

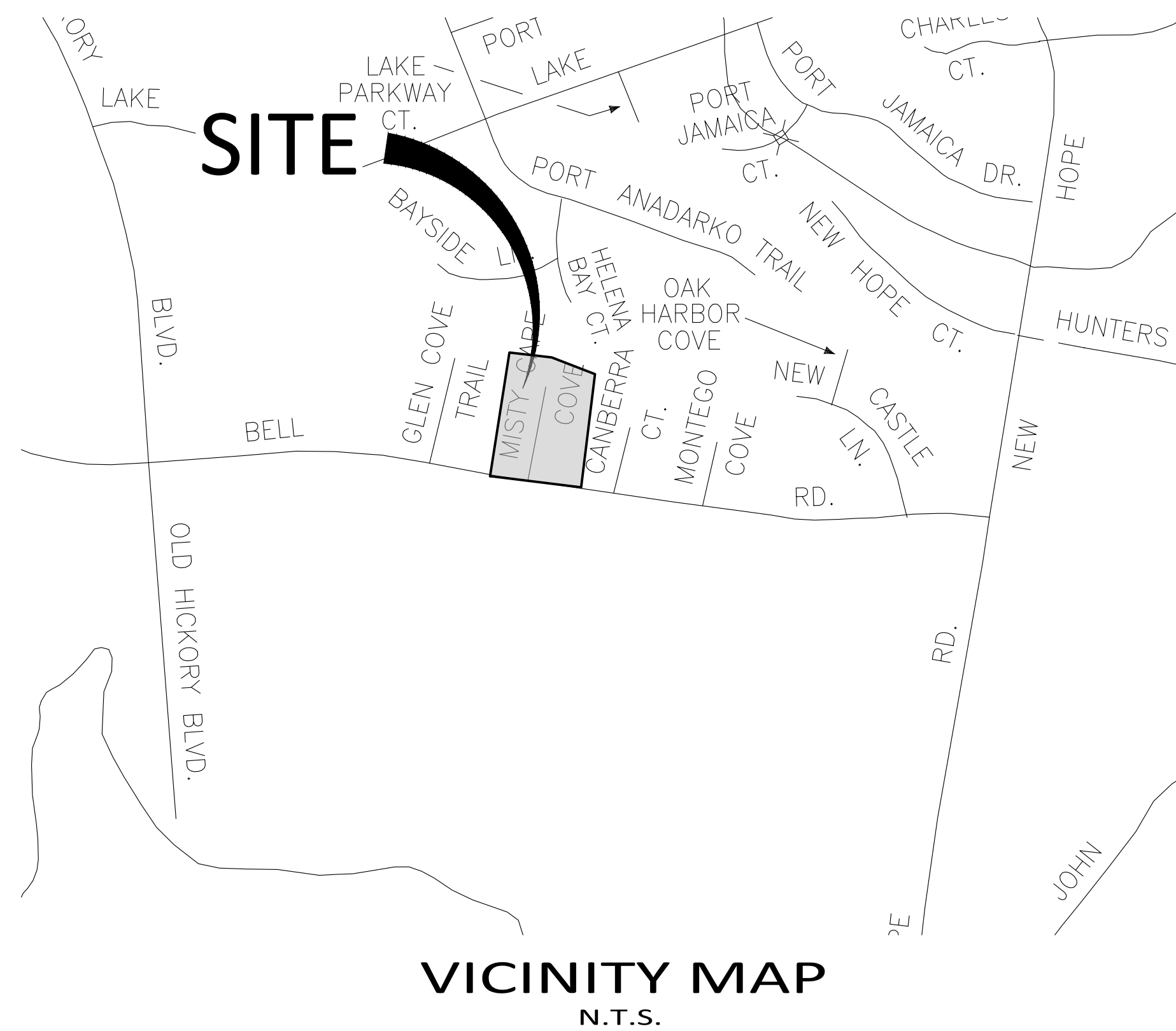
MISTY CAPE COVE PROPERTIES

HERMITAGE, TN 37076

PRELIMINARY SPECIFIC PLAN 32 UNIT RESIDENTIAL DEVELOPMENT

STANDARD SP NOTES:

1. THE PURPOSE OF THIS SP IS TO PERMIT 32 RESIDENTIAL UNITS.
2. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
3. THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP NO. 47037C0287J, EFFECTIVE ON 02/25/2022, ZONE X.
4. ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
5. WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
6. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
7. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" RCP).
8. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
9. INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH LOT.
10. SOLID WASTE PICKUP TO BE PROVIDED BY INDIVIDUAL TRASH BINS.
11. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
12. FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE R6 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
13. THE FINAL SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
14. MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.



DEVELOPMENT SUMMARY

COUNCIL DISTRICT:	12
COUNCIL MEMBER:	ERIN EVANS
OWNER:	SEG INVESTMENTS, L.P. 650 WEDGEWOOD AVE NASHVILLE, TN 37203
OWNER:	THE DAVID W. GAW FAMILY LTD. PARTNERSHIP 650 WEDGEWOOD AVE NASHVILLE, TN 37203
ENGINEER:	MICHAEL SCHWEITZER, P.E. SWS ENGINEERING, INC. 504 AUTUMN SPRINGS CT, #6 FRANKLIN, TN 37067 615-716-0683
PROPERTY ADDRESS:	200-219 MISTY CAPE CV, HERMITAGE TN
AREA:	3.6 ACRES
CURRENT ZONING:	R15
FEMA FIRM:	MAP NO. 47037C0287J, EFFECTIVE ON 02/25/2022, ZONE X.
PROPOSED ZONING:	SP
LOTS PROPOSED:	14
MIN. LOT SIZE PROPOSED:	6,000 SF
PHASING:	SINGLE PHASE
REQUIRED PARKING:	TWO FAMILY LOTS - 2 SPACES PER UNIT
PROPOSED PARKING:	2 SPACES PER UNIT, ONE GARAGE, ONE DRIVEWAY.
REQUIRED PARKING:	MULTIFAMILY LOTS - 2.5 SPACES PER UNIT (3 BEDROOMS)
PROPOSED PARKING:	3 SPACES PER UNIT - 2 CAR GARAGES, ONE SURFACE SPACE.
SETBACKS	
MINOR STREET:	30'
BELL ROAD:	40'
SIDE YARD:	5'
REAR YARD:	20'

SHEET SUMMARY

- C0.00 - COVER
- V1.00 - BOUNDARY AND TOPO
- C1.00 - SITE PLAN
- C1.01 - SITE PLAN W/ IMAGERY

WATER AND SEWER NOTES

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
5. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
6. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
7. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
8. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.

PUBLIC WORKS NOTES

1. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
2. PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
3. STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
4. STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
5. ALL PAVEMENT MARKING ARE TO BE THERMOPLASTIC.

