

ORDINANCE NO. BL2020 - 440

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by amending a Specific Plan located at 1324 2nd Avenue North, at the southeast corner of 2nd Avenue North and Taylor Street, zoned SP (4.82 acres), to permit additional uses and update site plan, all of which is described herein (Proposal No. 2016SP-055-002).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By amending a Specific Plan located at 1324 2nd Avenue North, at the southeast corner of 2nd Avenue North and Taylor Street, zoned SP (4.82 acres), to permit additional uses and update site plan, being Property Parcel No. 234 as designated on Map 082-09 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to 232,500 square feet of non-residential uses and 280 multi-family units. The permitted uses for the non-residential uses shall be as specified on the plan. Short term rental property – owner occupied and short term rental property – not owner occupied shall be prohibited.

Section 4. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 5. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent

with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 6. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 7. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:



Councilmember Freddie O'Connell

2016SP-055-002
1324 2ND AVENUE NORTH
Map 082-09, Parcel(s) 234
Subarea 08, North Nashville
District 19 (O'Connell)
Application fee paid by: Smith Gee Studio LLC

A request to amend a Specific Plan located at 1324 2nd Avenue North, at the southeast corner of 2nd Avenue North and Taylor Street, zoned SP (4.82 acres), to permit additional uses and update site plan, requested by Smith Gee Studio, applicant; Neuhoff Acquisition LLC, owner.





AMENDMENT TO SPECIFIC PLAN

1324 2ND AVENUE NORTH NASHVILLE

MPC# 2016SP-055-002 | JULY 1, 2020 3:34 PM



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

Contact: Scott Morton
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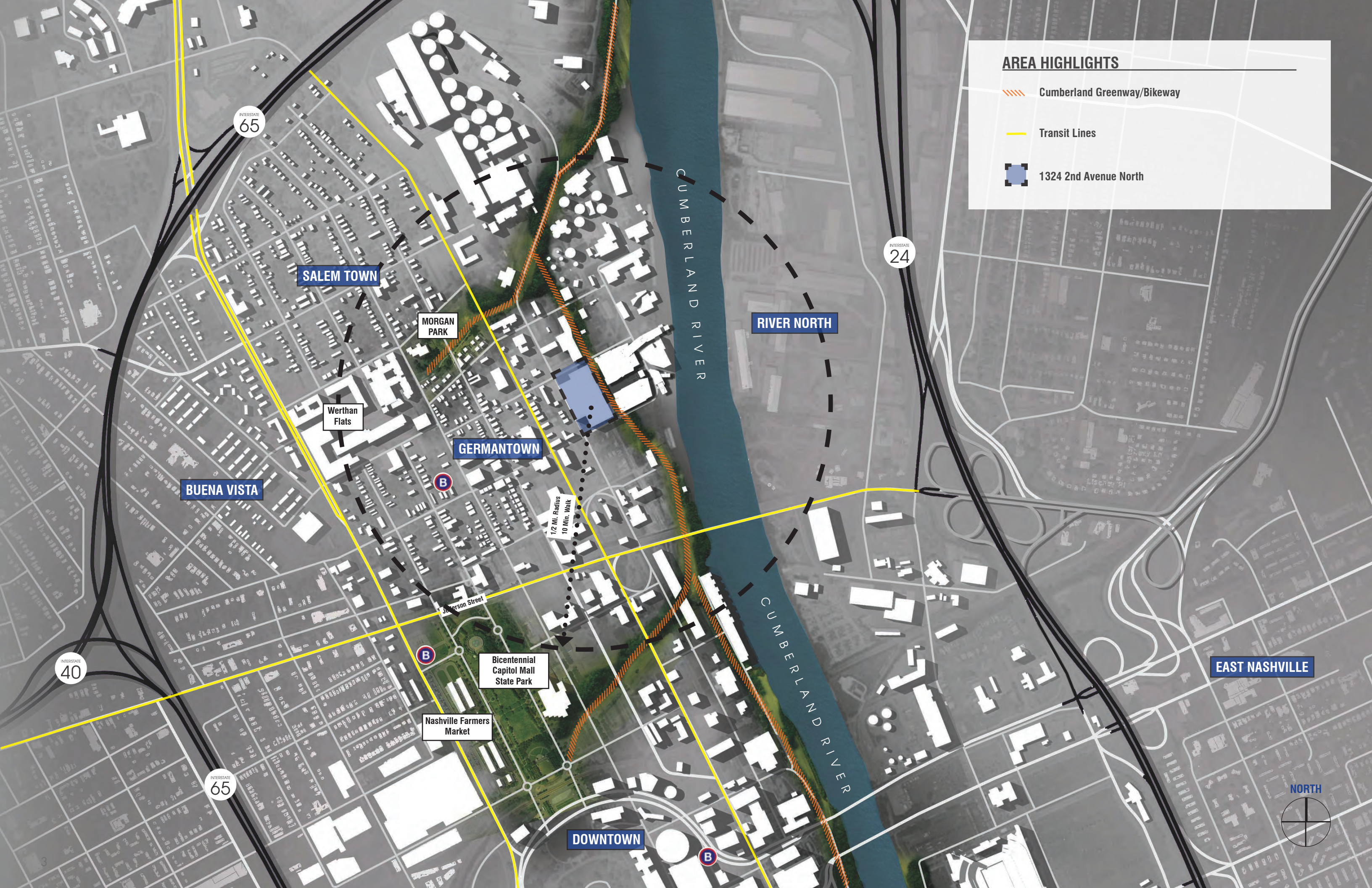


