islands or median strips are to be excavated to a depth of 12 inches and disposed of off site or in an area approved by the Project Engineer. Trees in these bed areas shall be installed per the tree planting detail. The bed area is to be backfilled with sifted topsoil to the elevations indicated on the grading plans as per the specifications.
- The optimum time for planting is from October 1 to April 1. Scheduling for planting at other times must be approved in writing by the Landscape Architect.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- New tree plantings are to not be staked per planting details. Trees that are planted in special circumstances of windy conditions may be staked once approved by the Landscape Architect.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The Contractor shall stake or mark all plant material locations prior to installation. The Contractor shall have the Landscape Architect or Owner's Representative approve all staking prior to installation.
- All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species quantity and size and meeting all plant list specifications at no expense to the Owner.
- The Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- Chemical Weed Control (pre-emergent, i.e. Treflan) shall be applied to all landscape areas prior to any plant installation.
- All planting areas shall receive a 3 inch layer of shredded hardwood bark mulch, which is to be watered-in after installation.
- All plants shall be vigorous, healthy material, free of pests and disease.
- All plants and trees must meet all requirements specified in the plant list, details, and notes.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted on the material schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality and size of plants, spread of roots and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
- All disturbed areas shall be planted with turf as indicated on the material schedule.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be resodded to match existing at no expense to the Owner.
- The Contractor is responsible for completely maintaining the work (including but not limited to: watering, mulching, spraying, fertilizing, of all planting areas and lawns per project specifications until total acceptance of the work by the Owner.
- The Contractor shall completely guarantee all work for a period of one year beginning at the date of total acceptance.
- The Contractor shall provide the Owner with written instructions on the proper care of all specified plant materials prior to final payment.
- The Contractor shall be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
- ATTENTION OWNER/INSTALLER: This landscape plan has been designed to meet the minimum requirements of the City of Nashville zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance / maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Civil-Site Design Group and then obtaining approval from either the City of Nashville planning commission or the planning department.
- Prior to installing any plant material in the R.O.W., the Contractor shall contact the City of Nashville Urban Environmental Department (UED) at (615) 862-6488 for a permit to plant in the R.O.W. Any trees installed in the City of Nashville's R.O.W. must be inspected by the UED and Landscape Architect prior to installation. Any materials not inspected prior to installation are subject to removal at the Contractor's expense.
- Trees of the same species shall have the following characteristics: matched branching height, caliper, height of tree, spread of branches and branching structure, and overall shape.
- All on-site utility providers shall be contacted to locate all above ground structures. Once located, these utility structures shall be screened from the public R.O.W. on three sides.

**Planting Notes:**

- Any series of trees to be placed in a particular arrangement will be field checked for accuracy by the Landscape Architect. Any plants misarranged will be relocated by the Contractor at no expense to the Owner. Trees shall be placed on-center when possible unless noted otherwise on plans.
- Soil used in backfilling planting pits shall be topsoil and mixed with 25% peat by volume, except for ericaceous plants, very acid or sour soil (soil having a pH less than 6) shall be mixed with sufficient lime to produce a slightly acid reaction (a pH of 6.0 to 6.5). 10-10-10 commercial fertilizer at the rate of 2 pound per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
- Soil used in backfilling ericaceous plants shall be topsoil mixed with 50% peat by volume, 5-10-5 commercial fertilizer at the rate of 5 pounds per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
- Upon securing plant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees of same species shall be matched in growth character and uniformity.
- Herbicide (Treflan or equivalent) shall be applied to all planting beds prior to planting for noxious weed control at a rate of 2 pounds per 1,000 square feet.
- Contractor shall submit a 10 ounce sample of the topsoil proposed to a testing laboratory for analysis. Test results, with recommendations for suitability, shall be submitted to the Owner's Representative for approval.
- Plants shall be oriented vertically and oriented for best appearance. All non-biodegradable root containers shall be removed and disposed of off site.
- Tree branches shall be selectively trimmed by 25%, maintaining natural shape. All dead and broken branches in trees and shrubs shall also be pruned. Remove tags, twine or other non-biodegradable material and remove from project site.
- Scarify subsoil in planting beds to a depth of 3 inches. All planting beds shall receive a minimum of 6 inches of topsoil.
- Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
- All planting beds to have a minimum of 3 inch deep shredded hardwood bark mulch.
- Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality & size of plants, spread of roots, and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
- The quantities indicated on the material schedule are provided for the benefit of the Contractor, but should not be assumed to always be correct. In the event of a discrepancy, the planting plan will take precedence over the material schedule. The Contractor shall be responsible for his/her own quantity calculations and the liability pertaining to those quantities and any related contract documents and/or price quotations.
- Contractor shall warranty all material for one year after date of final acceptance.

