

LEGISLATIVE TRACKING FORM

Filing for Council Meeting Date: 06/02/26

Resolution Ordinance

Contact/Prepared By: Antony Kwanya

Date Prepared: 05/12/26

Title (Caption): An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Harpeth Overlook Partners, LLC, for greenway improvements at 0 McCrory Lane. Proposal No. 2026M-018AG-001

Submitted to Planning Commission? N/A Yes - Date: 05/12/2026 Proposal No: 2026M-018AG-001

Proposing Department: General Services Requested By: Antony Kwanya

Affected Department(s): Metro Parks Affected Council District(s): 35

Legislative Category (check one):

- | | | |
|---|---|--|
| <input type="checkbox"/> Bonds | <input type="checkbox"/> Contract Approval | <input type="checkbox"/> Intergovernmental Agreement |
| <input type="checkbox"/> Budget - Pay Plan | <input type="checkbox"/> Donation | <input type="checkbox"/> Lease |
| <input type="checkbox"/> Budget - 4% | <input type="checkbox"/> Easement Abandonment | <input type="checkbox"/> Maps |
| <input type="checkbox"/> Capital Improvements | <input checked="" type="checkbox"/> Easement Accept/Acquisition | <input type="checkbox"/> Master List A&E |
| <input type="checkbox"/> Capital Outlay Notes | <input type="checkbox"/> Grant | <input type="checkbox"/> Settlement of Claims/Lawsuits |
| <input type="checkbox"/> Code Amendment | <input type="checkbox"/> Grant Application | <input type="checkbox"/> Street/Highway Improvements |
| <input type="checkbox"/> Condemnation | <input type="checkbox"/> Improvement Acc. | <input type="checkbox"/> Other: _____ |

FINANCE Amount +/-: \$ _____ Funding Source: Capital Improvement Budget Capital Outlay Notes Departmental/Agency Budget Funds to Metro General Obligation Bonds Grant Increased Revenue Sources	Match: \$ _____ Judgments and Losses Local Government Investment Project Revenue Bonds Self-Insured Liability Solid Waste Reserve Unappropriated Fund Balance 4% Fund Other: _____ Date to Finance Director's Office: _____ APPROVED BY FINANCE DIRECTOR'S OFFICE: _____
Approved by OMB: _____ Approved by Finance/Accounts: _____ Approved by Div Grants Coordination: _____	

ADMINISTRATION	
Council District Member Sponsors: _____	
Council Committee Chair Sponsors: _____	
Approved by Administration: _____	Date: _____

DEPARTMENT OF LAW	
Date to Dept. of Law: _____	Approved by Department of Law: _____
Settlement Resolution/Memorandum Approved by: _____	
Date to Council: _____	For Council Meeting: _____ <input type="checkbox"/> E-mailed Clerk
<input type="checkbox"/> All Dept. Signatures <input type="checkbox"/> Copies <input type="checkbox"/> Backing <input type="checkbox"/> Legislative Summary <input type="checkbox"/> Settlement Memo <input type="checkbox"/> Clerk Letter <input type="checkbox"/> Ready to File	

Department of Law - White Copy

Administration - Yellow Copy

Finance Department - Pink Copy

ORDINANCE NO. _____

An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Harpeth Overlook Partners, LLC, for greenway improvements at 0 McCrory Lane (Parcel No. 12600015500) (Proposal No. 2026M-018AG-001).

WHEREAS, Harpeth Overlook Partners, LLC ("Owner") owns property located at 0 McCrory Lane (Parcel No. 12600015500); and,

WHEREAS, pursuant to the greenway conservation easement attached hereto as Exhibit A and incorporated herein, Owner proposes to donate, and the Metropolitan Government proposes to accept a conservation greenway easement; and,

WHEREAS, pursuant to Tenn. Code Ann. § 66-9-305 and Metropolitan Charter § 2.01, the Metropolitan Government may accept donations of property interests for the purpose of establishing greenways and providing the public with recreational opportunities in natural areas; and,

WHEREAS, it is in the best interest of The Metropolitan Government of Nashville and Davidson County that the greenway conservation easement agreement be approved.

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That the agreement attached hereto as Exhibit A and incorporated herein is hereby approved, and the Director of Public Property is authorized to execute the same.

Section 2. The Director of Public Property, or his designee, is authorized to accept and record the greenway conservation easement agreement and to take such reasonable actions as may be necessary to carry out the intent of this ordinance.

Section 3. That this ordinance shall take effect from and after its final passage, the welfare of The Metropolitan Government of Nashville & Davidson County requiring it.

RECOMMENDED BY:

Monique Odom _____
Monique H. Odom, Director
Department of Parks and Recreation

Abraham Wescott _____
Abraham Wescott, Director
Public Property Administration

INTRODUCED BY:

Member(s) of Council

APPROVED AS TO AVAILABILITY
OF FUNDS:

Jenneen Reed/MJW _____
Jenneen Reed, Director
Department of Finance

APPROVED AS TO FORM AND
LEGALITY:

Kelli Woodward _____
Assistant Metropolitan Attorney

AGREEMENT FOR GRANT OF EASEMENT

for

CONSERVATION GREENWAY

THIS AGREEMENT, made and entered into this the 15TH day of APRIL, 2026, by and between **The Metropolitan Government of Nashville and Davidson County**, acting by and through its Board of Parks and Recreation (herein referred to as "Metro"), and **HARPETH OVERLOOK PARTNERS, LLC**, property owner (herein referred to as Grantor).

WHEREAS, Metro recognizes the increasing benefit of protecting open spaces within the Metropolitan Government area; and

WHEREAS, greenways provide the general public with recreational opportunities in natural areas, preserve, and protect native plant and animal species and their habitat, and provide low-impact transportation routes for pedestrian and bicycle traffic; and

WHEREAS, Metro, by Ordinance No. 091-13, created a Greenways Commission to assist Metro in the development of a system of open space greenways; and

WHEREAS, Grantor is the sole owner in fee simple of certain real property in Davidson County, Tennessee, more particularly described in Exhibit A and Exhibit B attached hereto and incorporated by this reference (herein referred to as "the Property"); and

WHEREAS, the Property possesses natural, open space, and recreational values (collectively, "conservation values") of great importance to Grantor and the people of Nashville and Davidson County; and

WHEREAS, Grantor intends that the conservation values of the Property be preserved and made more accessible for public enjoyment by the anticipated

incorporation and maintenance of the property as part of the Metro greenways system; and

WHEREAS, Grantor further intends, as owner of the Property, to convey to Metro the right to preserve and protect the conservation values of the Property in perpetuity; and

WHEREAS, Metro has the authority to accept this grant pursuant to Tennessee Code Annotated, Section 66-9-305(d), and Section 11.1002 of the Metropolitan Charter; and

WHEREAS, Metro agrees by accepting this grant to honor the intentions of Grantor stated herein, and to preserve and protect, in perpetuity, the conservation values of the Property for the benefit of the people of Tennessee and the public-at-large.

NOW, THEREFORE, in consideration of the above and the mutual covenants, terms, conditions, and restrictions contained herein, Grantor hereby voluntarily grants and conveys to Metro, its successors and assigns, an easement in perpetuity over the Property of the Grantor (herein referred to as "the Easement") to be located as more particularly shown on Exhibit A and Exhibit B attached hereto and incorporated by this reference.