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AREA HIGHLIGHTS

-  Cumberland Greenway/Bikeway
-  Transit Lines
-  1324 2nd Avenue North



SALEM TOWN

MORGAN PARK

Werthan Flats

BUENA VISTA

GERMANTOWN

B

1/2 Mi. Radius
10 Min. Walk

Jefferson Street

B

Bicentennial Capitol Mall State Park

Nashville Farmers Market

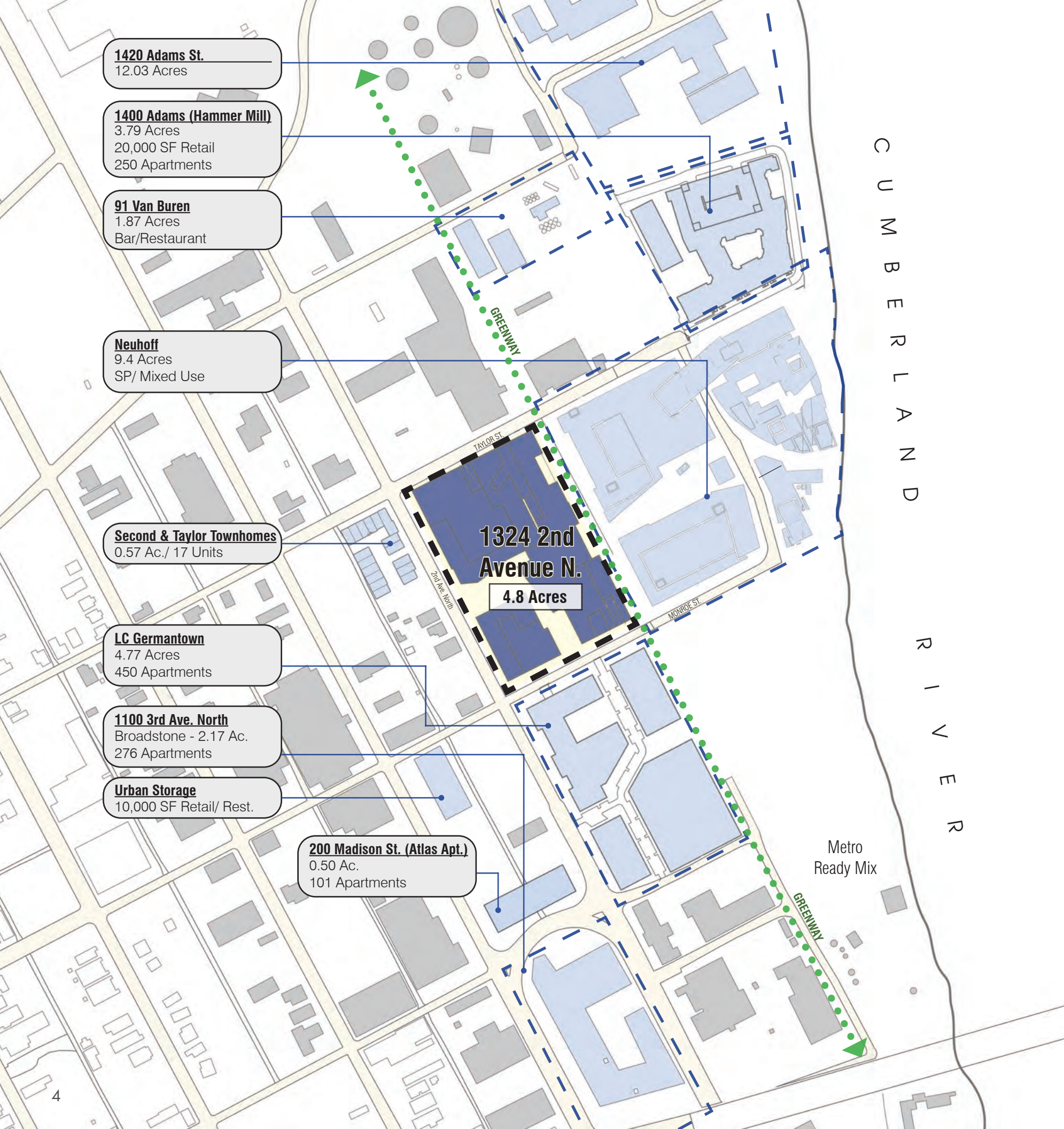
RIVER NORTH

EAST NASHVILLE

DOWNTOWN

B





1420 Adams St.
12.03 Acres

1400 Adams (Hammer Mill)
3.79 Acres
20,000 SF Retail
250 Apartments

91 Van Buren
1.87 Acres
Bar/Restaurant

Neuhoff
9.4 Acres
SP/ Mixed Use

Second & Taylor Townhomes
0.57 Ac./ 17 Units

LC Germantown
4.77 Acres
450 Apartments

1100 3rd Ave. North
Broadstone - 2.17 Ac.
276 Apartments

Urban Storage
10,000 SF Retail/ Rest.

200 Madison St. (Atlas Apt.)
0.50 Ac.
101 Apartments

1324 2nd Avenue N.
4.8 Acres

SITE

1324 2nd Avenue north is part of the emerging eastern area of the Germantown / Salemtown neighborhoods. Recent new construction has been single-family and two-family homes within the historic neighborhoods, and multi-family housing on former commercial and industrial properties. The site is located between the historic districts, existing industrial uses, and the neuhoff complex.

Existing Land Use Policy
T4 Mixed Use Neighborhood

Existing Zoning
Specific Plan (SP), UZO

*The site is located outside of the nearby Germantown Historic Preservation District, the Phillips Jackson Redevelopment District and the Germantown National Register District.