**Sodding Notes:**

- Areas indicated for sod shall be Kentucky 31 Fescue, minimum age shall be 18 months, with root development that will support its own weight without tearing when suspended vertically by holding the upper two corners.
- Contractor shall submit sod certification for grass species and location of sod source. Contractor shall include certification that sod is free of disease, nematodes, undesirable insects, and quarantine restrictions.
- Sod shall be delivered on pallets. Prior to installation, sod shall be stored at a location that is protected from damaging effects of sun and wind.
- 6-12-12 commercial type fertilizer, with 50% of the element derived from organic sources, shall be applied at a rate recommended by the manufacturer. Apply after smooth raking of topsoil and no more than 48 hours before laying sod. Mix thoroughly in the upper 2 inches of topsoil and lightly water to aid breakdown.
- Areas to receive sod shall be lightly moistened immediately prior to laying sod.
- Lay sod tightly with no open joints visible and not overlapping. Stagger end joints a minimum of 12 inches and do not stretch sod pieces.
- On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at a maximum 2 feet on-center. Drive pegs flush with sod portion of sod.
- Prior to placing sod on slopes of 8 inches per foot and steeper, place jute erosion control mesh over topsoil. Securely anchor sod in place with pegs sunk firmly into the ground. Contractor shall submit 12" x 12" samples of jute mesh for review to Landscape Architect or Owner's Representative prior to installation.
- Immediately after installation, water sodded areas to a depth of 4 inches.
- After sod and soil have dried, roll sodded areas to ensure a good bond between soil and sod. Roller shall not exceed 150 pounds.
- Contractor shall be responsible for maintaining (mowing, trimming, watering) the sod until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
- The Contractor shall replace sod areas that show deterioration for a period of one year after acceptance of the installation. Deteriorated material shall be replaced with sod of equal quality originally specified at no expense to the Owner.

**Seeding Notes:**

- All disturbed areas to be seeded with Kentucky 31 Fescue at the rate of 5 pounds per 1,000 square feet. All seed to be 98% pure with 85% germination and conform to all state requirements for grass seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived from organic sources.
- Straw mulch shall be placed upon seeded areas. Straw shall be oats or wheat straw, free from weeds, foreign matter detrimental to plant life, and dry. Hay or chopped cornstalks are not acceptable. Contractor shall verify that the prepared soil base is ready to receive work. The topsoil shall be cultivated to a depth of 4 inches with a mechanical tiller and subsequently raked until smooth. Foreign materials collected during cultivation and raking operations shall be removed from the project site.
- Fertilizer shall be applied per the manufacturer's recommendations. Limestone may be applied with the fertilizer. Fertilizer shall be applied after smooth raking and prior to roller compaction and it shall be mixed thoroughly in the upper 2 inches of topsoil.
- Seed shall be applied evenly in two intersecting directions and raked in lightly. The topsoil shall be lightly watered prior to applying seed. Do not seed area in excess of that which can be mulched on the same day.
- Roll seeded area with roller not exceeding one and one half pounds.
- Immediately following seeding and compacting, apply straw mulch at the rate of one and one half bale per 1,000 square feet. Immediately after mulching, apply water with a fine spray and saturate the ground to a depth of 4 inches.
- Contractor shall be responsible for watering seeded areas to prevent grass and soil from drying out until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
- Contractor shall be responsible for reseeding bare spots for a period of one year after acceptance of installation at no expense to the Owner.

