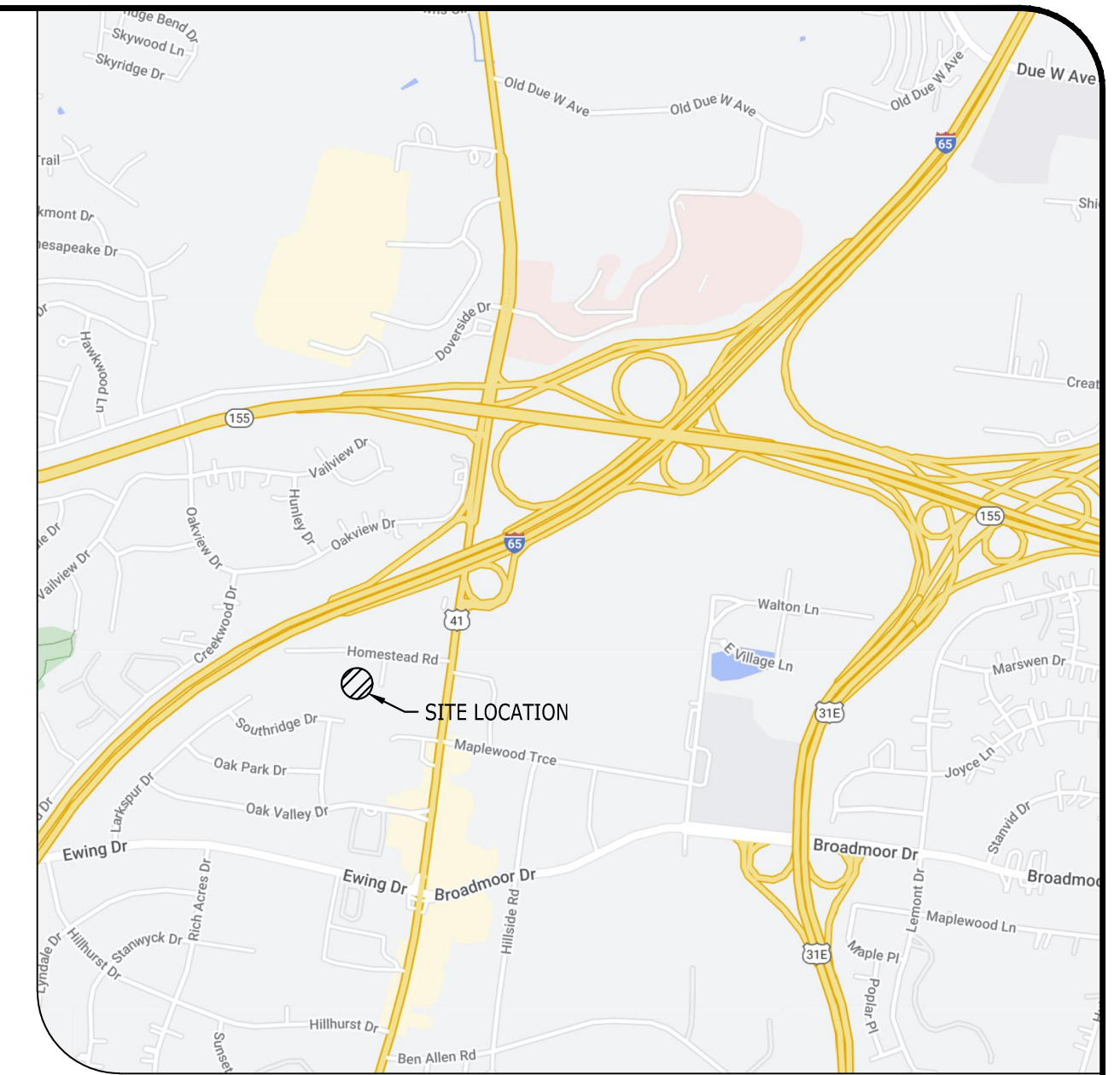


# PRELIMINARY SP

# 330-332 HOMESTEAD TOWNHOMES

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

2023SP-041-001  
 CATALYST PROJECT NO. 20230090\_330  
 2024-02-02



VICINITY MAP  
 NOT TO SCALE

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C4.0	DEMOLITION PLAN
C5.0	LAYOUT PLAN
C5.1	SITE RENDER
C6.0	GRADING & DRAINAGE PLAN
C7.0	UTILITY PLAN

**SITE DATA**

COUNCIL DISTRICT: 02  
 COUNCIL MEMBER: KYONZTE TOOMBS  
 TAX MAP: 6004  
 PARCEL ID.: 06004010600, 06004001300, 06004001400  
 SITE ADDRESS: 330, 332 HOMESTEAD RD  
 NASHVILLE, TN 37207  
 SITE ACREAGE: 2.24 AC. (97,574.40 FT<sup>2</sup>)  
 EXISTING ZONING: CS:  
 PROPOSED ZONING: SP (MUL-A BASE) (FALLBACK ZONING: RM20)  
 PROPOSED USE: MULTIFAMILY, TOWN HOUSES  
 PROPOSED UNITS:

THREE BEDROOM: 33  
 TOTAL UNITS: 33  
 DENSITY: 14.75 UNITS PER ACRES  
 PROPOSED MAX. BUILDING HEIGHT: 3 STORIES (45')  
 ALLOWED MAX. BUILDING HEIGHT: 3 STORIES (45')

SETBACKS  
 FRONT: 15'  
 REAR: 40'  
 SIDE: 5'

IMPERVIOUS SURFACE AREA  
 BUILDINGS: 0.63 AC. (27,555 FT<sup>2</sup>)  
 DRIVES/SIDEWALKS: 0.71 AC. (31,027.35 FT<sup>2</sup>)  
 TOTAL PROPOSED IMPERVIOUS AREA: 1.34 AC. (58,582.35 FT<sup>2</sup>)  
 PROPOSED ISR: 0.59 AC.  
 ALLOWED ISR: 0.90 AC.  
 PROPOSED FAR: 0.71 AC.  
 ALLOWED FAR: 1.00 AC.

