

ORDINANCE NO. BL2020 - 417

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from MUI-A to SP zoning for properties located at 1709, 1711, 1715, 1717 and 1719 Hayes Street, at the southeast corner of 18th Avenue North and Hayes Street (1.12 acres), to permit a mixed use development, all of which is described herein (Proposal No. 2020SP-028-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from MUI-A to SP zoning for properties located at 1709, 1711, 1715, 1717 and 1719 Hayes Street, at the southeast corner of 18th Avenue North and Hayes Street (1.12 acres), to permit a mixed use development, being Property Parcel Nos. 465, 466, 467, 468, 469 as designated on Map 092-12 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 092 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to 105,000 square feet of commercial use consistent with the uses permitted in the MUI-A zoning district and 310 hotel or multi-family residential units. Short term rental properties- owner occupied and short-term rental properties- not-owner occupied shall be prohibited

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Upper level cladding is required on all public street frontages, for any above ground parking structure. Facade treatments shall integrate or complement the architectural characteristics of the habitable portion of the building and the

surrounding built context. Openings for natural ventilation are permissible when integrated into the facade design.

2. A minimum of 75% of the lineal street frontage shall be devoted to office or non-parking commercial uses. A minimum of 50% of that wall area shall be glazing.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUI-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:



Councilmember Brandon Taylor

2020SP-028-001
VASTLAND - AVALON MIDTOWN SP
Map 092-12, Parcel(s) 465-469
Subarea 10, Green Hills - Midtown
District 21 (Taylor)
Application fee paid by: Vastland Development
Partnership

A request to rezone from MUI-A to SP zoning for properties located at 1709, 1711, 1715, 1717 and 1719 Hayes Street, at the southeast corner of 18th Avenue North and Hayes Street (1.12 acres), to permit a mixed use development, requested by Civil Site Design Group, applicant; Vastland Development Partnership, owner.





CSDG

Planning | Engineering
Landscape Architecture

2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgn.com

SEAL



FOR PLANNING COMMISSION REVIEW
NOT FOR CONSTRUCTION

Preliminary Specific Plan for Avalon Midtown

Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:
Preliminary Specific Plan

ISSUE DATE: May 13, 2020

REVISION SCHEDULE:

