

Preliminary Specific Plan for

THE CURTIS PROPERTY

0 Curtis Street and 0 Lincoln Avenue

2021SP-041-001

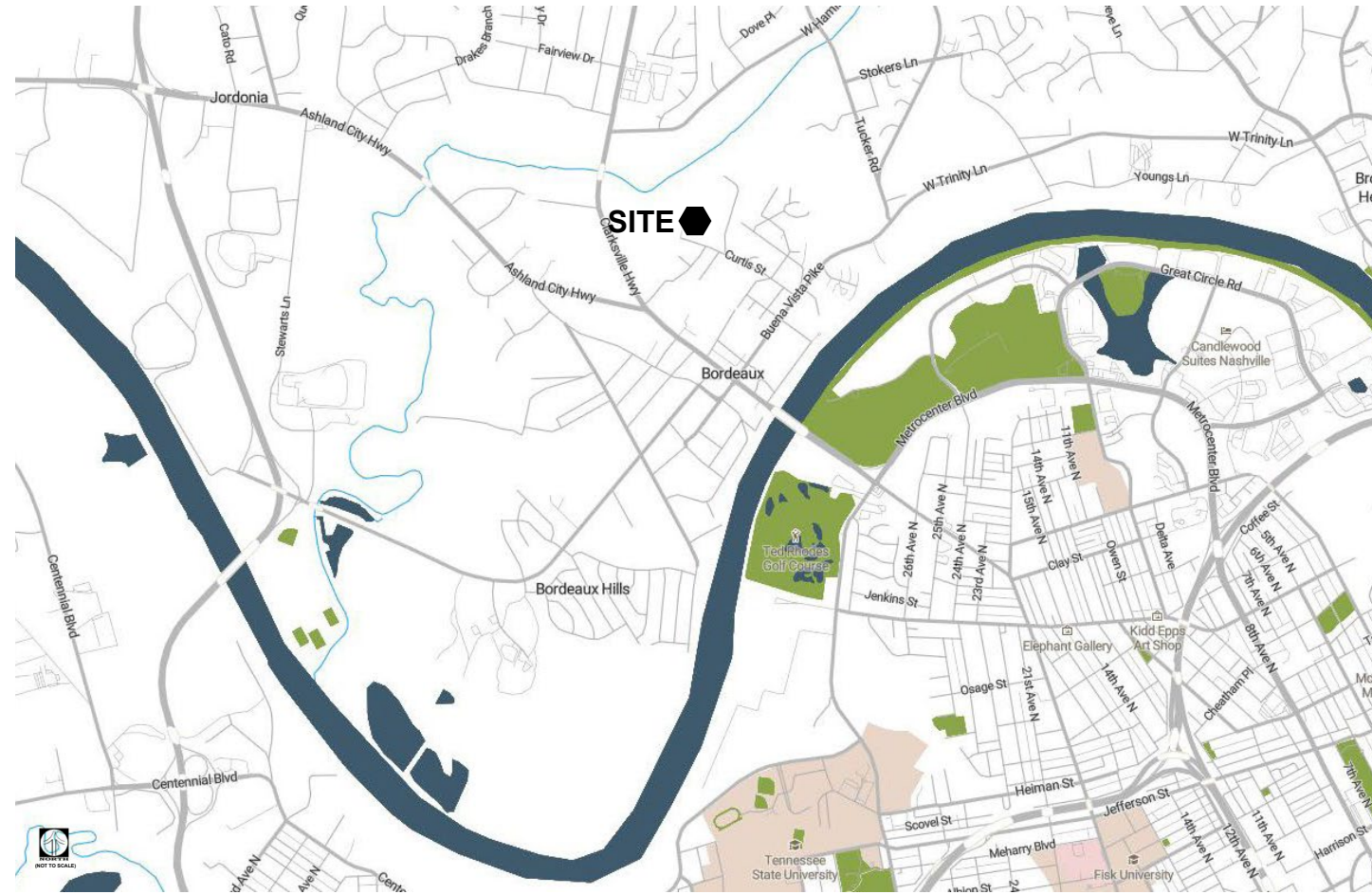
Submitted by **ESP Associates, Inc.**

May 12, 2021



PROJECT BACKGROUND

Site Vicinity Map



Site Background Data

Site Area: +/- 31.58 Acres (combined)

Site Address: 0 Curtis Street Nashville, TN 37218, & 0 Lincoln Avenue Nashville, TN 37218