1. Purpose. It is the purpose of this grant to allow Metro to utilize the Easement area for one or more of the following: a pathway for pedestrian or bicycle travel, nature trail, and/or natural area. At Grantor's sole expense, Grantor shall design, construct, and maintain a temporary pedestrian path within the Easement area as shown on Final Site Plan attached hereto as exhibit C. Grantor further shall maintain the temporary path until such time as Metro constructs a paved greenway trail within the Easement area. For avoidance of doubt, Grantor's obligations under this paragraph shall run with the land and are binding on Grantor's successors and assigns. Metro, at its discretion, may design, construct, and maintain any pathway or physical structure in a manner that best preserves the open and natural condition of the Property. All of the work described in this paragraph shall be carried out in a

manner that best preserves the open and natural condition of the Property It is the intention of the parties hereby expressed that the granting of the Easement will not significantly interfere with the conservation values of the Property. Grantor intends that the Easement will confine the use of the Property to such activities as are consistent with the purpose of the Easement.

2. Rights of Metro. To accomplish the purpose of the Easement, the following rights are conveyed to Metro by this grant:

a. To preserve and protect the conservation values of the Property;
and

b. To construct and maintain a pathway to be located on the Easement, including, at the discretion of Metro, necessary trailheads, signage, benches, and other improvements consistent with the recreational and educational uses of the pathway and other conservation values; and

c. To prevent any activity on or use of the Property that is inconsistent with the purpose of the Easement and to require the restoration of such areas or features of the Property that may be damaged by any inconsistent activity or use.

3. Metro Covenants. Metro, by accepting this grant, covenants and agrees, on behalf of itself, its successors and assigns, that the following shall constitute real covenants that shall attach to and run with the easement hereby granted and shall be binding upon anyone who may hereafter come into ownership of such Easement, whether by purchase, devise, descent, or succession, or to be authorized to use said Easement area:

a. It will make the Easement area available for use by all members of the general public without distinction or illegal discrimination on the grounds of race, color, national origin, handicap, or age.

b. It will adopt rules and regulations governing the use of the Easement area so as not to permit or suffer any use of the Easement by Grantor or others in violation of

such rules and regulations. At a minimum, the rules and regulations will provide as follows:

- i. That the hours of public access of the Easement shall be from sunrise to sunset.
- ii. That all persons utilizing the Easement area must remain on the pathway.
- iii. That all pets of persons utilizing the pathway must be on a leash at all times.
- iv. That the following activities shall be strictly prohibited:
 1. consumption or possession of alcoholic beverages;
 2. horseback riding;
 3. unauthorized motor vehicles; ebikes are permitted as defined under applicable state law;
 4. collecting or distributing plants, animals or other natural features;
 5. littering or dumping;
 6. hunting;
 7. playing of radios, musical instruments or other devices in a manner that might disturb others;
 8. vending or other concessions without proper permits;
 9. advertising or posting of bills;
 10. trespassing on adjacent property of Grantor;
 11. any unlawful activities.

4. Other Prohibited Uses. Any activity on or use of the Property inconsistent with the purpose of the Easement is prohibited. The aforementioned express prohibitions shall not limit the generality of this paragraph.

5. Reserved Rights. Grantor reserves to itself, and to its personal representatives, heirs, successors, and assigns, all rights accruing from their ownership of the Property, including the right to engage in or permit or invite others

to engage in all uses of the Property that are not expressly prohibited herein and are not inconsistent with the purpose of the Easement. Further, Grantor reserves the right to maintain the subject property consistent with the purposes herein set forth and will maintain it in accordance with all local laws until greenway improvements are made by Metro.

6. Metro's Remedies. If Metro determines that Grantor is in violation of the terms of this Agreement or that a violation is threatened, Metro shall give written notice to Grantor of such violation and demand corrective action sufficient to cure the violation and, where the violation involves injury to the Property resulting from any use or activity inconsistent with the purpose of the Easement, to restore the portion of the Property so injured. If Grantor fails to cure the violation within thirty (30) days after receipt of notice thereof from Metro or, under circumstances where the violation cannot reasonably be cured within a thirty (30) day period, fails to continue diligently to cure such violation until finally cured, Metro may bring an action in a court of competent jurisdiction to enforce the terms of this Agreement to enjoin the violation by temporary or permanent injunction, and to recover any damages to which it may be entitled for violation of the terms of this Agreement or for injury to any conservation values protected by the Easement, including damages for the loss of scenic, aesthetic, or environmental values, and to require the restoration of the Property to the condition that existed prior to any such injury. If Metro, in its sole discretion, determines that circumstances require immediate action to prevent or mitigate significant damage to the conservation values of the Property, Metro may pursue its remedies under this paragraph without prior notice to Grantor or without waiting for the expiration of the period provided for cure. Metro's rights under this paragraph apply equally in the event of either actual or threatened violations of the terms of this Agreement. Metro's remedies described in this paragraph shall be cumulative and shall be in addition to all remedies now or hereafter existing at law or in equity.

7. Metro's Discretion. Enforcement of the terms of this Agreement shall be at the discretion of Metro, and any forbearance by Metro to exercise its rights under this Agreement in the event of any breach of any terms of this Agreement by Grantor shall not be deemed or construed to be a waiver by Metro of such term, or of any subsequent breach of the same, or any other term of this Agreement, or of any of Metro's rights under this Agreement. No delay or omission by Metro in the exercise of any right or remedy upon any breach by Grantor shall impair such right or remedy or be construed as a waiver.

8. Waiver of Certain Defenses. Grantor hereby waives any defense of laches, estoppel, or prescription.

9. Acts Beyond Grantor's Control. Nothing contained in this Agreement shall be construed to entitle Metro to bring any action against Grantor for any injury to or change in the Property resulting from causes beyond Grantor's control, including, without limitation, fire, flood, storm, and earth movement, or from any prudent action taken by Grantor under emergency conditions to prevent, abate, or mitigate significant injury to the Property resulting from such causes.

10. Amendment. If circumstances arise under which an amendment to or modification of this Agreement is appropriate, the Grantor, or the then current owner of the Property, and Metro are free to jointly amend this Agreement without prior notice to any other party; provided that any amendment shall be in writing; shall be consistent with the purpose of the Easement; shall not affect its perpetual duration; and shall have the unanimous consent of the Metro Greenways Commission.

11. Extinguishment. If circumstances arise in the future that render the purpose of the Easement impossible to accomplish, the Easement can only be terminated or extinguished, whether in whole or in part, by judicial proceedings in a court of competent jurisdiction.

12. Assignment. The Easement is transferable, but Metro may assign its rights and obligations under this Agreement only to an organization that is a

qualified organization at the time of transfer under Section 170(h) of the Internal Revenue Code of 1954, as amended, and the applicable regulations promulgated thereunder and authorized to acquire and hold conservation easements. As a condition of such transfer, Metro shall require that the conservation purposes which this grant is intended to advance continue to be carried out.

