CASE NO. 158-77P-007

PUD REVISION PLANS

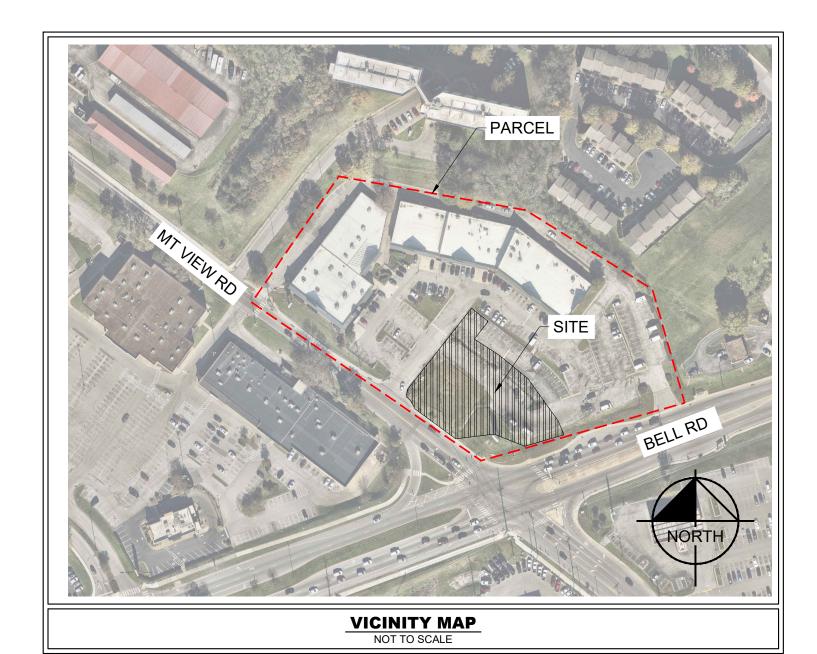
PINNACLE BANK - ANTIOCH

771 BELL RD ANTIOCH, TENNESSEE

> INITIAL SUBMITTAL: FEBRUARY 26, 2025 RESUBMITTAL: APRIL 1, 2025

PURPOSE NOTE

THE PURPOSE OF THIS APPLICATION IS PLANNED UNIT DEVELOPMENT (PUD) FINAL SITE PLAN APPROVAL FOR A FINANCIAL INSTITUTION.



COUNCIL DISTRICT 32
COUNCIL MEMBER JOY STYLES
CITY OF ANTIOCH
DAVIDSON COUNTY COUNTY, TENNESSEE

PROJECT DESIGN TEAM

ARCHITECT
HASTINGS

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STANDARD PUD NOTES

ISSUANCE OF A BUILDING PERMIT

- THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE
 METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE
- BUILDING SETBACKS SHALL BE PER THE METRO ZONING CODE.
 NO BUILDING PERMIT MAY BE ISSUED ON ANY LOT UNTIL
 STREET NAME SIGNS ARE INSTALLED AND VERIFIED BY THE
 METROPOLITAN DEPARTMENT OF PUBLIC WORKS ON ALL
 STREETS ON WHICH THE LOT DEPEND FOR ACCESS.
- THESE PARCELS LIE WITHIN "ZONE X" (AREA OF MINIMAL FLOO HAZARD) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0392H
- 4. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER
- SERVICES.

 5. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET
- FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" RCP.)

 6. THESE DRAWINGS ARE FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE
- FINAL LOT COUNT AND DETAILS OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.

 7. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND
- UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

 8. NOTE TO PROSPECTIVE OWNERS: YOU ARE STRONGLY ADVISED TO CONTACT METRO WATER SERVICES ENGINEERING (DEVELOPMENT SERVICES) TO DETERMINE ADEQUACY OF
- INDIVIDUAL WATER AND SANTARY SEWER SERVICE LINES ARE
- REQUIRED FOR EACH PARCEL.

 THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL
 DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED
 GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL
 EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN
 ANY REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE
 ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY
 PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE
 RELOCATED OUTSIDE OF ANY REQUIRED SIDEWALK. VERTICAL
 OBSTRUCTIONS ARE ONLY PERMITTED WITHIN ANY REQUIRED
 GRASS STRIP OR FRONTAGE ZONE. ALTERNATIVE SIDEWALK
 DESIGNS MAY BE PERMITTED WHERE CONSTRAINTS SUCH AS
 UTILITIES, EXTREME TOPOGRAPHY, OR OTHER CONSTRAINTS
 EXIST, SUBJECT TO PLANNING STAFF APPROVAL AT FINAL SITE

SHEET INDEX SHEET GENERAL NOTES C0-10 PREVIOUS PUD REVISION DEMOLITION PLAN SITE LAYOUT - OVERALL EROSION CONTROL PLAN - PHASE 1 EROSION CONTROL PLAN - PHASE 2 EROSION CONTROL DETAILS GRADING AND DRAINAGE PLAN - OVERALL UTILITY PLAN - OVERALL C8-11 SITE DETAILS TREE PRESERVATION PLAN LANDSCAPE PLAN L1-00 L1-50 LANDSCAPE DETAILS LANDSCAPE DETAILS

OWNER / DEVELOPER



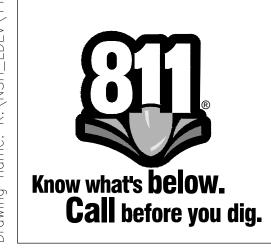
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PLANS PREPARED BY



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	REVISION NO.	DATE		REMARKS
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CONTRACTOR RESPONSIBILITIES:

- 1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 - THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
 - PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

2. DURING CONSTRUCTION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
- C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- D. ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
- CONSTRUCTION SHALL MEET ALL CURRENT STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT.
- F. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
- G. SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR TENNESSEE DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.
- ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND METRO NASHVILLE STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
- J. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
- L. ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
- M. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP
- IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- O. ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
- AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS,
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THE CONTRACTOR WILL INDEMNIFY THE OWNER & OWNER'S REPRESENTATIVE FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- W. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, BLASTING, PUBLIC INFRASTRUCTURE, STORMWATER REGULATIONS, ETC.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

DEMOLITION INFORMATION:

NOTIFICATIONS:

THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

DISPOSAL GUIDELINES:

- ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
- REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
- C. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
- ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE

TREE PROTECTION GUIDELINES:

PROTECT ALL EXISTING TREES NOTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.

UTILITIES:

- PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
- ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED

SITE INFORMATION:

- 1. THE FOLLOWING ARE APPLICABLE TO ALL CIVIL DOCUMENTS:
 - WHERE A DETAIL SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- EXISTING AND PROPOSED CONTOURS ARE AT ONE (1) FOOT INTERVALS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE.
- PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

EROSION AND SEDIMENT CONTROL INFORMATION:

- COMPREHENSIVE
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT
- EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN
- CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.

ADA COMPLIANCE:

- A. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- B. PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- C. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- D. ANY COMPONENTS OF THE PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- E. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS. ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

CONCRETE INFORMATION (SITE WORK ONLY):

- PRODUCT CRITERIA:
 - UNLESS OTHERWISE NOTED CEMENT SHALL BE TYPE I OR III CONFORMING TO ASTM C150. AGGREGATES SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C33.
 - CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318-89). UNLESS NOTED CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I.
 - SLUMP SHALL BE 3" TO 5" FOR REGULAR MIX. LARGER SLUMP SHALL BE PERMITTED WITH WATER REDUCING ADMIXTURES AND WRITTEN CONSENT OF THE ENGINEER.
 - D. THE RELATIONSHIP BETWEEN MAXIMUM AGGREGATE SIZE TO MINIMUM AMOUNT OF CEMENT IN CONCRETE PAVEMENT (LB. PER C.Y. OR MIX) SHALL BE AS FOLLOWS: 1" - 520. 3/4" - 540, 1/2" - 590, 3/8" - 610.

CURING CRITERIA:

- CONCRETE CURING SHALL COMPLY WITH ACI 308. CURING PROCESS SHALL START IMMEDIATELY FOLLOWING INITIAL SET. CURING SHALL BE BY CURING COMPOUND.
- CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318-89 TABLE 4.1.1. NORMAL WEIGHT CONCRETE SLABS SHALL HAVE AIR CONTENT IN ACCORDANCE WITH ACI 302.IR-89 TABLE 5.2.7A.
- HOT WEATHER CONCRETING SHALL COMPLY WITH ACI 305. NO CONCRETE ABOVE 90 DEGREES FAHRENHEIT SHALL BE POURED. LOWER CONCRETE TEMPERATURE BY COOLING WATER AND AGGREGATE. FORMS, STEEL, AND SUBGRADE SHALL BE SPRINKLED WITH COLD WATER. AFTER FINISHING CONCRETE USE LIGHT FOG SPRAY UNTIL CURING COMPOUND IS USED.
- COLD WEATHER CONCRETING SHALL COMPLY WITH ACI 306. SPECIAL MATERIAL PROCEDURES SHALL BE PROVIDED DURING PLACING AND CURING OF CONCRETE BELOW 40 DEGREES FAHRENHEIT.
- E. E. CURING, HOT, AND COLD WEATHER CONCRETING PROCEDURES ARE ONLY GIVEN AS A GUIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT CONCRETE DAMAGE AND CRACKS. DAMAGED OR CRACKED CONCRETE WILL NOT BE ACCEPTED

REINFORCING STEEL INFORMATION (SITE WORK ONLY):

- PRODUCT CRITERIA:
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 AND GRADE 40 FOR #3 AND SMALLER BARS. MINIMUM LAP 48" DIAMETER.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, MINIMUM LAP SHALL BE 8".
- REINFORCING THAT IS WELDED SHALL BE WELDABLE TYPE AND CONFORM TO ASTM A-706.

PAVEMENT INFORMATION:

- PAVEMENT:
 - ALL MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION, AND WORKMANSHIP SHALL CONFORM TO THE TENNESSEE DEPARTMENT OF TRANSPORTATION, TDOT, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
 - SEE PAVEMENT DETAILS ON CONSTRUCTION DOCUMENTS FOR SPECIFIC DESIGN INFORMATION AND REQUIREMENTS.
 - C. ALL CURB AND GUTTER TO BE 24" AND CONSTRUCTED OF 3000 P.S.I. CONCRETE UNLESS OTHERWISE NOTED.
- SIGNING AND STRIPING:
- A. SIGNING AND STRIPING TO BE PROVIDED BY THE CONTRACTOR ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO CURRENT MUTCD STANDARDS. ALL PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL BE PAINT, UNLESS NOTED OTHERWISE. ALL PAVEMENT MARKINGS ON PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC, UNLESS NOTED OTHERWISE.

STORM SEWER NOTES:

- 1. REINFORCED CONCRETE PIPE SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS.
- 2. FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE.
- 3. STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH METRO NASHVILLE PUBLIC WORKS SPECIFICATIONS WHICH MEET OR EXCEED ASTM C 478.
- 4. ALL MANHOLE FRAMES AND COVERS ARE TO BE PER METRO NASHVILLE PUBLIC WORKS STANDARD DETAIL FOR DIMENSIONS AND MATERIALS AND AS BELOW IF NOT OTHERWISE INDICATED. FERROUS; 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO 225-MM) RISER WITH 4-INCH-(102-MM-) MINIMUM WIDTH FLANGE AND 26-INCH- (660-MM-) DIAMETER COVER. INCLUDE INDENTED TOP DESIGN WITH LETTERING CAST INTO COVER, USING WORDING EQUIVALENT TO "STORM SEWER."
- 5. MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS OTHERWISE INDICATED.
- 6. ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR PIPE. HDPE PIPE SHALL CONFORM TO ASTM D3350 WITH SOIL TIGHT JOINTS.
- 7. ALL HDPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO
- 8. CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE STRUCTURES. 9. REFER TO PIPE CHART FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER

MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES.

- 10. FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTION AS INCLUDED WITHIN THE PLANS AND PROVIDED BY MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY AND DETENTION SYSTEMS.
- 11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.

CLEARING AND GRUBBING:

- A. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- B. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- C. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- D. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
- E. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
- CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK
- E. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.
- F. AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUITE TREE WELLS WITHIN THE GRADING LIMITS.
- G. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

GRADING NOTES:

- A. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUT AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL
- UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEEDED.
- C. FILL AREA SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RE-COMPACTION OF THESE SOILS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RE-COMPACTED TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- E. ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
- F. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION.
- GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 10 CALENDAR DAYS PF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- H. SOILS TESTING LABORATORY/ SOILS ENGINEER. CONTRACTOR WILL EMPLOY A QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE THIS WORK AND MAKE TESTS AS REQUIRED.
- HAVE EARTH BORROW FILL, AGGREGATE, AND TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED TESTING LABORATORY BEFORE MOVING IT TO THE JOB
- CONTRACTOR SHALL OBSERVE PROOF-ROLLING OF AREAS WHERE BUILDING AND PAVING WILL BE LOCATED TO DETERMINE ADEQUACY OF SOIL COMPACTION AND IN-PLACE SOILS. OTHER AREAS WILL BE INSPECTED BY SOILS ENGINEER TO DETERMINE ADEQUACY IN THOSE AREAS. IF SOILS ARE NOT ADEQUATE TO BEAR WEIGHTS THAT WILL BE IMPOSED, TESTING LABORATORY WILL OBSERVE AND REPORT CORRECTIVE ACTION TAKEN.
- K. TEST IN-PLACE SOIL AND FILLED AND COMPACTED AREAS. IF THESE ARE NOT ADEQUATE TO BEAR WEIGHTS IMPOSED. TESTING LABORATORY WILL ADVICE THE OWNER'S REPRESENTATIVE OF THEIR RECOMMENDATIONS. HE WILL DIRECT ANY CORRECTIVE MEASURES THAT ARE NECESSARY.
- SOILS COMPACTION TESTING OF IN-PLACE AND FILLED AND COMPACTED AREAS WILL BE

PERFORMED BY TESTING LABORATORY IN ACCORDANCE WITH THEIR REQUIREMENTS.

- M. THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES WILL BE PAID BY THE CONTRACTOR.
- N. APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE PART OF THIS SPECIFICATION:
- D421-58, DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND
- DETERMINATION OF SOIL CONSTANTS. • D422-63, STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS.

MM) DROP.