PARKING SUMMARY  
 PARKING REQUIRED: 83 SPACES REQUIRED  
 1 SPACE PER BEDROOM UP TO 2 BEDROOMS,  
 ADDITIONAL 0.5 SPACE FOR EACH ADDITIONAL BEDROOM

PARKING PROVIDED:  
 GARAGE: 66 SPACES  
 SURFACE: 18 SPACES  
 TOTAL: 84 SPACES PROVIDED

OWNER: WEST, ROGER D. & JOAN M.  
 ADDRESS: 107 FOXWOOD LN  
 FRANKLIN TN 37069  
 PHONE NO.: 310.886.9626  
 CONTACT NAME: MIAD BALLAI  
 CONTACT E-MAIL ADDRESS: maid.ballai@gmail.com

PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP  
 ADDRESS: 5100 TENNESSEE AVENUE  
 NASHVILLE, TN 37209  
 PHONE NO.: 615.622.7200  
 CONTACT NAME: ANDREW WISEMAN  
 CONTACT E-MAIL ADDRESS: awiseman@catalyst-dg.com

FEMA PANEL:  
 THE SUBJECT PROPERTY DOES LIE/DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47037C0232H, 04/05/2017, COMMUNITY NAME: METRO GOVERNMENT OF NASHVILLE-DAVIDSON COUNTY.

**DEVELOPMENT NOTES**

- THE PURPOSE OF THIS PROPOSED PRELIMINARY SP IS TO CREATE A SITE SPECIFIC ZONING TO PERMIT THE DEVELOPMENT OF THE 33 MULTIFAMILY RESIDENTIAL TOWNHOME UNITS AS GENERALLY SHOWN HEREIN. THE FALL-BACK ZONING FOR THIS PRELIMINARY SP SHALL BE MUL-A. THIS TOWNHOME PROJECT PROVIDES UP TO 14 HOUSING OPTIONS AND PROVIDES ADDITIONAL DENSITY THAT COULD PROVIDE SOME INTENTIONALITY IN THE DEVELOPMENT WITHIN THIS T4 COMMUNITY CENTER DISTRICT.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FAIR HOUSING ACT.
- ADA: HTTP://WWW.ADA.GOV/
- U.S. JUSTICE DEPT.: HTTP://WWW.JUSTICE.GOV/CRT/HOUSING/FAIRHOUSING/ABOUT\_FAIRHOUSINGACT.HTM
- THE SITE WILL REQUIRE A PRIVATE HAUL AGREEMENT FOR TRASH COLLECTION UNLESS A WASTE COLLECTION AREA IS CONSTRUCTED AND SCREENED PER METRO CODE.
- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.

**POLICY COMPLIANCE NOTE:**

THE PROPOSED MULTIFAMILY DEVELOPMENT PROVIDES FOR AN INCREASE IN THE DENSITY AND PROVIDES A MIXTURE OF HOUSING OPTIONS WITHIN THE T4 COMMUNITY CENTER POLICY. THE REQUESTED DENSITY WOULD SATISFY TO HONOR THE INTENSITY PLAN WITHIN OXFORD NORTH SMALL AREA PLAN, WHICH IS STILL POTENTIALLY ATTRACTING ADDITIONAL HOUSING DEVELOPMENT TO THE AREA.

**ARCHITECTURAL STANDARDS**

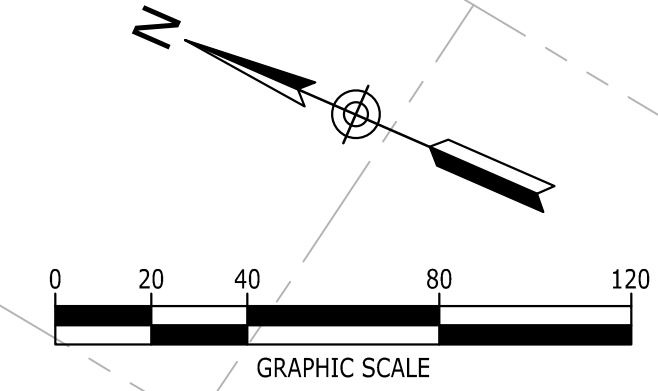
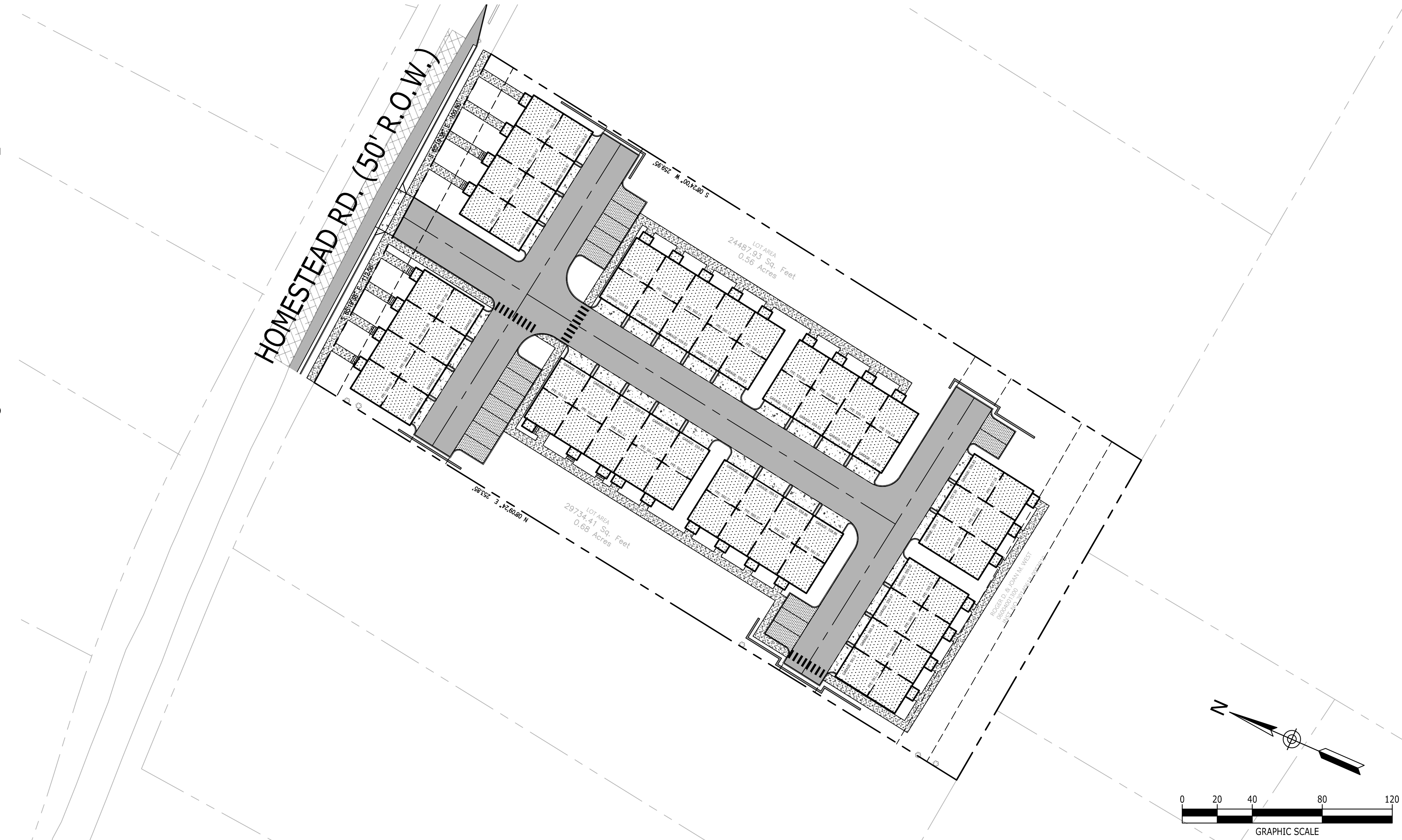
- BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 15% GLAZING.
- WINDOWS MAY BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
- BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
- PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.
- HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (AVERAGE OF 4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE (FINAL GROUND ELEVATION) TO THE MIDPOINT OF THE PRIMARY ROOF PITCH (THE VERTICAL DISTANCE FROM EAVE TO MIDPOINT) OR TO THE TOP OF THE PARAPET FOR A FLAT ROOF.