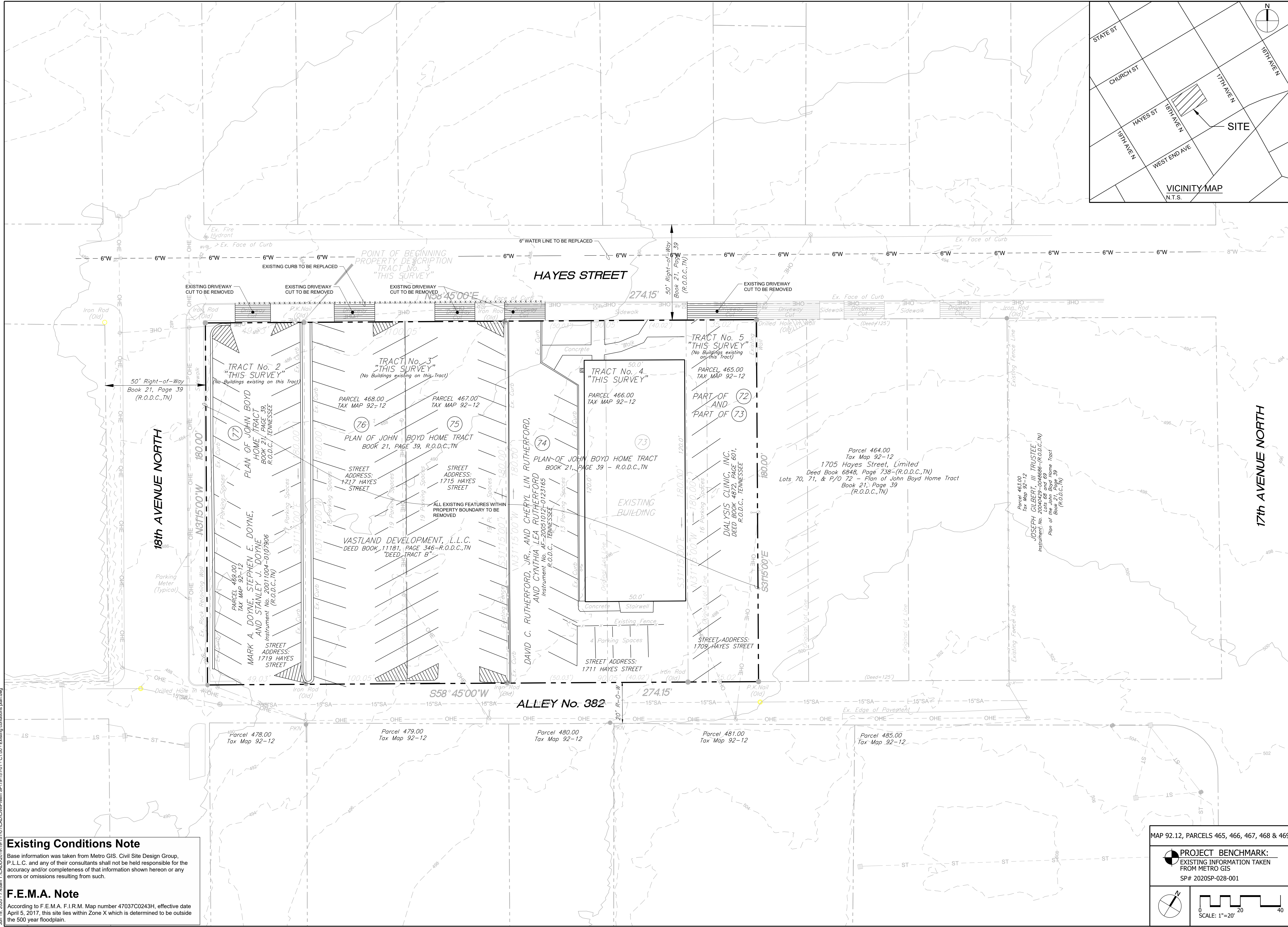
No.	Description	Date
1	Preliminary SP Resubmittal	06/02/20
2	Striping Plan and Uses added	06/17/20

REVISION: | DRAWN: MD | CHECKED: KG

EXISTING CONDITIONS PLAN

C1.00

PROJECT NO.: 19-151-01



Existing Conditions Note

Base information was taken from Metro GIS. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.

F.E.M.A. Note

According to F.E.M.A. F.I.R.M. Map number 47037C0243H, effective date April 5, 2017, this site lies within Zone X which is determined to be outside the 500 year floodplain.

MAP 92.12, PARCELS 465, 466, 467, 468 & 469

PROJECT BENCHMARK:
EXISTING INFORMATION TAKEN FROM METRO GIS
SP# 2020SP-028-001

SCALE: 1"=20'