1324 2ND AVENUE NORTH

CONCEPT PLAN





Floor Plan - Floor 01



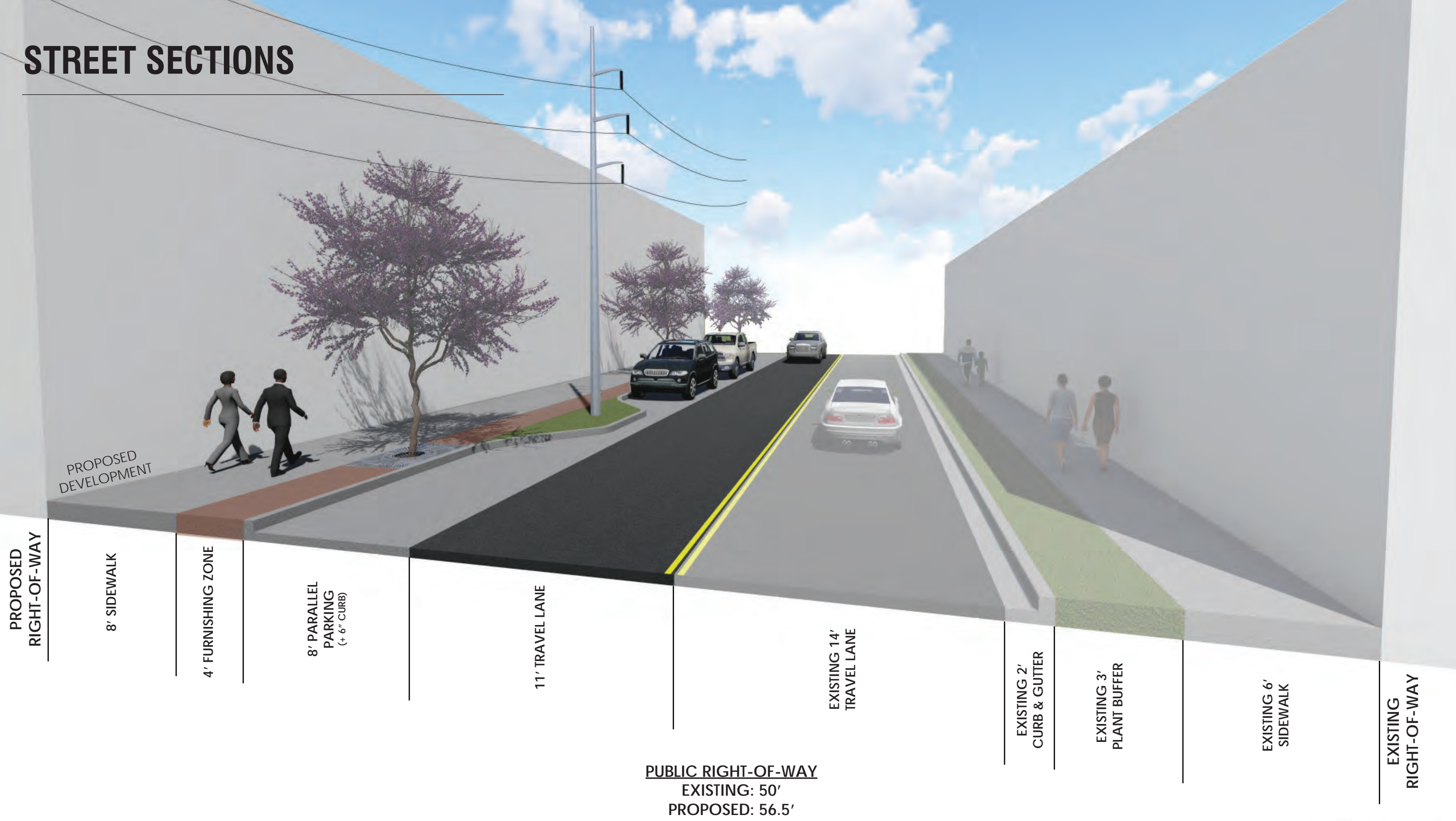
REGULATIONS

Base Zoning		The standards of this SP shall follow MUL-A zoning district in the UZO except where standards in this document are more specific or change the standards of MUL-A.
FAR		2.5
ISR		1.0
Build-to-Zone		60% of the building facade shall be 0-15 feet from the back of the sidewalk on public streets.
Greenway Setback		5 feet, minimum average as measured over the entire length of the property line facing the greenway.
Minimum First Floor Height	A	As measured along public streets, finished floor to finished floor. <i>Grocery</i> 20 feet <i>All other uses</i> 16 feet
Max. Height	B	85 feet and 5 stories
Max. Height for Hotel	B	85 feet and 6 stories
Bicycle Parking Requirements		According to 17.20.135 of the zoning code.
Parking		According to MUL-A, UZO allowances, and all allowances in the zoning code. Parking may be shared across the site and any future property lines, regardless of ownership. Shared parking may be allowed according to the provisions of 17.20.100 of the zoning code.
Urban Design	C	Building facades fronting a public street shall provide a minimum of one principal pedestrian entrance.
	C	Building facades fronting a public street shall have a minimum of 40% glazing on the ground floor. Upper level facades shall have a minimum of 25% glazing.
	D	Upper level facades of parking structures facing public streets shall step back from the ground level facade by a minimum of 18 inches, and shall include material articulation.
	E	Upper level facades of parking structures facing public streets shall have openings for a minimum of 40% and a maximum of 60% of the total facade.
Prohibited Materials		EIFS, vinyl siding, fiber cement siding, and untreated wood.



Building Diagram

STREET SECTIONS



2ND AVENUE

LOOKING SOUTH BETWEEN TAYLOR STREET AND MONROE STREET

Individual property owners are responsible for required street improvements along their frontage from the centerline of the right-of-way or easement. Monroe Street and Taylor Street section designs are referenced in the appendix and were previously approved under 2019SP-029-001.



LAND USES

	P	PC	SE	A	O		P	PC	SE	A	O		P	PC	SE	A	O		P	PC	SE	A	O								
RESIDENTIAL						Financial Institution	x						Funeral Home						Heavy Equipment, Sales and Service						Recycling Facility						
Single Family						General Office	x						Furniture Store						Hazardous Operation						Sanitary Landfill						
Two Family						Leasing/ Sales Office	x						Grocery Store	x					Manufacturing, Artisan		x				Waste Transfer						
Multifamily	x					MEDICAL						Home Improvement Sales							Manufacturing, Heavy					RECREATION AND ENTERTAINMENT							
Elderly Housing						Animal Hospital							Hotel/ Motel	x					Manufacturing, Medium						Adult Entertainment						
Mobile Home Dwelling						Assisted Care Living							Inventory Stock						Manufacturing, Light						After Hours Establishment						
Accessory Apartment						Hospice							Kennel/ Stable						Microbrewery	x					Camp						
Accessory Dwelling, Detached						Hospital							Laundry Plants						Research Service						Club		x				
Boarding House						Hospital							Liquor Sales						Scrap Operation						Commercial Amusement (Inside)		x				
Consignment Sale						Medical Appliance Sales							Major Appliance Repair						Tank Farm						Commercial Amusement (Outside)		x				
Domesticated Hens						Medical Office							Mobile Storage Unit						Tasting Room	x					Country Club						
Garage Sale						Medical or Scientific Lab							Mobile Vendor						Warehouse						Drive-in Movie						
Historic Bed & Breakfast Homestay						Nonresidential Drug Treatment Facility							Nano Brewery		x				TRANSPORTATION												
Historic Home Events						Nursing Home							Personal Care Services	x					Airport, Medium or Large						Driving Range						
Home Occupation		x				Outpatient Clinic							Restaurant, Fast Food	x					Commercial Service						Fairground						
Rural Bed & Breakfast Homestay						Rehabilitation Services							Restaurant, Full Service	x					Airport/ Heliport						Golf Course						
Security Residence						Residence for Handicapped, More than 8 individuals							Restaurant, Take Out	x					Boat Dock (Commercial)						Greenway		x				
Short Term Rental Property (STRP)						Veterinarian			x				Retail	x					Bus Station/ Landport						Park		x				
INSTITUTIONAL						COMMERCIAL						Self Service Storage						Commuter Rail						Racetrack							
Correctional Facility						Animal Boarding Facility							Short Term Rental Property (STRP) - Not owner occupied						Helistop						Recreation Center		x				
Cultural Center						ATM		x					Vehicular Rental/ Leasing						Motor Freight						Rehearsal Hall						
Day Care Center (up to 75)	x					Auction House							Vehicular Sales and Service, Limited						Park and Ride Lot						Sex Club						
Day Care Center (over 75)	x					Automobile Convenience							Wrecker Service						Railroad Station						Small Outdoor Music Event		x				
Day Care Home						Automobile Parking		x				COMMUNICATION						Railroad Yard							Stadium Arena/ Convention Center						
Day Care - Parent's Day Out						Automobile Repair						Amateur Radio Antenna							Water Taxi Station						Temporary Festival						
School Day Care						Automobile Sales, New							Audio/ Video Tape Transfer						Power/ Gas Substation						Theatre		x				
Monastery or Convent						Automobile Sales, Used							Communications Hut						Power Plant						Theatre		x				
Orphanage						Automobile Service							Multimedia Production						Reservoir/ Water Tank						Zoo						
Religious Institution						Bar or Nightclub		x					Printing and Publishing						Safety Services						OTHER						
EDUCATIONAL USES						Bed and Breakfast Inn		x					Radio/ TV Studio						Waste Water Treatment						Agricultural Activity						
Business School						Beer and Cigarette Market							Satellite Dish						Water/ Sewer Pump Station						Cemetery						
College or University						Boat Storage							Telecommunication Facility						Water Treatment Plant						Domestic Animals/ Wildlife						
Community Education		x				Business Service		x				INDUSTRIAL						Wind Energy Facility (small)							Mineral Extraction						
Dormitory						Carpet Cleaning						Artisan Distillery		x					Wind Energy Facility (utility)						On-Site Agricultural Sales						
Fraternity/ Sorority House						Car Wash						Asphalt Plant							Construction/ Demolition Waste Processing (project specific)						Pond/Lake						
Personal Instruction		x				Community Gardening (Commercial)		x				Building Contractor Supply							Medical Waste												
Vocational School						Community Gardening (Noncommercial)		x				Compressor Station							Recycling Collection Center												
OFFICE						Custom Assembly						Concrete Plant																			
Alternative Financial Services						Donation Center, Drop Off						Distributive Business/ Wholesale																			
						Flea Market		x				Fuel Storage																			