**PUBLIC WORKS CONSTRUCTION NOTES:**

- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- PROOF-ROLLING OF ALL STREET SUB-GRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR, REQUEST TO BE MADE 24 HOURS IN ADVANCE.
- STOP SIGNS TO BE 30 INCH BY 30 INCH.
- STREET NAME SIGNS ARE TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, AND BE MOUNTED VERTICALLY STAGGERED.
- STREET NAME SIGNS SHALL BE ASSEMBLED USING EXTRUDED SIGN BLADES.
- ALL SIGNS TO HAVE 3M REFLECTIVE COATING.

**STORMWATER NOTES:**

- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" RCP).
- DRAWING IS FOR TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.



PREPARED FOR  
**WEST, ROGER D. & JOAN M.**  
 107 FOXWOOD LN  
 FRANKLIN TN 37069  
 310.886.9626



CIVIL ENGINEER/LANDSCAPE ARCHITECT

5100 TENNESSEE AVENUE  
 NASHVILLE, TN 37209  
 (615) 622-7200

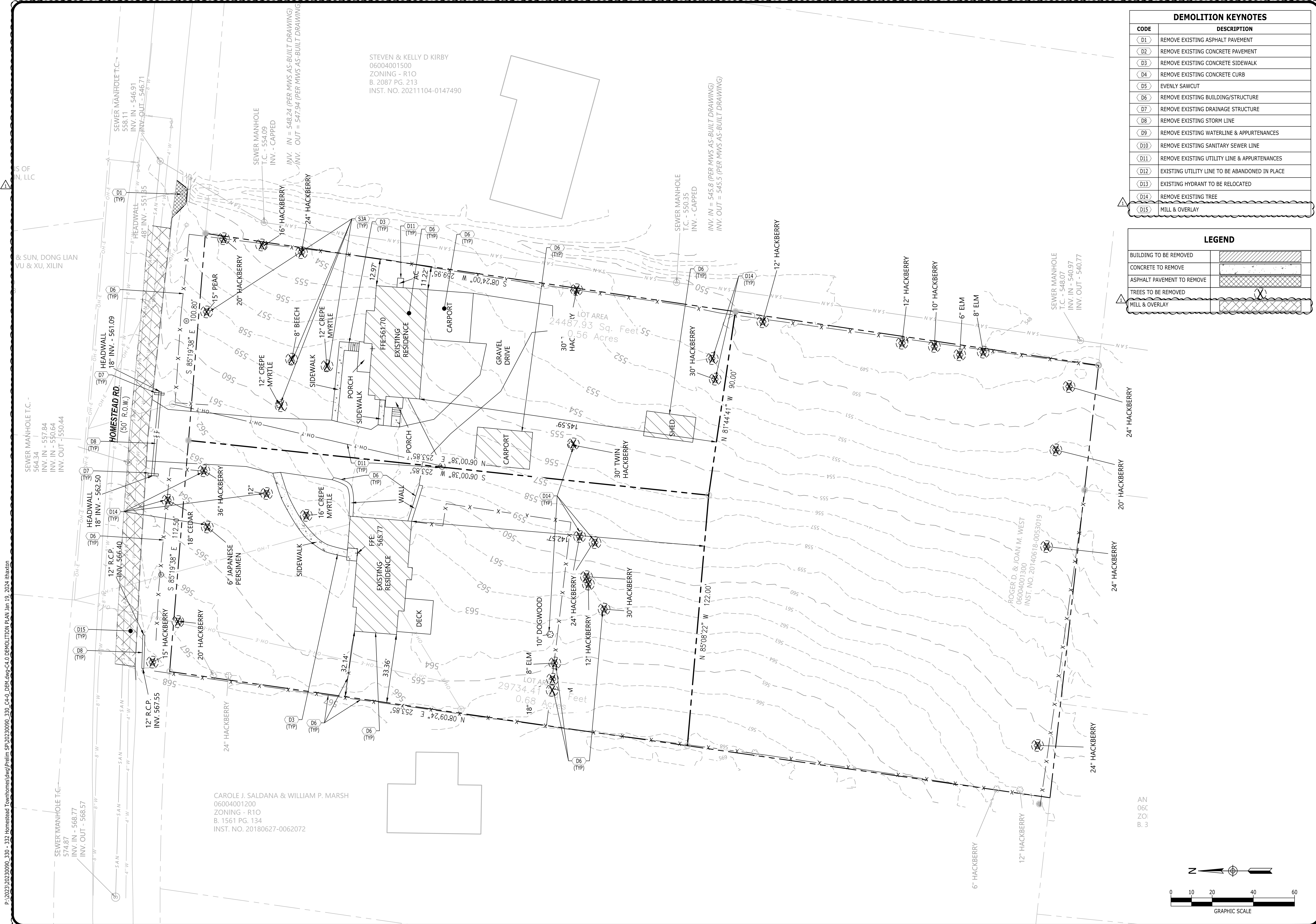
COVER SHEET

C0.0





P:\2023\20230090\_330 - 332 Homestead Townhomes.dwg (vlim) Sp: 20230090\_330\_C4.0\_DEM.dwg-C4.0 DEMOLITION PLAN Jan 19, 2024 10:40:00