• D698, METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT • D1557-78, STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS

D1140-54, METHOD OF TEST FOR AMOUNT OF MATERIAL IN SOILS FINER THAN NO.200

AND SOIL-AGGREGATE MIXTURES USING 10 LB. (4.54-KG) RAMMER AND 18-INCH (457

- O. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
- P. CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING NOTES AND GEOTECHNICAL REPORT EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- Q. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING WITH LOAD TICKETS, PHOTOGRAPHS, LOG BOOK, VIDEO RECORDING AND OTHER MEANS AS NECESSARY TO VERIFY THE INSTALLATION OF STORMWATER BEST MANAGEMENT PRACTICES REQUIRED BY THE LOCAL MUNICIPALITY AND JURISDICTION. AS-BUILT TOPOGRAPHY AND UTILITY PLANS HAVING BEEN PREPARED BY A QUALIFIED LAND SURVEYOR ARE REQUIRED TO BE SUBMITTED TO KIMLEY-HORN AT THE CONCLUSION OF THE PROJECT FOR VERIFICATION OF DESIGN INTENT. ANY MODIFICATIONS TO THE GRADING AND UTILITY SYSTEMS REQUIRED, NOT PREVIOUSLY APPROVED BY THE OWNER AND ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR

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02/26/202

GENERAL NOTES

KIMLEY-HORN PROJECT NO.

118193007

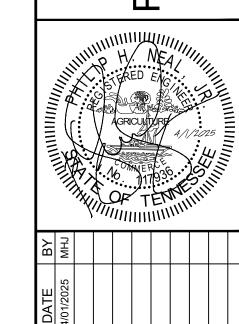
DRAWN BY:

CHECKED BY:

C0-01

SHEET NUMBER

Drawing name: K:\NSH_LDEV\118193007 - pinnacle bank - antioch\4-CADD\plansheets\C0-01 GENERAL NOTES.dwg C0-01 GENERAL NOTES Apr 01, 2025 6:42pm by: philip.neal



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DATE	04/01/2025					
REVISIONS	3 COMMENTS					

COORDINATES ARE NAD83. REFERENCED TO THE NAVD 1988.

DESIGNED BY: CHECKED BY: ALL ELEVATIONS ARE DATE: KIMLEY-HORN PROJECT NO. 118193007

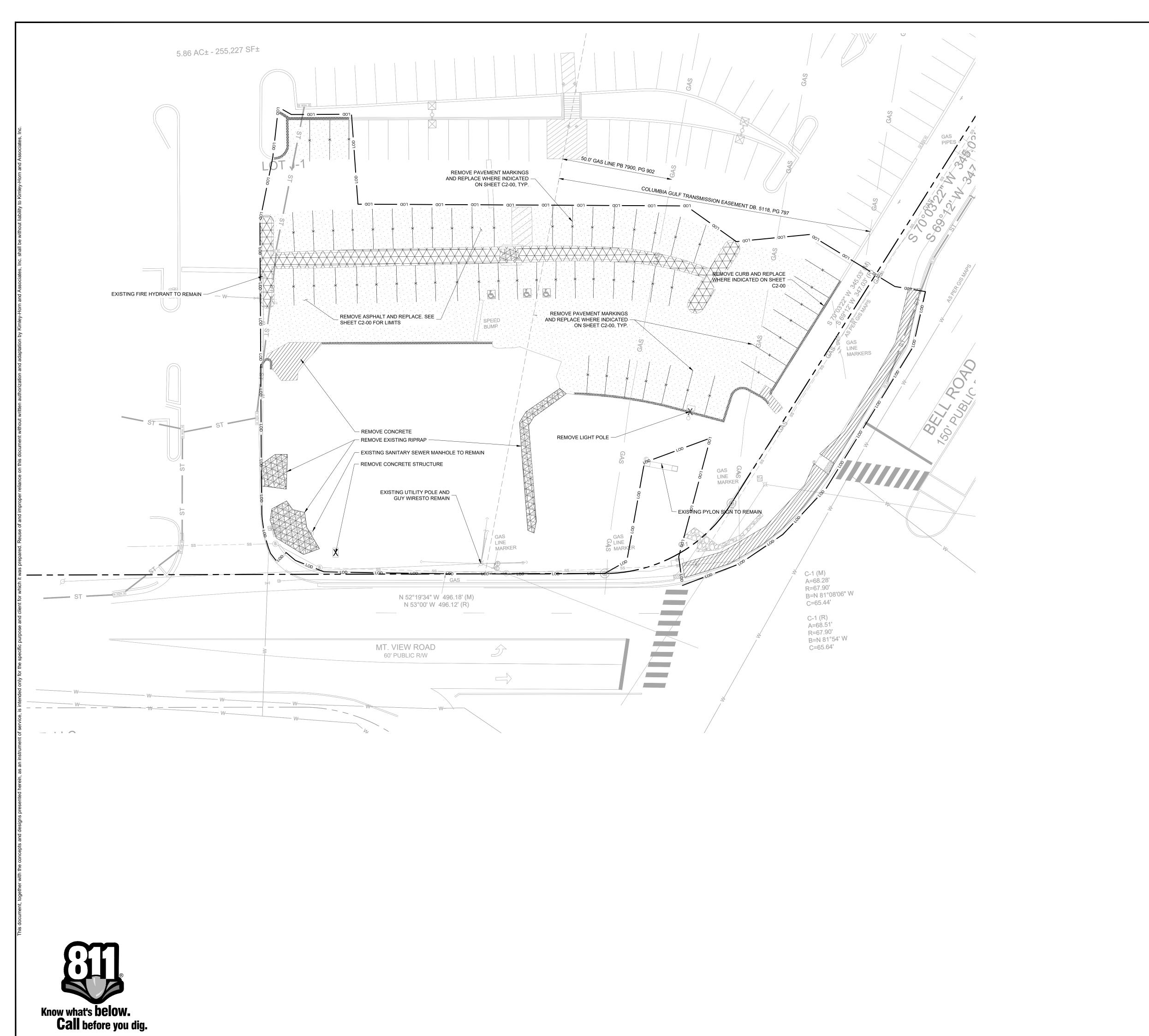
> PREVIOUS PUD REVISION

SHEET NUMBER C0-10

Drawing name: K:\NSH_LDEV\118193007 - pinnacle bank - antioch\4-CADD\plansheets\C1-00 EXISTING CONDITIONS.dwg C0-10 PREVIOUS PUD REVISION Apr 01, 2025 6:43pm by: philip.neal

PINN

2/28/85 4/10/85 4/17/85



DEMOLITION LEGEND REMOVE GRAVEL DEMOLISH AND REMOVE STRUCTURE REMOVE CONCRETE / RIGID PAVEMENT REMOVE CONCRETE / RIGID PAVEMENT REMOVE LINEAR OBJECT (FENCE/UTILITIES)

REMOVE OBJECT

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

UTILITY DEMOLITION NOTE

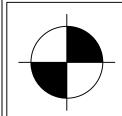
CONTRACTOR RESPONSIBLE FOR REMOVING ALL EXISTING UTILITY SERVICES TO SERVE THE EXISTING BUILDING(S). CONTACT THE RESPONSIBLE UTILITY DEPARTMENT AND NOTIFY OWNER A MINIMUM OF 72 HOURS PRIOR TO DISCONNECTING SERVICES TO THE EXISTING BUILDING(S). MAINTAIN UTILITY SERVICE TO THE ADJACENT PROPERTIES FOR THE DURATION OF THE PROJECT.

SEE EROSION CONTROL PLAN C3-10 FOR EROSION CONTROL **MEASURES. SILT FENCE AND EROSION EELS SHALL BE INSTALLED PRIOR TO TO ANY**

CAUTION!

EXISTING OVERHEAD AND UNDERGROUND

SEE DEMOLITION NOTES, SHEET CO-01.



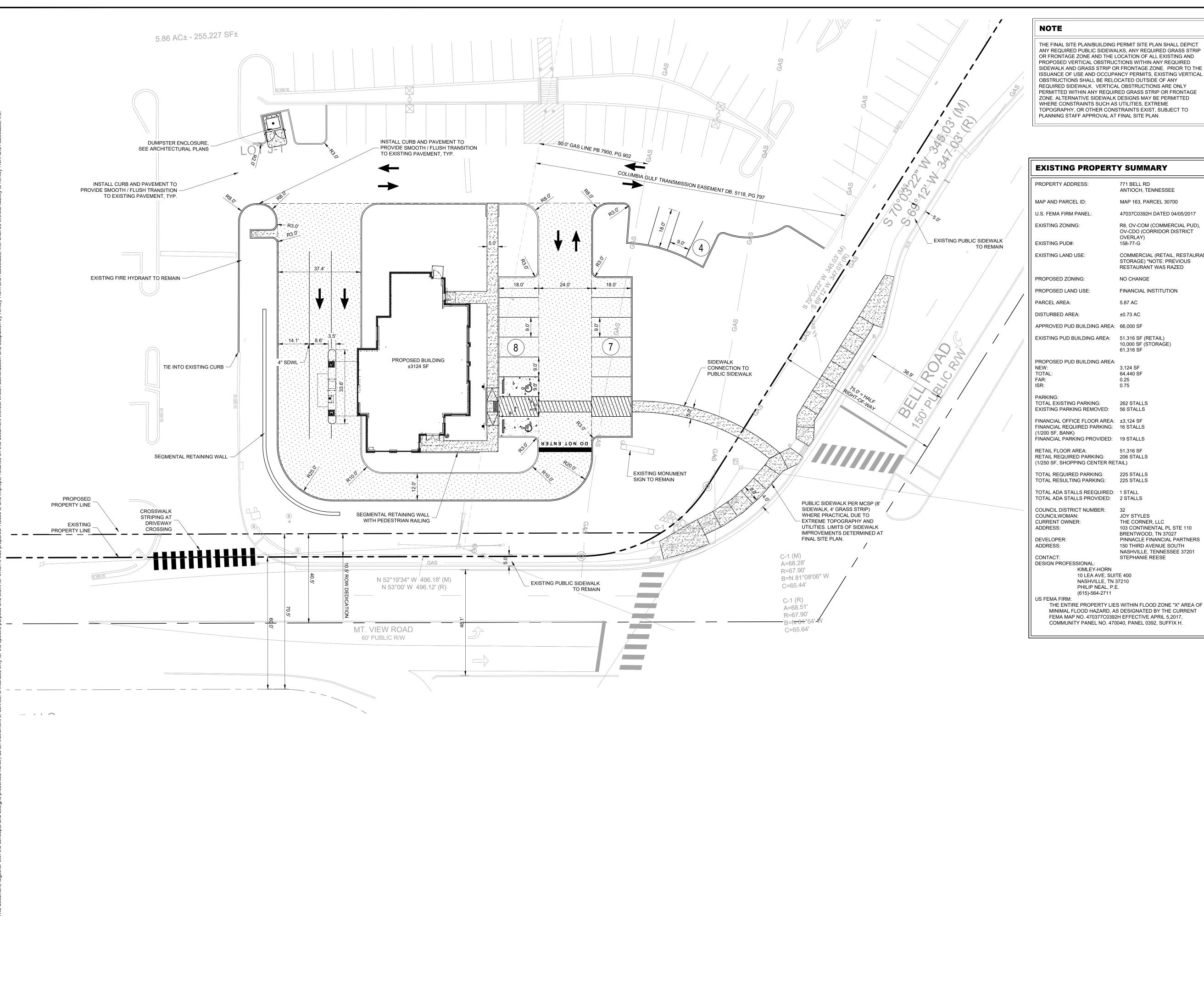
COORDINATES ARE NAD83. ALL ELEVATIONS ARE DATE: REFERENCED TO THE

NAVD 1988.

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DEMOLITION PLAN

SHEET NUMBER C1-00



THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN ANY REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF ANY REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE. ALTERNATIVE SIDEWALK DESIGNS MAY BE PERMITTED WHERE CONSTRAINTS SUCH AS UTILITIES, EXTREME TOPOGRAPHY, OR OTHER CONSTRAINTS EXIST, SUBJECT TO

EXISTING PROPERTY SUMMARY

771 BELL RD ANTIOCH, TENNESSEE MAP 163, PARCEL 30700 47037C0392H DATED 04/05/2017 R8, OV-COM (COMMERCIAL PUD), OV-CDO (CORRIDOR DISTRICT OVERLAY) 158-77-G COMMERCIAL (RETAIL, RESTAURANT STORAGE) *NOTE: PREVIOUS RESTAURANT WAS RAZED NO CHANGE FINANCIAL INSTITUTION 5.87 AC ±0.73 AC APPROVED PUD BUILDING AREA: 66,000 SF EXISTING PUD BUILDING AREA: 51,316 SF (RETAIL) 10,000 SF (STORAGE) 61,316 SF ` 3,124 SF

64,440 SF 0.25 0.75

TOTAL EXISTING PARKING: 262 STALLS EXISTING PARKING REMOVED: 56 STALLS

FINANCIAL OFFICE FLOOR AREA: ±3,124 SF FINANCIAL REQUIRED PARKING: 16 STALLS FINANCIAL PARKING PROVIDED: 19 STALLS 51,316 SF

TOTAL REQUIRED PARKING: 225 STALLS TOTAL RESULTING PARKING: 225 STALLS

TOTAL ADA STALLS REEQUIRED: 1 STALL TOTAL ADA STALLS PROVIDED: 2 STALLS JOY STYLES

> STEPHANIE REESE 10 LEA AVE, SUITE 400 NASHVILLE, TN 37210 PHILIP NEAL, P.E.

THE ENTIRE PROPERTY LIES WITHIN FLOOD ZONE "X" AREA OF MINIMAL FLOOD HAZARD, AS DESIGNATED BY THE CURRENT FEMA MAP NO. 470377C0392H EFFECTIVE APRIL 5,2017, COMMUNITY PANEL NO. 470040, PANEL 0392, SUFFIX H.

SITE LAYOUT NOTES

OTHERWISE.

- ALL WORK AND MATERIALS SHALL COMPLY WITH LOCAL CITY,
- COUNTY, AND STATE REGULATIONS AND CODES.
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH O.S.H.A.
- STANDARDS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR
- BUILDING DIMENSIONS AND BUILDING UTILITY INFORMATION ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS. INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION
- JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.). CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO FIND AND AVOID DISTURBING SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER
- SUCH WHEN ESTIMATING. ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE. . ALL PAVEMENT MARKINGS SHALL CONFORM TO CURRENT MUTCD STANDARDS. ALL PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL BE PAINT, UNLESS NOTED OTHERWISE. ALL
- PAVEMENT MARKINGS ON PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC, UNLESS NOTED OTHERWISE. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED
- PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. NO PEDESTRIAN PATHWAY SHALL EXCEED 2.0% CROSS SLOPE
- OR 5.0% LONGITUDINAL SLOPE UNLESS NOTED OTHERWISE. 3. THERE ARE TO BE NO VERTICAL OBSTRUCTIONS (POLES,
- SIGNS, GUY WIRES, ETC.) WITHIN THE SIDEWALK. 4. ANY DAMAGED SECTIONS OF EXISTING INFRASTRUCTURE TO BE REPLACED.