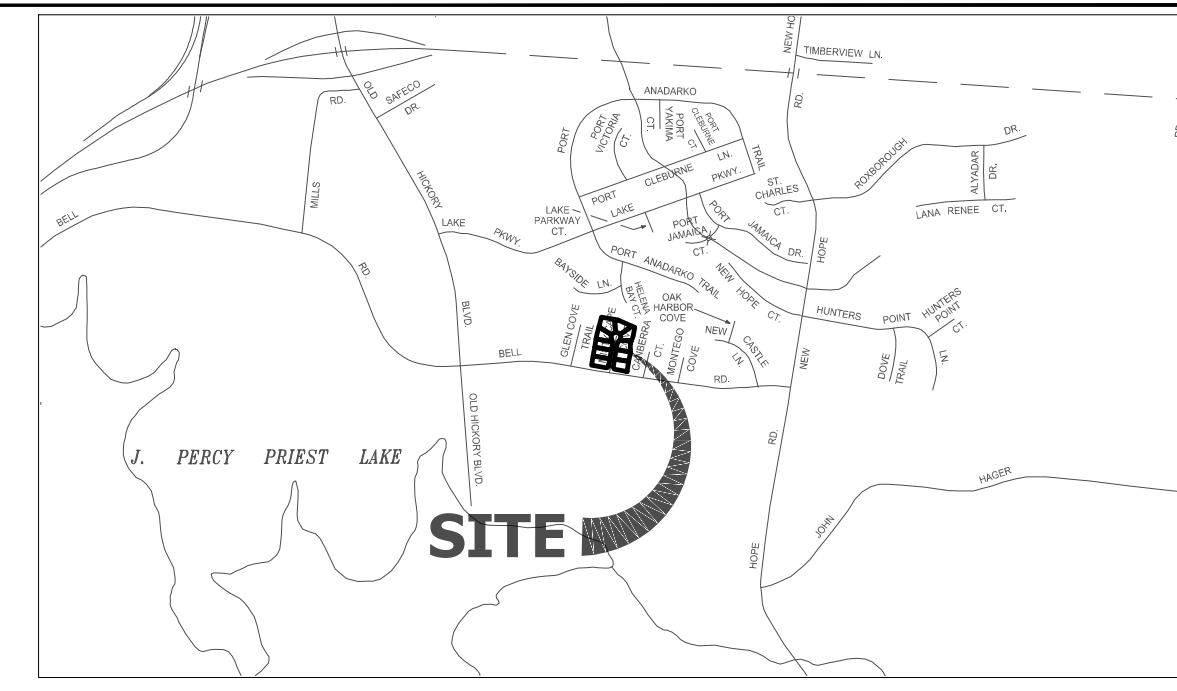
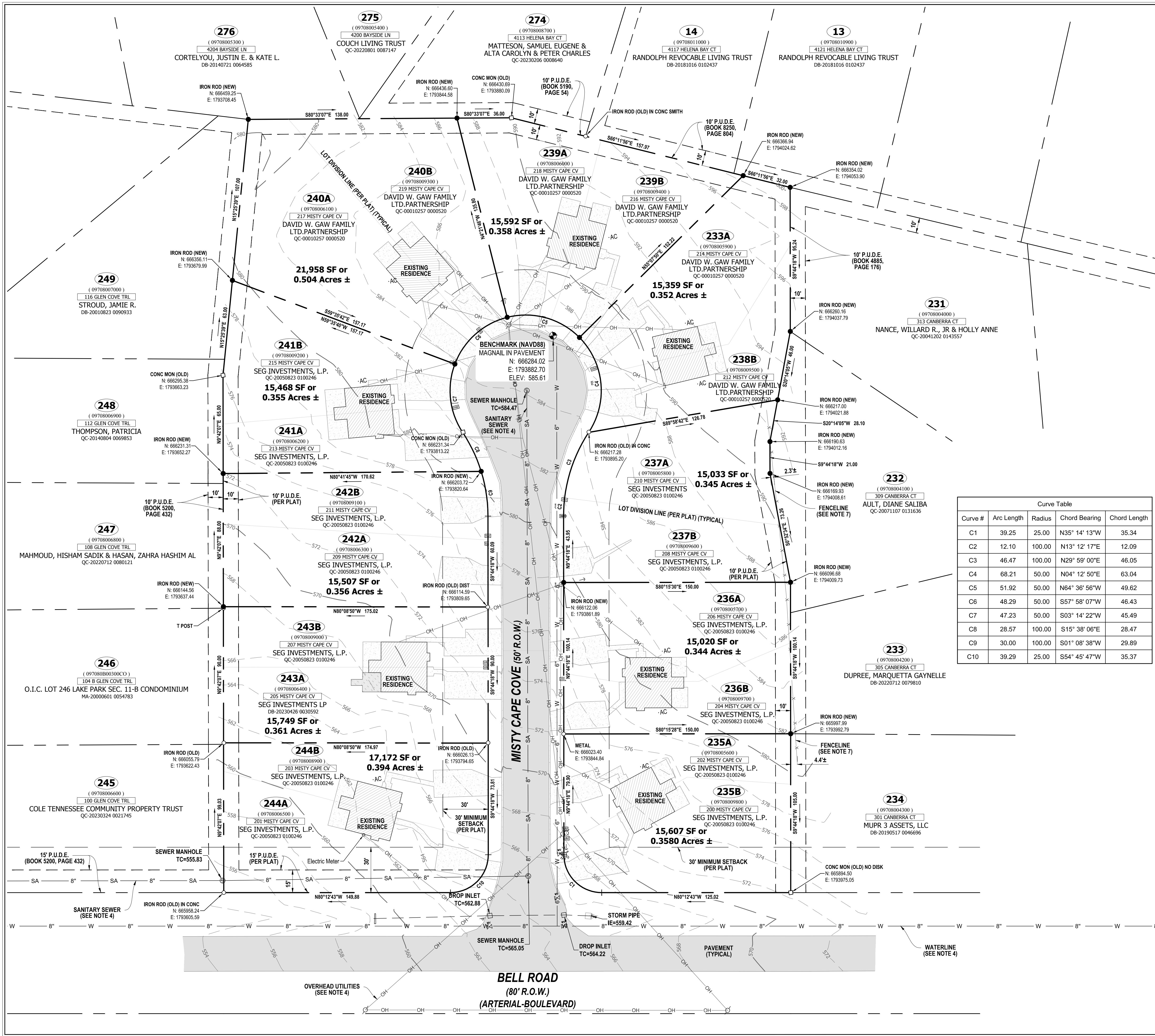