Site Tax Parcel(s): 06900004500, 06908000300

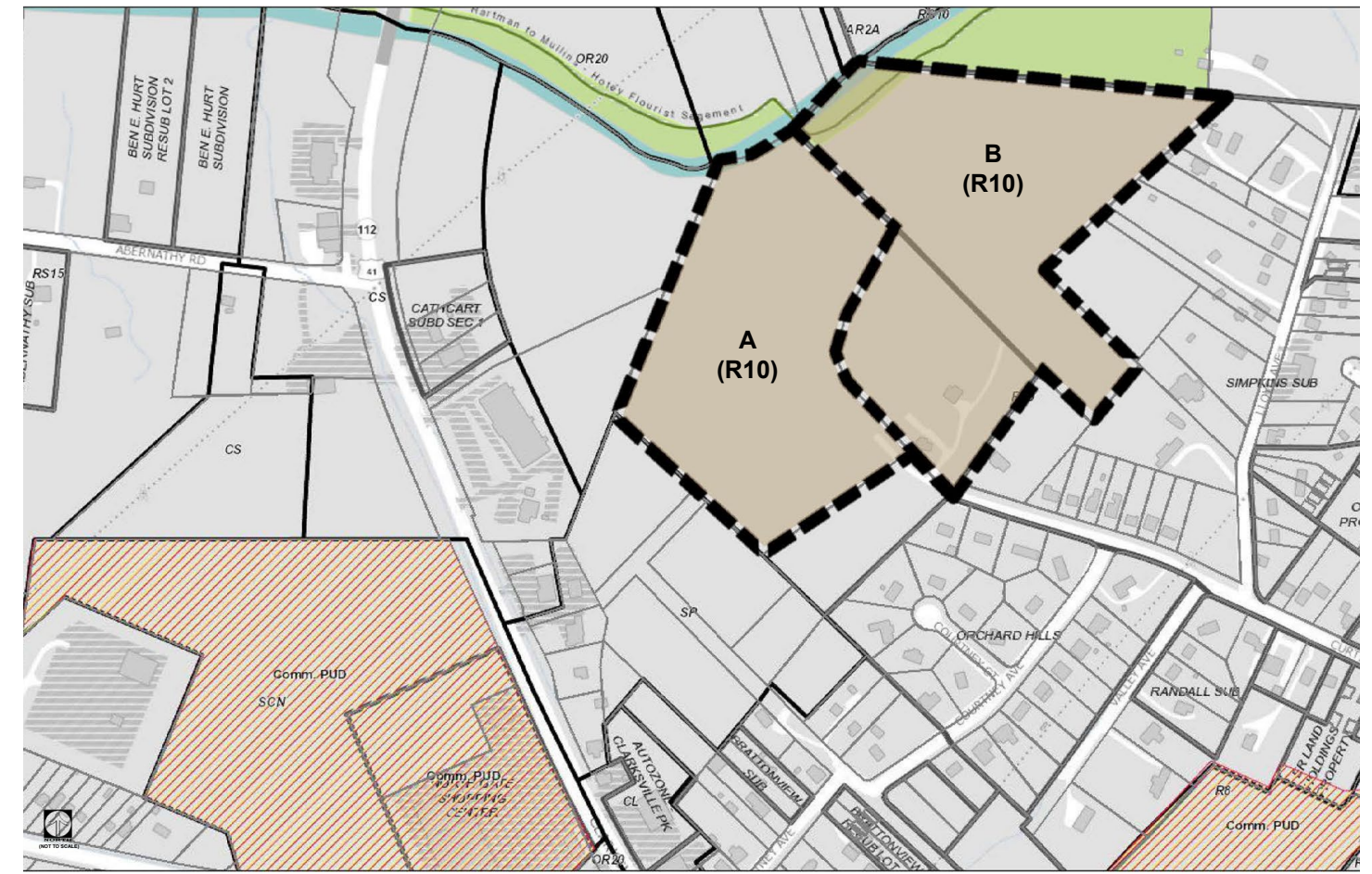
Council District: #02 - Member Kyonzté Toombs

Owner of Record: Curtis Partners, LLC
2610 Westwood Drive, Suite 201
Nashville, TN 37204

Planner / Consultant: Ben Miskelly
ESP Associates, Inc.
500 Wilson Pike Circle, Suite 310
Brentwood, TN 37027
bmiskelly@essassociates.com
615-760-8305

Developer: Zalmen Rubin
Bordeaux Nashville, LLC
663 E crescent Ave, Suite 113
Ramsey, NJ 07446
845-600-1180

Existing Zoning Map



Landuse Policy (CCM) and Zoning

Policy: T3 NE - Suburban Neighborhood Evolving
Create and enhance suburban neighborhoods with th best qualities of classic suburban neighborhoods - greater housing choice, improved connectivity, and more creative, innovative, and environmentally sensitive development.