STEVEN & KELLY D KIRBY  
06004001500  
ZONING - R10  
B. 2087 PG. 213  
INST. NO. 20211104-0147490

CAROLE J. SALDANA & WILLIAM P. MARSH  
06004001200  
ZONING - R10  
B. 1561 PG. 134  
INST. NO. 20180627-0062072

DEMOLITION KEYNOTES	
CODE	DESCRIPTION
(D1)	REMOVE EXISTING ASPHALT PAVEMENT
(D2)	REMOVE EXISTING CONCRETE PAVEMENT
(D3)	REMOVE EXISTING CONCRETE SIDEWALK
(D4)	REMOVE EXISTING CONCRETE CURB
(D5)	EVENLY SAWCUT
(D6)	REMOVE EXISTING BUILDING/STRUCTURE
(D7)	REMOVE EXISTING DRAINAGE STRUCTURE
(D8)	REMOVE EXISTING STORM LINE
(D9)	REMOVE EXISTING WATERLINE & APPURTENANCES
(D10)	REMOVE EXISTING SANITARY SEWER LINE
(D11)	REMOVE EXISTING UTILITY LINE & APPURTENANCES
(D12)	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE
(D13)	EXISTING HYDRANT TO BE RELOCATED
(D14)	REMOVE EXISTING TREE
(D15)	MILL & OVERLAY

LEGEND	
BUILDING TO BE REMOVED	[Hatched Pattern]
CONCRETE TO REMOVE	[Cross-hatched Pattern]
ASPHALT PAVEMENT TO REMOVE	[Diagonal Line Pattern]
TREES TO BE REMOVED	[Tree Symbol]
MILL & OVERLAY	[Wavy Line Pattern]



WEST, ROGER D. &  
JOAN M.  
107 FOXWOOD LN  
FRANKLIN TN 37069  
310.886.9626



PRELIMINARY SP  
**330-332 HOMESTEAD TOWNHOMES**  
330, 332 HOMESTEAD RD  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