JOB NO.: 22-347T



DATE: Jun 14, 23 1:43pm by:preston.n.p
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PLOT DATE: 5/16/2023 5:25:09 PM
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VICINITY MAP
1" = 200'

TOTAL LOT AREA
162,465 SF OR 3.729 ACRES±

PLAT REFERENCE
Being Lot Nos. 235 - 244 on the Plan of Zone Lot Division, Lots 235 through 244, Section 11-A, Lake Park, as of record in Book 5210, Page 267, and re-recorded in Plat Book 5200, Page 737, Register's Office for Davidson County, TN.

SURVEYOR'S NOTES

- 1. This Property is located in the 12th Council District of Davidson County Tennessee.
- 2. Bearings, Elevations and Coordinates shown are based on Tennessee State Plane NAD83. (NAVD83)
- 3. The property is located in areas designated as "Zone X" (areas determined to be outside the 0.2 % annual chance floodplain) as noted on the current FEMA Firm Community Panel # 47037C0287J, effective on 2-25-2022.
- 4. Utilities shown hereon were taken from visible structures and other sources available to me at this time. Verification of existence, size, location and depth should be confirmed with the appropriate utility sources.
- 5. A Title Report was not provided for the preparation of this survey. Therefore this survey is subject to the findings of an accurate title search.
- 6. No Stream determinations were provided to this surveyor, therefore this survey does not address the existence or non-existence of any water of the state, jurisdictional stream buffers or wetlands.
- 7. This survey does not address the owner of any fence nor address any adverse claim of ownership of any adjoining property. Removal of any property line fence should be coordinated with adjacent owner.
- 8. Property is currently Zoned R15. Setbacks per current zoning, verify with Metro Codes Administration. Front Building Setback = 30' Minimum (Per Plat) Rear Building Setback = 20' Minimum Side Building Setback = 10' Minimum & 30' Minimum (Lots 235B & 244A)
- 9. This survey was prepared for the exclusive use of the persons or entities named on the certification hereon. Said certificate does not extend to any unnamed person or entity without an express re-certification by the surveyor.

Curve Table

Curve #	Arc Length	Radius	Chord Bearing	Chord Length
C1	39.25	25.00	N35° 14' 13"W	35.34
C2	12.10	100.00	N13° 12' 17"E	12.09
C3	46.47	100.00	N29° 59' 00"E	46.05
C4	68.21	50.00	N04° 12' 50"E	63.04
C5	51.92	50.00	N64° 36' 56"W	49.62
C6	48.29	50.00	S57° 58' 07"W	46.43
C7	47.23	50.00	S03° 14' 22"W	45.49
C8	28.57	100.00	S15° 38' 06"E	28.47
C9	30.00	100.00	S01° 08' 38"W	29.89
C10	39.29	25.00	S54° 45' 47"W	35.37