PAVING LEGEND

	STANDARD DUTY CONCRETE PAVEMENT SEE DETAIL, SHEET C8-00
A	HEAVY DUTY CONCRETE PAVEMENT SEE DETAIL, SHEET C8-00
	STANDARD DUTY ASPHALT PAVEMENT SEE DETAIL, SHEET C8-00
	HEAVY DUTY ASPHALT PAVEMENT

SEE DETAIL, SHEET C8-00

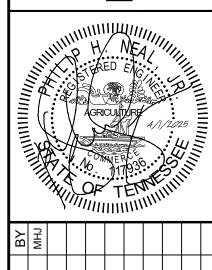
PAVING NOTES

- EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT SUBJECT TO DIFFERENT MAGNITUDE OF MOVEMENT, E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, STAIRWAYS, ENTRYWAY PIERS, BUILDING WALLS, MANHOLES.
- . WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE/INVERTED GUTTER PITCH.

SITE LEGEND

- TRAFFIC SIGN
- # PARKING COUNT
- ADA ACCESSIBLE RAMP

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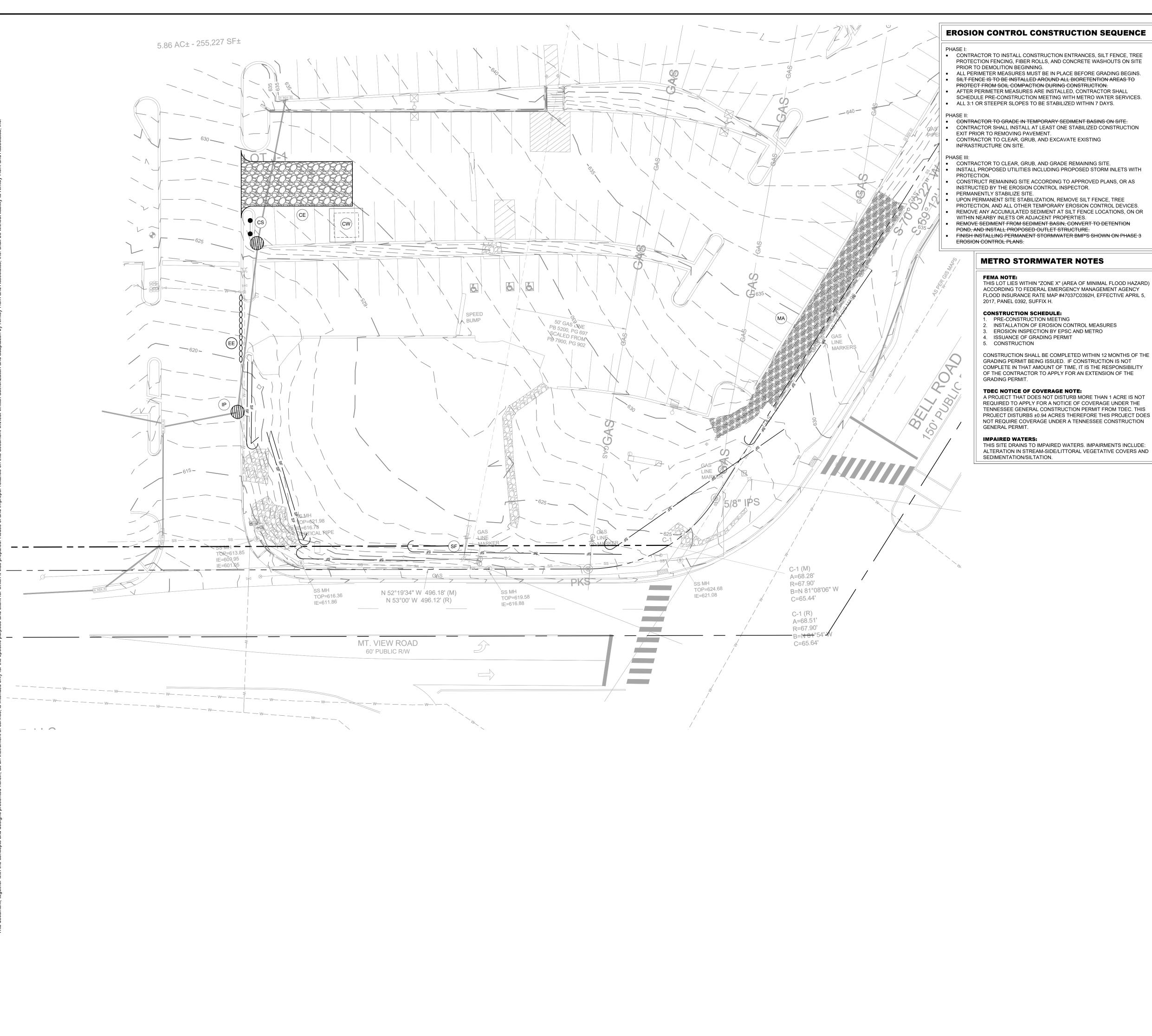
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REVISIONS	PLANNING COMMENTS									
DATE	04/01/2025									

COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

CHECKED BY: 02/26/2025 KIMLEY-HORN PROJECT NO. 118193007

SITE LAYOUT - OVERALL

SHEET NUMBER **C2-00**



 CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCES, SILT FENCE, TREE PROTECTION FENCING, FIBER ROLLS, AND CONCRETE WASHOUTS ON SITE

ALL PERIMETER MEASURES MUST BE IN PLACE BEFORE GRADING BEGINS. SILT FENCE IS TO BE INSTALLED AROUND ALL BIORETENTION AREAS TO PROTECT FROM SOIL COMPACTION DURING CONSTRUCTION AFTER PERIMETER MEASURES ARE INSTALLED, CONTRACTOR SHALL

ALL 3:1 OR STEEPER SLOPES TO BE STABILIZED WITHIN 7 DAYS.

 CONTRACTOR TO GRADE IN TEMPORARY SEDIMENT BASINS ON SITE. CONTRACTOR SHALL INSTALL AT LEAST ONE STABILIZED CONSTRUCTION

CONTRACTOR TO CLEAR, GRUB, AND EXCAVATE EXISTING

CONTRACTOR TO CLEAR, GRUB, AND GRADE REMAINING SITE.

CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, OR AS

UPON PERMANENT SITE STABILIZATION, REMOVE SILT FENCE, TREE PROTECTION, AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.

REMOVE SEDIMENT FROM SEDIMENT BASIN, CONVERT TO DETENTION POND, AND INSTALL PROPOSED OUTLET STRUCTURE. FINISH INSTALLING PERMANENT STORMWATER BMP'S SHOWN ON PHASE 3

THIS LOT LIES WITHIN "ZONE X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP #47037C0392H, EFFECTIVE APRIL 5,

INSTALLATION OF EROSION CONTROL MEASURES

EROSION INSPECTION BY EPSC AND METRO

GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE

REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC. THIS PROJECT DISTURBS ±0.94 ACRES THEREFORE THIS PROJECT DOES NOT REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION

CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE

EROSION CONTROL LEGEND

FR STONE FILTER RING - CLASS A RIP-RAP, 2' THICK (OP) OUTLET PROTECTION - REFER TO DETAIL SHEET C3-50

> (DD) DIVERSION DITCH - REFER TO DETAIL SHEET C3-50 (IP) INLET PROTECTION - REFER TO DETAIL SHEET C3-50

SF SILT FENCE - REFER TO DETAIL SHEET C3-50

(EE) EROSION EELS - REFER TO DETAIL SHEET C3-50

(CD) ROCK CHECK DAM - REFER TO DETAIL SHEET C3-50

(CW) CONCRETE WASHOUT AREA - REFER TO DETAIL SHEET C3-50

EROSION CONTROL MATTING - CONTECH LANDLOK S2 OR APPROVED EQUAL. CONTRACTOR TO INSTALL ON ALL SLOPES 3(H):1(V) OR STEEPER -REFER TO DETAIL SHEET C3-50

(CE) CONSTRUCTION EXIT - REFER TO DETAIL SHEET C3-50

(TS) TEMPORARY STABILIZATION - REFER TO DETAIL SHEET C3-50

(PS) PERMANENT STABILIZATION - REFER TO DETAIL SHEET C3-50/SHEET L1-10

TP (TP) TREE PROTECTION FENCE / HIGH VISIBILITY FENCE - REFER TO DETAIL

LIMITS OF DISTURBANCE

CONSTRUCTION SIGN BIORETENTION PRETREAMENT AREA - REFER TO DETAIL SHEET C8-02

BIORETENTION AREA - REFER TO DETAIL SHEET C8-02

EROSION CONTROL NOTES

STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.

ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.

FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.

MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER

REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S

REPRESENTATIVE, THEY ARE NO LONGER NEEDED. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.

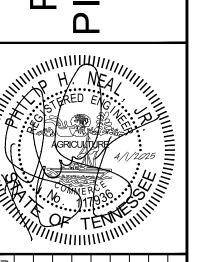
DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES. 10. STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR

PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES. 10.a. WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT

PORTION OF SITE. 10.b. ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE TENNESSEE EROSION AND SEDIMENT CONTROL

HANDBOOK. . CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13. RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING

PERMITTEE 12. SEE ADDITIONAL EROSION CONTROL NOTES ON SHEET C0-01.



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COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

CHECKED BY: KIMLEY-HORN PROJECT NO. 118193007

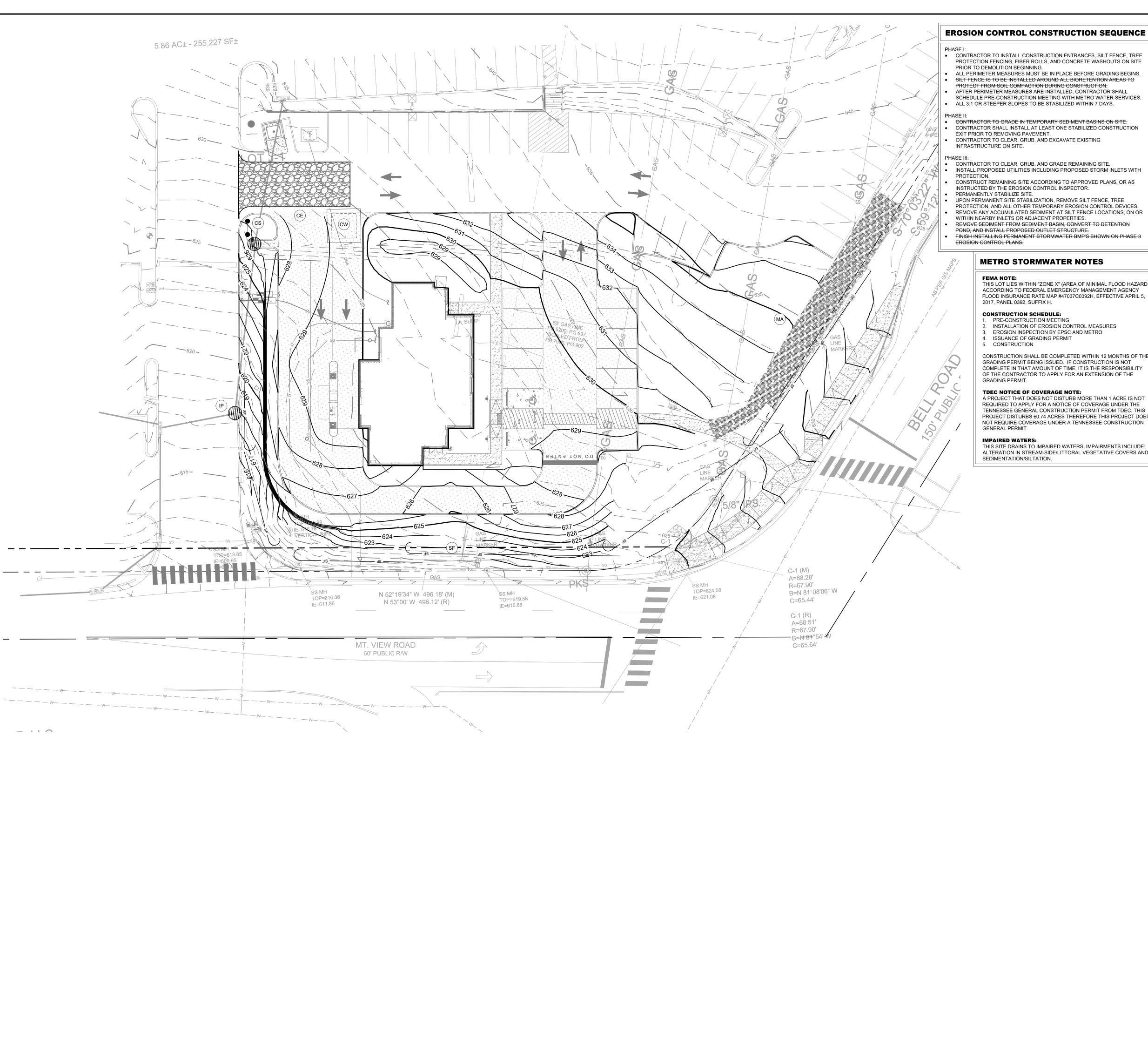
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> **EROSION CONTROL** PLAN - PHASE 1

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02/26/2025

SHEET NUMBER C3-10



EROSION CONTROL CONSTRUCTION SEQUENCE

 CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCES. SILT FENCE. TREE PROTECTION FENCING, FIBER ROLLS, AND CONCRETE WASHOUTS ON SITE

ALL PERIMETER MEASURES MUST BE IN PLACE BEFORE GRADING BEGINS. SILT FENCE IS TO BE INSTALLED AROUND ALL BIORETENTION AREAS TO PROTECT FROM SOIL COMPACTION DURING CONSTRUCTION AFTER PERIMETER MEASURES ARE INSTALLED, CONTRACTOR SHALL

ALL 3:1 OR STEEPER SLOPES TO BE STABILIZED WITHIN 7 DAYS.