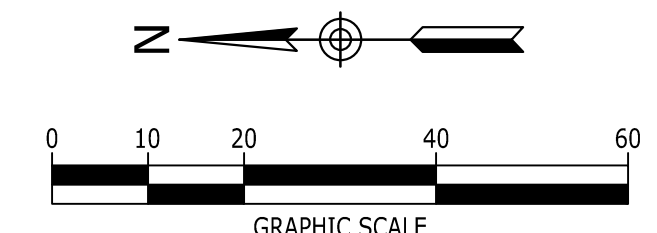
NO.	DATE	GENERAL REVISION	DESCRIPTION

DRAWING TITLE  
**DEMOLITION PLAN**

CASE NUMBER  
2023SP-041-001

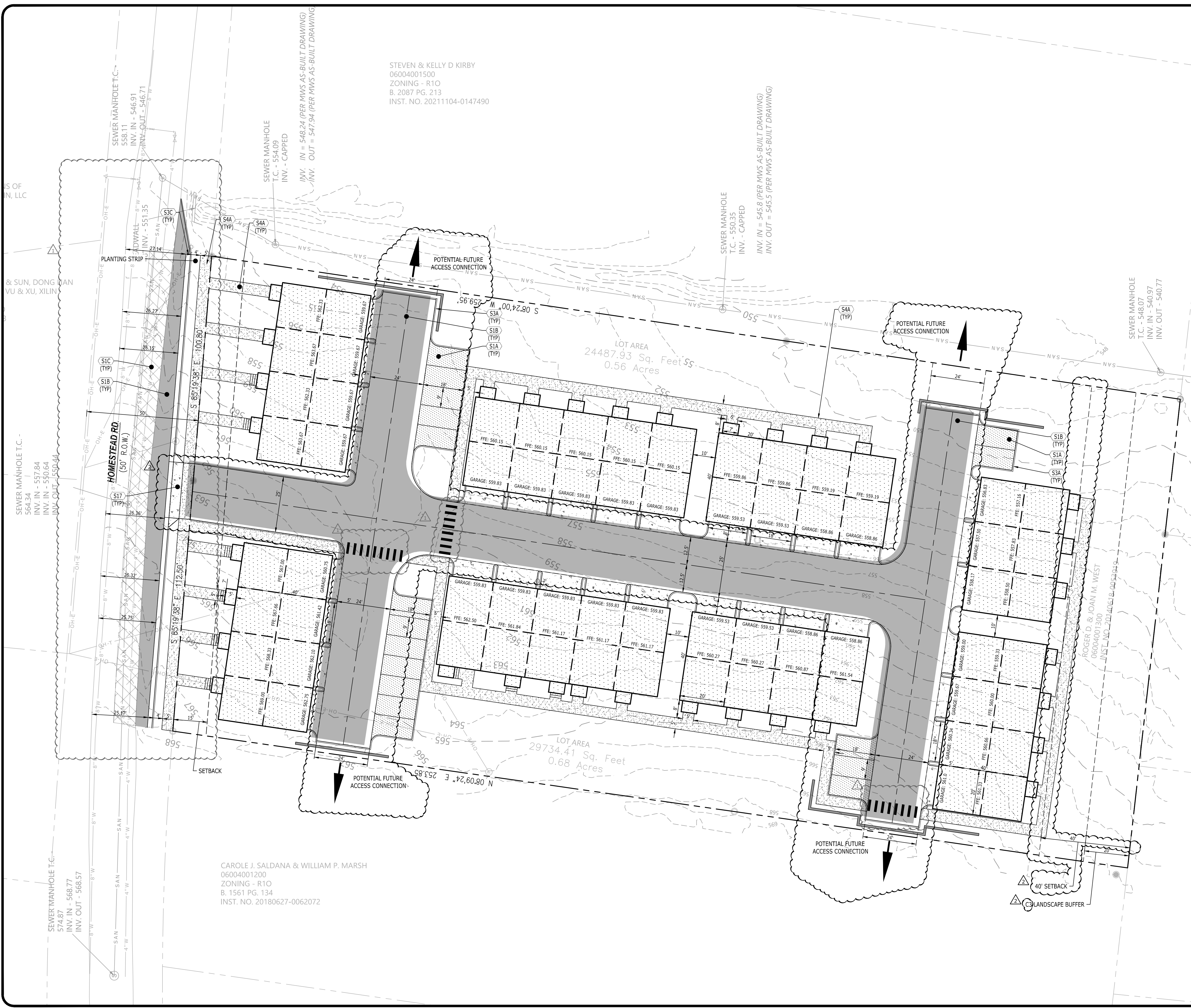
PROJECT NUMBER  
20230090

DRAWING NUMBER  
**C4.0**





P:\2023\20230090\_330 - 332 Homestead Townhomes.dwg (prelim) SP:20230090\_330\_C5-0\_LAYOUT.C5-0 LAYOUT PLAN Feb 01, 2024 tthaxton



STEVEN & KELLY D KIRBY  
06004001500  
ZONING - R10  
B. 2087 PG. 213  
INST. NO. 20211104-0147490

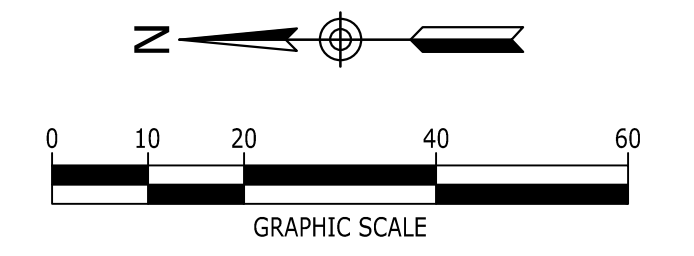
SEWER MANHOLE  
T.C. - 550.35  
INV. - CAPPED  
INV. IN = 545.8 (PER MWS AS-BUILT DRAWING)  
INV. OUT = 545.5 (PER MWS AS-BUILT DRAWING)

SEWER MANHOLE  
T.C. - 548.07  
INV. IN - 540.97  
INV. OUT - 540.77

CAROLE J. SALDANA & WILLIAM P. MARSH  
06004001200  
ZONING - R10  
B. 1561 PG. 134  
INST. NO. 20180627-0062072

SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1A	ASPHALT PAVEMENT - LIGHT DUTY	1 / C8.0
S1B	ASPHALT PAVEMENT - HEAVY DUTY	1 / C8.0
S1C	ASPHALT PAVEMENT - OVERLAY	
S2	CONCRETE PAVEMENT	2 / C8.0
S3A	CONCRETE POST CURB	3 / C8.0
S3B	CONCRETE EXTRUDED CURB	
S3C	CONCRETE CURB & GUTTER	4 / C8.0
S4A	CONCRETE SIDEWALK	5 / C8.0
S4B	CONCRETE SIDEWALK WITH TURN DOWN CURB	
S4C	CONCRETE SIDEWALK AT CURB & GUTTER	
S5	SIDEWALK JOINTS	6 / C8.0
S6A	CONCRETE STAIRS WITH HANDRAIL	
S6B	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	
S7	ELEVATED WALK	
S8	ACCESSIBLE SYMBOL	
S9	ACCESSIBLE PARKING SPACE	
S10A	ACCESSIBLE RAMP	
S10B	ACCESSIBLE WINGED RAMP	
S11	TACTILE WARNING SURFACE	
S12	CONCRETE WHEELSTOP	
S13A	RAMP WITH HANDRAIL	
S13B	RAMP WITH HANDRAIL/GUARDRAIL	
S14	BOLLARD	
S15	UTILITY PAD	
S16	CONCRETE DUMPSTER PAD	
S17	DRIVEWAY RAMP	
S18	DIRECTIONAL ARROWS	
S19	PEDESTRIAN CROSSWALK	
S20A	CHAIN LINK FENCE (SPECIFY HEIGHT)	
S20B	WOODEN SCREEN FENCE (SPECIFY HEIGHT)	
S21A	GUARDRAIL	
S21B	GUARDRAIL WITH HANDRAIL	
S22A	CONCRETE RETAINING WALL	
S22B	SEGMENTAL RETAINING WALL	
S23	PAINTED STOP BAR (SPECIFY WIDTH)	

LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
TACTILE WARNING	[Pattern]
MILL & OVERLAY	[Pattern]



WEST, ROGER D. &  
JOAN M.  
107 FOXWOOD LN  
FRANKLIN TN 37069  
310.886.9626



PRELIMINARY SP  
**330-332 HOMESTEAD TOWNHOMES**  
330, 332 HOMESTEAD RD  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

NO.	DATE	DESCRIPTION
1	02/01/2024	GENERAL REVISION
2	01/19/2024	GENERAL REVISION

DRAWING TITLE  
**LAYOUT PLAN**

CASE NUMBER  
2023SP-041-001

PROJECT NUMBER  
20230090

DRAWING NUMBER  
**C5.0**



P:\2023\20230090\_330 - 332 Homestead Townhomes.dwg (Prelim) SP:20230090\_330\_C5\_1\_RENDER.dwg-C5.1 SITE RENDER Jan 19, 2024 awoiseman