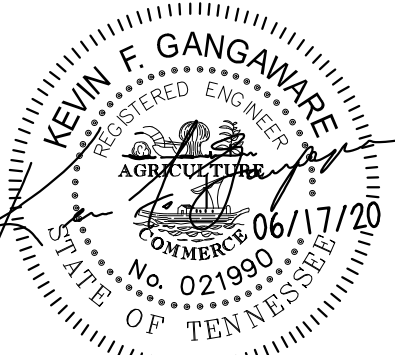
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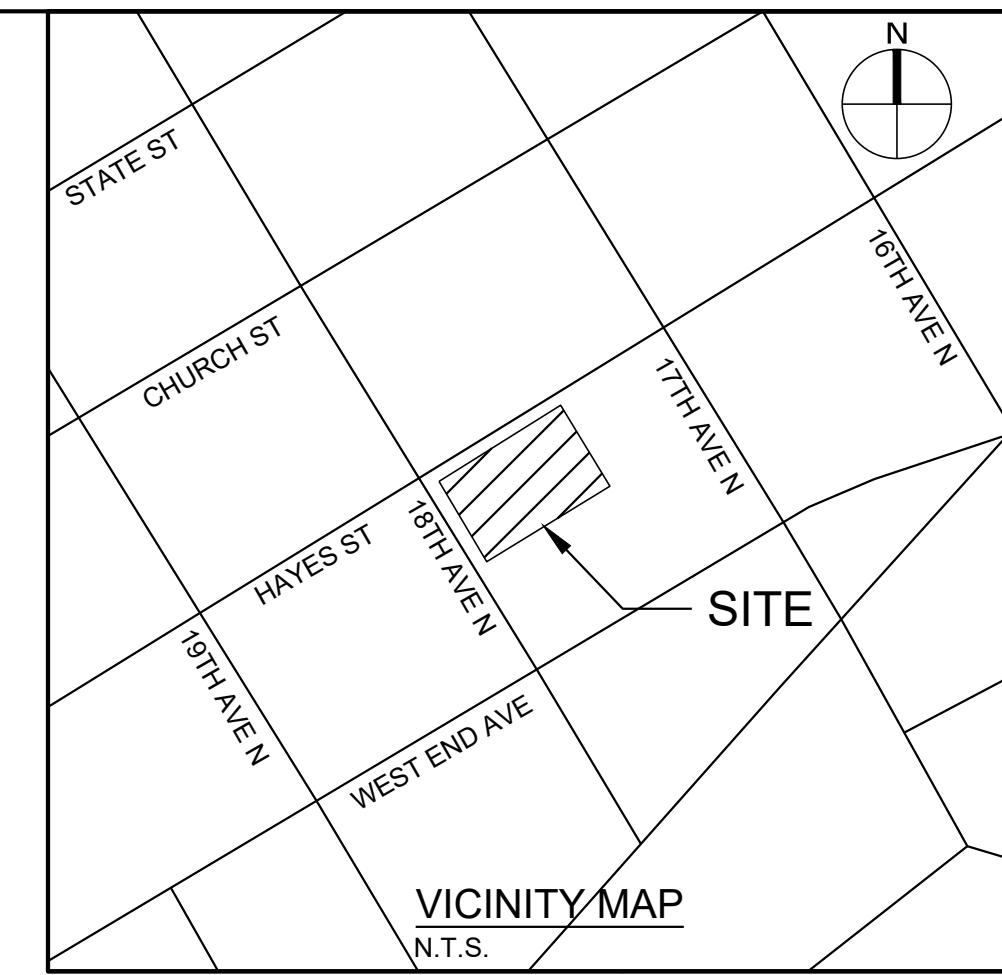
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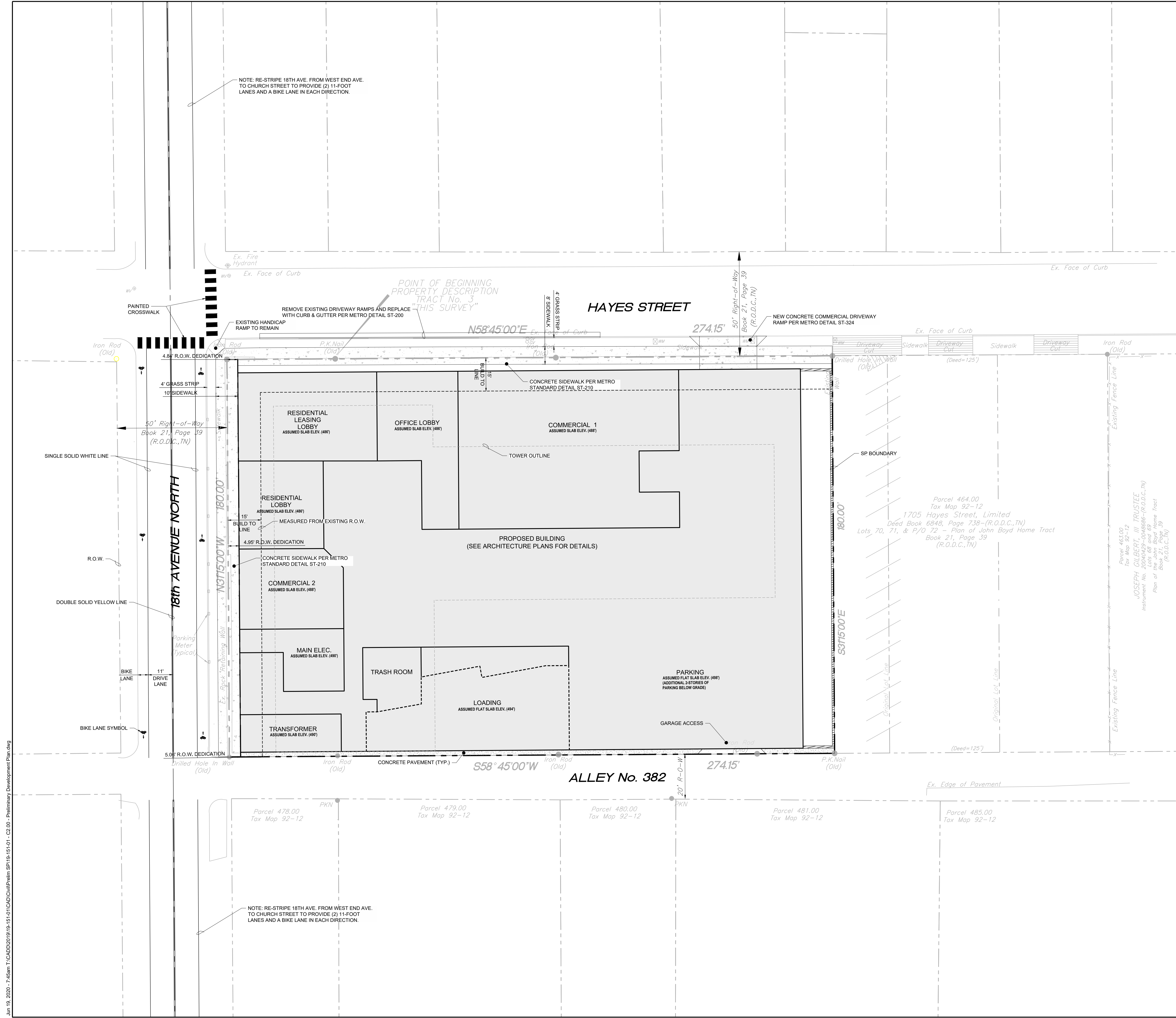
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SITE DATA TABLE	
TOTAL SITE ACRES	1.15± Ac. (50,172 sq. ft.)
EXISTING ZONING	MUI-A
PROPOSED ZONING	SP
EXISTING USES	OFFICE / PARKING
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL OR HOTEL - UP TO 310 UNITS COMMERCIAL - UP TO 15,000 SF OFFICE - UP TO 90,000 SF (SEE BELOW FOR LAND USE CONDITION NOTE)
ISR (ALLOWED)	1.00
ISR (PROPOSED)	0.97
PROPOSED FLOOR AREA	401,000 sq. ft.
YARD REQUIREMENTS	STREET: 0'-15' BUILD TO SIDE YARD: NONE REAR YARD: NONE
MAX HEIGHT ALLOWED IN BUILD TO ZONE	95' IN 8 STORIES
MIN. STEP BACK (REQUIRED)	15'
STEP BACK (PROPOSED)	HAYES ST: 18.9' 18TH AVE: 24'
PARKING (REQUIRED)	UZO DISTRICT PARKING REQUIREMENTS HOTEL/MOTEL: 1 PER UNIT + 1 PER (4) EMPLOYEES RETAIL: FIRST 2,000 sq. ft. EXEMPT; 1 PER 200 sq. ft. FOR 2,000 TO 50,000 sq. ft. OFFICE: FIRST 2,000 sq. ft. EXEMPT; 1 PER 500 sq. ft. IN EXCESS OF 2,000 sq. ft.
PARKING (PROPOSED) *	DEVELOPER WILL MEET OR EXCEED REQUIRED PARKING. ACTUAL COUNT MAY VARY BASED ON FINAL ALLOCATION OF USES.