 CONTRACTOR TO GRADE IN TEMPORARY SEDIMENT BASINS ON SITE. CONTRACTOR SHALL INSTALL AT LEAST ONE STABILIZED CONSTRUCTION

CONTRACTOR TO CLEAR, GRUB, AND EXCAVATE EXISTING

CONTRACTOR TO CLEAR, GRUB, AND GRADE REMAINING SITE. INSTALL PROPOSED UTILITIES INCLUDING PROPOSED STORM INLETS WITH

CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, OR AS

UPON PERMANENT SITE STABILIZATION, REMOVE SILT FENCE, TREE PROTECTION, AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES. REMOVE ANY ACCUMULATED SEDIMENT AT SILT FENCE LOCATIONS, ON OR

POND, AND INSTALL PROPOSED OUTLET STRUCTURE. FINISH INSTALLING PERMANENT STORMWATER BMP'S SHOWN ON PHASE 3

METRO STORMWATER NOTES

THIS LOT LIES WITHIN "ZONE X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP #47037C0392H, EFFECTIVE APRIL 5,

- INSTALLATION OF EROSION CONTROL MEASURES
- EROSION INSPECTION BY EPSC AND METRO

CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE

REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC. THIS PROJECT DISTURBS ±0.74 ACRES THEREFORE THIS PROJECT DOES NOT REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION

ALTERATION IN STREAM-SIDE/LITTORAL VEGETATIVE COVERS AND

EROSION CONTROL LEGEND

FR STONE FILTER RING - CLASS A RIP-RAP, 2' THICK

(OP) OUTLET PROTECTION - REFER TO DETAIL SHEET C3-50

(IP) INLET PROTECTION - REFER TO DETAIL SHEET C3-50

> (DD) DIVERSION DITCH - REFER TO DETAIL SHEET C3-50

SF SILT FENCE - REFER TO DETAIL SHEET C3-50

(EE) EROSION EELS - REFER TO DETAIL SHEET C3-50

(CD) ROCK CHECK DAM - REFER TO DETAIL SHEET C3-50

(CW) CONCRETE WASHOUT AREA - REFER TO DETAIL SHEET C3-50 EROSION CONTROL MATTING - CONTECH LANDLOK S2 OR APPROVED

EQUAL. CONTRACTOR TO INSTALL ON ALL SLOPES 3(H):1(V) OR STEEPER -REFER TO DETAIL SHEET C3-50

(CE) CONSTRUCTION EXIT - REFER TO DETAIL SHEET C3-50

(TS) TEMPORARY STABILIZATION - REFER TO DETAIL SHEET C3-50

(PS) PERMANENT STABILIZATION - REFER TO DETAIL SHEET C3-50/SHEET L1-10

TP (TP) TREE PROTECTION FENCE / HIGH VISIBILITY FENCE - REFER TO DETAIL

LIMITS OF DISTURBANCE CONSTRUCTION SIGN

BIORETENTION PRETREAMENT AREA - REFER TO DETAIL SHEET C8-02

BIORETENTION AREA - REFER TO DETAIL SHEET C8-02

EROSION CONTROL NOTES

STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.

ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.

MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.

REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S

REPRESENTATIVE, THEY ARE NO LONGER NEEDED. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.

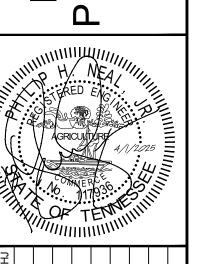
DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES. 10. STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR

PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES. 10.a. WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT

PORTION OF SITE. 10.b. ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE TENNESSEE EROSION AND SEDIMENT CONTROL

HANDBOOK. . CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13. RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING

PERMITTEE 12. SEE ADDITIONAL EROSION CONTROL NOTES ON SHEET C0-01.



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COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

> **EROSION CONTROL** PLAN - PHASE 2

KIMLEY-HORN PROJECT NO. 118193007

02/26/2025

SHEET NUMBER

DESIGNED BY: DRAWN BY:

CHECKED BY:

Z

CHECKED BY:

EROSION CONTROL DETAILS

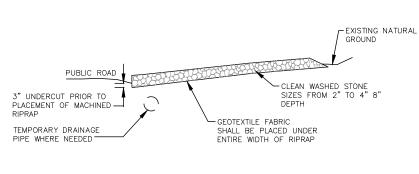
KIMLEY-HORN PROJECT NO.

118193007

SHEET NUMBER C3-50

CLEAN WASHED STONE SIZES FROM 2'

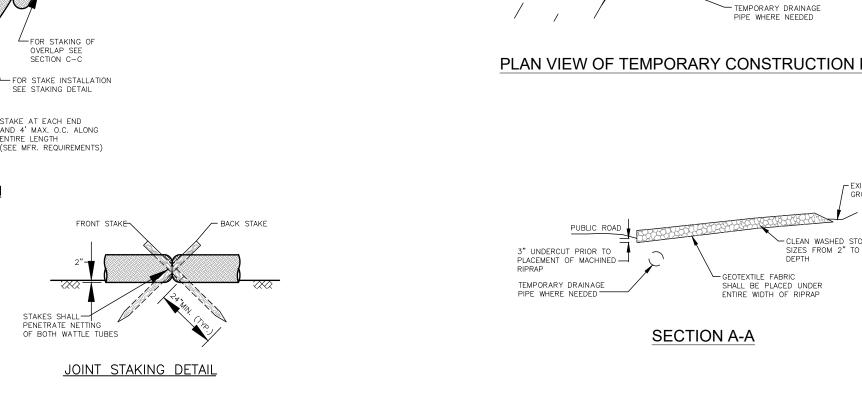
PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD



SECTION A-A

LOW MAINTENANCE AREAS - SLOPES, POOR AND SHALLOW SOILS





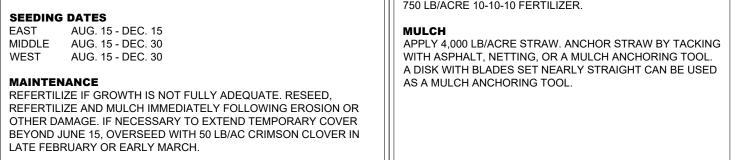


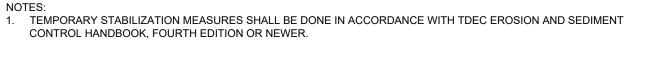
PLAN VIEW FOR SLOPE APPLICATION

EROSION EELS (TCP-14)

NOT TO SCALE

MAINTENANCE

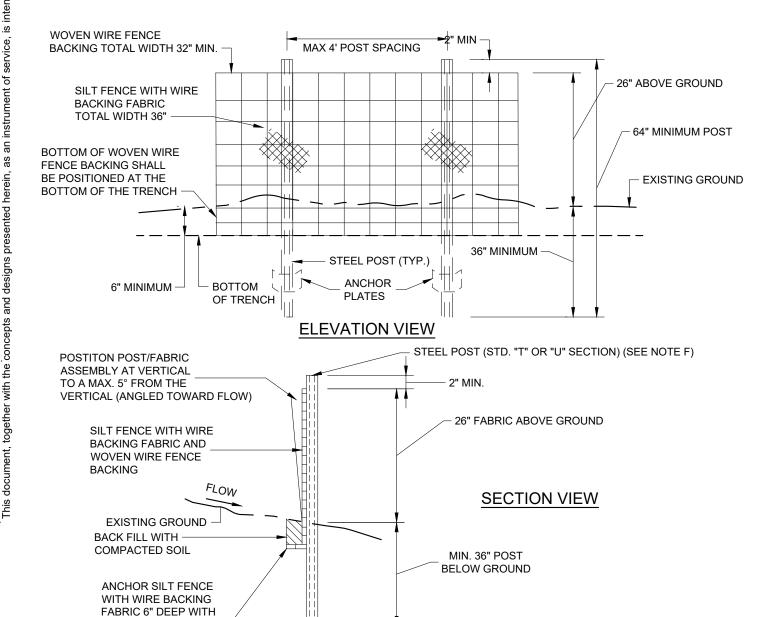




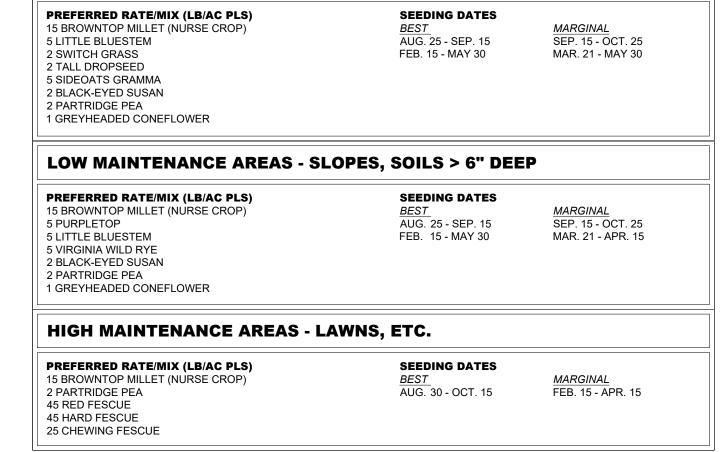
TEMPORARY STABILIZATION (TCP-05) NOT TO SCALE

4" RUN-OUT LENGTH -

NOT TO SCALE

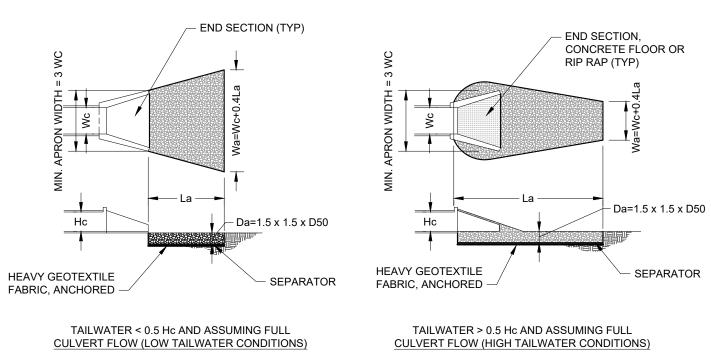


SILT FENCE WITH WIRE BACKING (TCP-13)



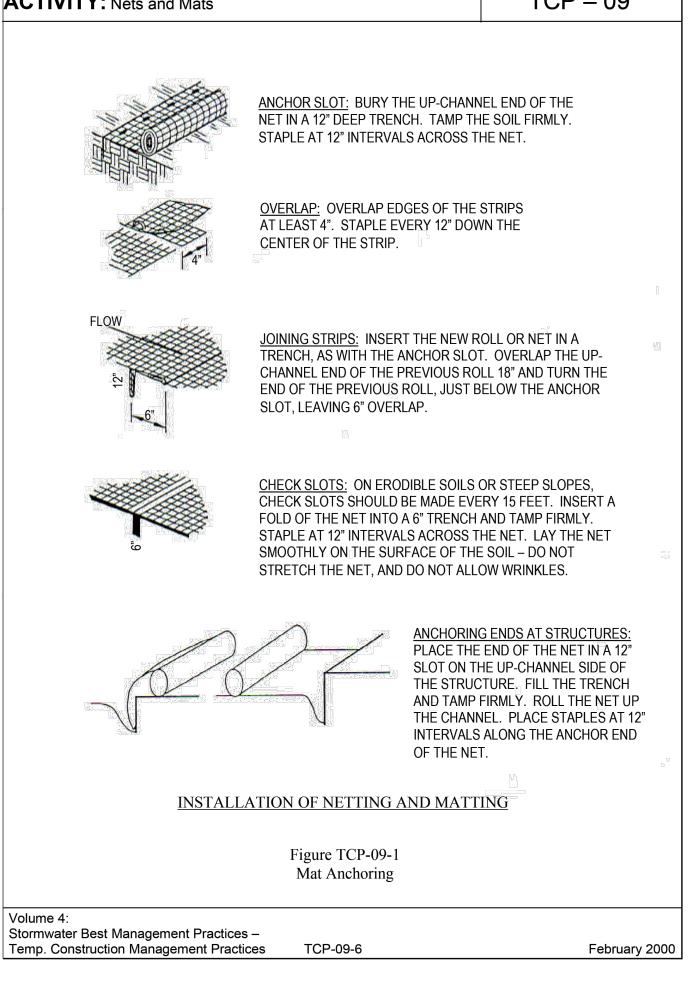
1. MIXES INDICATED ABOVE ARE FOR THE REGION II PLANTING AREA (MIDDLE TENNESSEE). PERMANENT STABILIZATION MEASURES SHALL BE DONE IN ACCORDANCE WITH TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, FOURTH EDITION OR NEWER. REFER TO LANDSCAPE PLANS FOR PERMANENT STABILIZATION PRACTICES AND AREAS TO RECEIVE SOD.