13. Subsequent Transfers. Grantor agrees to incorporate the terms of this Agreement in any deed or other legal instrument by which it divests itself of any interest in all or a portion of the Property, including, without limitation, a leasehold interest. Grantor further agrees to give written notice to Metro of the transfer of any interest at least thirty (30) days prior to the date of such transfer. The failure of Grantor to perform any act required by this paragraph shall not impair the validity of the Easement or limit its enforceability in any way.

14. General Provisions.

a. Controlling Law. The interpretation and performance of this Agreement shall be governed by the laws of the State of Tennessee.

b. Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Agreement shall be liberally construed in favor of the grant to effect the purpose of the Easement and the policy and purpose of Tenn. Code Ann. §§ 66-9-301 to 309. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of the Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

c. Severability. If any provision of this Agreement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Agreement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, shall not be affected thereby.


d. Entire Agreement. This instrument sets forth the entire agreement of the parties with respect to the Easement and supersedes all prior

discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with paragraph ten (10).

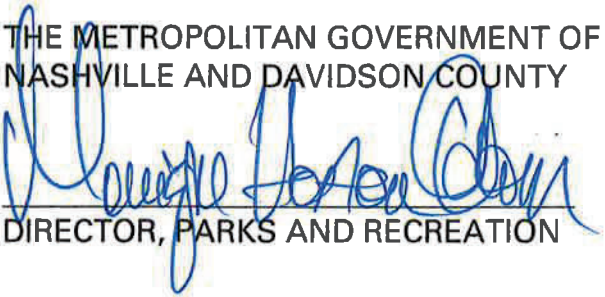
e. Successors. The covenants, terms, conditions, and restrictions of this Agreement shall be binding upon, and inure to the benefit of, the parties hereto and their respective personal representatives, heirs, successors, and assigns, and shall continue as a servitude running in perpetuity with the Property.

TO HAVE AND TO HOLD said Easement unto Metro, its successors, and assigns, forever.

IN WITNESS WHEREOF, we have caused this instrument to be executed as of this ____ day of _____, 20__.

GRANTOR: 

Justin Koziol Manager Harpeph
Overlook
Partners
TITLE:

ACCEPTED:
THE METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY

DIRECTOR, PARKS AND RECREATION

STATE OF TN)
COUNTY OF Davidson)

On this the 15th day of September, 2025, before me personally appeared Justin Koziol, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he/she executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Ben Kozol
NOTARY PUBLIC

My Commission Expires: 3/6/2029



STATE OF TENNESSEE)
)
COUNTY OF DAVIDSON)

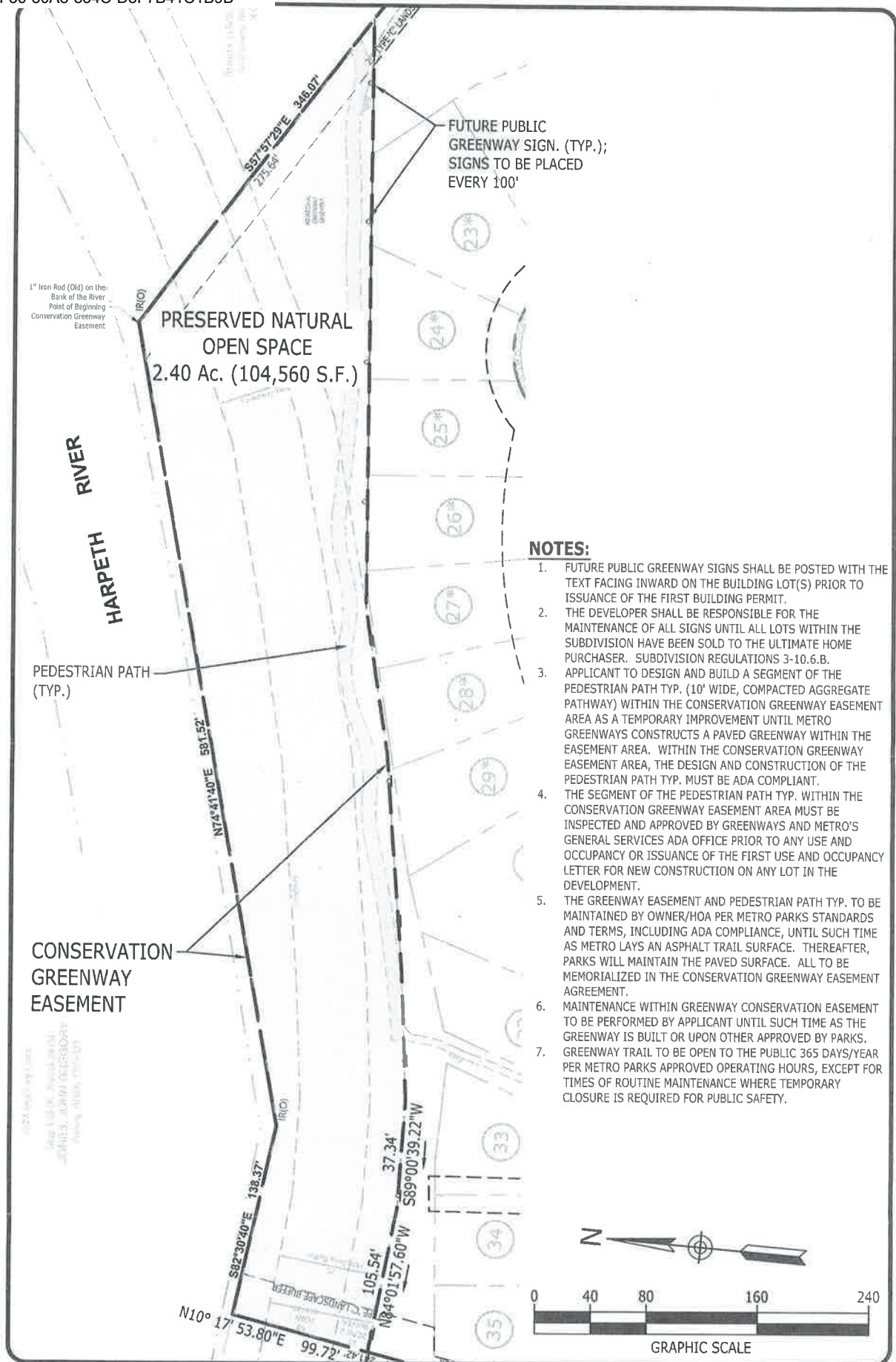
On this the 15th day of April, 2026 before me personally appeared Monique Horton Odom, who acknowledged himself to be the Director of the Metropolitan Government Department of Parks and Recreation, and that he, as such Director, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Monica Canady
NOTARY PUBLIC

My Commission Expires: 3/5/2030





NOTES:

1. FUTURE PUBLIC GREENWAY SIGNS SHALL BE POSTED WITH THE TEXT FACING INWARD ON THE BUILDING LOT(S) PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL SIGNS UNTIL ALL LOTS WITHIN THE SUBDIVISION HAVE BEEN SOLD TO THE ULTIMATE HOME PURCHASER. SUBDIVISION REGULATIONS 3-10.6.B. APPLICANT TO DESIGN AND BUILD A SEGMENT OF THE PEDESTRIAN PATH TYP. (10' WIDE, COMPACTED AGGREGATE PATHWAY) WITHIN THE CONSERVATION GREENWAY EASEMENT AREA AS A TEMPORARY IMPROVEMENT UNTIL METRO GREENWAYS CONSTRUCTS A PAVED GREENWAY WITHIN THE EASEMENT AREA. WITHIN THE CONSERVATION GREENWAY EASEMENT AREA, THE DESIGN AND CONSTRUCTION OF THE PEDESTRIAN PATH TYP. MUST BE ADA COMPLIANT.
3. THE SEGMENT OF THE PEDESTRIAN PATH TYP. WITHIN THE CONSERVATION GREENWAY EASEMENT AREA MUST BE INSPECTED AND APPROVED BY GREENWAYS AND METRO'S GENERAL SERVICES ADA OFFICE PRIOR TO ANY USE AND OCCUPANCY OR ISSUANCE OF THE FIRST USE AND OCCUPANCY LETTER FOR NEW CONSTRUCTION ON ANY LOT IN THE DEVELOPMENT.
4. THE GREENWAY EASEMENT AND PEDESTRIAN PATH TYP. TO BE MAINTAINED BY OWNER/HOA PER METRO PARKS STANDARDS AND TERMS, INCLUDING ADA COMPLIANCE, UNTIL SUCH TIME AS METRO LAYS AN ASPHALT TRAIL SURFACE. THEREAFTER, PARKS WILL MAINTAIN THE PAVED SURFACE. ALL TO BE MEMORIALIZED IN THE CONSERVATION GREENWAY EASEMENT AGREEMENT.
5. MAINTENANCE WITHIN GREENWAY CONSERVATION EASEMENT TO BE PERFORMED BY APPLICANT UNTIL SUCH TIME AS THE GREENWAY IS BUILT OR UPON OTHER APPROVED BY PARKS. GREENWAY TRAIL TO BE OPEN TO THE PUBLIC 365 DAYS/YEAR PER METRO PARKS APPROVED OPERATING HOURS, EXCEPT FOR TIMES OF ROUTINE MAINTENANCE WHERE TEMPORARY CLOSURE IS REQUIRED FOR PUBLIC SAFETY.



Catalyst
DESIGN GROUP

5100 TENNESSEE AVENUE, NASHVILLE, TN 37209
(615) 622-7200 | WWW.CATALYST-DG.COM

PROJECT:
**CONSERVATION SUBDIVISION
HARPETH OVERLOOK**

McCrary Lane
Nashville, Tennessee

TITLE: CONSERVATION GREENWAY EASEMENT EXHIBIT	
PROJ #	20240011
DATE:	10.23.2025
DWG. NO.	EXH-B

Legal Description

Being Part of Parcel 900.00 on Davidson County Property Map 126-14-0-B and being more particularly described as follows:

Beginning at an 1" Iron Rod (Old) on the top of bank of the Harpeth River, being the northwest corner of Boone Trace, Section 8, Phase 2, of record in Instrument No. 20040806-0094780, Register's Office for Davidson County, Tennessee;

Thence, leaving the Harpeth River and following the westerly boundary of said Boone Trace, Section 8, Phase 2 boundary, South 57 Degrees 57 Minutes 29 Seconds East, 275.64 Feet to point;

Thence, with a new line, South 85 Degrees 14 Minutes 05 Seconds West, 405.45 Feet to a point;

Thence, South 85 Degrees 14 Minutes 05 Seconds West, 16.44 Feet to a point;

Thence, South 76 Degrees 19 Minutes 52 Seconds West, 104.77 Feet to a point;

Thence, South 80 Degrees 38 Minutes 15 Seconds West, 156.62 Feet to a point;

Thence, South 82 Degrees 42 Minutes 58 Seconds West, 92.42 Feet to a point;

Thence, South 89 Degrees 00 Minutes 44 Seconds West, 76.16 Feet to a point;

Thence, North 84 Degrees 01 Minutes 58 Seconds West, 105.54 Feet to a point on the easterly boundary of the William Ronald Travis, II and Shawna B. Travis property, of record in Instrument No. 20240729-0057189, Register's Office for Davidson County, Tennessee;

Thence, following the easterly boundary of said Travis property, North 10 Degrees 17 Minutes 54 Seconds East, 99.72 Feet to an 1/2" Iron Rod (New), "RLS 1732" on the bank of the Harpeth River;

Thence, following the top of bank of the Harpeth River, South 82 Degrees 30 Minutes 40 Seconds East, 138.37 Feet to an 1/2" Iron Rod (Old), "RLS 1444";

Thence, continuing with the top of bank of the Harpeth River, North 74 Degrees 41 Minutes 40 Seconds East, 581.52 Feet to the Point of Beginning.

Containing 104,560 square feet or 2.40 acres.

Being part of the same property conveyed to Harpeth Overlook Partners, LLC, of record in Instrument No. 20240729-0057187, Register's Office for Davidson County, Tennessee.



5100 TENNESSEE AVENUE, NASHVILLE, TN 37209
(615) 622-7200 | WWW.CATALYST-DG.COM

PROJECT:
CONSERVATION SUBDIVISION
HARPETH OVERLOOK

McCrary Lane
Nashville, Tennessee

TITLE: CONSERVATION GREENWAY
EASEMENT EXHIBIT

PROJ #	20240011	DWG. NO.	EXH-A
DATE:	10.23.2025		

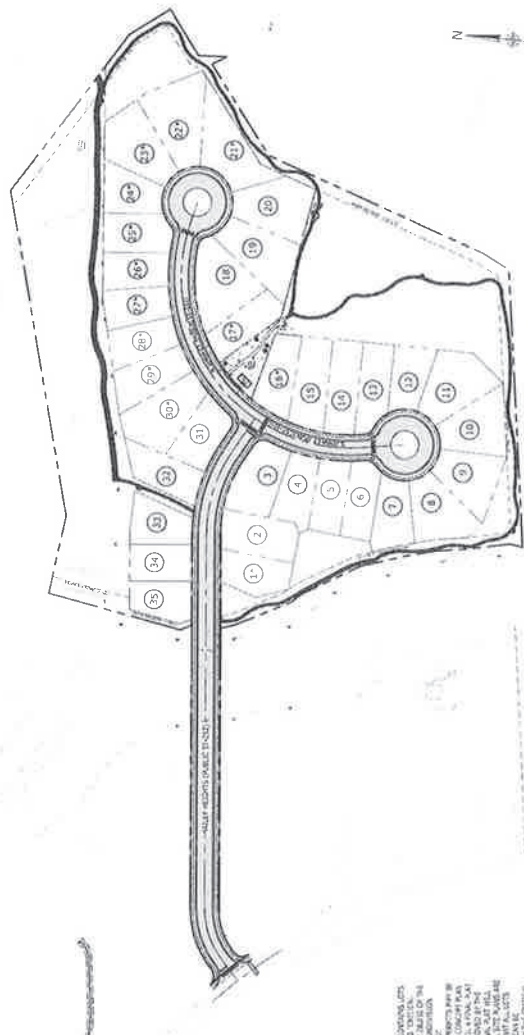
DEVELOPMENT PLAN RESUBMITTAL CONSERVATION SUBDIVISION HARPETH OVERLOOK

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

MPC CASE NO.: 20245-083-003
 CATALYST PROJECT NO. 20240011
 MAY 02, 2025
 SWGR# T2024060952



Sheet Number	Sheet Title
C00	COVER SHEET
C01	EXISTING CONDITIONS
C02	SITE NOTES
C03	INSTALL EROSION PROTECTION SEDIMENT CONTROL
C04	TEMPORARY PROTECTION SEDIMENT CONTROL
C05	PARK FACILITIES PROTECTION SEDIMENT CONTROL
C06	DESIGN AND CONSTRUCTION DETAILS
C07	SEWER AND SANITARY MAINS
C08	DETAILED SITE LAYOUT
C09	DETAILED SITE LAYOUT
C10	DETAILED SITE LAYOUT
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C98	DETAILED SITE LAYOUT
C99	DETAILED SITE LAYOUT
C100	DETAILED SITE LAYOUT