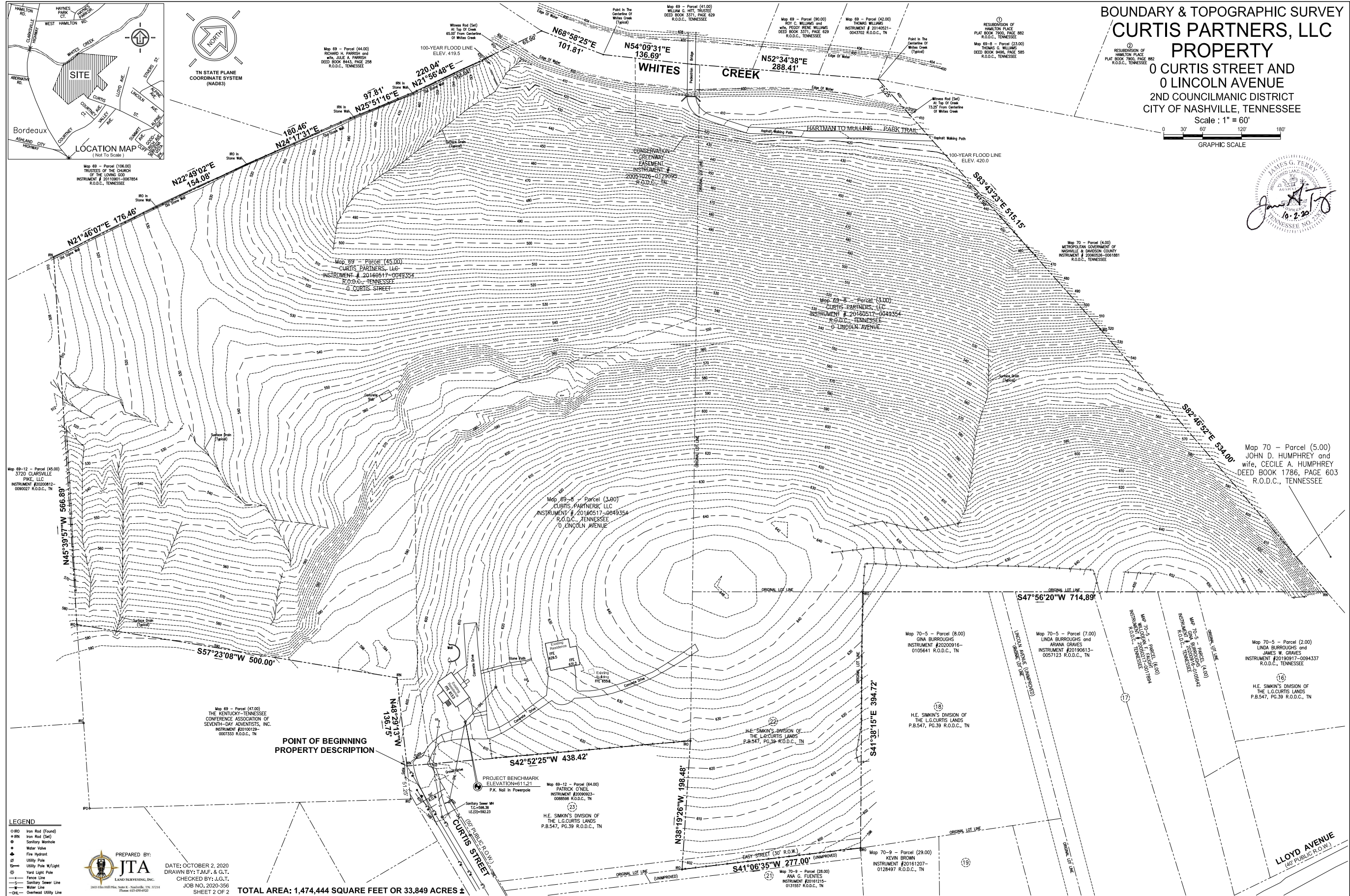
Community Plan: Bordeaux/Whites Creek/Haynes Trinity Community Plan

Parcel A: 06900004500 - 0 Curtis Street
Zoning: Existing - R10 (10,000 sf lot) Proposed - SP

Parcel B: 06908000300 - 0 Lincoln Avenue
Zoning: Existing - R10 (10,000 sf lot) Proposed - SP

EXISTING CONDITIONS

Site Topographic Survey



NOTE:
 FULL SCALE SURVEY
 INCLUDED WITH
 ATTACHMENTS TO THIS
 SP BOOKLET.



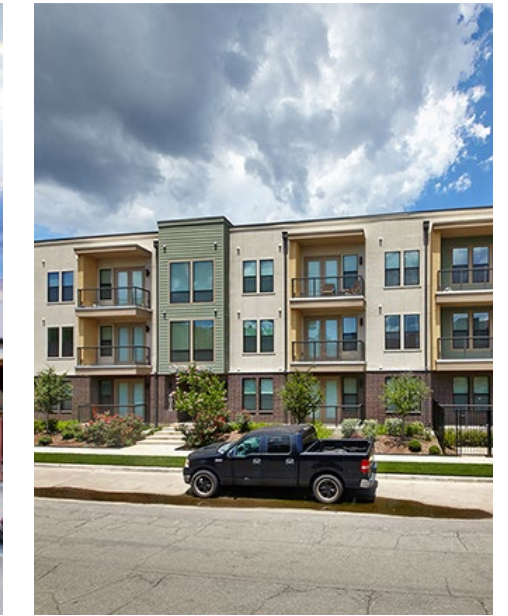
PRELIMINARY PLAN

Overall Site Plan



NOTE:
FULL SCALE PLAN
INCLUDED WITH
ATTACHMENTS TO THIS
SP BOOKLET.

PURPOSE NOTE:
The purpose of this SP
is to receive preliminary
approval to permit the
development of a +/-
31.58 acres residential
development as shown
with up to 300 units.



BULK STANDARDS

The purpose of this SP is to receive preliminary approval to permit the development of a +/- 31.58 acres residential development as shown with up to 300 units.

	ZONE 1	ZONE 2	ZONE 3
"Fall Back" Zoning	RM-20-A		
Height (1)			
Primary District Height	4 Stories / 60'	3 Stories / 45'	3 Stories / 45'
Raised Foundation	18"-5'	18" - 5'	18" - 5'
Developable Area			
Floor Area Ratio (FAR)	1.5	1.0	0.5
Impervious Surface Ratio (ISR)	0.85	0.75	0.5
Front Build-To	0'-15'	5'-25'	N/A
Front Setback	0'	5' min.	5' min.
Rear Setback	10'	10'	50'
Side Setback	0'	5'	10'
Minimum Building Separation	5'	5'	10'
Gross Square Footage	+/- 272,290 sf	+/- 194,826 sf	+/- 39,330 sf
Glazing (min.)			
Ground Floor	20%	15%	N/A
Upper Stories	15%	15%	N/A

1. Height measured from grade level to bottom of eave. Towers, roof forms, stairwells, and other rooftop unconditioned space shall be excluded from height calculations. Height measured per Metro Zoning Code.
2. 60" permitted with additional landscape and screening standards where topography challenges exist, see Landscape and Open Space Standards-Foundation Screening for detail.