**PLANT SCHEDULE**

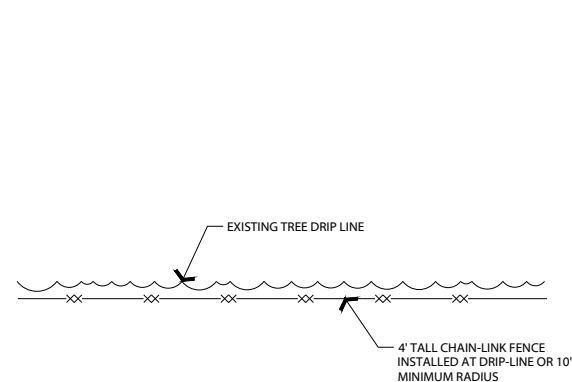
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AR	8	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	2" CAL	10' - 12' H
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	NRS	11	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	B & B	2" CAL	6' - 8' H
	JV	4	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	2" CAL	8' - 10' H
	MG	7	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	B & B	2" CAL	8' - 10' H
	PS	7	PINUS SYLVESTRIS / SCOTCH PINE	B & B	2" CAL	6' - 8' H
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
	HQA	25	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H	48" o.c.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
	IG	50	ILEX GLABRA / INKBERRY HOLLY	3 GAL	18" H	36" o.c.
	PLO	27	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL	3 GAL	18" H	48" o.c.

\* PLEASE NOTE THAT OVERALL SCHEDULE INCLUDES ALL PLANTS FROM BIORETENTION PONDS AND BUFFER PLANTINGS.

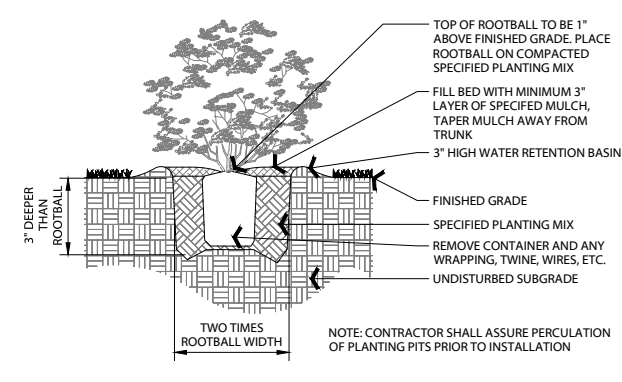
NOTE: TREE SIZES SHOWN ARE REQUIRED MINIMUMS. CONTRACTOR TO REFER TO ENHANCED LANDSCAPE PLANS FOR PRICING.

**NOTE: IRRIGATION TO BE PROVIDED BY AN AUTOMATIC SYSTEM. DESIGN BY OTHERS.**

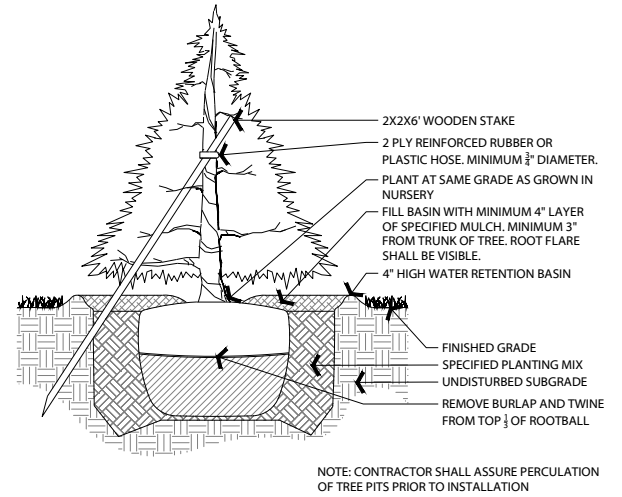
**\*PLEASE NOTE THAT THE BIORETENTION PLANTINGS TO BE EXCLUDED FROM AUTOMATIC IRRIGATION COVERAGE.**