Subdivision Approval

Preliminary Final Amendment
 Full Conditional Site Approval
 Other (Specify)

MPC Case No. 20245-083-003 By LESLIE BROWN
 Admin. Date 5/2/2025

METROPOLITAN PLANNING COMMISSION

DEVELOPMENT SITE DATA

OWNER: DAVIDSON COUNTY

PROJECT ADDRESS: 15 GARDEN STREET, NASHVILLE, TN 37210

PROJECT NUMBER: 20240011

PROJECT NAME: HARPETH OVERLOOK

PROJECT CONTACT: LESLIE BROWN

PROJECT PHONE: 615.259.1234

PROJECT FAX: 615.259.1234

PROJECT EMAIL: leслиe@metropoliandesign.com

PROJECT WEBSITE: www.harpethoverlook.com

PROJECT MAP: SWGR# T2024060952

PROJECT PLAN: 20240011

PROJECT DATE: 5/2/2025

PROJECT TIME: 10:00 AM

PROJECT LOCATION: 15 GARDEN STREET, NASHVILLE, TN 37210

PROJECT ZONING: OS-1

PROJECT AREA: 1.2 ACRES

PROJECT PERMITS: CONSERVATION SUBDIVISION

PROJECT STATUS: FINAL

PROJECT NOTES: SEE SHEET C01 FOR EXISTING CONDITIONS

CONSERVATION SUBDIVISION SITE DATA

PROJECT NUMBER: 20240011

PROJECT NAME: HARPETH OVERLOOK

PROJECT ADDRESS: 15 GARDEN STREET, NASHVILLE, TN 37210

PROJECT ZONING: OS-1

PROJECT AREA: 1.2 ACRES

PROJECT PERMITS: CONSERVATION SUBDIVISION

PROJECT STATUS: FINAL

PROJECT NOTES: SEE SHEET C01 FOR EXISTING CONDITIONS

DEVELOPMENT NOTES

1. THE SUBDIVISION IS TO BE CONVEYED TO THE COUNTY AS A CONSERVATION SUBDIVISION.

2. THE SUBDIVISION SHALL BE SUBJECT TO THE CONSERVATION SUBDIVISION ACT.

3. THE SUBDIVISION SHALL BE SUBJECT TO THE CONSERVATION SUBDIVISION ACT.

4. THE SUBDIVISION SHALL BE SUBJECT TO THE CONSERVATION SUBDIVISION ACT.

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9. THE SUBDIVISION SHALL BE SUBJECT TO THE CONSERVATION SUBDIVISION ACT.

10. THE SUBDIVISION SHALL BE SUBJECT TO THE CONSERVATION SUBDIVISION ACT.

URBAN FORESTER NOTE

THE SUBDIVISION IS TO BE CONVEYED TO THE COUNTY AS A CONSERVATION SUBDIVISION.

THE SUBDIVISION SHALL BE SUBJECT TO THE CONSERVATION SUBDIVISION ACT.

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CONSERVATION SUBDIVISION DEVELOPMENT PLAN RESUBMITTAL 2025-08-03

CONSERVATION SUBDIVISION DEVELOPMENT PLAN RESUBMITTAL 2025-08-03

CONSERVATION SUBDIVISION DEVELOPMENT PLAN RESUBMITTAL 2025-08-03

STORM SEWER NOTES

- 1. ALL STORM SEWER STRUCTURES, INCLUDING MANHOLES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS AND... 2. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS AND... 3. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS AND...

SITE UTILITY NOTES

- 1. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLANS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH... 2. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLANS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH...

AS-BUILT REQUIREMENTS

- 1. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CITY ENGINEER WITHIN 30 DAYS OF THE DATE OF COMPLETION OF THE PROJECT... 2. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CITY ENGINEER WITHIN 30 DAYS OF THE DATE OF COMPLETION OF THE PROJECT...

TREE PROTECTION NOTES

- 1. ALL TREES TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD... 2. ALL TREES TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD... 3. ALL TREES TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD...

EROSION CONTROL NOTES

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD... 2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD... 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD...

ADA ACCESSIBILITY NOTES

- 1. ALL PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY STANDARDS... 2. ALL PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY STANDARDS... 3. ALL PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY STANDARDS...

PROJECT NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS...

DEMOLITION NOTES

- 1. ALL EXISTING STRUCTURES TO BE DEMOLISHED SHALL BE DEMOLISHED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS... 2. ALL EXISTING STRUCTURES TO BE DEMOLISHED SHALL BE DEMOLISHED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS...

ADA ACCESSIBILITY NOTES

- 1. ALL PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY STANDARDS... 2. ALL PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY STANDARDS... 3. ALL PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY STANDARDS...

STORM SEWER NOTES

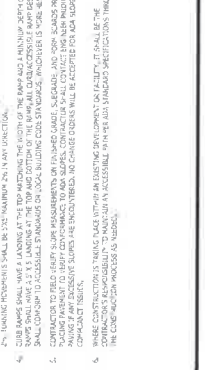
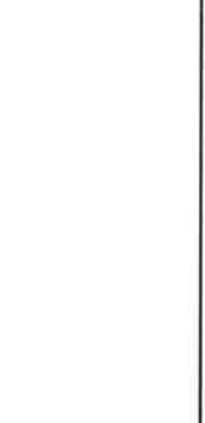
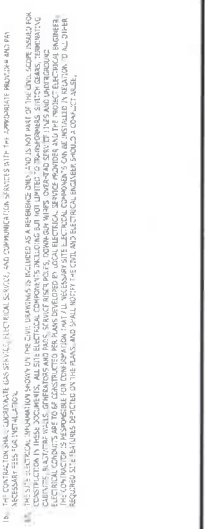
- 1. ALL STORM SEWER STRUCTURES, INCLUDING MANHOLES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS AND... 2. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AND STATE STANDARD SPECIFICATIONS AND...

SITE UTILITY NOTES

- 1. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLANS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH... 2. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLANS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH...

AS-BUILT REQUIREMENTS


- 1. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CITY ENGINEER WITHIN 30 DAYS OF THE DATE OF COMPLETION OF THE PROJECT... 2. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CITY ENGINEER WITHIN 30 DAYS OF THE DATE OF COMPLETION OF THE PROJECT...