* ADDITIONAL PARKING SPACES MAY BE PROPOSED IN FINAL SP TO SERVE ADJACENT OR NEARBY PROPERTIES.

NOTE:
PERMITTED USES SHALL BE LIMITED TO 105,000 SQUARE FEET OF COMMERCIAL USE CONSISTENT WITH THE USES PERMITTED IN THE MUI-A ZONING DISTRICT AND 310 HOTEL OR MULTI-FAMILY RESIDENTIAL UNITS. SHORT TERM RENTAL PROPERTIES - OWNER OCCUPIED AND SHORT-TERM RENTAL PROPERTIES - NOT-OWNER OCCUPIED SHALL BE PROHIBITED.



NOTE: RE-STRIPE 18TH AVE. FROM WEST END AVE. TO CHURCH STREET TO PROVIDE (2) 11-FOOT LANES AND A BIKE LANE IN EACH DIRECTION.

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MAP 92.12, PARCELS 465, 466, 467, 468 & 469

PROJECT BENCHMARK:
EXISTING INFORMATION TAKEN FROM METRO GIS
SP# 2020SP-028-001

SCALE: 1"=20'

Preliminary Specific Plan for Avalon Midtown

Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:
Preliminary Specific Plan
ISSUE DATE: May 13, 2020

No.	Description	Date
1	Preliminary SP Resubmission	06/02/20
2	Striping Plan and Uses added	06/17/20