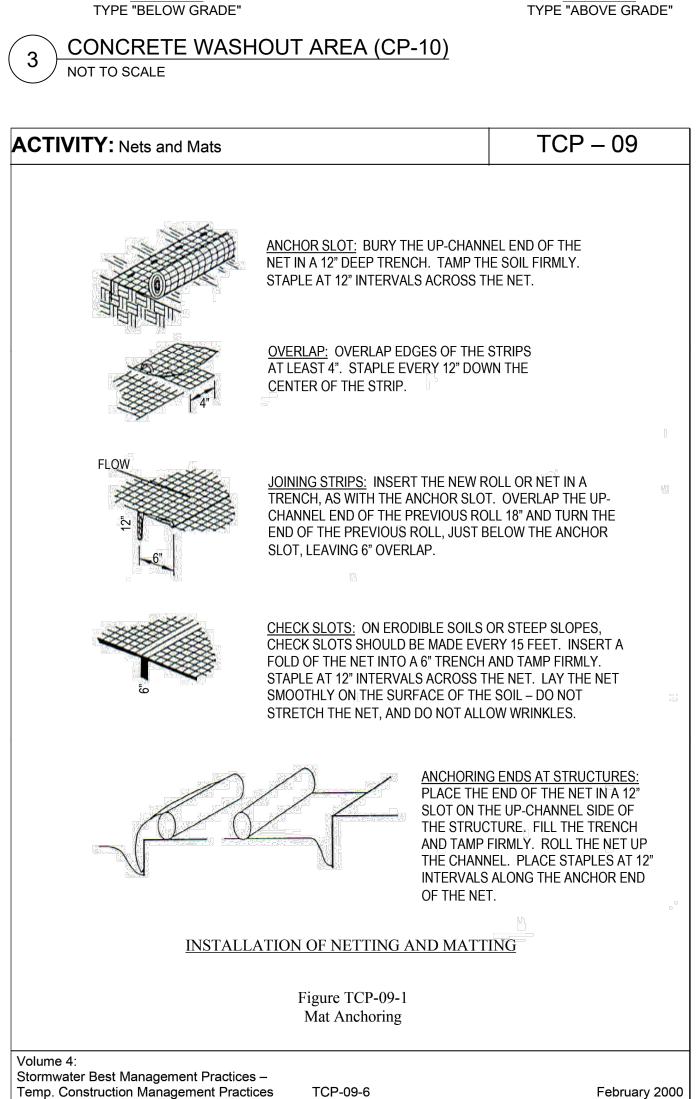
PERMANENT STABILIZATION (TCP-19) NOT TO SCALE



H_c = HEIGHT OF CULVERT W_c = WIDTH OF CULVERT L_{Δ} = LENGTH OF RIP-RAP APRON W_A = WIDTH OF RIP-RAP APRON AT END D₅₀ = MEDIAN SIZE OF RIP-RAP D_{MAX} = MAXIMUM SIZE OF RIP-RAP = 1.5 D_{50} $D_A = DEPTH OF RIP-RAP APRON = 1.5 D_{MAX}$ SEPARATOR = GEOTEXTILE UNDERLAYMENT OR GRAVEL FILTER BLANKET

OUTLET PROTECTION (TCP-25)





- PLYWOOD

PAINTED

WHITE

CONCRETE

WASHOUT

CONCRETE WASHOUT SIGN

(OR EQUIVALENT)

LAG SCREW

(TYP.) -

WOOD POST -

SANDBAG -

PERMEABLE

GEOTEXTILE

FABRIC -

SECTION A-A

SANDBAG -

PERMEABLE

GEOTEXTILE

FABRIC

VARIES -

PLAN VIEW

DEPTH +

4" MIN.

FREEBOARD

STAPLES

PERMEABLE GEOTEXTILE

EARTHEN

SECTION B-B

PERMEARI E

GEOTEXTILE

- VARIES -

PLAN VIEW

FABRIC -

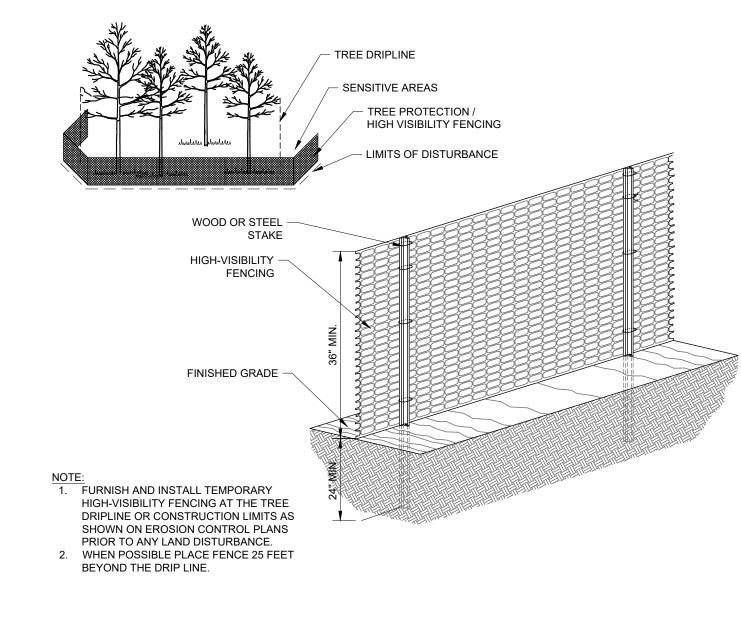
BERM (TYP.) -

EARTHEN

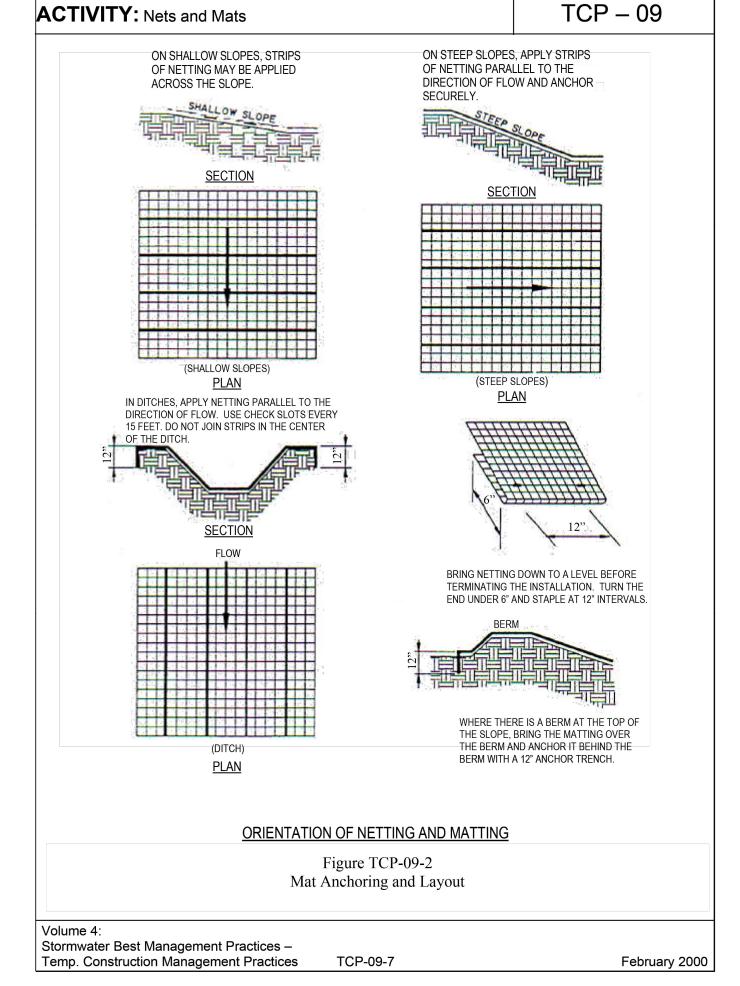
BERM (TYP.)

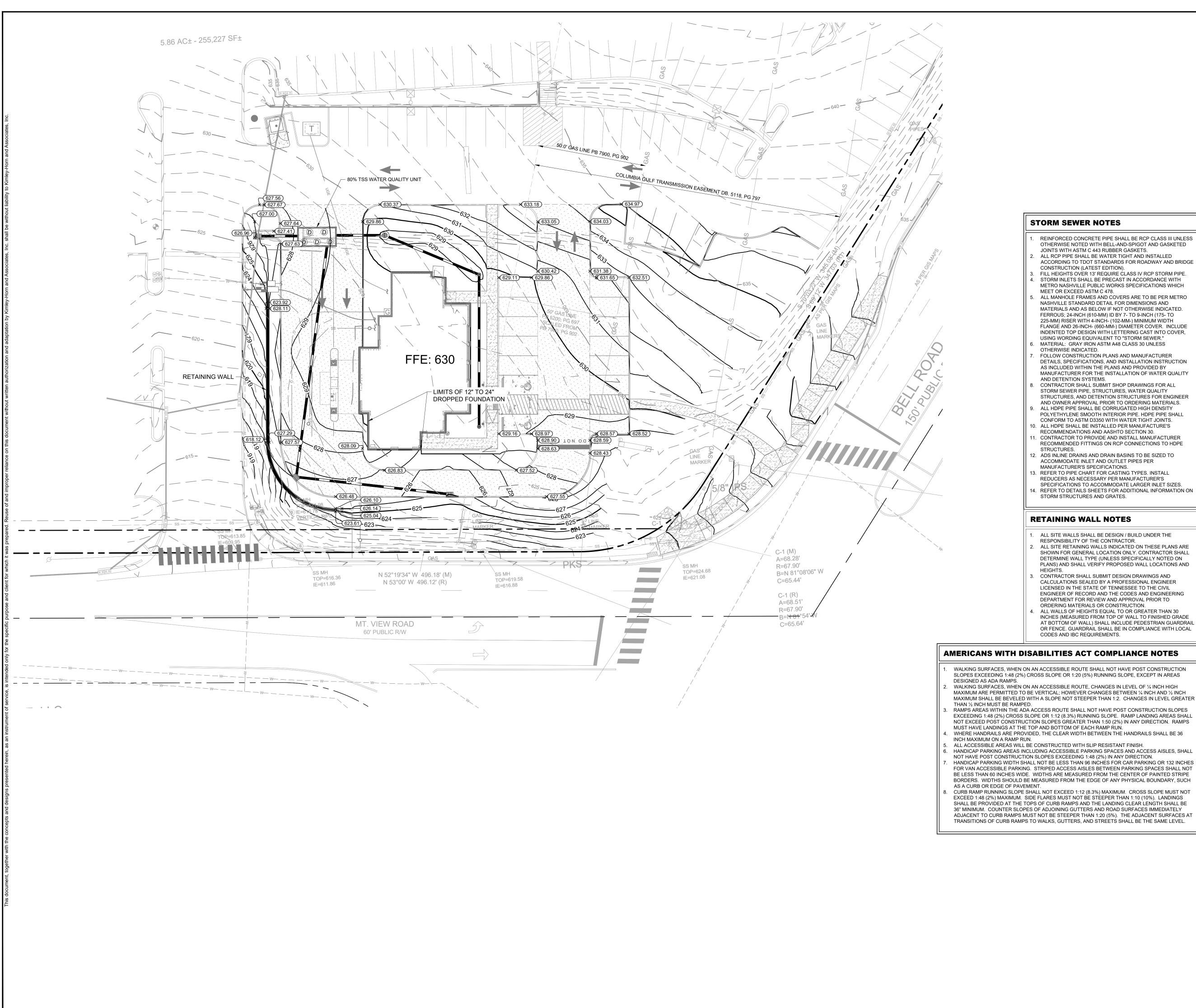
MINIMUM OF 2' OVERLAP OF ENDS SEDIMENT TUBE OR WATTLE. MINIMUM HEIGHT (ACTUAL) 18" -WOOD STAKE (MIN. 1.5" X 1.5") OR STEEL POST (1.25 LBS/FOOT) (TYP.) TRENCH IN 2" IF REQUIRED -24" MIN. (TYP.) CATCH BASIN OR

INLET PROTECTION (TCP-24)



TREE PROTECTION / HIGH VISIBILITY FENCE





GRADING NOTES

- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS
- REQUIRED BY LOCAL INSPECTOR. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE. WILL BE ESTABLISHED TO TEMPORARY VEGETATION MULCH TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL
- AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR
- BI ANKETS THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS. 2. SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
- . INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS
- AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS. 14. TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY REUSE IN LAWN AREAS. POLYETHYLENE SMOOTH INTERIOR PIPE. HDPE PIPE SHALL . ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL
- CONFORM TO ASTM D3350 WITH WATER TIGHT JOINTS. MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER 0. ALL HDPE SHALL BE INSTALLED PER MANUFACTURE'S WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED RECOMMENDATIONS AND AASHTO SECTION 30. AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER DAMAGES TO ADJACENT PROPERTY AND/OR THE RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADS INLINE DRAINS AND DRAIN BASINS TO BE SIZED TO ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR

STORM SEWER NOTES

CONSTRUCTION (LATEST EDITION).

MEET OR EXCEED ASTM C 478.

OTHERWISE INDICATED.

AND DETENTION SYSTEMS.

STRUCTURES.

HEIGHTS.

REINFORCED CONCRETE PIPE SHALL BE RCP CLASS III UNLESS

ACCORDING TO TDOT STANDARDS FOR ROADWAY AND BRIDGE

FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE

METRO NASHVILLE PUBLIC WORKS SPECIFICATIONS WHICH

ALL MANHOLE FRAMES AND COVERS ARE TO BE PER METRO

FLANGÉ AND 26-INCH- (660-MM-) DIAMÉTER COVER. INCLUDE

DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTION

MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY

STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER

INDENTED TOP DESIGN WITH LÉTTERING CAST INTO COVER,

MATERIALS AND AS BELOW IF NOT OTHERWISE INDICATED.

FERROUS; 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO

225-MM) RISER WITH 4-INCH- (102-MM-) MINIMUM WIDTH

USING WORDING EQUIVALENT TO "STORM SEWER."

MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS

FOLLOW CONSTRUCTION PLANS AND MANUFACTURER

AS INCLUDED WITHIN THE PLANS AND PROVIDED BY

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL

STORM SEWER PIPE, STRUCTURES, WATER QUALITY

ACCOMMODATE INLET AND OUTLET PIPES PER

REFER TO PIPE CHART FOR CASTING TYPES, INSTALL

ALL SITE WALLS SHALL BE DESIGN / BUILD UNDER THE

CONTRACTOR SHALL SUBMIT DESIGN DRAWINGS AND

LICENSED IN THE STATE OF TENNESSEE TO THE CIVIL

DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO

ALL WALLS OF HEIGHTS EQUAL TO OR GREATER THAN 30 INCHES (MEASURED FROM TOP OF WALL TO FINISHED GRADE

AT BOTTOM OF WALL) SHALL INCLUDE PEDESTRIAN GUARDRAIL

OR FENCE. GUARDRAIL SHALL BE IN COMPLIANCE WITH LOCAL

ORDERING MATERIALS OR CONSTRUCTION.

CODES AND IBC REQUIREMENTS.

CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER

ENGINEER OF RECORD AND THE CODES AND ENGINEERING

ALL SITE RETAINING WALLS INDICATED ON THESE PLANS ARE SHOWN FOR GENERAL LOCATION ONLY. CONTRACTOR SHALL

PLANS) AND SHALL VERIFY PROPOSED WALL LOCATIONS AND

DETERMINE WALL TYPE (UNLESS SPECIFICALLY NOTED ON

REFER TO DETAILS SHEETS FOR ADDITIONAL INFORMATION ON

REDUCERS AS NECESSARY PER MANUFACTURER'S

MANUFACTURER'S SPECIFICATIONS.

STORM STRUCTURES AND GRATES.

RETAINING WALL NOTES

RESPONSIBILITY OF THE CONTRACTOR.

STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH

OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED

ALL RCP PIPE SHALL BE WATER TIGHT AND INSTALLED

NASHVILLE STANDARD DETAIL FOR DIMENSIONS AND

JOINTS WITH ASTM C 443 RUBBER GASKETS.

- THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR. . UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES.
 - YOU DIG CALL ONE CALL--811 OR 1-800-752-6007 . THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

GRADING PLAN LEGEND

- ∠476.17) SPOT ELEVATION HP HIGH POINT TOP OF CURB
 - BC BOTTOM OF CURB / GUTTER LINE BW BOTTOM OF EXPOSED WALL TW TOP OF WALL RIM TOP OF GRATE / COVER
- FINISH FLOOR ELEVATION
- -500- EXISTING CONTOUR
- **─**500 **─** PROPOSED CONTOUR

METRO STORMWATER NOTES

THIS LOT LIES WITHIN "ZONE X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP #47037C0392H, EFFECTIVE APRIL 5, 2017, PANEL 0392, SUFFIX H.

CONSTRUCTION SCHEDULE:

- PRE-CONSTRUCTION MEETING
- INSTALLATION OF EROSION CONTROL MEASURES 3. EROSION INSPECTION BY EPSC AND METRO

ISSUANCE OF GRADING PERMIT

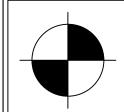
5. CONSTRUCTION

CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.

TDEC NOTICE OF COVERAGE NOTE:

A PROJECT THAT DOES NOT DISTURB MORE THAN 1 ACRE IS NOT REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE TENNESSEE GENERAL CONSTRUCTION PERMIT FROM TDEC. THIS PROJECT DISTURBS ±0.94 ACRES.

IMPAIRED WATERS: THIS SITE DRAINS TO IMPAIRED WATERS. IMPAIRMENTS INCLUDE: ALTERATION IN STREAM-SIDE/LITTORAL VEGETATIVE COVERS AND SEDIMENTATION/SILTATION.



COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

KIMLEY-HORN PROJECT NO. 118193007 **GRADING AND**

DESIGNED BY: DRAWN BY:

CHECKED BY:

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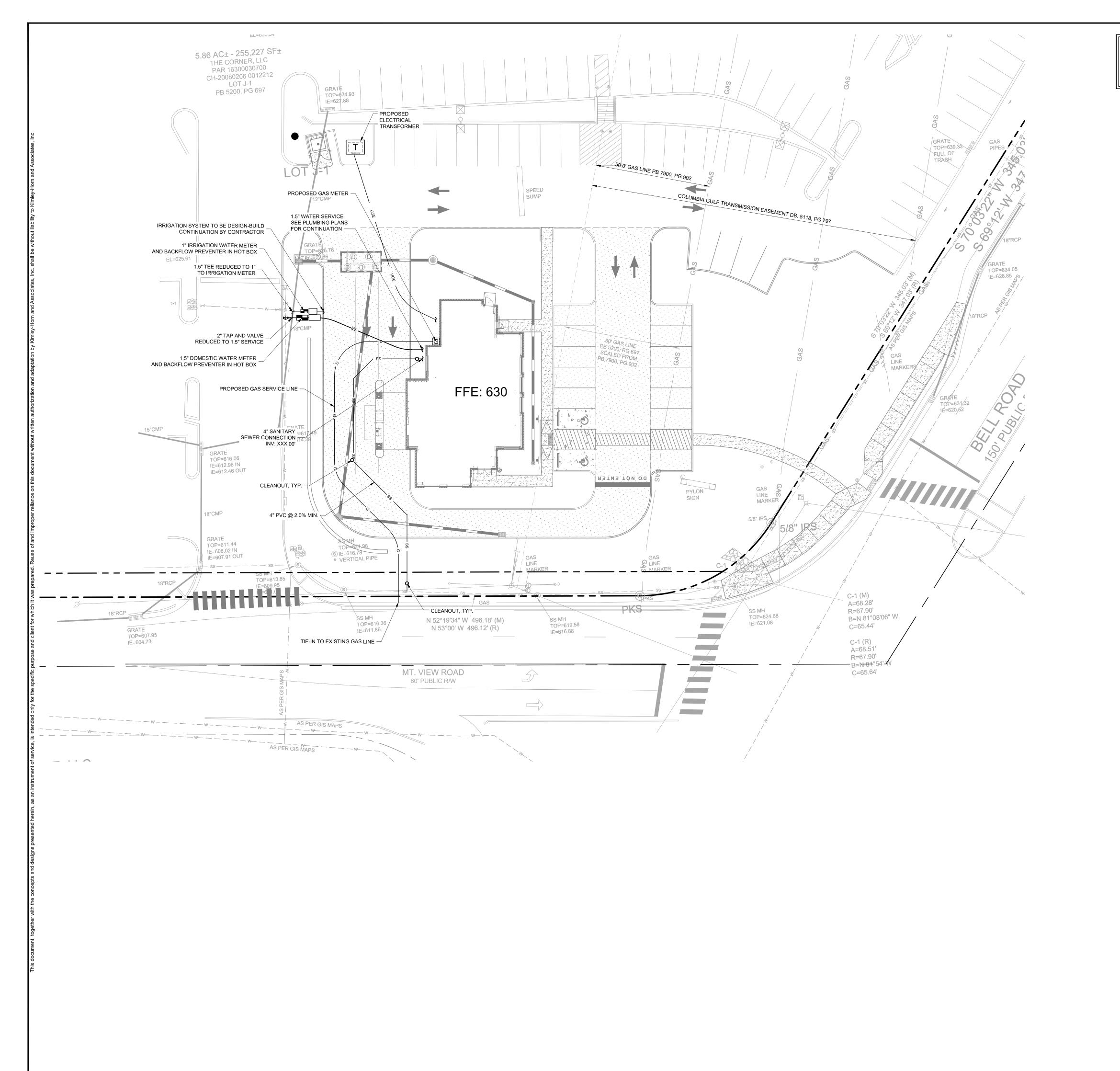
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DRAINAGE PLAN -OVERALL

SHEET NUMBER C4-00





COORDINATE ALL INCOMING UTILITY NOTES **UTILITY SIZES AND LOCATIONS WITH TENANT** DRAWINGS.

- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE
- ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES' STANDARD SPECIFICATIONS.
- MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS. REFER TO METRO NASHVILLE WATER SERVICES STANDARD
- SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER
- CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.

CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC

FRANCHISE UTILITY NOTES

- TELEPHONE UTILITY CONSTRUCTION SHALL COMPLY WITH AT&T STANDARD SPECIFICATIONS.
- UNDERGROUND ELECTRICAL INSTALLATION SHALL COMPLY WITH NASHVILLE ELECTRIC SERVICE (NES) STANDARD SPECIFICATIONS.
- NATURAL GAS CONSTRUCTION & INSTALLATION SHALL COMPLY WITH PIEDMONT NATURAL GAS STANDARD SPECIFICATIONS. SEE COVER SHEET (C0-00) FOR FRANCHISE UTILITY CONTACT INFORMATION.

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

VALVE NOTE

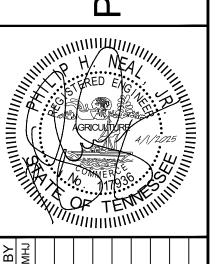
ALL VALVES SHALL BE INSTALLED IN METRO NASHVILLE WATER SERVICES APPROVED VALVE BOX AND COVER. COVER TO BE MARKED WITH "WATER".

IRRIGATION METER NOTE

CONTRACTOR TO VERIFY IRRIGATION METER SIZE WITH IRRIGATION DESIGNER.

METRO NASHVILLE WATER SERVICES STANDARD NOTES

- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISING OF THE LINES PRIOR
- TO FINAL ACCEPTANCE. THE VIDEOTAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER
- ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (*.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS. THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE. OR PROPERTY LINE RIGHT OF WAY. LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE
- PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100
- 10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
- . ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
- VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
- 5. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE
- 6. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
- BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.



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No.	REVISIONS	DATE	
1	PLANNING COMMENTS	04/01/2025	_
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COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

DRAWN BY: CHECKED BY:

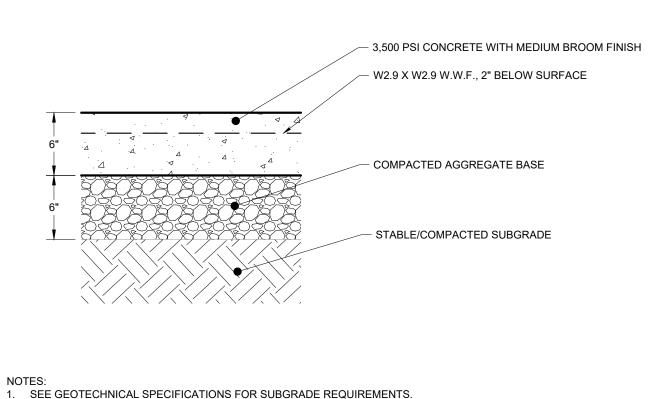
DESIGNED BY:

KIMLEY-HORN PROJECT NO. 118193007 **UTILITY PLAN -**

OVERALL

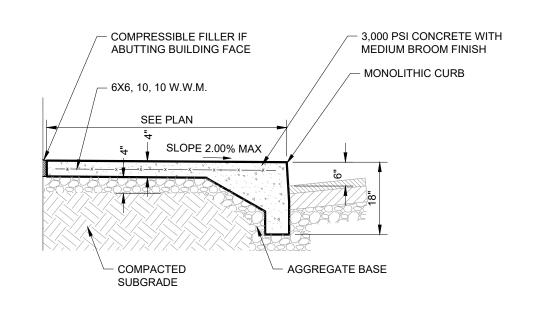
SHEET NUMBER

C6-00



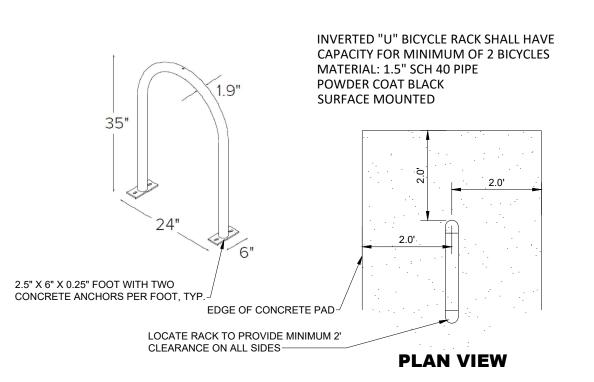
- 2. FIBER MESH REINFORCING CAN BE SUBSTITUTED FOR WWM. APPLICATION RATES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. 3. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH TDOT STANDARD SPECIFICATIONS FOR ROADWAY
- AND BRDIGE CONSTRUCTION, LATEST EDITION. BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES
- FOUND DURING CONSTRUCTION. 3. PLACE EXPANSION JOINTS AT A MAXIMUM OF 75' O.C. 4. PLACE CONTROL JOINTS AT A MAXIMUM OF 15' O.C.





1. EXPANSION JOINTS SHALL BE PLACED AT ANY TIE-IN POINT TO EXISTING OR PROPOSED BUILDING FACE,

- 2. EXPANSION JOINTS SHALL BE PLACED AT A MAX. 30' SPACING AND COMPOSED OF %" SEALANT OVER %" PREFORMED EXPANSION JOINT. RECESS SEALANT ½" BELOW FINISH SURFACE
- 3. CONTROL JOINTS SHALL BE PLACED AT A MAX. 6' SPACING AND BE ½" DEEP TOOLED OR SAWCUT.
- CONCRETE SIDEWALK WITH MONOLITHIC CURB



BITUMINOUS CONCRETE WEARING COURSE -441E MIX OR APPROVED EQUAL - TACK COAT (403-1) BITUMINOUS CONCRETE BINDER COURSE -BM-2 OR APPROVED EQUAL PRIME COAT (402-01, -02) COMPACTED AGGREGATE BASE -PUG MILLED BASE STONE - STABLE/COMPACTED SUBGRADE

1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.

2. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH TDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRDIGE CONSTRUCTION, LATEST EDITION. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE

BITUMINOUS CONCRETE WEARING COURSE -

- BITUMINOUS CONCRETE BINDER COURSE -

441E MIX OR APPROVED EQUAL

BM-2 OR APPROVED EQUAL

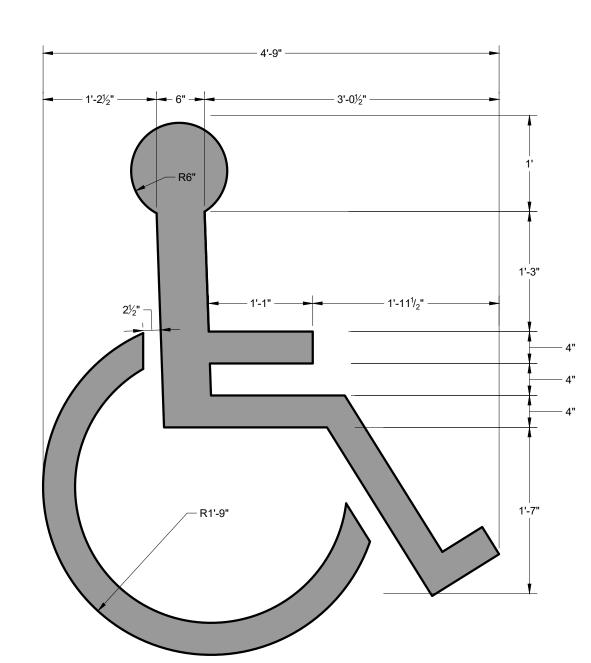
COMPACTED AGGREGATE BASE -PUG MILLED BASE STONE

- STABLE/COMPACTED SUBGRADE

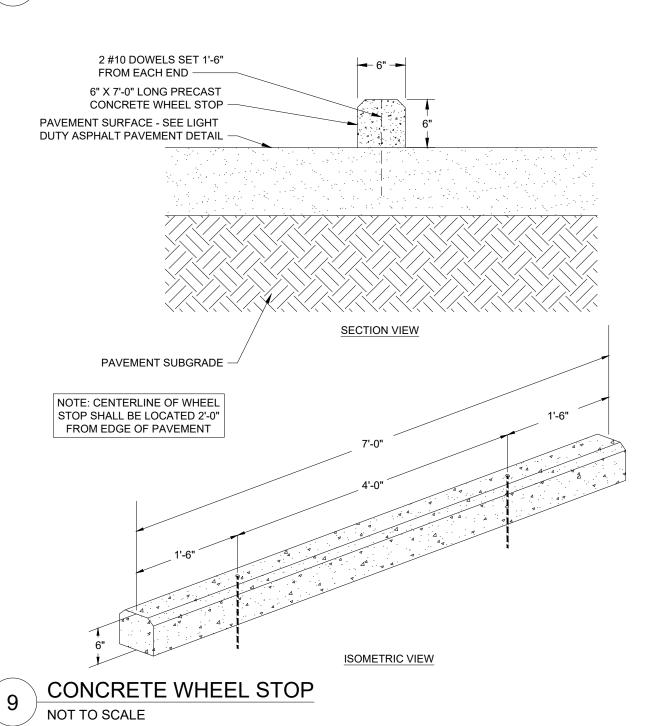
- PRIME COAT (402-01, -02)