STEVEN & KELLY D KIRBY  
06004001500  
ZONING - R10  
B. 2087 PG. 213  
INST. NO. 20211104-0147490

CONTINENTAL INNS OF AMERICA, FRANKLIN, LLC  
06004000500  
ZONING - R10  
B. 3832 PG. 341

XU, SHU QIAN & SUN, DONG LIAN & HSU, GONG YU & XU, XILIN  
06004000400  
ZONING - R10  
B. 3157 PG. 223

STEVEN & KELLY D KIRBY  
06004000300  
ZONING - R10  
B. 2702 PG. 209

STEVEN & KELLY D KIRBY  
06004000200  
ZONING - R10  
B. 1849 PG. 557

STEVEN & KELLY D KIRBY  
06004010800  
ZONING - CS  
B. 9700 PG. 630

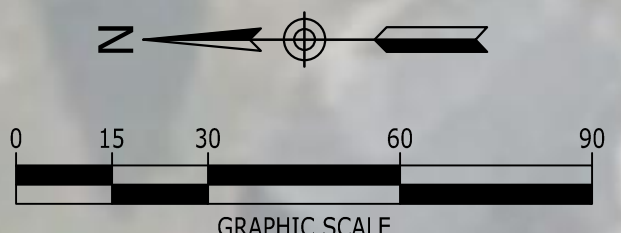
CAROLE J. SALDANA & WILLIAM P. MARSH  
06004001200  
ZONING - R10  
B. 1561 PG. 134  
INST. NO. 20180627-0062072

SALDANA, CAROLE JEAN M.  
06004001100  
ZONING - R10  
B. 8410 PG. 545

EXCHANGERIGHT NET LEASED  
06004001400  
ZONING CS

WEST, ROGER D. ET UX  
06004006300  
ZONING - RS10  
B. 4090 PG. 677

ANTHONY, ILLIE J & VERA E.  
06004006200  
ZONING - RS10  
B. 3878 PG. 950



WEST, ROGER D. &  
JOAN M.  
107 FOXWOOD LN  
FRANKLIN TN 37069  
310.886.9626



PRELIMINARY SP  
**330-332 HOMESTEAD TOWNHOMES**  
330, 332 HOMESTEAD RD  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

NO.	DATE	GENERAL REVISION	DESCRIPTION
1	01/18/2024		

DRAWING TITLE  
**SITE RENDER**

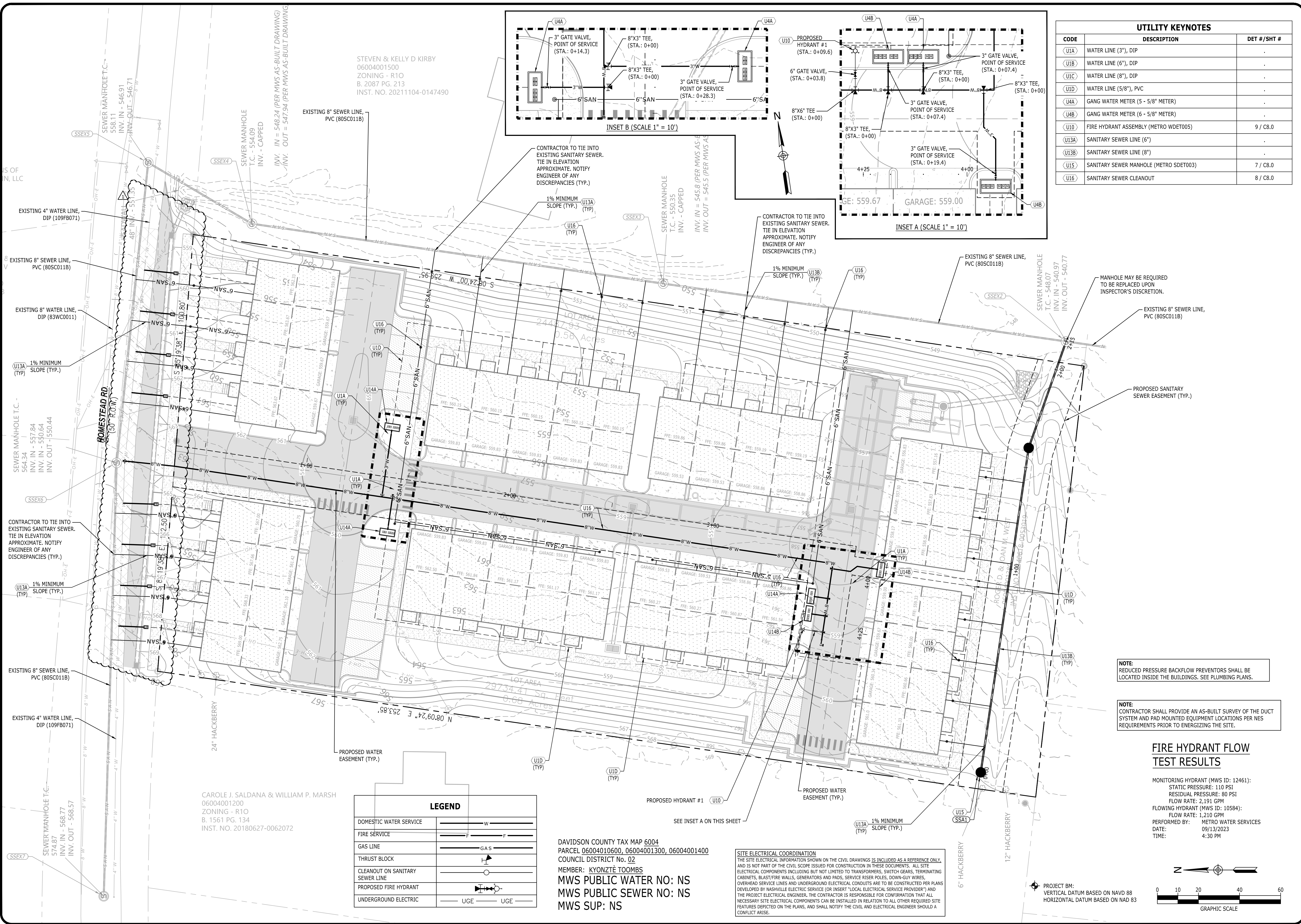
CASE NUMBER  
2023SP-041-001

PROJECT NUMBER  
20230090

DRAWING NUMBER  
**C5.1**



P:\2023\20230090\_330 - 332 Homestead Townhomes.dwg (Title) SP:20230090\_330\_C7-0\_Utility PLAN Jan 19, 2024 rthaxton