BASE FLOODPLAIN NOTE

1. THE 100-YEAR BASE FLOODPLAIN FOR THE CUMBERLAND RIVER ELEVATION IS 415'
2. MINIMUM FFE OF ALL RESIDENTIAL BUILDINGS SHALL BE NO LOWER THAN 419'
3. MINIMUM FFE OF ALL OTHER BUILDINGS SHALL BE NO LOWER THAN 416'

U.S. FEMA FIRM PANEL

MAP NO. 4703037C0241H DATED APRIL 5, 2017

SOIL SURVEY NOTE

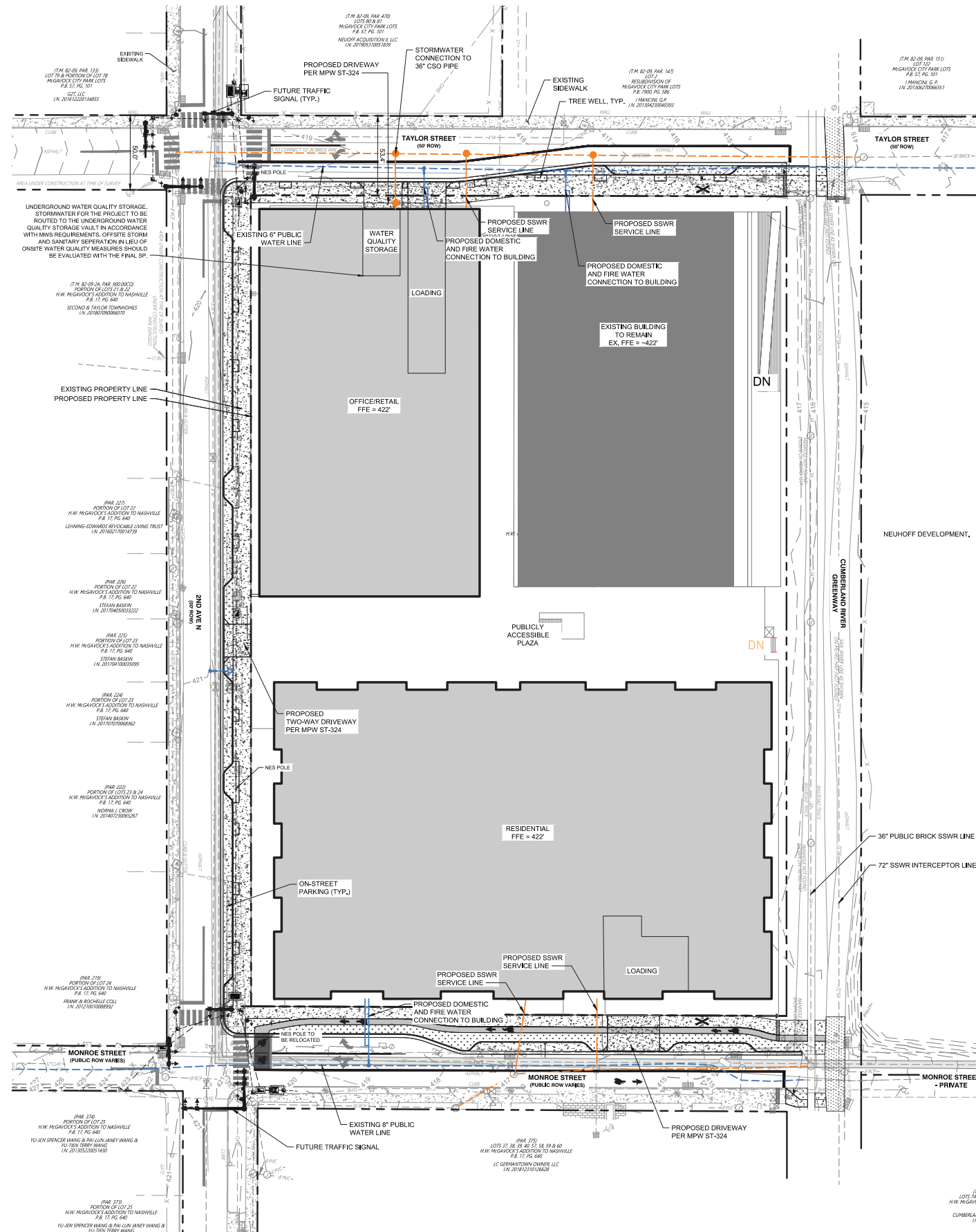
THIS SITE IS COMPRISED ENTIRELY OF LINDELL-URBAN LAND COMPLEX, 0 TO 3 PERCENT SLOPES (Ln)

STORMWATER NOTES

1. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION
2. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIME IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
4. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP.)
5. PROJECT INTENT FOR THIS SITE IS TO BE REDEVELOPED PER THE REQUIREMENTS OF THE CURRENT STORMWATER MANAGEMENT MANUAL. DETENTION WILL BE PROVIDED SUCH THAT POST DEVELOPED FLOWS WILL BE LESS THAN PREDEVELOPED.
6. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH STORMWATER MANAGEMENT VOLUME 1 - REGULATIONS.
7. THE SITE IS BEING ENTERED INTO THE VOLUNTARY BROWNFIELD AGREEMENT DUE TO SOIL CONTAMINATION THROUGH TDEC. AN LID WAIVER WILL BE REQUESTED DUE TO CONTAMINATED SOIL.