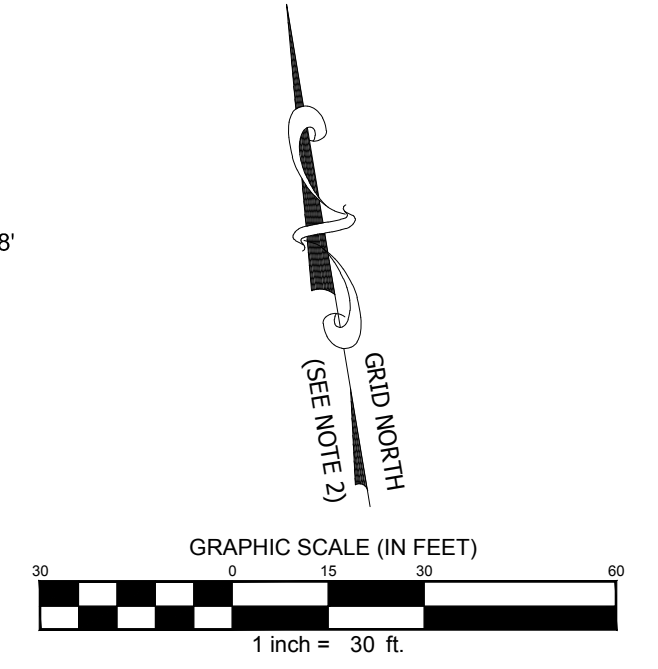
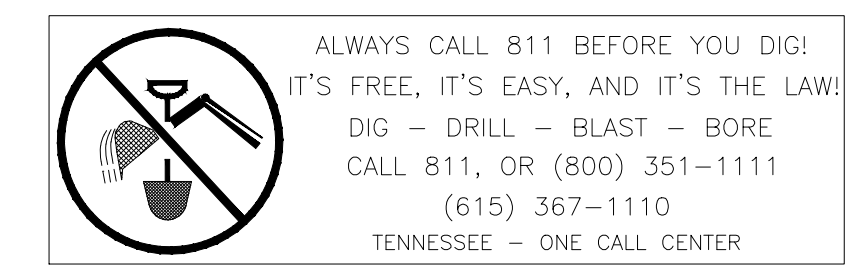
GPS NOTES

- 1. The (TDOT) Tennessee Geodetic Reference Network was used for this survey.
- 2. GPS locations used for this survey were established using a VRS network consisting of multiple reference stations.
- 3. GPS data was collected with a Spectra Precision 80 receiver.
- 4. This survey was prepared without the use of a scale factor. Except in the instance of initial survey control, all distances or coordinates were derived from measurements taken by a total station. Coordinates used for the initial survey control were generated with the use of GPS observations and used as the basis for the coordinate system used for this survey.
- 5. The date of the field work for this survey was: 5/9/2023.

SURVEYOR'S CERTIFICATE

To: GAW Properties
I hereby certify that this survey was actually made on the ground under my direct supervision, using the latest recorded deeds, and other information; that there are no encroachments or projections other than those shown; and that this survey exceeds the minimum requirements for a Category 1 Urban Land Survey pursuant to Chapter 0820-3, Section .05 of the Department of Insurance Standards of Practice for Land Surveyors; and that this survey is true and correct to the best of my knowledge and belief.

Jason A. Garrett, TN RLS # 2861



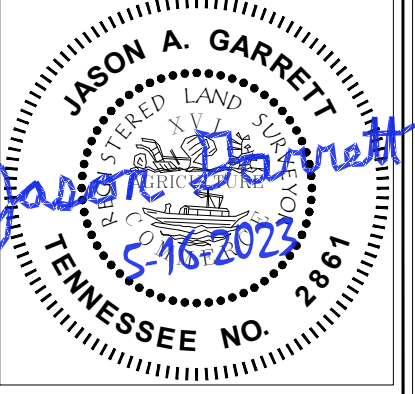
Symbol Legend

Symbol	Denotes
(Circle with dot)	IRON ROD (OLD)
(Circle with cross)	BENCHMARK
(Circle with triangle)	CATCH BASIN
(Circle with square)	FIRE HYDRANT
(Circle with X)	SEWER MANHOLE
(Circle with circle)	WATER VALVE
(Circle with vertical line)	IRON ROD (NEW)
(Circle with horizontal line)	UTILITY POLE
(Circle with diagonal line)	CONCRETE
(Circle with horizontal lines)	ASPHALT
(Circle with vertical lines)	GRAVEL