STEVEN & KELLY D KIRBY  
06004001500  
ZONING - R10  
B. 2087 PG. 213  
INST. NO. 20211104-0147490

CAROLE J. SALDANA & WILLIAM P. MARSH  
06004001200  
ZONING - R10  
B. 1561 PG. 134  
INST. NO. 20180627-0062072

LEGEND	
DOMESTIC WATER SERVICE	W
FIRE SERVICE	F
GAS LINE	GAS
THRUST BLOCK	H
CLEANOUT ON SANITARY SEWER LINE	O
PROPOSED FIRE HYDRANT	H
UNDERGROUND ELECTRIC	UGE

DAVIDSON COUNTY TAX MAP 6004  
PARCEL 06004010600, 06004001300, 06004001400  
COUNCIL DISTRICT No. 02  
MEMBER: KYONZIT TOOMBS  
MWS PUBLIC WATER NO: NS  
MWS PUBLIC SEWER NO: NS  
MWS SPS: NS

**SITE ELECTRICAL COORDINATION**  
THE SITE ELECTRICAL INFORMATION SHOWN ON THE CIVIL DRAWINGS IS INCLUDED AS A REFERENCE ONLY AND IS NOT PART OF THE CIVIL SCOPE ISSUED FOR CONSTRUCTION IN THESE DOCUMENTS. ALL SITE ELECTRICAL COMPONENTS INCLUDING BUT NOT LIMITED TO TRANSFORMERS, SWITCH GEARS, TERMINATING CABINETS, BLASTFIRE WALLS, GENERATORS AND PADS, SERVICE RISER POLES, DOWN-CLIP WIRES, OVERHEAD SERVICE LINES AND UNDERGROUND ELECTRICAL CONDUITS ARE TO BE CONSTRUCTED PER PLANS DEVELOPED BY NASHVILLE ELECTRIC SERVICE (OR INSERT "LOCAL ELECTRICAL SERVICE PROVIDER") AND THE PROJECT ELECTRICAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION THAT ALL NECESSARY SITE ELECTRICAL COMPONENTS CAN BE INSTALLED IN RELATION TO ALL OTHER REQUIRED SITE FEATURES DEPICTED ON THE PLANS, AND SHALL NOTIFY THE CIVIL AND ELECTRICAL ENGINEER SHOULD A CONFLICT ARISE.

**UTILITY KEYNOTES**

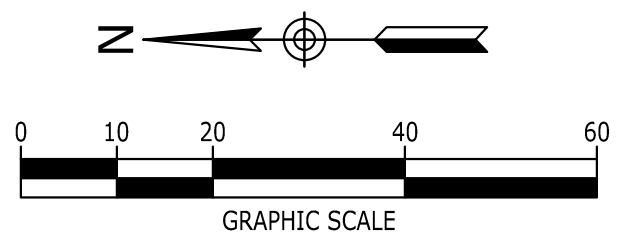
CODE	DESCRIPTION	DET #/SHT #
U1A	WATER LINE (3"), DIP	.
U1B	WATER LINE (6"), DIP	.
U1C	WATER LINE (8"), DIP	.
U1D	WATER LINE (5/8"), PVC	.
U1A	GANG WATER METER (5 - 5/8" METER)	.
U1B	GANG WATER METER (6 - 5/8" METER)	.
U1D	FIRE HYDRANT ASSEMBLY (METRO WDET005)	9 / C8.0
U13A	SANITARY SEWER LINE (6")	.
U13B	SANITARY SEWER LINE (8")	.
U15	SANITARY SEWER MANHOLE (METRO SDET003)	7 / C8.0
U16	SANITARY SEWER CLEANOUT	8 / C8.0

**NOTE:** REDUCED PRESSURE BACKFLOW PREVENTORS SHALL BE LOCATED INSIDE THE BUILDINGS. SEE PLUMBING PLANS.

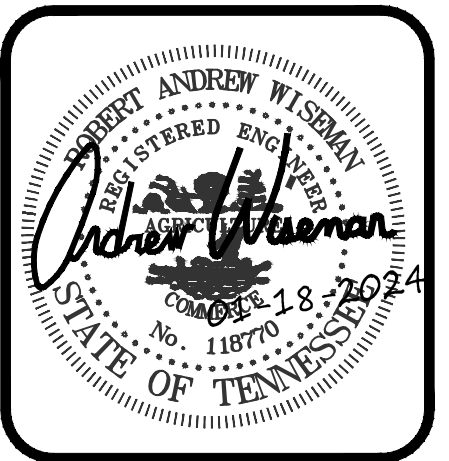
**NOTE:** CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF THE DUCT SYSTEM AND PAD MOUNTED EQUIPMENT LOCATIONS PER NES REQUIREMENTS PRIOR TO ENERGIZING THE SITE.

**FIRE HYDRANT FLOW TEST RESULTS**

MONITORING HYDRANT (MWS ID: 12461):  
STATIC PRESSURE: 110 PSI  
RESIDUAL PRESSURE: 80 PSI  
FLOW RATE: 2,191 GPM  
FLOWING HYDRANT (MWS ID: 10584):  
FLOW RATE: 1,210 GPM  
PERFORMED BY: METRO WATER SERVICES  
DATE: 09/13/2023  
TIME: 4:30 PM