McCrory Lane Conservation Subdivision Development Plan Resubmittal 2025-08-03

Catalyst DESIGN GROUP
5100 TOWNSEND AVENUE, NASHVILLE, TN 37218
615.733.2727 | WWW.CATALYSTDESIGN.COM

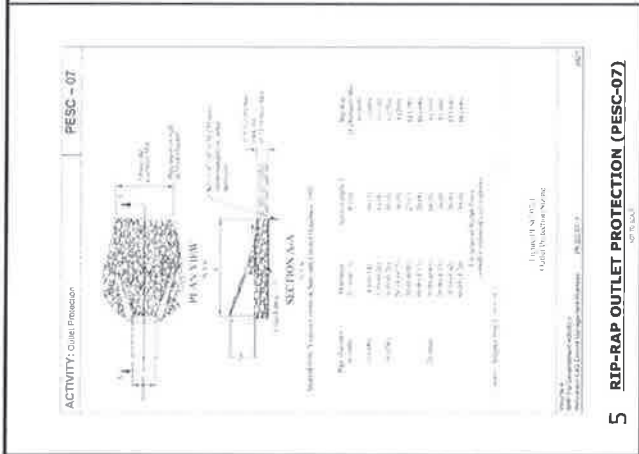
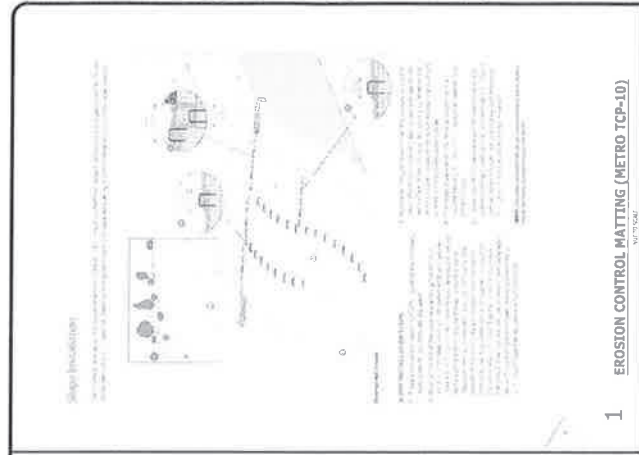
AERA LIVING
13 GARDENVIEW
NASHVILLE, TN 37210



CONSERVATION SUBDIVISION HARPEH OVERLOOK
DEVELOPMENT PLAN RESUBMITTAL
2024S-003-003
MCORRY LAKE
MADISON COUNTY, TENNESSEE, 37222

SEDIMENT AND EROSION CONTROL DETAILS

PROJECT NUMBER: 24-003-003
DRAWING NUMBER: C3.4

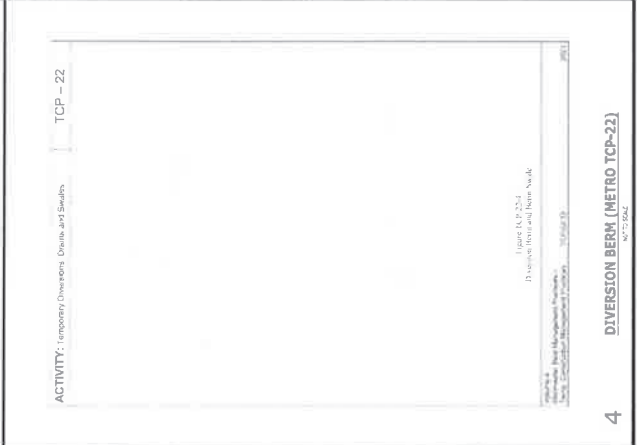
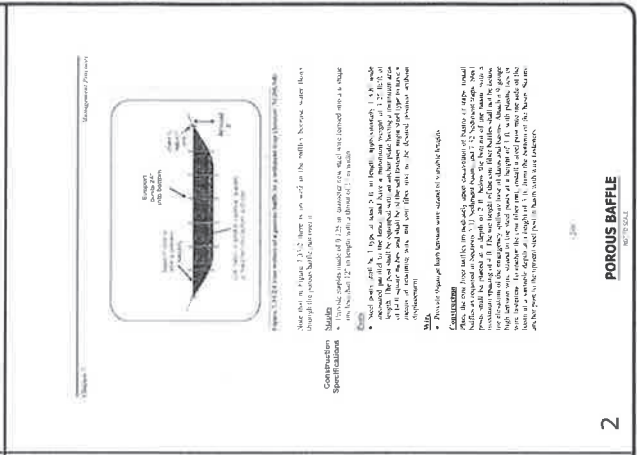


STREAM BUFFER SIGN (METRO)
NOT TO SCALE

STREAM BUFFER SIGN (METRO)
NOT TO SCALE

DO NOT DISTURB
Metro-Nashville Stormwater NPDES Department
880-2420

NOTES:
1. SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
2. SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
3. SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
4. SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
5. SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:



SEDIMENT TRAP/BASIN VOLUME CALCULATIONS

SEDIMENT TRAP ID	DRAINAGE AREA (AC)	DRY STORAGE RECD (CF)	DRY STORAGE RECD (CV)	WEIR LENGTH (FT) (E = D.A.)	ELEVATION A (FT)	ELEVATION B (FT)	ELEVATION C (FT)	S.A. (SF)	S.A. (SF)	S.A. (SF)	DRY STORAGE PROVD (CF)	DRY STORAGE PROVD (CV)	WET STORAGE PROVD (CF)	WET STORAGE PROVD (CV)
1	4.75	659.2	118.3	65.0	118.3	118.3	118.3	73.5	73.5	73.5	27,257	27,257	1,621	1,621

PLEASE REFER TO THE INITIAL PLAN FOR LOCATION OF A MAINY OUTLET TO BE USED FOR LOCATION

SEDIMENT TRAP (METRO TCP-17)
NOT TO SCALE

ISO VIEW

NOTES:
1. SEDIMENT TRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
2. SEDIMENT TRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
3. SEDIMENT TRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
4. SEDIMENT TRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
5. SEDIMENT TRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:



20245-003-003
 DEVELOPMENT PLAN RESUBMITTAL
HARPETH OVERLOOK
 CONSERVATION SUBDIVISION
 MCCROY LANE
 MCKNOY LANE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37211

NO.	DATE	DESCRIPTION
1	02/15/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
2	03/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
3	04/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
4	05/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
5	06/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
6	07/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
7	08/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
8	09/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
9	10/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
10	11/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
11	12/15/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
12	01/15/25	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL

SITE DEMOLITION
 SHEET NO. 1
 PROJECT NO. 20245-003-003
 DRAWING NUMBER
C4.0





ARMA LIVING
15 BARBER STREET
NASHVILLE, TN 37203
615.259.1133



20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
CONSERVATION SUBDIVISION
HARPETH OVERLOOK
MCCORMY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221