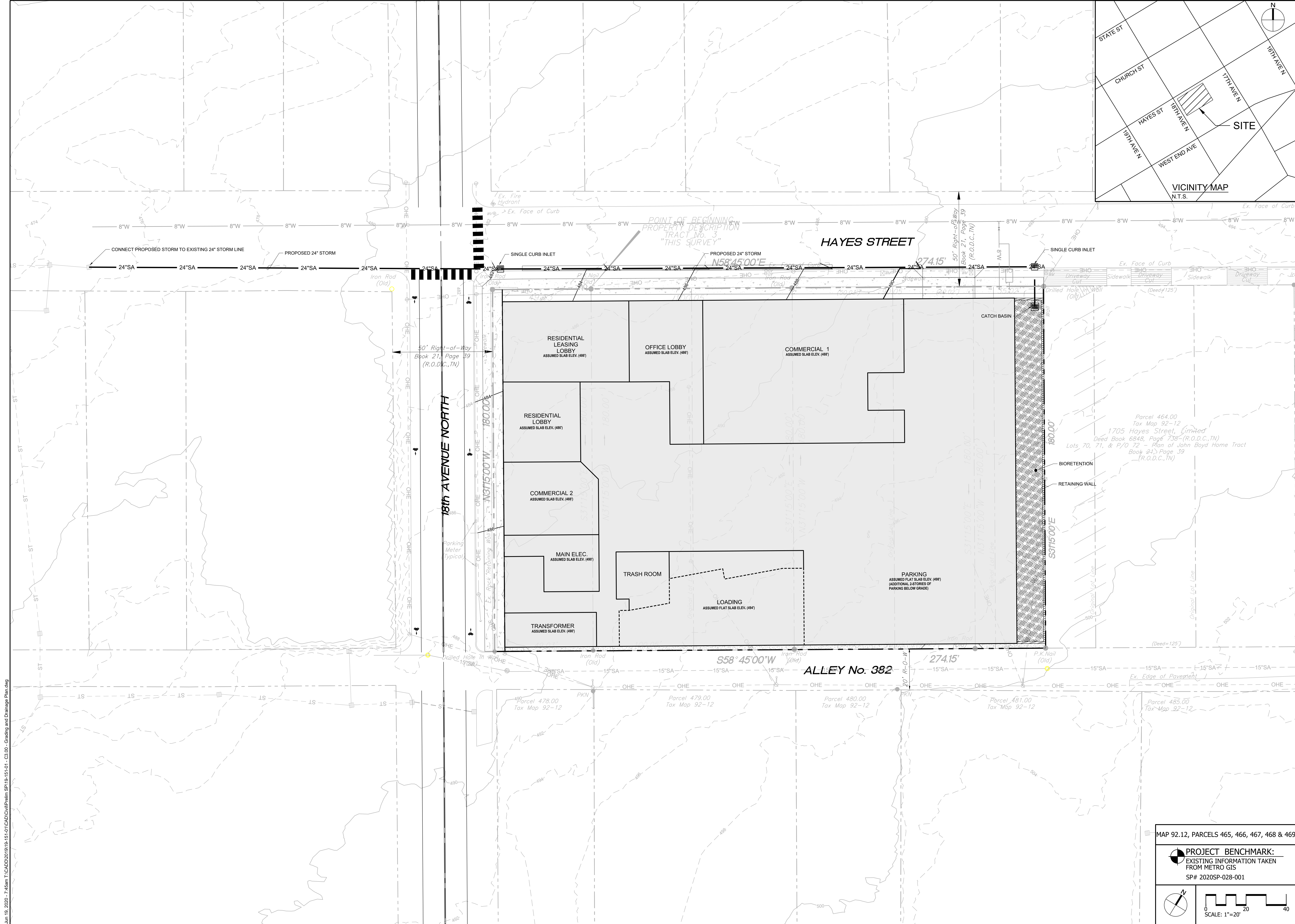
REVISION: | DRAWN: MD | CHECKED: KG

PRELIMINARY DEVELOPMENT PLAN

C2.00

PROJECT NO.: 19-151-01

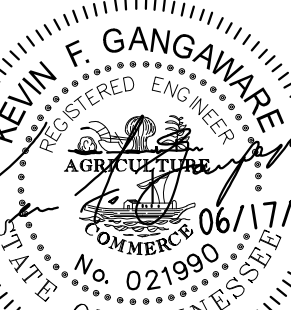
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GRADING AND DRAINAGE PLAN

C3.00

PROJECT NO.: 19-151-01

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MAP 92.12, PARCELS 465, 466, 467, 468 & 469