PRELIMINARY PLAN

Zone 1 Bulk Standards



DENSITY: Maximum of 200 units with a mixture of townhomes and small scale flats.

INTENT: The intent of this zone is to provide a mixture of townhome structures and small scale flats, in a walkable community feel.



BULK STANDARD	ZONE 1
Height	
Primary District Height	4 Stories / 60'
Raised Foundation	18"-5'
Developable Area	
Floor Area Ratio (FAR)	1.5
Impervious Surface Ratio (ISR)	0.85
Front Build-To	0'-15'
Front Setback	0'
Rear Setback	10'
Side Setback	0'
Minimum Building Separation	5'
Gross Square Footage	+/- 272,290 sf
Glazing (min.)	
Ground Floor	20%
Upper Stories	15%



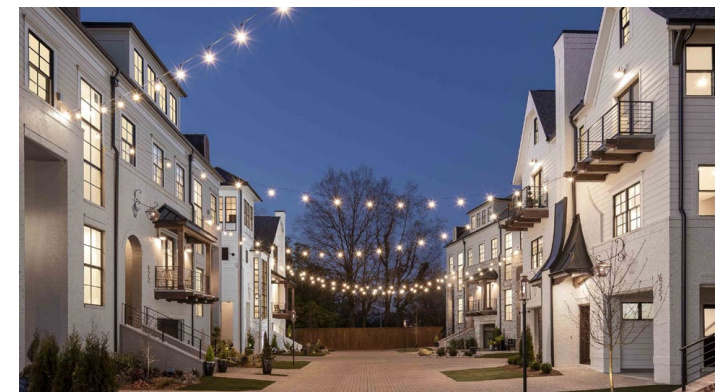
Zone 2 Bulk Standards



BULK STANDARD	ZONE 2
Height	
Primary District Height	3 Stories / 45'
Raised Foundation	18" - 5'
Developable Area	
Floor Area Ratio (FAR)	1.0
Impervious Surface Ratio (ISR)	0.75
Front Build-To	5'-25'
Front Setback	5' min.
Rear Setback	10'
Side Setback	5'
Minimum Building Separation	5'
Gross Square Footage	+/- 194,826 sf
Glazing (min.)	
Ground Floor	15%
Upper Stories	15%

DENSITY: Maximum of 100 detached cottages

INTENT: The intent of this zone is to provide detached cottages and townhomes with dedicated open space accessed from the rear with walkable courtyards.



PRELIMINARY PLAN

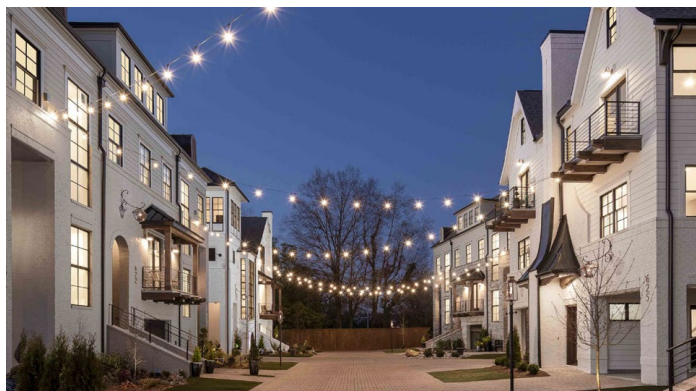
Zone 3 Bulk Standards



BULK STANDARD	ZONE 3
Height	
Primary District Height	3 Stories / 45'
Raised Foundation	18" - 5'
Developable Area	
Floor Area Ratio (FAR)	0.5
Impervious Surface Ratio (ISR)	0.5
Front Build-To	N/A
Front Setback	5' min.
Rear Setback	50'
Side Setback	10'
Minimum Building Separation	10'
Gross Square Footage	+/- 39,330 sf
Glazing (min.)	
Ground Floor	N/A
Upper Stories	N/A

DENSITY: Up to 10 townhomes / cottages

INTENT: The intent of this zone is to provide multifamily and single family homes - focused towards preserving the conservation policy by building into the grade with minimum disturbance.



NOTES

Standard SP Notes

Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The Planning Department may allow necessary adjustments to the build-to zone when existing utilities or utility easements are within the build-to zone and unusual circumstances require that the utilities cannot be relocated or easements reduced. The Planning Department may allow necessary adjustments to the build-to zone based on the nature of the existing and future land uses and site conditions in the general vicinity.

For any development standards, regulations and requirements not specifically shown on the SP plan and /or included as a condition of Council approval, the property shall be subject to the standards, regulations and requirements of the RM20-A zoning.

Properties contain no FEMA designated floodplain per map 47037C0229H dated 04/05/2017.

The final site plan/ building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

Permitted Uses : Permitted uses shall be the uses listed in the RM20-A zoning districts. Uses shall be limited to 300 residential units (multi-family, two-family, and single-family).