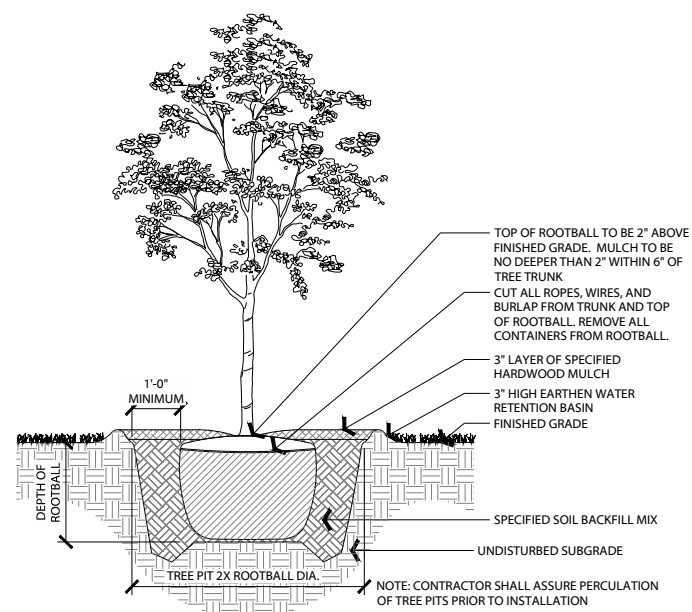
**4 TREE PROTECTION FENCING**  
N.T.S. P-20.526.1-11



**3 SHRUB PIT PLANTING**  
NOT TO SCALE



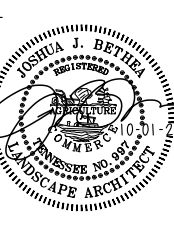
**2 TREE PLANTING - EVERGREEN**  
NOT TO SCALE



**1 TREE PLANTING - STANDARD TRUNK**  
NOT TO SCALE



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**6103 MT. VIEW RD.**  
Antioch, Davidson County, Tennessee

ISSUE SET:  
**PRELIM SP SUBMITTAL**  
ISSUE DATE: 12.22.2020

No.	Description	Date
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2	Stormwater Var. Resubmittal	7/06/2021
3	Preliminary SP Resubmittal	9/21/2021
4	Preliminary SP Resubmittal	10/01/2021

REVISION:	DRAWN:	CHECKED:
	LMH	JJB

**LANDSCAPE NOTES AND DETAILS**

**L2.0**  
PROJECT NO.: 20-526-01



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**Planting Notes:**

- Any series of trees to be placed in a particular arrangement will be field checked for accuracy by the Landscape Architect. Any plants misarranged will be relocated by the Contractor at no expense to the Owner. Trees shall be placed on-center when possible unless noted otherwise on plans.
- Soil used in backfilling planting pits shall be topsoil and mixed with 25% peat by volume, except for ericaceous plants, very acid or sour soil (soil having a pH less than 6) shall be mixed with sufficient lime to produce a slightly acid reaction (a pH of 6.0 to 6.5). 10-10-10 commercial fertilizer at the rate of 2 pound per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
- Soil used in backfilling ericaceous plants shall be topsoil mixed with 50% peat by volume, 5-10-5 commercial fertilizer at the rate of 5 pounds per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
- Upon securing plant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees of same species shall be matched in growth character and uniformity.
- Herbicide (Treflan or equivalent) shall be applied to all planting beds prior to planting for noxious weed control at a rate of 2 pounds per 1,000 square feet.
- Contractor shall submit a 10 ounce sample of the topsoil proposed to a testing laboratory for analysis. Test results, with recommendations for suitability, shall be submitted to the Owner's Representative for approval.
- Plants shall be oriented vertically and oriented for best appearance. All non-biodegradable root containers shall be removed and disposed of off site.
- Tree branches shall be selectively trimmed by 25%, maintaining natural shape. All dead and broken branches in trees and shrubs shall also be pruned. Remove tags, twine or other non-biodegradable material and material from project site.
- Scarify subsoil in planting beds to a depth of 3 inches. All planting beds shall receive a minimum of 6 inches of topsoil.
- Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
- All planting beds to have a minimum of 3 inch deep shredded hardwood bark mulch.
- Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality & size of plants, spread of roots, and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
- The quantities indicated on the material schedule are provided for the benefit of the Contractor, but should not be assumed to always be correct. In the event of a discrepancy, the planting plan will take precedence over the material schedule. The Contractor shall be responsible for his/her own quantity calculations and the liability pertaining to those quantities and any related contract documents and/or price quotations.
- Contractor shall warrant all material for one year after date of final acceptance.