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SP# 2020SP-028-001

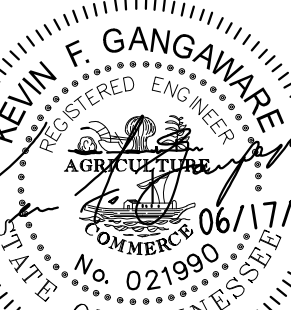


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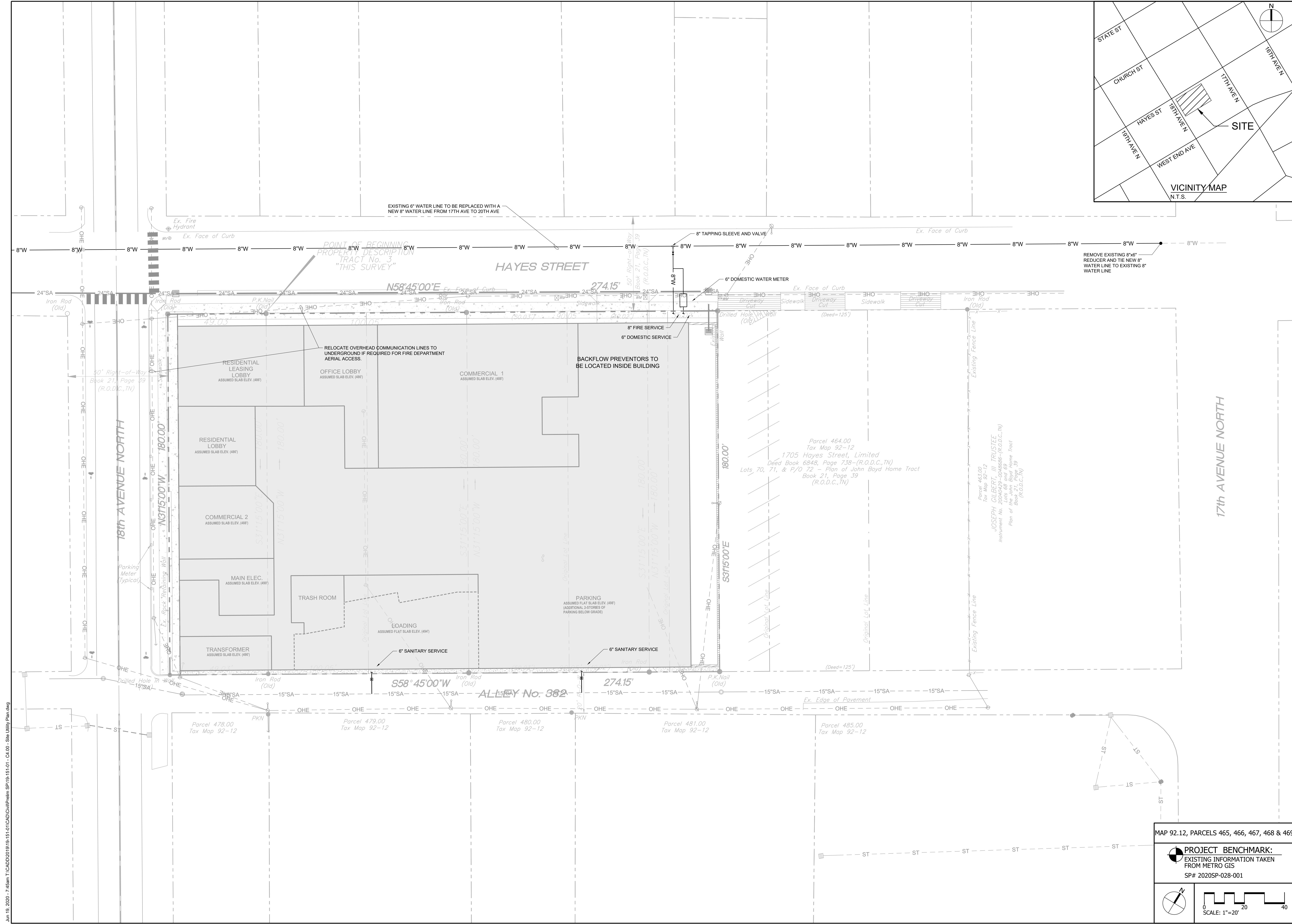
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REVISION: | DRAWN: MD | CHECKED: KG