UTILITY NOTES

1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS.
4. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
5. REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
6. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
7. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
8. CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.
9. SITE ELECTRICAL TO BE TAKEN UNDERGROUND WHERE FEASIBLE WITHIN THE PROJECT LIMITS.



NOTE

TRASH AND RECYCLING PICKUP TO BE HANDLED BY PRIVATE THIRD PARTY.

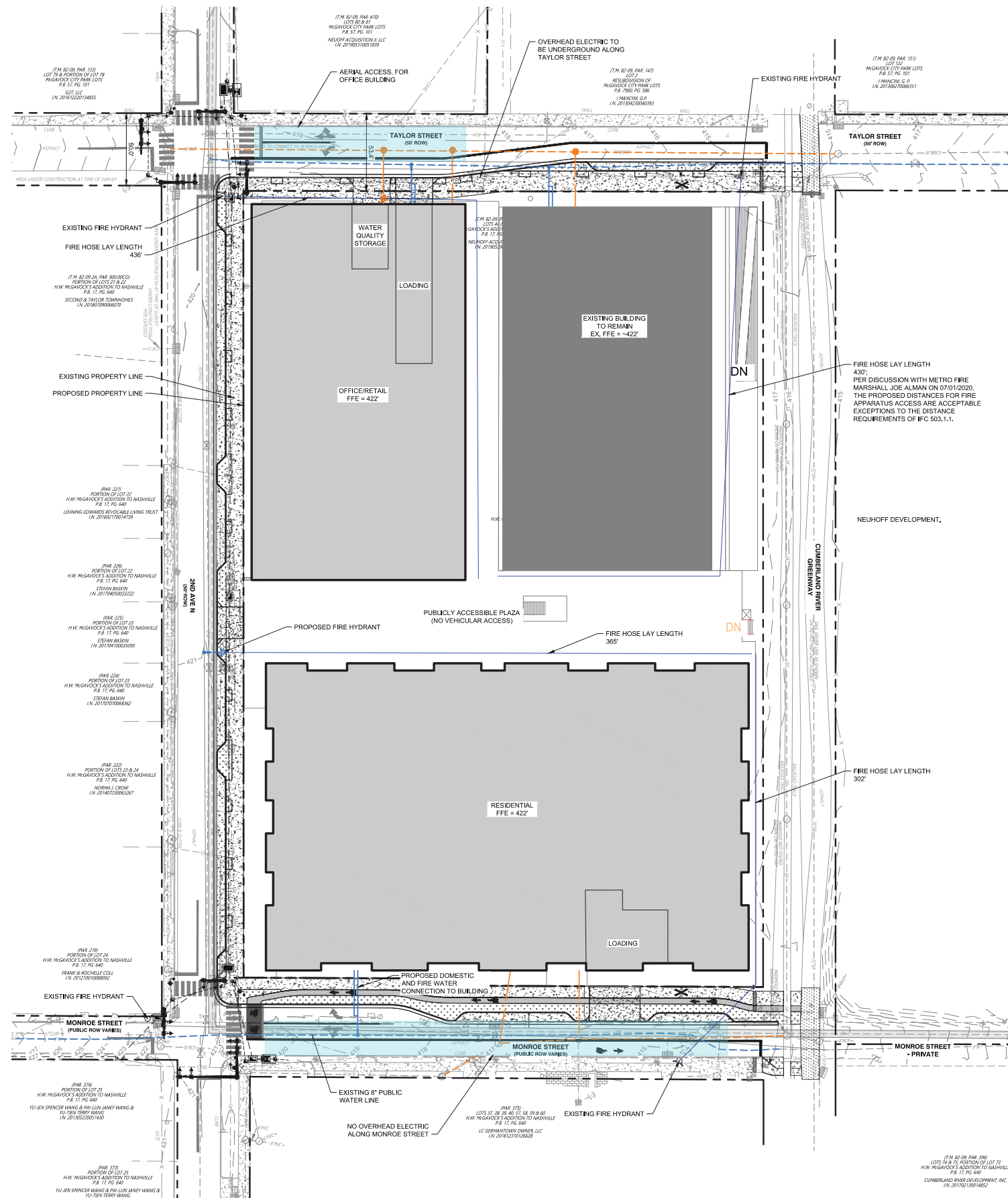
EXISTING UTILITIES NOTE

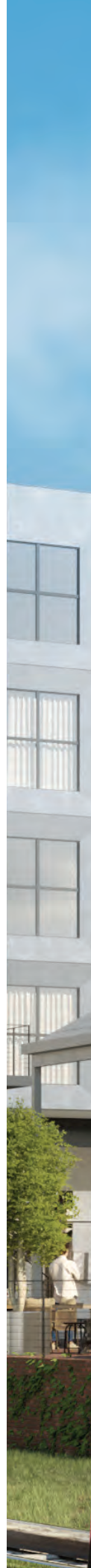
CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

METRO NASHVILLE WATER SERVICES STANDARD NOTES

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEOTAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (*.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
12. ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
13. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
14. IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
15. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
16. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
17. BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
18. PLAN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.

FIRE APPARATUS PLAN





V I S I O N I N G



VISION

Nashville Block 5 is a mixed-use development that includes a five-story 190,000 sf office building, a five-story 280 unit residential building, 24,000 sf of retail, 5,000 sf of restaurant, and the renovation of an existing one-story bow truss building that will become the home of a 13,500 sf brewery.

This warehouse will be converted into a food and beverage service and retail center, with frontage along the Cumberland River Greenway, Taylor Street, and a public plaza in the center of Block 5. Its renovation will help reinforce and celebrate the industrial history of the Germantown neighborhood.

The Residential building features balconies that wrap the facade and engage the street fronts of 2nd Avenue and Monroe Street, as well as the greenway. Its material palette will also recall the industrial history of the neighborhood, with a masonry ground floor and a concrete clad facade on the floors above.