WEST, ROGER D. &  
JOAN M.  
107 FOXWOOD LN  
FRANKLIN TN 37069  
310.886.9626



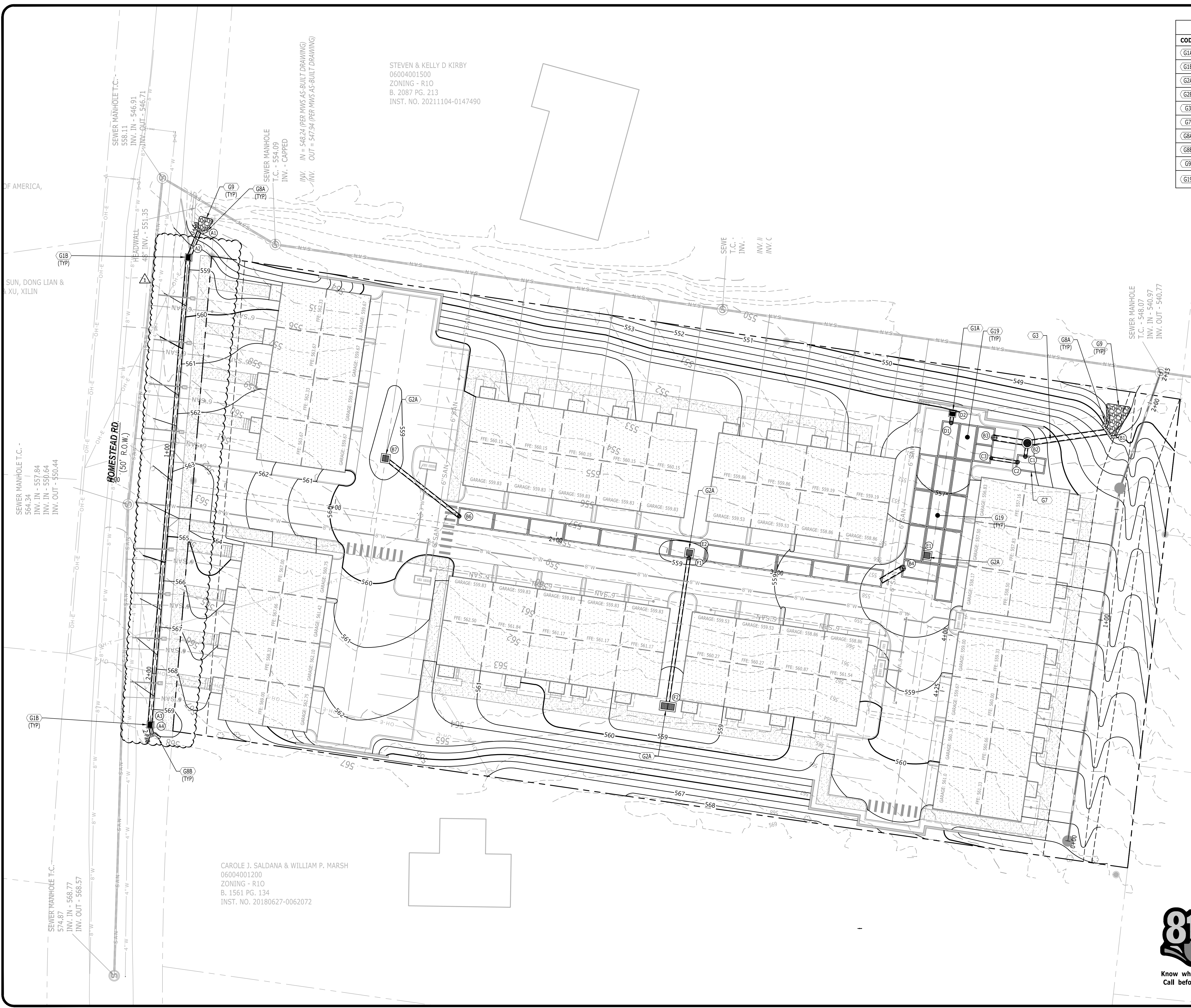
PRELIMINARY SP  
**330-332 HOMESTEAD TOWNHOMES**  
330, 332 HOMESTEAD RD  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

NO.	DATE	GENERAL REVISION	DESCRIPTION
1	01/19/2024		

DRAWING TITLE  
**UTILITY PLAN**  
CASE NUMBER  
2023SP-041-001  
PROJECT NUMBER  
20230090  
DRAWING NUMBER  
**C7.0**



P:\2023\20230090\_330 - 332 Homestead Townhomes.dwg\ Prelim SP\20230090\_330\_C6.0\_GRA.dwg-C6.0 GRADING & DRAINAGE PLAN Jan 19, 2024 lbranton



STEVEN & KELLY D KIRBY  
06004001500  
ZONING - R10  
B. 2087 PG. 213  
INST. NO. 20211104-0147490

SEWER MANHOLE  
T.C. - 554.09  
INV. - CAPPED  
/INV. IN = 548.24 (PER MMS AS-BUILT DRAWING)  
/INV. OUT = 547.94 (PER MMS AS-BUILT DRAWING)

CAROLE J. SALDANA & WILLIAM P. MARSH  
06004001200  
ZONING - R10  
B. 1561 PG. 134  
INST. NO. 20180627-0062072

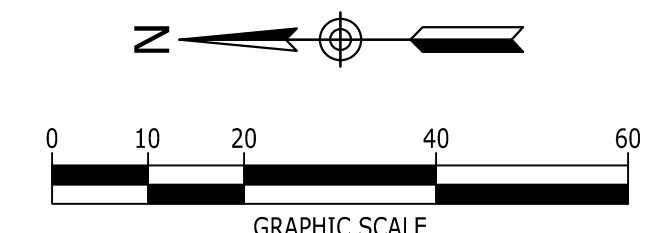
GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1A	SINGLE CURB INLET	2 / C8.1
G1B	SINGLE CURB INLET (METRO DR-105 & METRO ST-506B)	3 & 5 / C8.2
G2A	CATCH BASIN	1 / C8.2
G2B	DOUBLE CATCH BASIN	--
G3	JUNCTION MANHOLE	6 / C8.1
G7	WATER QUALITY STRUCTURE	2 / C8.2
G8A	CONCRETE HEADWALL - WINGED W/ DISSIPATOR	8 / C8.1
G8B	CONCRETE HEADWALL - WINGED	7 / C8.1
G9	RIPRAP AT HEADWALL	4 / C8.1
G19	OLDCASTLE DETENTION SYSTEM	1 / C8.2

LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	+0.00
PROPOSED CONTOUR ELEV.	90
DRAINAGE STRUCTURE	
SILT FENCE	SF
TREE PROTECTION	T P
INLET PROTECTION	
STRAW BALE FILTER	

PROJECT BM:  
HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88



Know what's below.  
Call before you dig.



WEST, ROGER D. &  
JOAN M.  
107 FOXWOOD LN  
FRANKLIN TN 37069  
310.886.9626



PRELIMINARY SP  
**330-332 HOMESTEAD TOWNHOMES**  
330, 332 HOMESTEAD RD  
NASHVILLE, TENNESSEE, 37207  
DAVIDSON

NO.	DATE	GENERAL REVISION	DESCRIPTION
1	01/19/2024		

DRAWING TITLE  
**GRADING & DRAINAGE PLAN**  
CASE NUMBER  
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