P.O. Box 331875
Nashville, TN 37203
clintelliotts@survey.com
(615) 490-3236

Boundary & Topographic Survey
200-219 Misty Cape Cove
Hermitage, Davidson County, Tennessee 37076

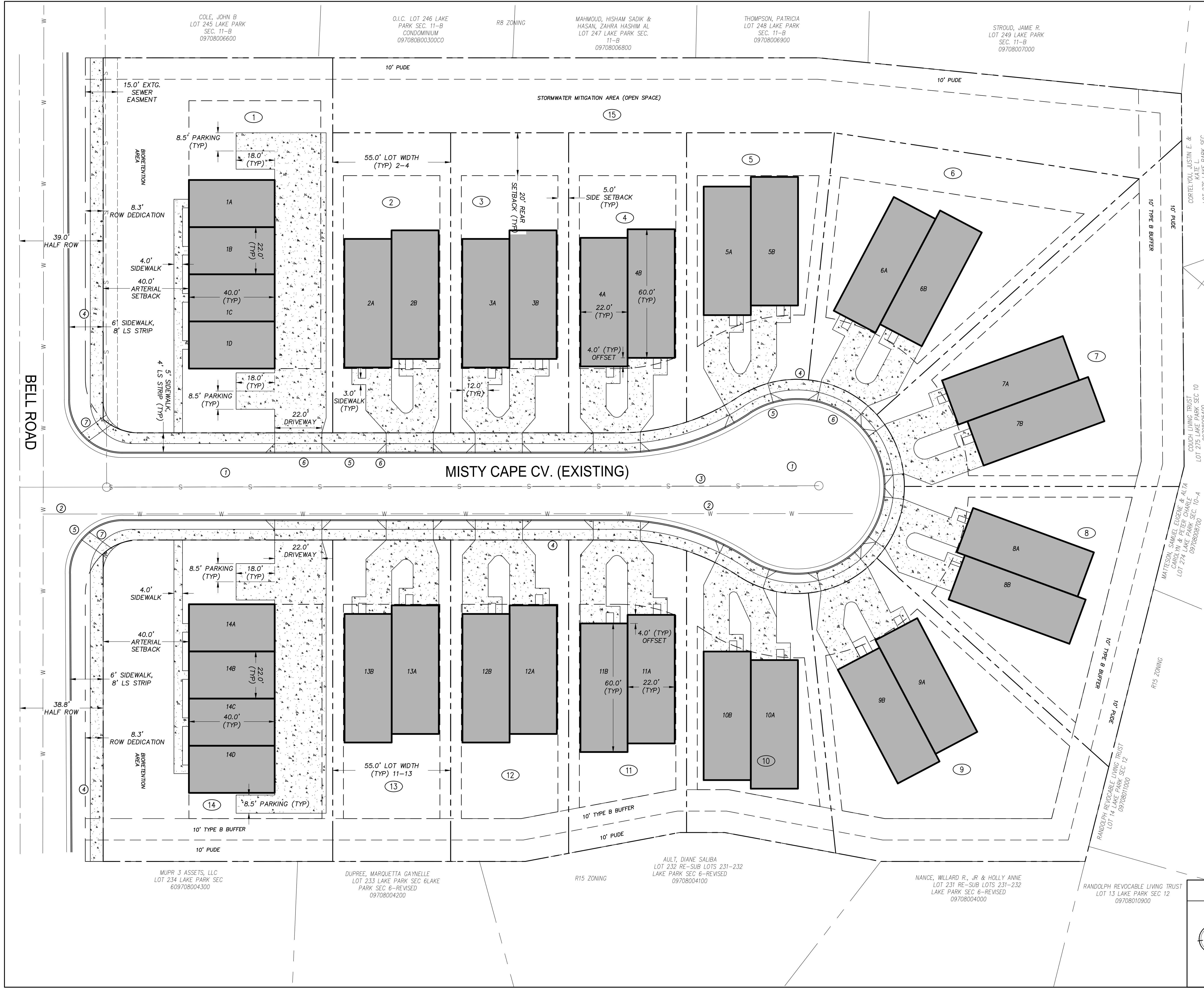
Rev.	Date	Revision Description



Issue Date: 5-16-2023
Project ID: MISTY CAPE CV 200
Drafted By: KW/SS
Field Crew: JS
Checked By: KW

Boundary & Topographic Survey

Sheet No.
V-1.00



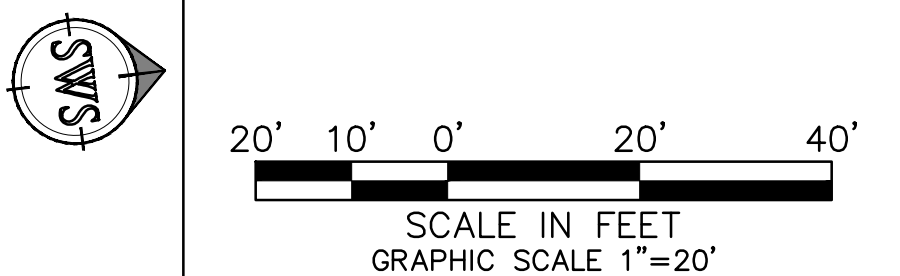
- ### SITE LEGEND
- PROPOSED BUILDINGS
 - CONCRETE
- ⓪ LOT NUMBER
 - ① EXISTING MISTY CAPE CV. CUL-DE-SAC TO REMAIN
 - ② EXISTING 8" WATER LINE TO REMAIN
 - ③ EXISTING 8" SEWER LINE TO REMAIN
 - ④ PUBLIC CONCRETE SIDEWALK, ST-209, & ST-210 (TYP)
 - ⑤ PROPOSED CURB AND GUTTER, ST-200 (TYP)
 - ⑥ RESIDENTIAL DRIVE RAMP, ST-322 (TYP)
 - ⑦ CURB RAMP, ST-320

NOTES:

- BOUNDARY INFORMATION PROVIDED BY ZONE LOT DIVISION LOTS 235-244 SECTION II-A LAKE PARK PLAT.
- EXISTING CONTOURS PROVIDED BY METRO GIS DATA.