The office building will be clad in precast concrete and includes warehouse windows and a contemporary interpretation of classical detailing, and it will feature retail space on the central plaza level.

The frontage along the street takes advantage of the site's slight grade change, exposing the below grade parking garage, highlighting planted berms, vertical plantings, and other unique landscape features.



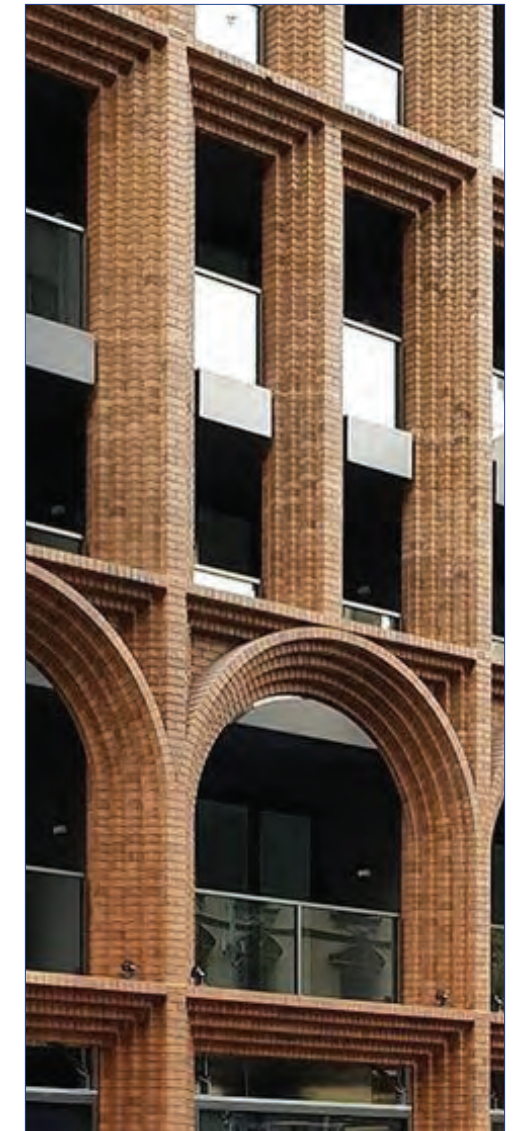
CONCEPT PLAN



2ND AVENUE

Second Avenue will be lined with both street parking and street trees. The entry to the parking ramp will be marked for a two way ramp that provides an open, clearly visible access point to the parking garage below the central plaza.

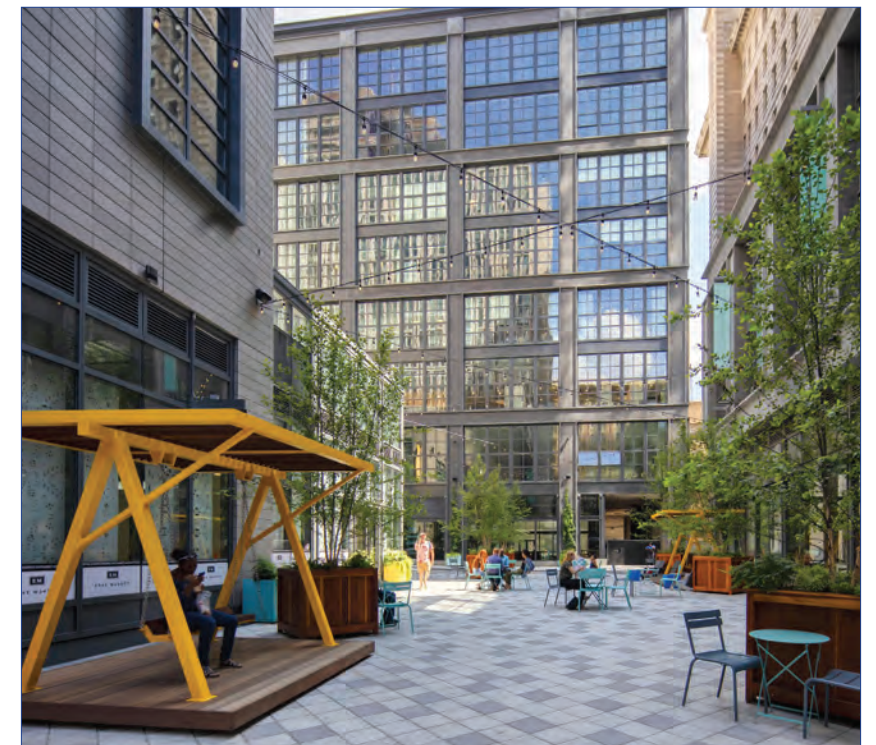
The landscape along the building frontage is divided into two conditions: planted terraces that connect the sidewalk to the office building frontage, and a series of semi-private patios in front of the residential building's ground floor townhouses.





PLAZA

The plaza is located in the center of Block 5 and creates a pedestrian promenade lined with retail on both sides. It provides a visual connection to the adjacent Neuhoﬀ development, with a bridge across the Cumberland River Greenway and active railway, accessible from the plaza level via stair or elevator.





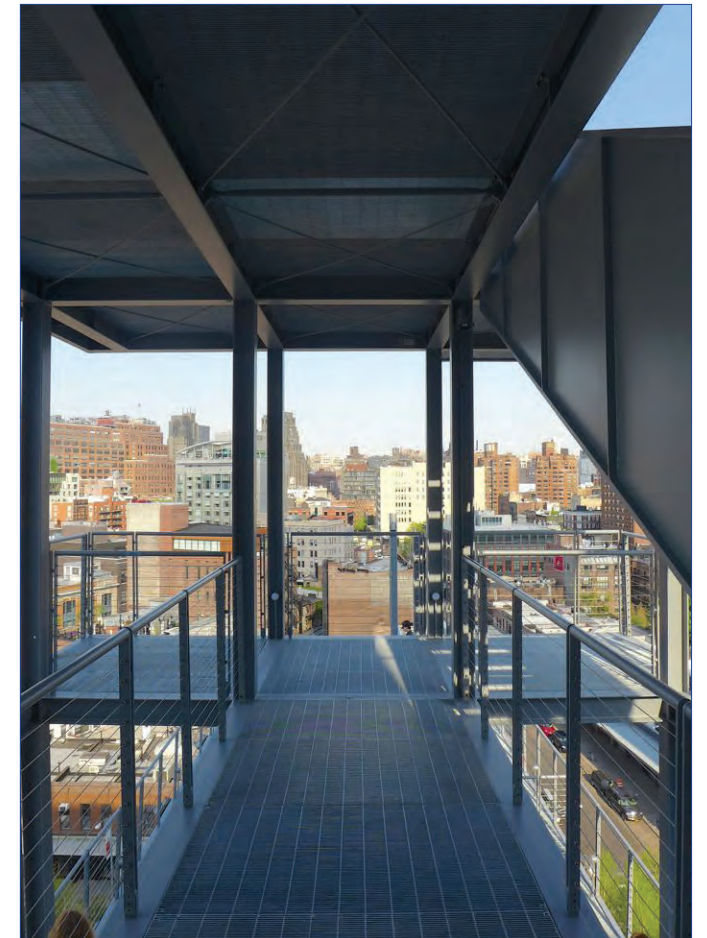
BOW TRUSS

The renovation of the existing bow truss warehouse includes the preservation of its original structural trusses and columns, while its end walls will be replaced with contemporary glazing walls - creating the sense of an industrial ruin paired with high-tech, elegant materiality. The roof will be replaced with high performing systems that maintain the original clarity of the building's form, while including performative elements such as skylights.