**Sodding Notes:**

- Areas indicated for sod shall be Kentucky 31 Fescue, minimum age shall be 18 months, with root development that will support its own weight without tearing when suspended vertically by holding the upper two corners.
- Contractor shall submit sod certification for grass species and location of sod source. Contractor shall include certification that sod is free of disease, nematodes, undesirable insects, and quarantine restrictions.
- Sod shall be delivered on pallets. Prior to installation, sod shall be stored at a location that is protected from damaging effects of sun and wind.
- 6-12-12 commercial type fertilizer, with 50% of the element derived from organic sources, shall be applied at a rate recommended by the manufacturer. Apply after smooth raking of topsoil and no more than 48 hours before laying sod. Mix thoroughly in the upper 2 inches of topsoil and lightly water to aid breakdown.
- Areas to receive sod shall be lightly moistened immediately prior to laying sod.
- Lay sod tightly with no open joints visible and not overlapping. Stagger end joints a minimum of 12 inches and do not stretch sod pieces.
- On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at a maximum 2 feet on-center. Drive pegs flush with sod portion of sod.
- Prior to placing sod on slopes of 8 inches per foot and steeper, place jute erosion control mesh over topsoil. Securely anchor sod in place with pegs sunk firmly into the ground. Contractor shall submit 12" x 12" samples of jute mesh for review to Landscape Architect or Owner's Representative prior to installation.
- Immediately after installation, water sodded areas to a depth of 4 inches.
- After sod and soil have dried, roll sodded areas to ensure a good bond between soil and sod. Roller shall not exceed 150 pounds.
- Contractor is responsible for maintaining (mowing, trimming, watering) the sod until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
- The Contractor shall replace sod areas that show deterioration for a period of one year after acceptance of the installation. Deteriorated material shall be replaced with sod of equal quality originally specified at no expense to the Owner.

**Seeding Notes:**

- All disturbed areas to be seeded with Kentucky 31 Fescue at the rate of 5 pounds per 1,000 square feet. All seed to be 98% pure with 85% germination and conform to all state requirements for grass seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived from organic sources.
- Straw mulch shall be placed upon seeded areas. Straw shall be oats or wheat straw, free from weeds, foreign matter detrimental to plant life, and dry. Hay or chopped cornstalks are not acceptable. Contractor shall verify that the prepared soil base is ready to receive work. The topsoil shall be cultivated to a depth of 4 inches with a mechanical tiller and subsequently raked until smooth. Foreign materials collected during cultivation and raking operations shall be removed from the project site.
- Fertilizer shall be applied per the manufacturer's recommendations. Limestone may be applied with the fertilizer. Fertilizer shall be applied after smooth raking and prior to roller compaction and it shall be mixed thoroughly in the upper 2 inches of topsoil.
- Seed shall be applied evenly in two intersecting directions and raked in lightly. The topsoil shall be lightly watered prior to applying seed. Do not seed area in excess of that which can be mulched on the same day.
- Roll seeded area with roller not exceeding one and one half pounds.
- Immediately following seeding and compacting, apply straw mulch at the rate of one and one half bale per 1,000 square feet. Immediately after mulching, apply water with a fine spray and saturate the ground to a depth of 4 inches.
- Contractor shall be responsible for watering seeded areas to prevent grass and soil from drying out until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
- Contractor shall be responsible for reseeding bare spots for a period of one year after acceptance of installation at no expense to the Owner.