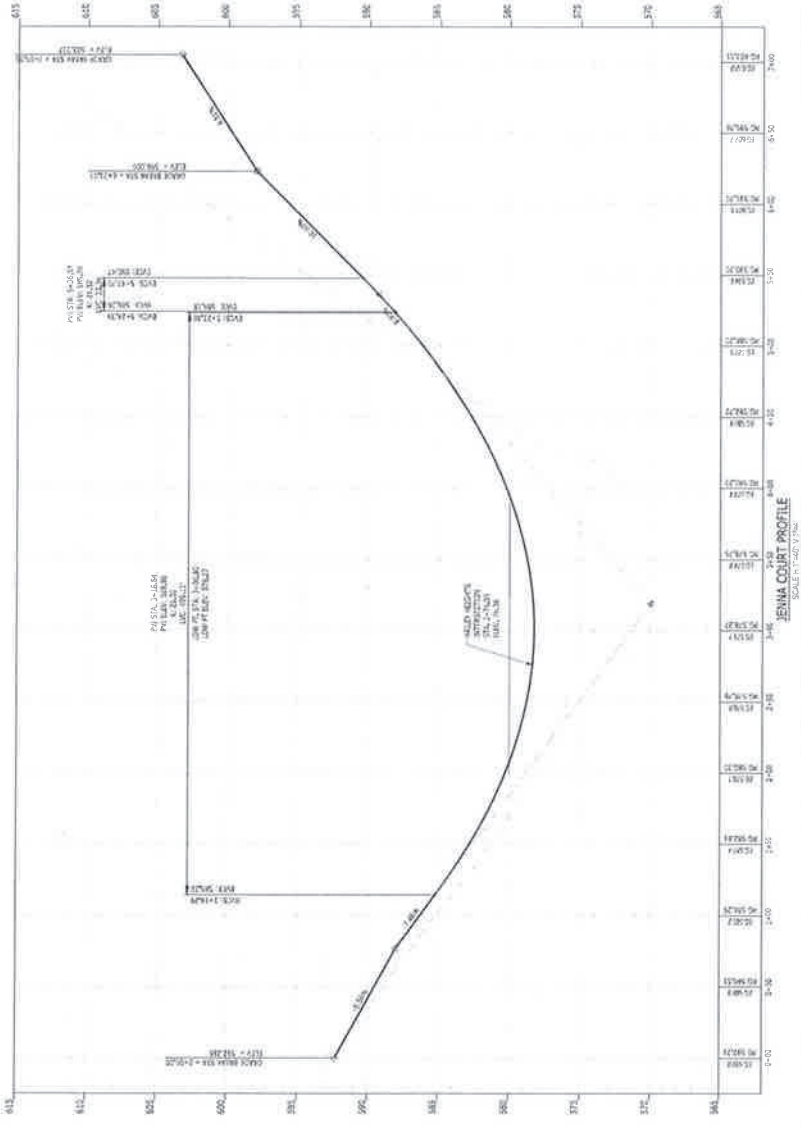
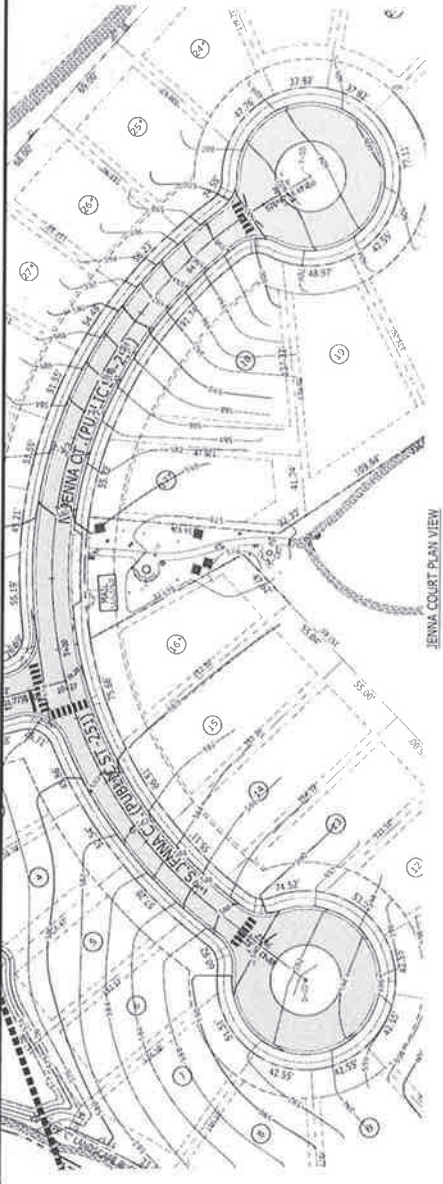
NO.	DATE	DESCRIPTION
2024.02	2024.02.02	CONSERVATION PLAN RESUBMITTAL
2024.04	2024.04.14	CONSERVATION PLAN RESUBMITTAL
2024.05	2024.05.14	CONSERVATION PLAN RESUBMITTAL
2024.06	2024.06.14	CONSERVATION PLAN RESUBMITTAL
2024.07	2024.07.14	CONSERVATION PLAN RESUBMITTAL
2024.08	2024.08.14	CONSERVATION PLAN RESUBMITTAL
2024.09	2024.09.14	CONSERVATION PLAN RESUBMITTAL
2024.10	2024.10.14	CONSERVATION PLAN RESUBMITTAL
2024.11	2024.11.14	CONSERVATION PLAN RESUBMITTAL
2024.12	2024.12.14	CONSERVATION PLAN RESUBMITTAL
2025.01	2025.01.14	CONSERVATION PLAN RESUBMITTAL
2025.02	2025.02.14	CONSERVATION PLAN RESUBMITTAL

JENNA COURT ROAD
PROFILE
C5.5

JENNA COURT DESIGN DATA

- DESIGN SPEED: 25 MPH
- POSTED SPEED: 30 MPH
- MINIMUM HORIZONTAL RADIUS: 181 FT.
- MINIMUM "K" VALUES:
- CREST CURVE: 12
- SAG CURVE: 25