- TACK COAT (403-1)

- PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
- TYPICAL LIGHT DUTY ASPHALT PAVEMENT SECTION NOT TO SCALE



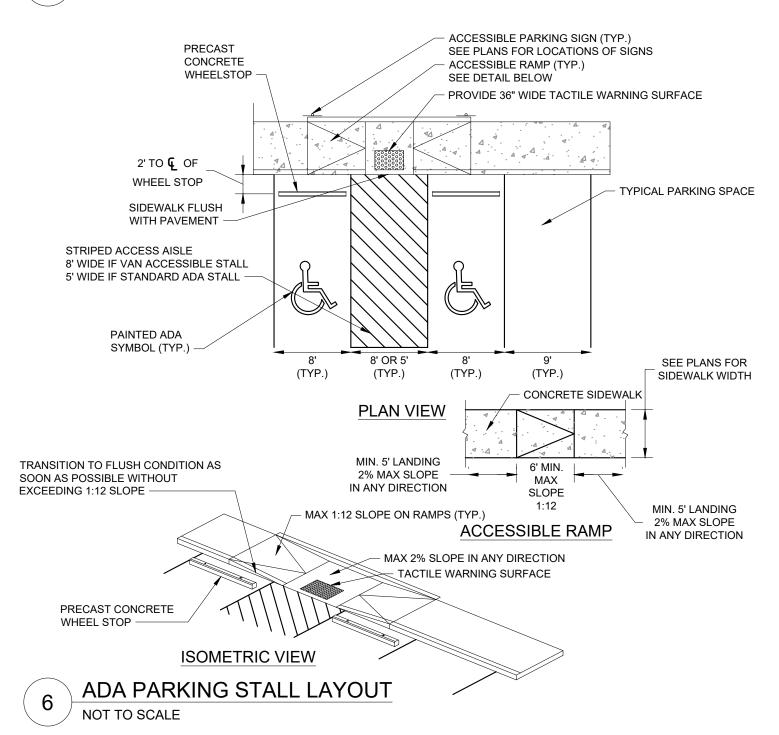
ADA PARKING SPACE SYMBOL NOT TO SCALE



1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.

- 2. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH TDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRDIGE CONSTRUCTION, LATEST EDITION. 3. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE
- PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.

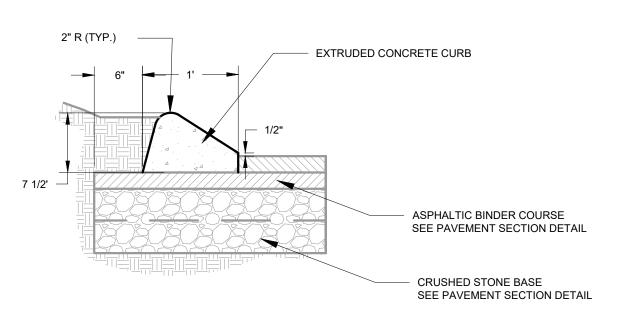
TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION NOT TO SCALE

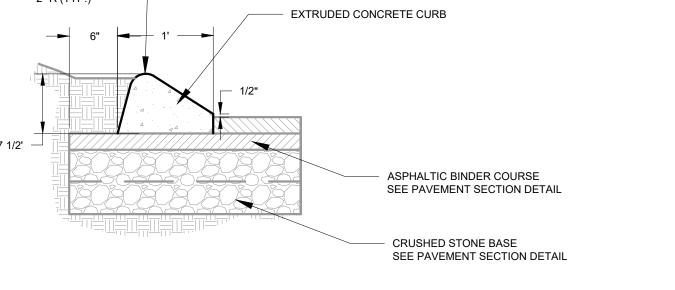


- 1/2" DEEP HAND TOOLED CONTROL - RECYCLED RUBBER EXPANSION JOINT JOINT WITH 1/2" RADIUS (TYP.) NO SAW EVENLY SPACED AT 30' MAX. CUTS, EVENLY SPACED AT 5' MAX. 3/8" SEALANT OVER 3/8" PREFORMED EXPANSION JOINT, RECESS SEALANT 1" BELOW FINISH SURFACE EXPANSION JOINTS SHALL BE PLACED AT ANY TIE-IN POINT TO EXISTING CONCRETE AND AT ALL VERTICAL

INTERFACES WITH BUILDINGS AND WALLS.

LIGHT DUTY CONCRETE JOINT





- 3,500 PSI CONCRETE WITH LIGHT BROOM FINISH

- 6 X 6, 10, 10 W.W.M., 2" BELOW SURFACE

- COMPACTED AGGREGATE BASE

- STABLE/COMPACTED SUBGRADE

1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.

BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

AND BRDIGE CONSTRUCTION, LATEST EDITION.

3. PLACE EXPANSION JOINTS AT A MAXIMUM OF 75' O.C. 4. PLACE CONTROL JOINTS AT A MAXIMUM OF 15' O.C.

FOUND DURING CONSTRUCTION.

2. FIBER MESH REINFORCING CAN BE SUBSTITUTED FOR WWM. APPLICATION RATES SHALL BE IN

3. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH TDOT STANDARD SPECIFICATIONS FOR ROADWAY

5. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE

TYPICAL LIGHT DUTY CONCRETE PAVEMENT SECTION

- GALVANIZED NUTS & BOLTS TO ATTACH SIGNS (TYP.)

PARKING

2" X 2" X $^{3}_{16}$ " GALVANIZED STEEL TUBE

4" STEEL PIPE BOLLARD FILLED WITH

SLOPE CONCRETE AWAY FROM POST

12" DIAMETER CONCRETE FOOTING

─ PAVEMENT FINISHED GRADE

COMPACTED SUBGRADE

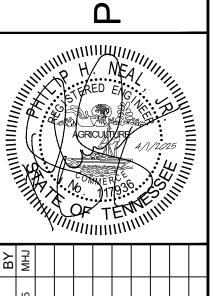
NON-SHRINK GROUT (WHEN IN FRONT OF PARKING SPACE) PAINTED TRAFFIC YELLOW

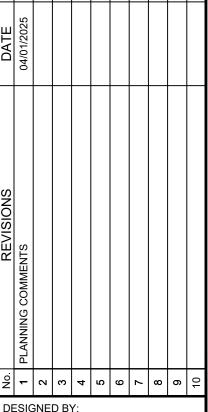
PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES

ADA PARKING SPACE SIGN

Drawing name: K:\NSH_LDEV\118193007 - pinnacle bank - antioch\4-CADD\plansheets\C8-00 SITE DETAILS.dwg C8-01 SITE DETAILS Apr 01, 2025 6:45pm by: philip.neal

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DESIGNED BY: DRAWN BY: CHECKED BY:

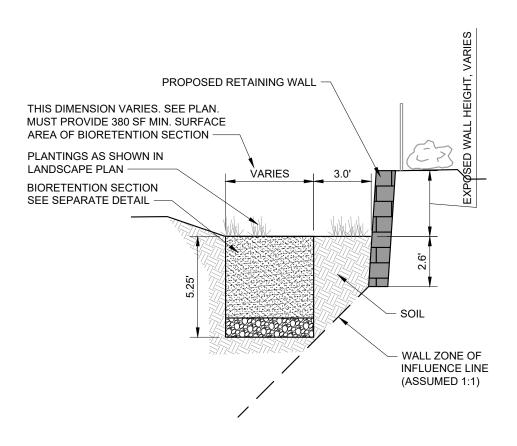
SITE DETAILS

KIMLEY-HORN PROJECT NO.

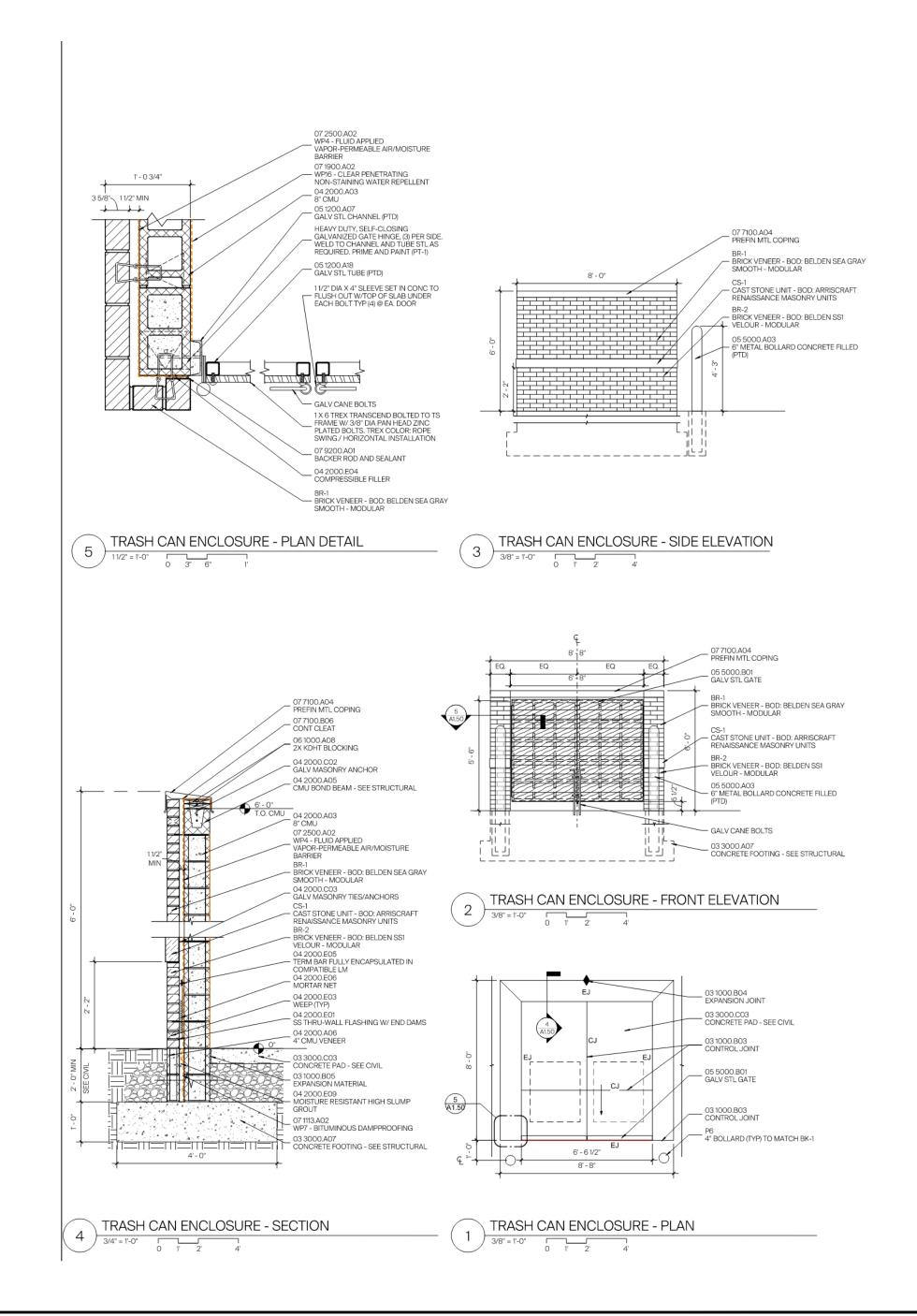
118193007

02/26/202

SHEET NUMBER C8-10



BIORETENTION SECTION ADJACENT TO RETAINING WALL
NOT TO SCALE





PINNACLE - HICKORY HOLLO
PINNACLE FINANCIAL PARTNE
ANTIOCH, TN

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02/26/2025

KIMLEY-HORN PROJECT NO. 118193007

SITE DETAILS

SHEET NUMBER

C8-11

DRAWN BY:
CHECKED BY:



LANDSCAPE DATA TABLE

PINNACLE - HICKORY HOLLOW PROJECT NAME: PROPERTY ADDRESS: 771 BELL RD

MAP AND PARCEL ID:

ANTIOCH, TENNESSEE MAP 163, PARCEL 30700 EXISTING ZONING: R8, OV-COM (COMMERCIAL PUD),

OV-CDO (CORRIDOR DISTRICT OVERLAÝ) EXISTING LAND USE: COMMERCIAL (RETAIL, RESTAURANT STORAGE) *NOTE: PREVIOUS

RESTAURANT WAS RAZED PROPOSED LAND USE: COMMERCIAL (BANK)

5.87 AC PARCEL AREA: DISTURBED AREA: PROPOSED PUD BUILDING AREA: 64,234 SF

LANDSCAPE NOTES

NO EXISTING TREES ON SITE

Acreage (area of parcel including building site) Minus Building Coverage Area

of Trees

(-) 0.73 **Equals Adjusted Acreage**

> x 3.2 x 4.0

x 4.8

x 5.6

x 6.4

x 7.2

x 8.0

x 8.8

x 9.6

Value

x 8.4

x 9.1

x 9.8

x 10.5

x 11.2 x 11.9 x 12.6 x 13.3

x 20.0

x .5

x .6 x .7 x .9

x 1.0

x 1.2

x 1.3

Multiply by Required Tree Density Unit per acre Family and 1

]& 2 F
(=)	113.08]

16"

18"

20"

22"

TDU

0

0

0

0

0

add total to line 6

TDU

0

0

0

add total to line 6

3.6

0

total 3.6

add total to line 7

Single Family and 1 &

RETAINED 1	TREE(S)		
DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0

0

add total to line 6

add total to line 7

M 7

x 4.8

x 5.4

x 6.0

x 6.6

RETAINED TREE(S)							
DBH	# of Trees	Value	TDU				
42"		x 23.1	0				
44"		x 26.1	0				
46"		x 27.6	0				
48"		x 28.8	0				
50"		x 30.0	0				
52"		x 31.2	0				
54"		x 35.1	0				
56"		x 36.4	0				
58"		x 37.7	0				
60"		x 42.0	0				
		total	0				

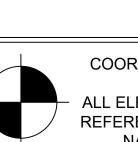
REPLACEN		ARGE & MEDIUM CO TREES and STREET TI	
DBH	# of Trees	Value	TDU
2"		x .25	0
3"	4	x .3	1.2
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
		total	1.2

EXAMPLES but not limited to: Columnar (Fastigiate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Gingko

Understory Deciduous-Deciduous- Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple Understory Evergreen- Dwf. Magnolia, Hybrid Holly, Cherry Laurel (tree form) Mature height avg. 30' or less.