**PLANT SCHEDULE**

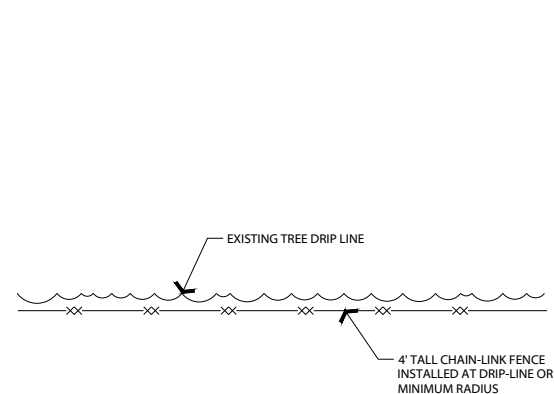
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
(Tree Icon)	AR	29	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	2" CAL	10' - 12' H
(Tree Icon)	BN	7	BETULA NIGRA 'DURAHEAT' / DURAHEAT RIVER BIRCH	B & B	2" CAL	10' - 12' H
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
(Tree Icon)	IO	6	ILEX OPACA / AMERICAN HOLLY	B & B	2" CAL	6' - 8' H
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
(Tree Icon)	MV	7	MAGNOLIA VIRGINIANA / SWEET BAY	B & B	2" CAL	7' - 9' HT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
(Shrub Icon)	CA	108	CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY	3 GAL	18" H	60" o.c.
(Shrub Icon)	HQA	28	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	3 GAL	18" H	48" o.c.
(Shrub Icon)	HQP	161	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA	3 GAL	18" H	42" o.c.
(Shrub Icon)	HYP PRO	142	HYPERICUM PROLIFICUM / BROOMBRUSH	3 GAL	18" H	36" o.c.
(Shrub Icon)	IVH	53	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	3 GAL	18" H	48" o.c.
(Shrub Icon)	LB	21	LINDERA BENZOIN / SPICEBUSH	3 GAL	24" - 30" H	96" o.c.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
(Shrub Icon)	IG	136	ILEX GLABRA / INKBERRY HOLLY	3 GAL	18" H	36" o.c.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
(Grass Icon)	CAR STR	86	CAREX STRICTA / TUTSOCK SEDGE	1 GAL	18" H	24" o.c.
(Grass Icon)	JUN EFF	67	JUNCUS EFFUSUS / SOFT RUSH	1 GAL	18" H	24" o.c.
(Grass Icon)	PVN	52	PANICUM VIRGATUM 'NORTH WIND' / NORTHWIND SWITCH GRASS	1 GAL	18" - 24" H	48" o.c.
(Grass Icon)	SCH LIT	107	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	18" H	24" o.c.

\* PLEASE NOTE THAT OVERALL SCHEDULE INCLUDES ALL PLANTS FROM MITIGATION PLANTINGS.

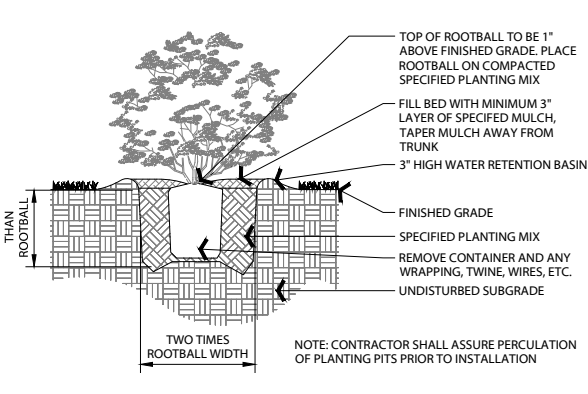
NOTE: TREE SIZES SHOWN ARE REQUIRED MINIMUMS. CONTRACTOR TO REFER TO ENHANCED LANDSCAPE PLANS FOR PRICING.