BRIDGE

The bridge crossing from Block 5 over the Cumberland River Greenway and active rail line is a major sculptural feature in the plaza. It connects to the plaza level and both levels of parking below by both a grand stair and an elevator, providing accessibility to any visitors who use the Block 5 parking amenities to visit the surrounding area. It will also serve as a connection to the Neuhoff project.





THE GREENWAY

The Greenway is envisioned as a planted linear experience - it will be a front door for cyclists and pedestrian access to Block 5. The development's frontage along the Greenway is composed of a series of porches – the more private townhouse porches along the residential building, and a vital, public porch along the renovated bow truss building. There will be one primary on-grade pedestrian crossing connecting the Block 5 plaza across the Greenway to the Neuhoff development.







GREENWAY



2ND AVENUE

MATERIALS LEGEND

1 PRECAST CONCRETE	8 PRECAST CONCRETE - DARK
2 ALUMINUM STOREFRONT	9 CURVED INSULATED ROOF SYSTEM
3 ALUMINUM WINDOWS	10 EXISTING COLUMN
4 METAL CANOPY	11 EXISTING TRUSS
5 RED BRICK	12 CORRUGATED SIDING
6 METAL GUARDRAILS	13 LOADING DOCK DOOR
7 LIGHTWEIGHT PRECAST CONCRETE PANEL	



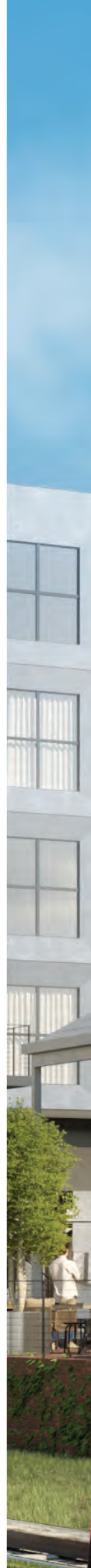
TAYLOR STREET



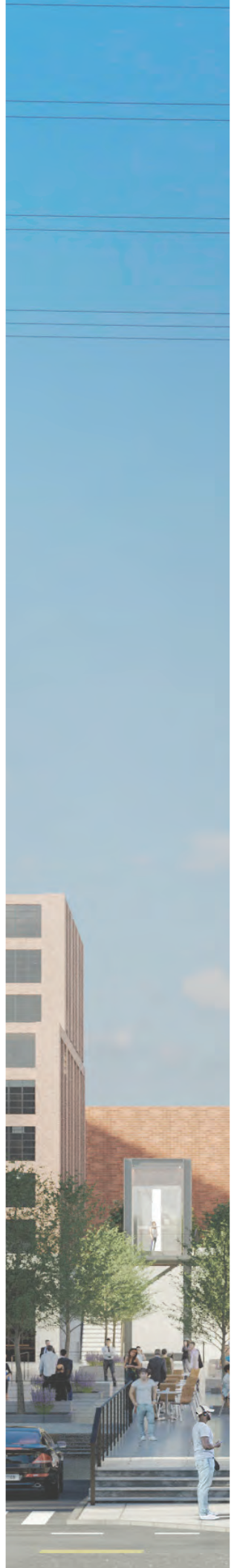
MONROE STREET

MATERIALS LEGEND

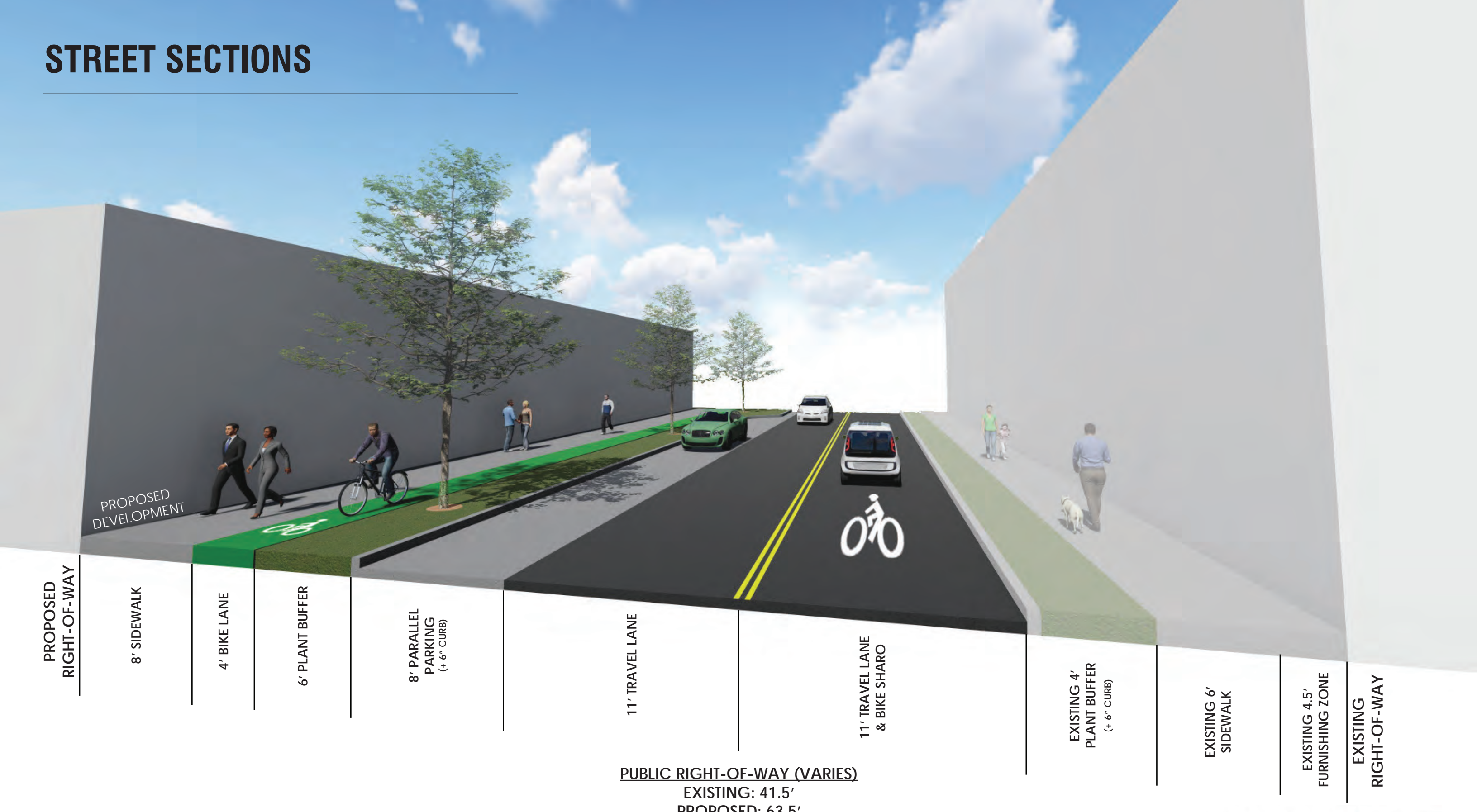
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|--------------------------------------|--------------------------------|
| 1 PRECAST CONCRETE | 8 PRECAST CONCRETE - DARK |
| 2 ALUMINUM STOREFRONT | 9 CURVED INSULATED ROOF SYSTEM |
| 3 ALUMINUM WINDOWS | 10 EXISTING COLUMN BEYOND |
| 4 METAL CANOPY | 11 EXISTING TRUSS BEYOND |
| 5 RED BRICK | 12 CORRUGATED SIDING |
| 6 METAL GUARDRAILS | 13 LOADING DOCK DOOR |
| 7 LIGHTWEIGHT PRECAST CONCRETE PANEL | |