ARCHITECTURAL STANDARDS

Buildings shall avoid continuous uninterrupted blank facades and at a minimum, the facade plane shall be interrupted by one of the following for every thirty-five linear feet of street frontage:

- A change in building material
- A horizontal undulation in the building facade of three feet or greater
- A porch, stoop or balcony; porches shall be a minimum five feet in depth

Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination

of fences, walls or landscaping.

HVAC units shall be located at the rear half of the side of unit, behind the unit, or on the roof of each building.

HVAC units on roof must be screened from view along Primary and Secondary Frontages

Where feasible due to site elevations and conditions, ground floor residential units fronting a public street or green space may provide an active entrance point from the public sidewalk in the form of a stoop.

EIFS, vinyl siding and untreated wood shall be prohibited on facades facing public R.O.W and public open space (vinyl soffits shall be permitted).

NES NOTES

Where feasible, this development will be served with underground power, pad-mounted transformers. NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bioswales and the like. This includes primary duct between padmounted equipment, as well as service duct to a meter.

FEDERAL COMPLIANCES

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.

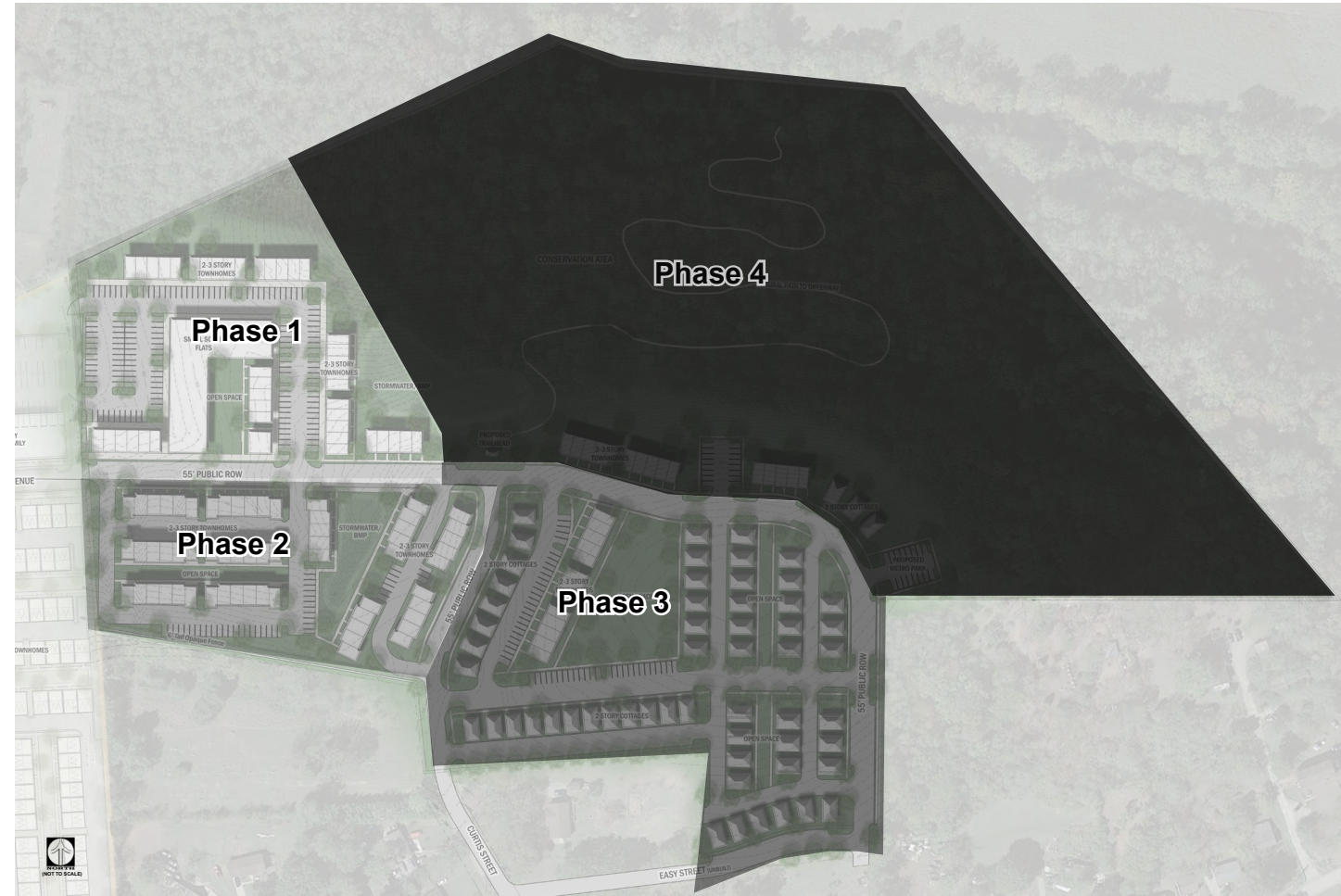
Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

PHASING

Schedule and Phasing

Phasing

The project will be completed in multiple phases and is anticipated to start in March of 2022.



	PHASE 1	PHASE 2	PHASE 3	PHASE 4
Acreage	+/- 5 Acre	+/- 3 Acre	+/- 7.5 Acre	+/- 16 Acre
Max # of Dwelling Units	150 Units	75 Units	150 Units	40 Units
Max Density	+/- 30 Units per Acre	+/- 25 Units per Acre	+/- 20 Units per Acre	+/- 2.5 Units per Acre
Total # of Parking Spaces*	+/- 200 Spaces*	+/- 150 Spaces*	+/- 240 Spaces*	+/- 52.5 Spaces*
Schedule	March of 2022	TBD	TBD	TBD

* Parking count is to match requirements per Metro Nashville / Davidson County Zoning code.