**NOTE: IRRIGATION TO BE PROVIDED BY AN AUTOMATIC SYSTEM. DESIGN BY OTHERS.**

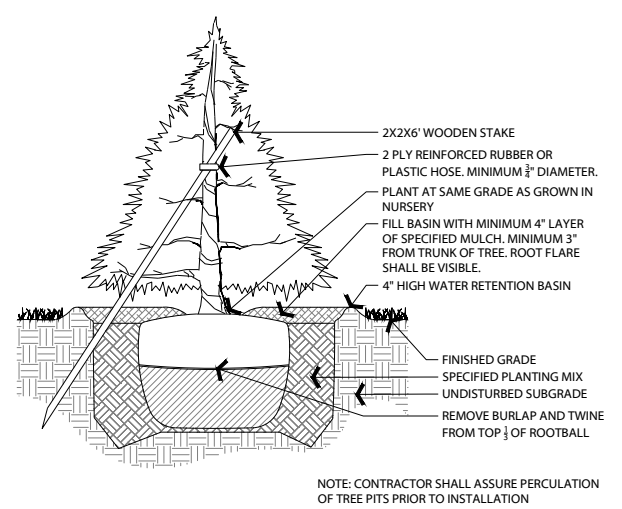
**\*PLEASE NOTE THAT THE MITIGATION PLANTINGS TO BE EXCLUDED FROM AUTOMATIC IRRIGATION COVERAGE.**



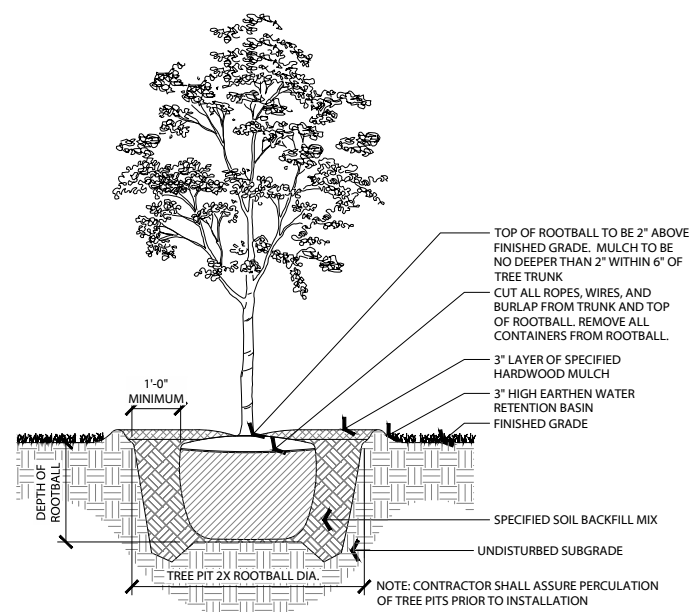
**4 TREE PROTECTION FENCING**  
N.T.S. P-20.526.1-11



**3 SHRUB PIT PLANTING**  
NOT TO SCALE



**2 TREE PLANTING - EVERGREEN**  
NOT TO SCALE



**1 TREE PLANTING - STANDARD TRUNK**  
NOT TO SCALE



**CIVIL SITE CLARKSVILLE**  
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**6103 MT. VIEW RD.**

Antioch, Davidson County, Tennessee

REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Variance Sub.	6/30/2021
2	Stormwater Var. Resubmittal	7/06/2021
3	Preliminary SP Resubmittal	9/21/2021
4	Preliminary SP Resubmittal	10/01/2021

REVISION: DRAWN: CHECKED:  
LMH JJB

**LANDSCAPE NOTES AND DETAILS**

**L2.1**  
PROJECT NO.: 20-526-01

Oct 01, 2021 - 9:56am T:\CAD\2020\20-526-01\CAD\Landscape Architect\20-526-01 - Landscape Plans.dwg