SITE UTILITY PLAN

C4.00

PROJECT NO.: 19-151-01



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massing and materials

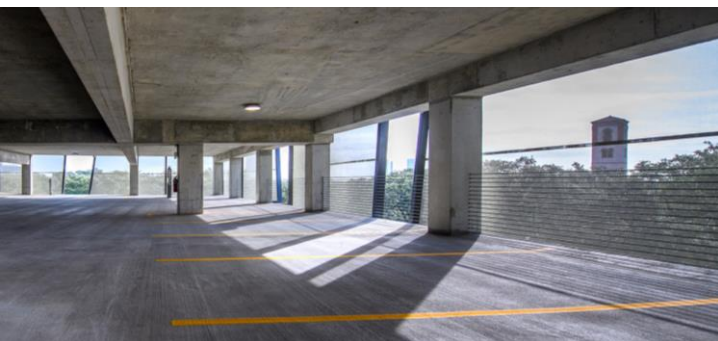
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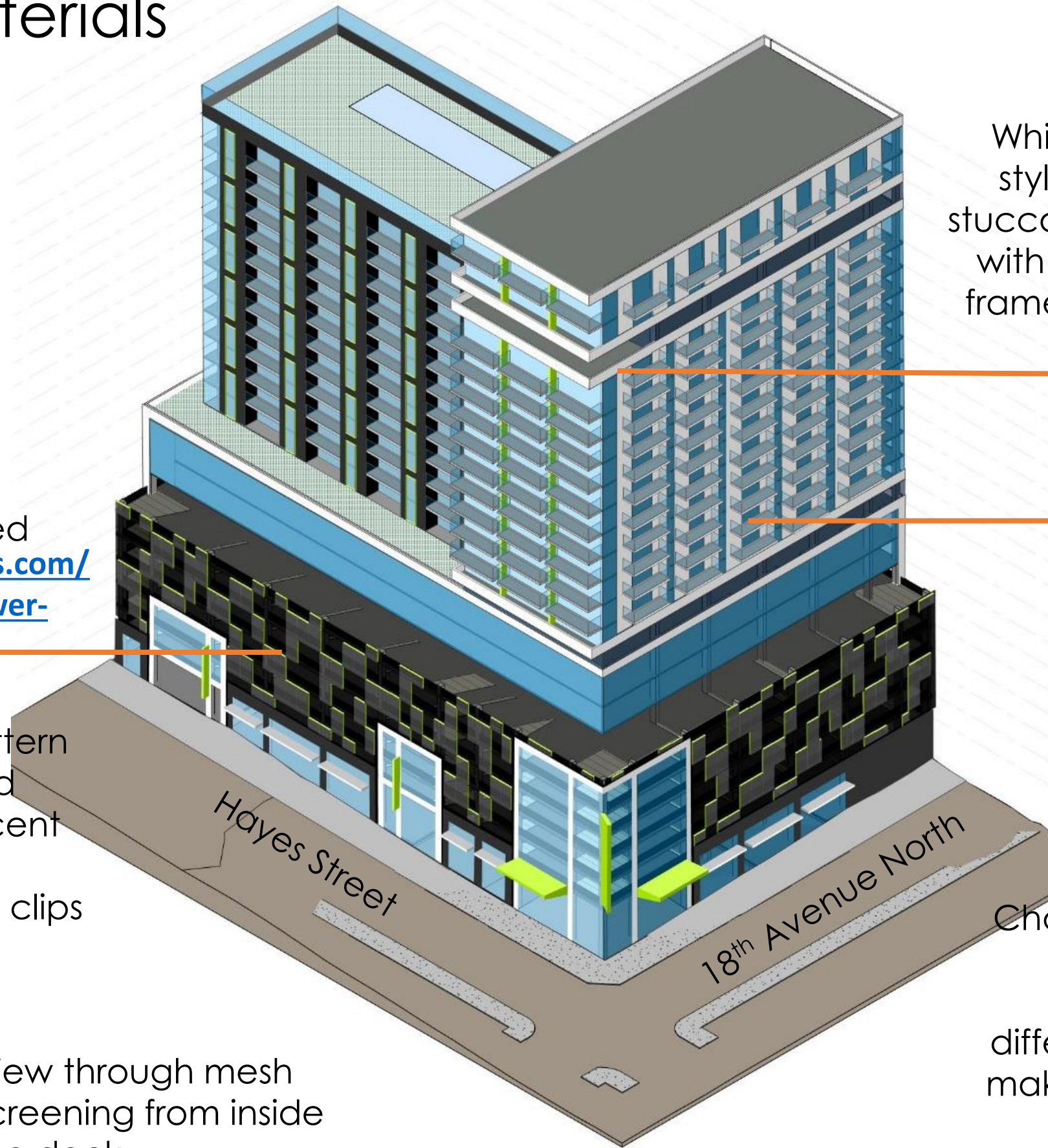
Tensile mesh screening in colored pattern to be determined <https://flexfacades.com/projects/sobro-tower-garage/>



Dark tensile background pattern with lighter raised pattern and accent color. Modular panels with steel clips



View through mesh screening from inside the deck



White "frame" style design in stucco and glass with portions of frame acting as balconies



Charcoal and white to delineate different forms making up the massing