Preliminary Site Design

Parking and Open Space

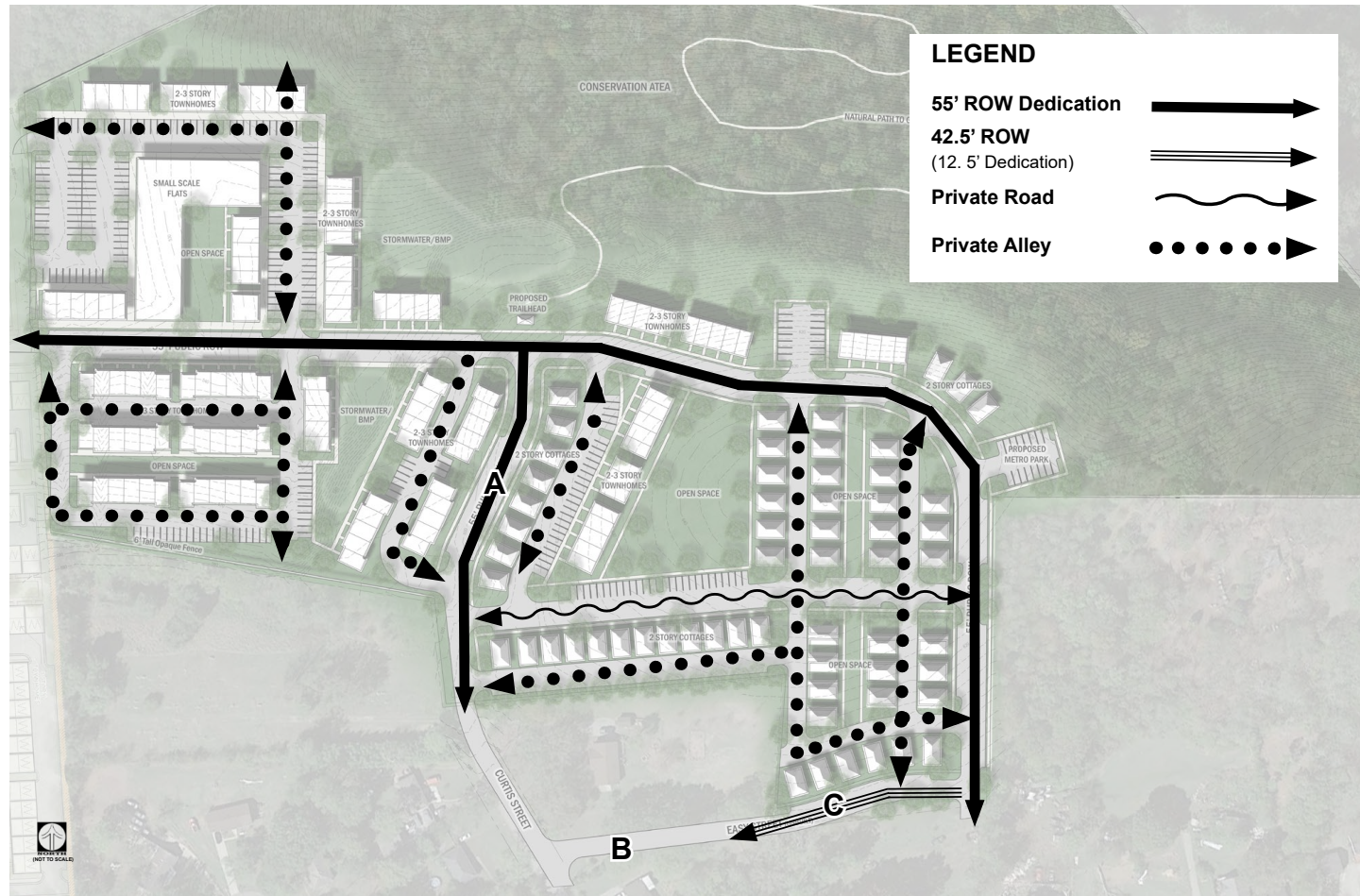


	ZONE 1	ZONE 2	ZONE 3
Parking*			
Units w/ Attached Garage (2 spaces per garage)	75	80	0
Units w/ Slab Parking	80	55	32
Off Street Parking	20	25	10
Total Number of Car Parking Spaces	250*	240*	45*
Total Bicycle Parking	50 Spaces / 4 Areas	50 Spaces / 4 Areas	50 Spaces / 4 Areas
Open Space			
Active Open Space	~ 12%	~ 20%	N / A
Passive Open Space	~18%	~ 0%	N / A
Total	~ 20%	~ 20%	N / A

* Parking count is to match requirements per Metro Nashville / Davidson County Zoning code.

PUBLIC WORKS STANDARDS

Rights-of-Way and Dedications



General Notes

Any required right-of-way within the project site that is identified as necessary to meet the adopted roadway plans shall be dedicated.

Loading areas and ride share locations shall be limited to spaces interior to the structures or behind the structures off of public right-of-way.

Developer will ensure bike lanes are continuous through intersections and that crosswalks are installed at public ROW intersections.