A P P E N D I X



STREET SECTIONS



MONROE STREET

LOOKING EAST BETWEEN 2ND AVENUE AND CUMBERLAND GREENWAY

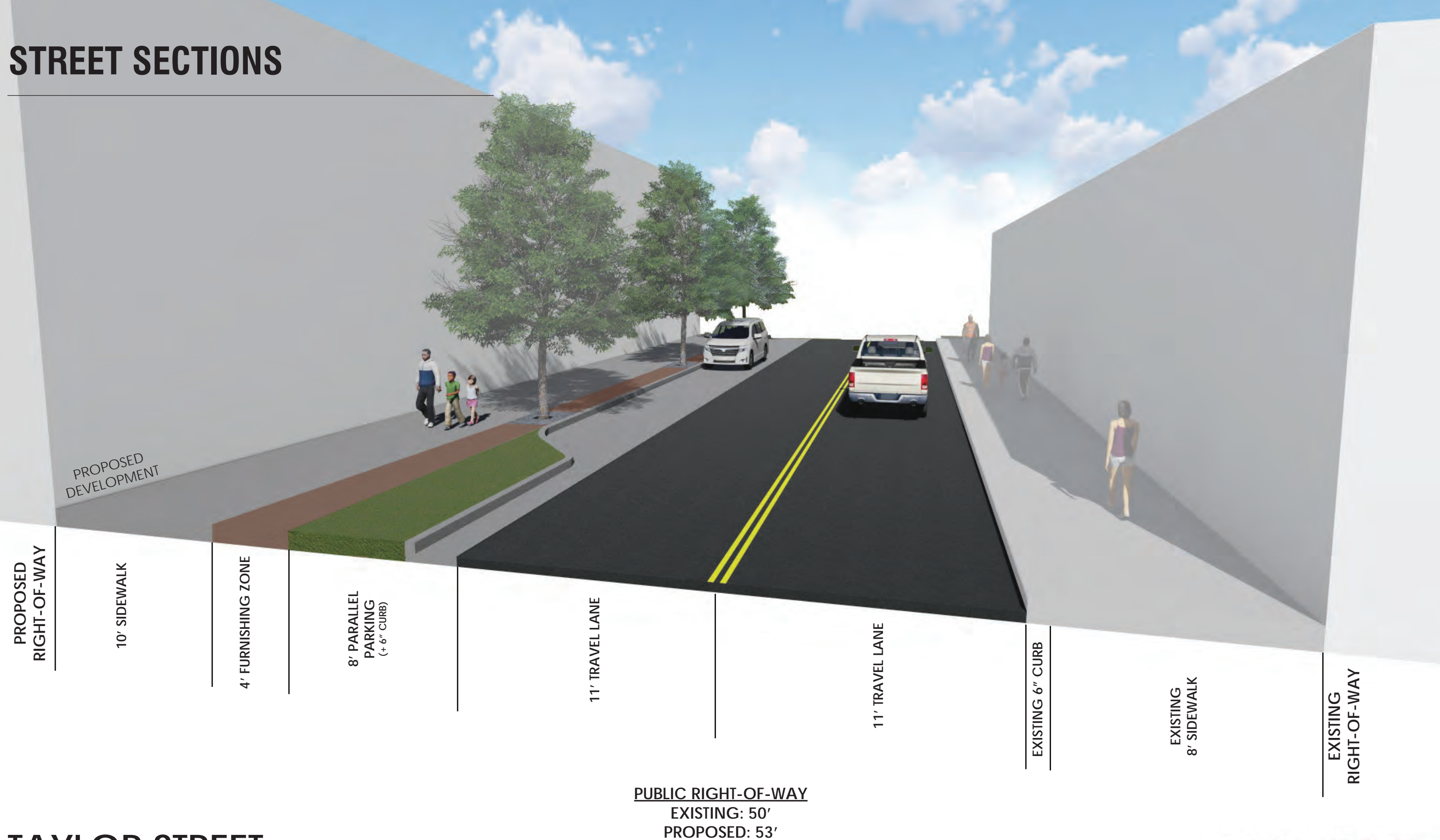
Individual property owners are responsible for required street improvements along their frontage from the centerline of the right-of-way or easement.

PUBLIC RIGHT-OF-WAY (VARIES)

EXISTING: 41.5'

PROPOSED: 63.5'

STREET SECTIONS



TAYLOR STREET

LOOKING WEST BETWEEN 2ND AVENUE AND CUMBERLAND GREENWAY

Individual property owners are responsible for required street improvements along their frontage from the centerline of the right-of-way or easement.



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1402

Design GYM

NEW CITY