Small Understory Columnar varieties receive no TDU credit 4.8

108 1 Credit = 1 TDU = \$725.00 (=) 113.08 total must exceed lines 5



118193007 TREE PRESERVATION PLAN

KIMLEY-HORN PROJECT NO.

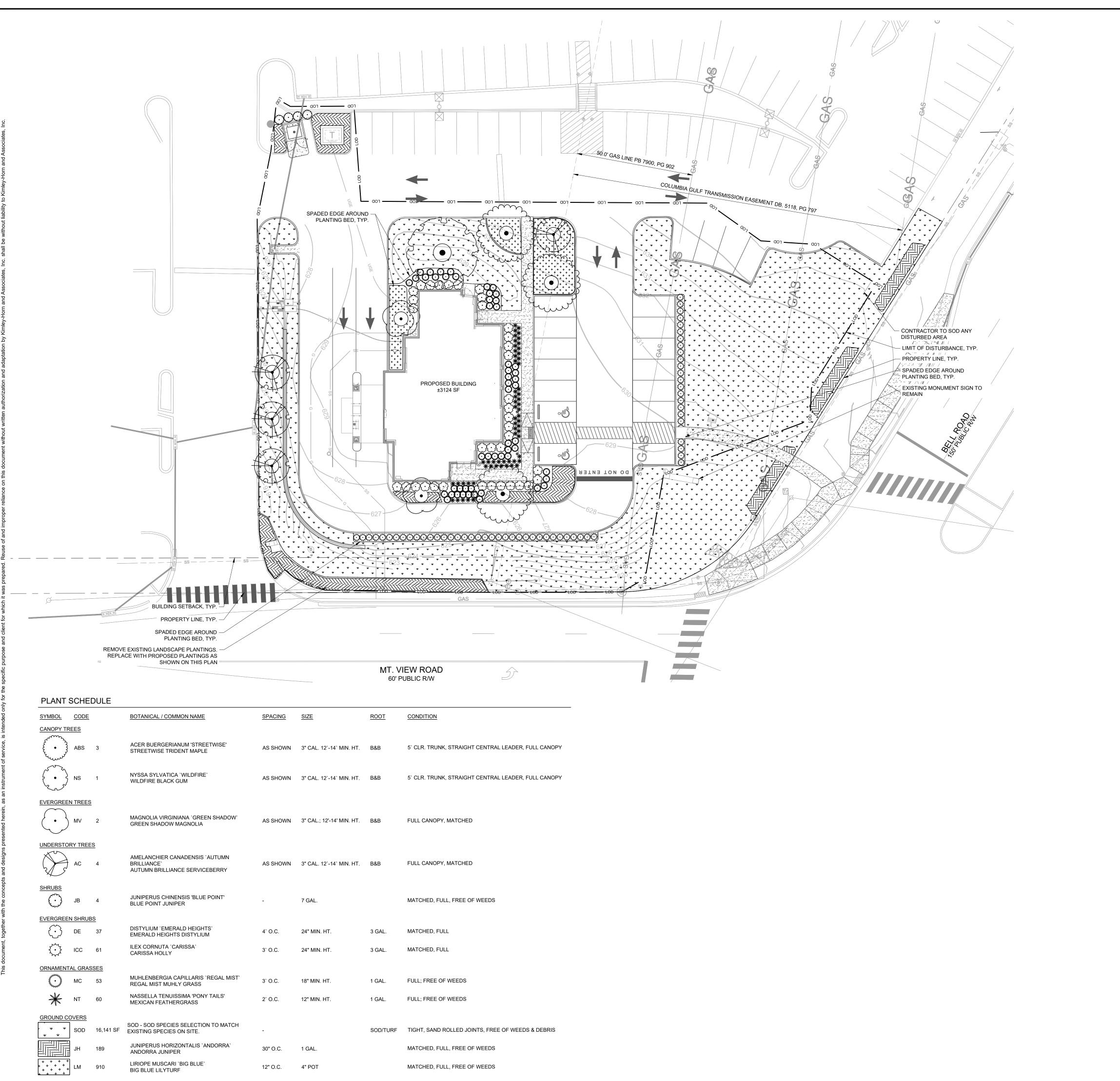
DESIGNED BY:

CHECKED BY:

SHEET NUMBER **L0-00**

COORDINATES ARE NAD83. ALL ELEVATIONS ARE DATE: REFERENCED TO THE NAVD 1988.

Know what's **below. Call** before you dig.



LANDSCAPE DATA TABLE

PROJECT NAME: PROPERTY ADDRESS:

PINNACLE - HICKORY HOLLOW 771 BELL RD ANTIOCH, TENNESSEE

MAP AND PARCEL ID: EXISTING ZONING:

MAP 163, PARCEL 30700 R8, OV-COM (COMMERCIAL PUD), OV-CDO (CORRIDOR DISTRICT

OVERLAY) EXISTING LAND USE: COMMERCIAL (RETAIL, RESTAURANT STORAGE) *NOTE: PREVIOUS

RESTAURANT WAS RAZED PROPOSED LAND USE: COMMERCIAL (BANK)

PARCEL AREA: 5.87 AC DISTURBED AREA: ±0.73 AC PROPOSED PUD BUILDING AREA: 64,234 SF

LANDSCAPE REQUIREMENTS

REQUIRED BUFFERS (SEC. 17.24.230)

NO LANDSCAPE BUFFERS ARE REQUIRED. SITE IS WITHIN AN EXISTING PUD WITH SIMILAR ZONED ADJACENT PARCELS.

INTERIOR PARKING AREAS (SEC 17.24.160)
AT LEAST 8% OF THE GROSS AREA SHALL BE

LANDSCAPED. VEHICULAR USE AREA: 5,195 SF REQUIRED LANDSCAPE AREA: 415.60 SF

PROVIDED LANDSCAPE AREA: 1,630 SF

A MINIMUM OF 1 TREE PER 15 PARKING SPACES SHALL BE

TOTAL PARKING COUNT: 20 SPACES REQUIRED: 2 TREE(S) PROVIDED: 2 TREE(S)

PERIMETER PARKING SCREENING (SEC 17.24.150)
PERIMETER LANDSCAPE STRIPS ADJACENT TO PUBLIC STREETS WITH FOUR OR MORE TRAVEL LANES SHALL BE A MINIMUM OF 10FT IN WIDTH.

SOUTH DRIVE ISLE PERIMETER SCREENING: PROVIDED: 1 ROW EVERGREEN SHRUBS, TREES CANNOT BE DUE TO SLOPE CONSTRAINTS

EAST PARKING PERIMETER SCREENING: PROVIDED: 1 ROW EVERGREEN SHRUBS, TREES CANNOT BE PLANTED WITHIN GAS EASEMENT

STREET FRONTAGE REQUIREMENTS (SEC 17.24.150)

1 STREET TREE PER 50 LF OF PUBLIC R.O.W. FRONTAGE. 10 FT WIDTH OF LANDSCAPE REQUIRED ALONG FRONTAGE. STREET FRONTAGE:

MT. VIEW RD: 143 LF DUE TO GRADING CONSTRAINTS, NO TREES TO BE

REQUIRED: 1,430 SF OF LANDSCAPE PROVIDED: 1,430 SF OF LANDSCAPE

BELL RD: 73 LF DUE TO COLUMBIA GULF TRANSMISSION EASEMENT, NO TREES TO BE PROVIDED. REQUIRED: 730 SF OF LANDSCAPE

PROVIDED: 730 SF OF LANDSCAPE

IRRIGATION NOTES

- ALL AREAS THAT HAVE BEEN DISTURBED NOT COVERED BY PLANTINGS OR HARDSCAPE SHALL BE SODDED IN ORDER TO ACHIEVE A WELL-ESTABLISHED LAWN.
- THE AUTOMATIC. UNDERGROUND IRRIGATION SYSTEM SHALL MEET METRO NASHVILLE STANDARDS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM.

TREE BANK REQUIREMENTS

- TOTAL TREE BANK CREDITS = 108 CREDITS
- *1 CREDIT = 1 TDU = \$725.00
- TREE MITIGATION BANK CANNOT BE USED TO SUPPLEMENT LANDSCAPE BUFFER, SCREENING, STREET FRONTAGE, PERIMETER, OR OTHER REQUIREMENTS AND MUST ONLY BE USED TO BALANCE THE REQUIRED TDU'S FOR THE SITE.

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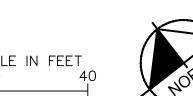
DESIGNED BY:

DRAWN BY: COORDINATES ARE CHECKED BY: ALL ELEVATIONS ARE | DATE: REFERENCED TO THE

KIMLEY-HORN PROJECT NO. 118193007

LANDSCAPE PLAN

SHEET NUMBER L1-00



NAD83.

NAVD 1988.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1.01 SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY
- C. THE CONTRACTOR SHALL CONTACT THE OWNER AND TENNESSEE ONE CALL AT (615) 351-1111, TWO (2) FULL BUSINESS DAYS PRIOR TO
- D. THE CITY MUST APPROVE ALL WORK HOURS AND LANE CLOSURE REQUESTS AT LEAST TWO (2) FULL WORKING DAYS IN ADVANCE OF THE START OF ANY SUCH WORK ON A LOCATION BY LOCATION BASIS. THE INDIVIDUAL(S) INSTALLING THE MAINTENANCE OF TRAFFIC SETUP SHALL HAVE COMPLETED A TDOT APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE. DOCUMENTATION SHALL BE FURNISHED
- TO THE CITY AT THE PRE-CONSTRUCTION MEETING OR PRIOR TO START OF WORK. E. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHEREBY TRAFFIC CONTROL SIGNAGE AND DEVICES ARE VISIBLE TO MOTORISTS AND PEDESTRIANS.

1.02 PROTECTION OF EXISTING STRUCTURES

- A. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO TDOT, COUNTY, OR CITY STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF COMPLIANCE WITH THIS SECTION WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

1.03 PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

A. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE LANDSCAPE ARCHITECT UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

ONE (1) CUBIC FOOT

ONE (1) CUBIC FOOT TOPSOIL MIX ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY) PLANTS

B. PLANT MATERIALS

- 1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS SET FORTH IN ANSI Z60.1-2014-AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
- 2. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE ROOTBALL OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE
- 3. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH. OR UPON DELIVERY TO THE SITE AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

1.05 SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF $\frac{1}{3}$ LOOSE COMPOST (NO GREATER THAN 1" SIV), $\frac{1}{3}$ PEAT AND $\frac{1}{3}$ SAND, AS DESCRIBED BELOW.
- B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH, IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR APPROVAL BY THE OWNER.
- D. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION

1.06 WATER

OPERATIONS COMMENCE.

A. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

1.07 FERTILIZER

A. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

1.08 MULCH

A. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS UNLESS OTHERWISE NOTED. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE SHREDDED HARDWOOD.

1.09 DIGGING AND HANDLING

- B. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT.
- C. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- D. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. ALL TREES SHALL BE PLANTED AS INDICATED ON DRAWINGS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH OF PLANTING SOIL.

1.10 CONTAINER GROWN STOCK

- A. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- B. ALL SHRUB SPECIES SHALL BE CONTAINER GROWN.
- C. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- D. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- E. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.

A. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE

- A. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN
- B. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

1.13 PLANTING PROCEDURES

- A. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- B. SUBGRADE EXCAVATION: THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" AT TREES AND 18" AT SHRUBS AND PERENNIALS. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISH GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36", AND DEEP EXCAVATION BY THE CONTRACTOR AND POSITIVE DRAINAGE CANNOT BE ACHIEVED, THE CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- C. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CONTACT TENNESSEE ONE CALL AT (615) 351-1111 TO LOCATE ALL UTILITIES.
- D. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- E. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- F. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- G. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- H. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

I. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 1.05 OF THESE SPECIFICATIONS.

- J. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED. THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- K. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12", REMOVE AND DISPOSE ALL DEBRIS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- L. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- M. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

1.14 LAWN SODDING

- A. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- B. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- C. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

D. SODDING

- 1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS NOT COVERED BY HARDSCAPE OR VEGETATIVE MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 2. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 3. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

E. LAWN MAINTENANCE

- 1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RE-GRADING IF NECESSARY).
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

A. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

1.16 PLANT MATERIAL MAINTENANCE

OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. 1.17 FINAL INSPECTION AND ACCEPTANCE OF WORK

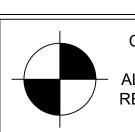
A. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL

A. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK

PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTIED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- B. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION DURING THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS OF NOTICE, OR BETWEEN SEPTEMBER-NOVEMBER, MARCH-MAY. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- C. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.





NAD83. NAVD 1988.

COORDINATES ARE ALL ELEVATIONS ARE REFERENCED TO THE

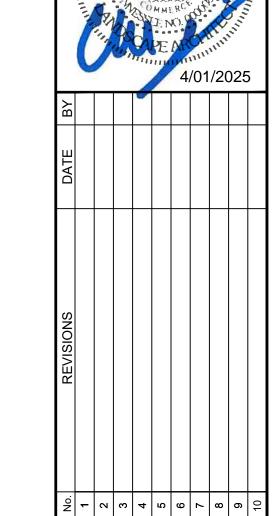
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LANDSCAPE DETAILS

118193007

SHEET NUMBER L1-50

PO-LO-17



COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

DESIGNED BY: DRAWN BY: CHECKED BY: 02/26/2025 KIMLEY-HORN PROJECT NO. 118193007

LANDSCAPE DETAILS

SHEET NUMBER L1-51

■ MIN. 2X ROOTBALL DIAMETER —

DEPTH VARIES BASED

TREE STAKING

ON SIZE OF ROOTBALL

FINISHED GRADE

BY THE CITY LANDSCAPE ARCHITECT.

NOTE: TREE STAKING MAY BE USED ONLY ON TREES LARGER THAN 3" CAL., UNLESS OTHERWISE APPROVED

SPADED EDGE