All construction within public ROW shall comply w/ MPW standards and specs

All ROW dedication will occur prior to the issuance of building permits.

Signs denoting "Now Entering Private Property" shall be installed at each connection between public roadways and private drives.

Parking Standards

Parking shall be provided within public covered stalls, uncovered parking areas, on-street, and private garages internal to the development. Guest parking spaces shall be accounted for within development in the form of surface parking and on-street parking internal to the SP. Bicycle parking shall be provided per Metro Standards.

Required parking consistent with the parking requirements of the Metro Zoning Code shall not be counted as floor area.

Parking calculations shall adhere to Metro Nashville Zoning Code Standards below:

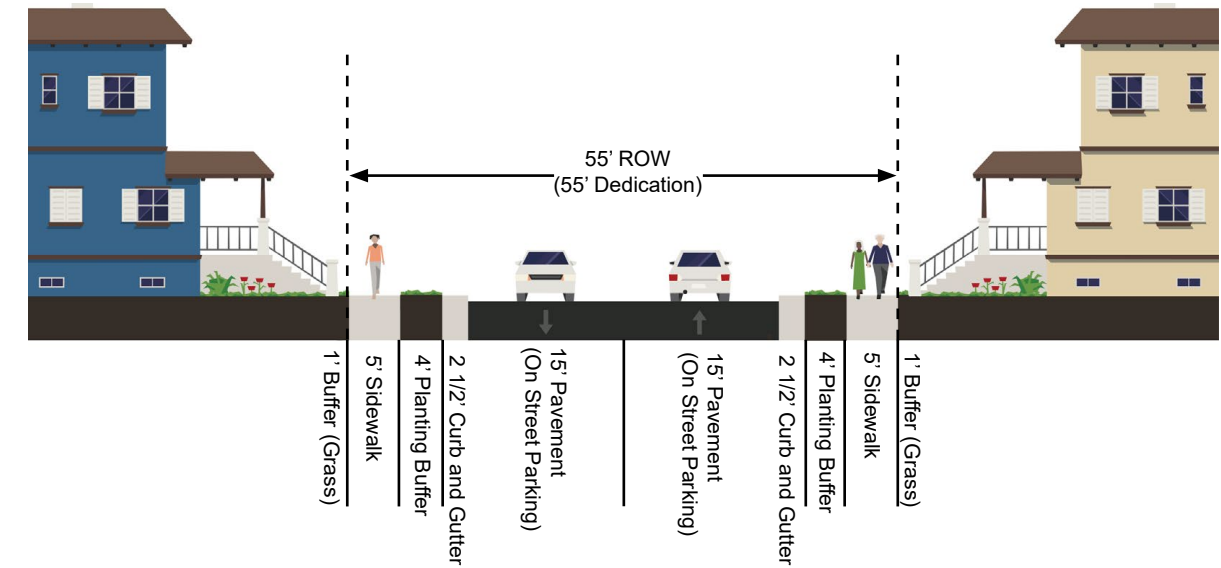
Single-family	2 spaces
Two-family	2 spaces per unit
Multifamily	1 space per bedroom up to 2 bedrooms; .5 spaces per additional bedroom

Street Sections

(street sections created with StreetMix.net)

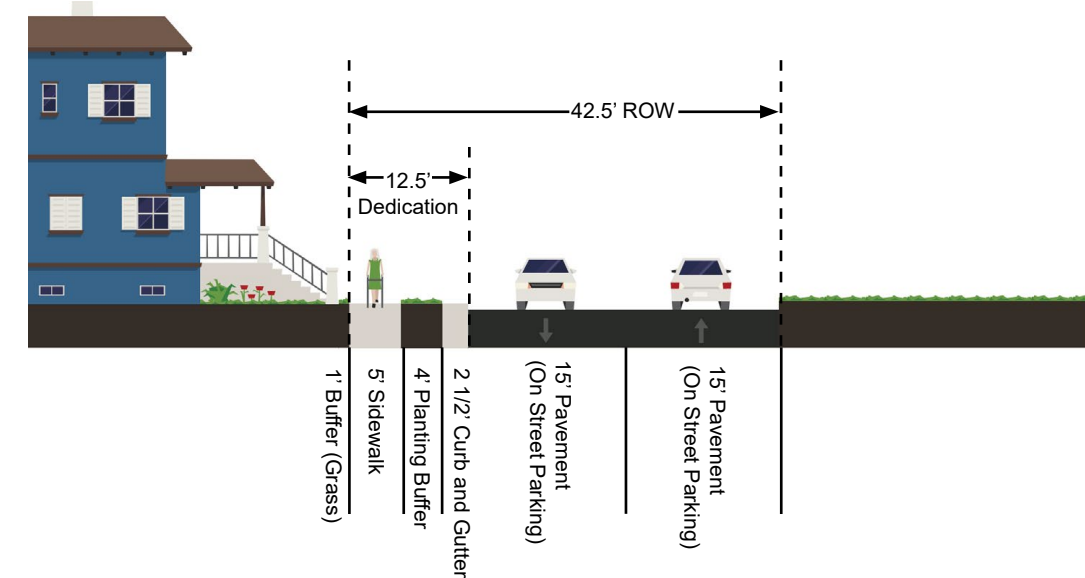
INTERNAL STREET SECTION (A)