LOT AREA TABLE

LOT #	SF	AC
1	18705	0.43
2	7700	0.18
3	7700	0.18
4	7648	0.18
5	7666	0.18
6	10996	0.25
7	10591	0.24
8	8196	0.19
9	10053	0.23
10	6278	0.14
11	6613	0.15
12	7104	0.16
13	7150	0.16
14	13886	0.32
15	14210	0.33



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Tennessee
Know what's below. Call before you dig.

PRELIMINARY SP

MISTY CAPE COVE

HERMITAGE, TN 37076

REV.	COMMENTS	DATE

C1.00

JOB NO.: 22-347T
 DRAWN BY: (INT) CHKD BY: (INT)



SOIL DATA
 TALBOTT--URBAN LAND COMPLEX, 3 TO 12 PERCENT SLOPES
 LESS THAN 15% SLOPES

LANDSCAPE NOTES
 METRO TREE DENSITY AND LANDSCAPE REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE.
 ONE CANOPY TREE SHALL BE PROVIDED FOR EVERY 15 PARKING SPACES IN PLANTING AREAS WITH A MINIMUM OF 90 SQUARE FEET OF AREA.

STORMWATER NOTES
 BIORETENTION BASINS/INFILTRATION WILL BE PROVIDED IN FINAL DESIGN TO HANDLE THE STORMWATER QUALITY AND QUANTITY REQUIREMENTS.

DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF THE FINAL APPLICATION.

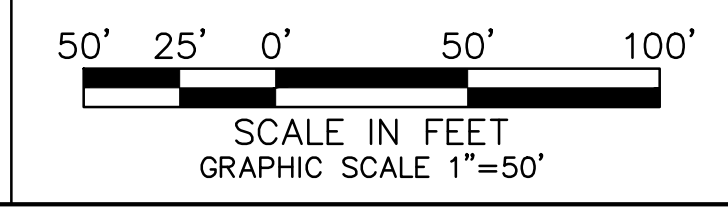
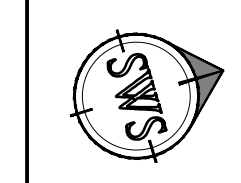
UTILITY NOTES
 WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
 WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL SP PROCESS.

GENERAL NOTES
 THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
 ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FAIR HOUSING ACT.

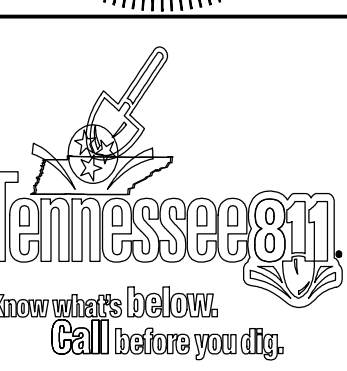
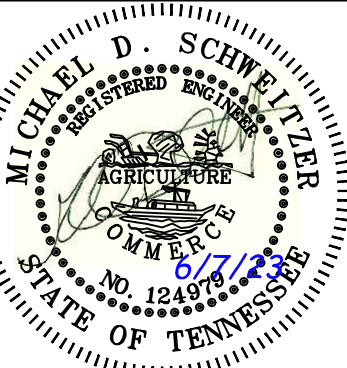
ARCHITECTURE DESIGN STANDARDS
 THE FINAL BUILDING ELEVATIONS SHALL BE SUBMITTED WITH THE FINAL SITE PLAN & SHALL BE CONSISTENT WITH THE FOLLOWING ARCHITECTURAL STANDARDS:

- A. FOR ATTACHED TOWNHOMES AND ATTACHED DUPLEXES
 - 1. ALLOWED EXTERIOR MATERIALS SHALL INCLUDE, BUT NOT LIMITED TO, BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, METAL SIDING & ROOFING, ASPHALT SHINGLES OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
 - 2. FOUNDATION WALLS SHALL BE SPLIT FACE CMU OR CAST-IN-PLACE CONCRETE. A RAISED FOUNDATION OF 18" - 36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.
 - 3. FOR BUILDING FACADES FACING THE STREET, PROVIDE A MINIMUM OF 20% GLAZING. FOR BUILDING FACADES NOT FACING THE STREET, PROVIDE A MINIMUM OF 5% GLAZING.
 - 4. FOR BUILDING FACADES FACING THE STREET, WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS OR EGRESS WINDOWS. FOR BUILDING FACADES NOT FACING THE STREET, WINDOWS CAN BE ANY ORIENTATION & PROPORTION.

- 5. FOR BUILDING FACADES FACING THE STREET, PROVIDE ONE PRINCIPAL ENTRANCE. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET IN DEPTH. FOR ATTACHED DUPLEXES, A FRONT PORCH WITH AWNING/ROOF MAY ENCOACH OVER THE STREET/FRONT SETBACK A MAXIMUM OF SIX FEET
- 6. BUILDING HEIGHTS
 - a. ATTACHED TOWNHOMES-- HEIGHT MAXIMUM 3 STORIES, 45' FACING A PUBLIC STREET
 - b. ATTACHED DUPLEXES-- HEIGHT MAXIMUM 2 STORIES, 35' FACING A PUBLIC STREET
 - c. HEIGHT SHALL BE MEASURED AT THE STREET ELEVATION, FROM THE AVERAGE FINISHED GRADE TO THE MID-POINT OF A SLOPING ROOF OR TO THE TOP OF A FLAT ROOF.



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