55' ROW



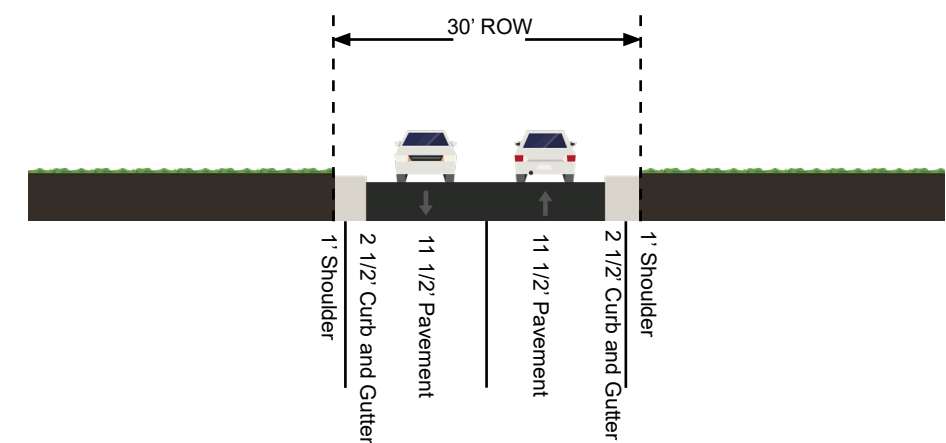
EASY STREET SECTION (C)

42.5' ROW (55' ROW Future)



EASY STREET SECTION (Curtis to Site) (B)

30' ROW (Modified ST-251)



LANDSCAPE AND STORMWATER STANDARDS

Overall Standards

Areas reserved for stormwater greater than 0.5 acres will be designed to have either an active or passive park component that can be utilized outside of storm events. Detailed design to be provided at final SP stage of development.

All landscaping shall be properly irrigated and maintained; if drought resistant plant material is used, irrigation shall not be required.

Where irrigation systems are not utilized or specified, all planting masses or individual trees shall be within 100' from a functioning hose bid per Metro Urban Forestry requirements.

All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.

Groups of shrubs shall be in a continuous mulch bed with smooth continuous lines.

Trees located within four feet of shrub beds shall share same mulch bed.

Finished planting beds shall be graded so as to not impede drainage away from buildings.

Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. If significant relocations are required, contractor shall contact landscape architect for approval. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials.

Trees must remain vertical and upright for the duration of the guarantee period with guys and strapping shall be removed after one growing season.

The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.

The development of this project shall comply with the street tree, tree density, and tree replacement requirements of Metro Nashville. Landscape plan to be submitted in Final SP Submittal.

Street trees shall be provided along all street frontages at an average of forty-five (45) linear feet on center and be 3.5" caliper minimum.

Eight percent of interior parking area shall be landscaped.

Where trees are planted in rows, they shall be uniform in size and shape. Parking lot planting areas shall be a minimum of 90 square feet.

Reference Metro L.I.D. Manual for design and planting materials for LID measures.

Ornamental trees may be used as street trees where existing conflicts with overhead utilities occur.

Metro tree density and tree replacement worksheets shall be utilized to calculate required planting.

TREE DENSITY UNITS

As development continues in the area, it may become unrealistic to put required units from the tree replacement worksheet on the developing site. If determined infeasible for the health of the tree or density of the site by the Metro Urban Forester, up to 160 total units may be placed in the designated TDU zone. Up to 20 TDU's per development may be logged for placement within the zone. The TDU zone may only be planted once development of that area is complete. The Metro Urban Forester and applicant shall be responsible for logging TDU's to be placed in that zone and ensuring planting once complete.

Once the designated TDU zone has reached capacity for each development, the Metro Urban Forester and applicant shall decide locations for the remainder of the TDU's to be planted. In order of priority below, locations for plantings should be:

1. Additional property owned by applicant that has been developed or has no plans for redevelopment.
2. Council District #02
3. Metropolitan Nashville

STREET TREES

The following trees shall be permitted as street trees within the R.O.W within this development. Variations to this list shall be approved by the Metro Nashville Forrester prior to approval.

STORMWATER NOTES

Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any storm water facilities within the property.

Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance NO.78-840 and approved by The Metropolitan Department of Water Service.

Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15' CMP)

Anticipated Street Trees



Green Vase Zelkova



Frontier Elm



Green Little Leaf Linden



Lacebark Elm



London Planetree



Sunburst Thornless Honeylocust



Ginkgo



Flame Amur Maple



Willow Oak



Tulip Poplar



Overcup Oak



Shumard Oak



CONSERVATION AREA

NATURAL PATH TO GREENWAY

2-3 STORY TOWNHOMES

SMALL SCALE FLATS

OPEN SPACE

2-3 STORY TOWNHOMES

STORMWATER BMP

55' PUBLIC ROW

2-3 STORY TOWNHOMES

OPEN SPACE

6 Tall Openair Fence

PROPOSED TRAILHEAD

2-3 STORY TOWNHOMES

2 STORY COOTTAGES

55' PUBLIC ROW

2-3 STORY TOWNHOMES

2-3 STORY TOWNHOMES

OPEN SPACE

2 STORY COOTTAGES

PROPOSED METRO PARK

55' PUBLIC ROW

2-3 STORY TOWNHOMES

OPEN SPACE

2 STORY COOTTAGES

CURTIS STREET

EAST STREET (UNBUILT)