DESIGN SPEEDS ARE TO BE USED FOR THE DESIGN OF HIGHWAYS AND STREETS.
STANDARDS FOR CURVE DESIGN AND STREETS





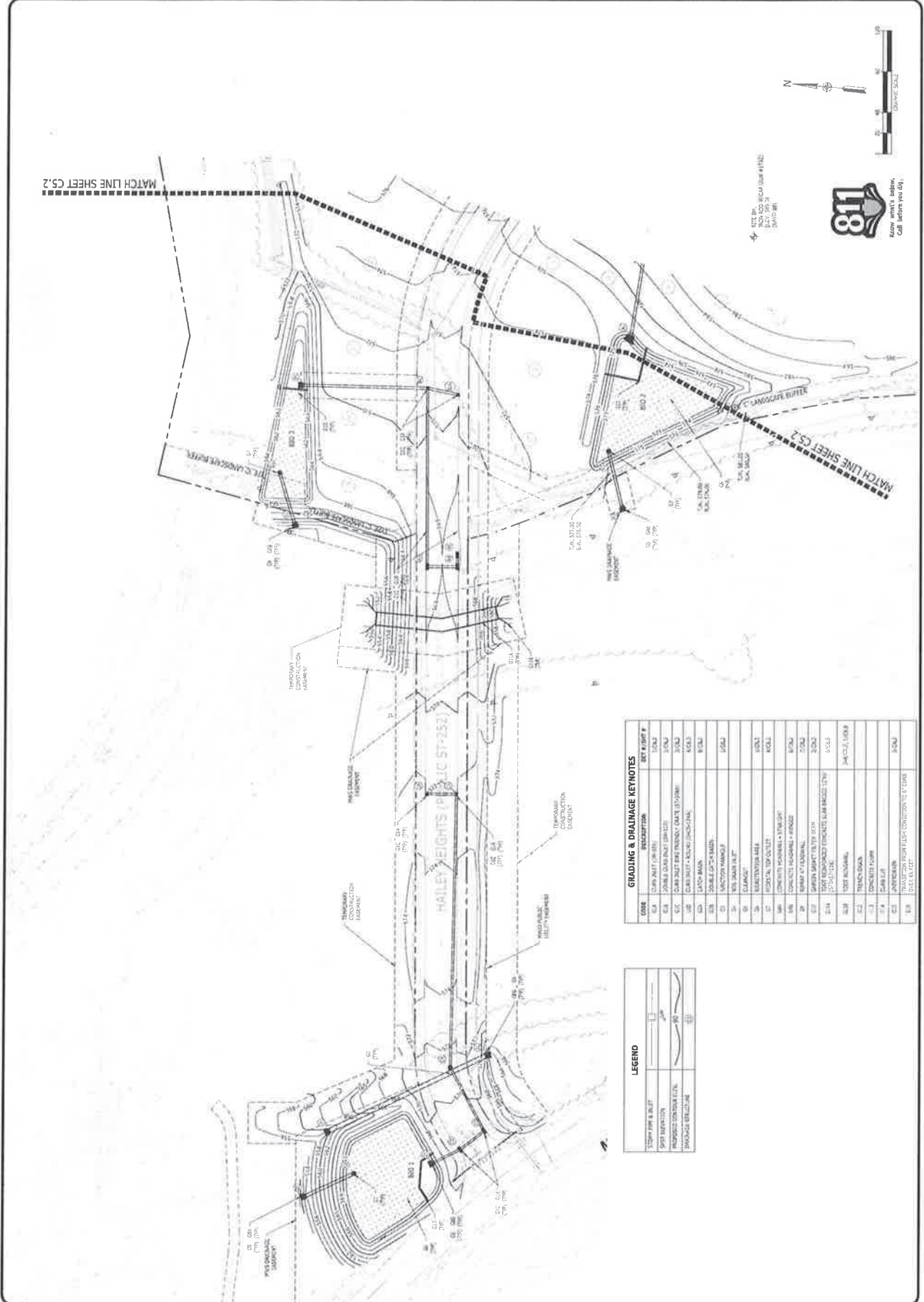
ARFA LYING
 15 KENNETH STREET
 NASHVILLE, TN 37203
 615.259.4100



20245-083-003
 DEVELOPMENT PLAN RESUBMITTAL
HARPETH OVERLOOK
 CONSERVATION SUBDIVISION
 MCCORMY LANE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221

NO.	DATE	DESCRIPTION
2024.08.03	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
2024.08.02	2024.08.02	DEVELOPMENT PLAN RESUBMITTAL
2024.08.01	2024.08.01	DEVELOPMENT PLAN RESUBMITTAL
2024.07.31	2024.07.31	DEVELOPMENT PLAN RESUBMITTAL
2024.07.30	2024.07.30	DEVELOPMENT PLAN RESUBMITTAL
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2024.07.18	2024.07.18	DEVELOPMENT PLAN RESUBMITTAL
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2024.07.04	2024.07.04	DEVELOPMENT PLAN RESUBMITTAL
2024.07.03	2024.07.03	DEVELOPMENT PLAN RESUBMITTAL
2024.07.02	2024.07.02	DEVELOPMENT PLAN RESUBMITTAL
2024.07.01	2024.07.01	DEVELOPMENT PLAN RESUBMITTAL

C6.1
 SHEET NUMBER
 SHEET TITLE
DETAILED SITE GRADING & DRAINAGE



MATCH LINE SHEET C5.2

ST. 18
 100' 0" 0' 0" 0"
 100' 0" 0' 0" 0"
 100' 0" 0' 0" 0"

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	SET NUMBER
01	EXISTING FINISH ELEVATION	100
02	PROPOSED FINISH ELEVATION	100
03	PROPOSED CONCRETE FINISH ELEVATION	100
04	PROPOSED FINISH ELEVATION	100
05	PROPOSED FINISH ELEVATION	100
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LEGEND

PROPOSED FINISH ELEVATION	100
PROPOSED CONCRETE FINISH ELEVATION	100
PROPOSED FINISH ELEVATION	100
PROPOSED FINISH ELEVATION	100



AREA LIVING
15 GARDEN STREET
NASHVILLE, TN 37210
602.451.7733

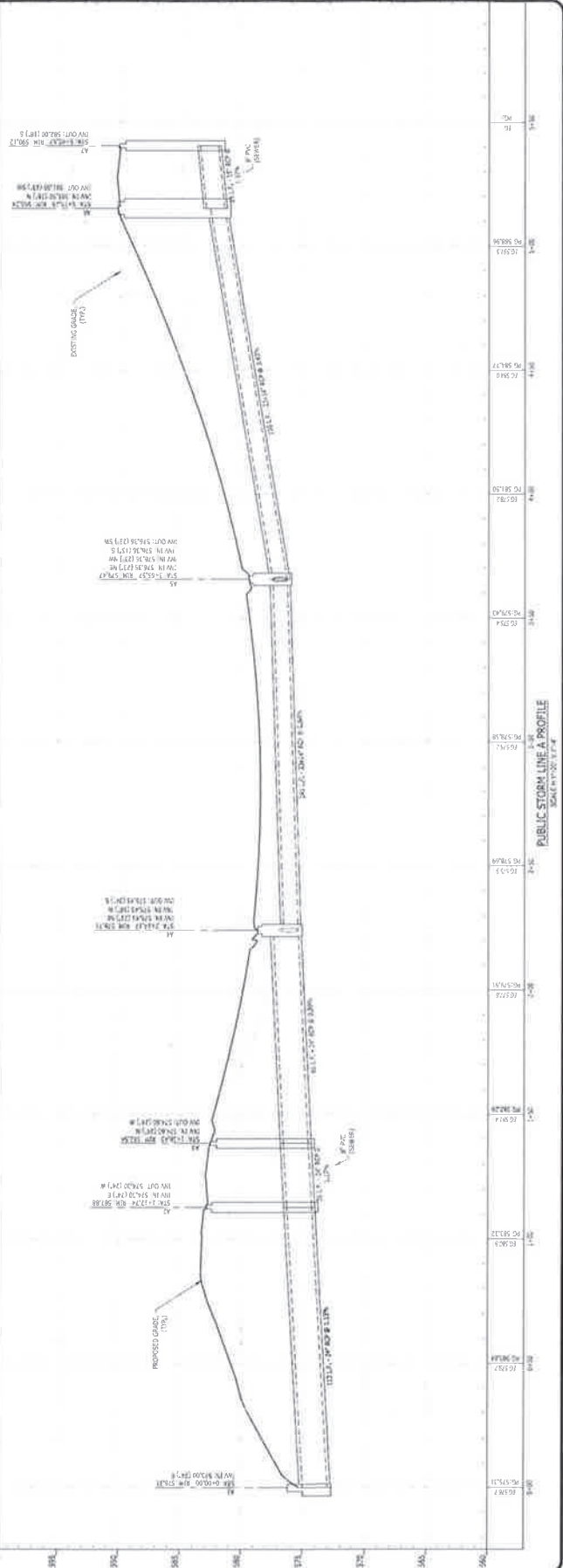
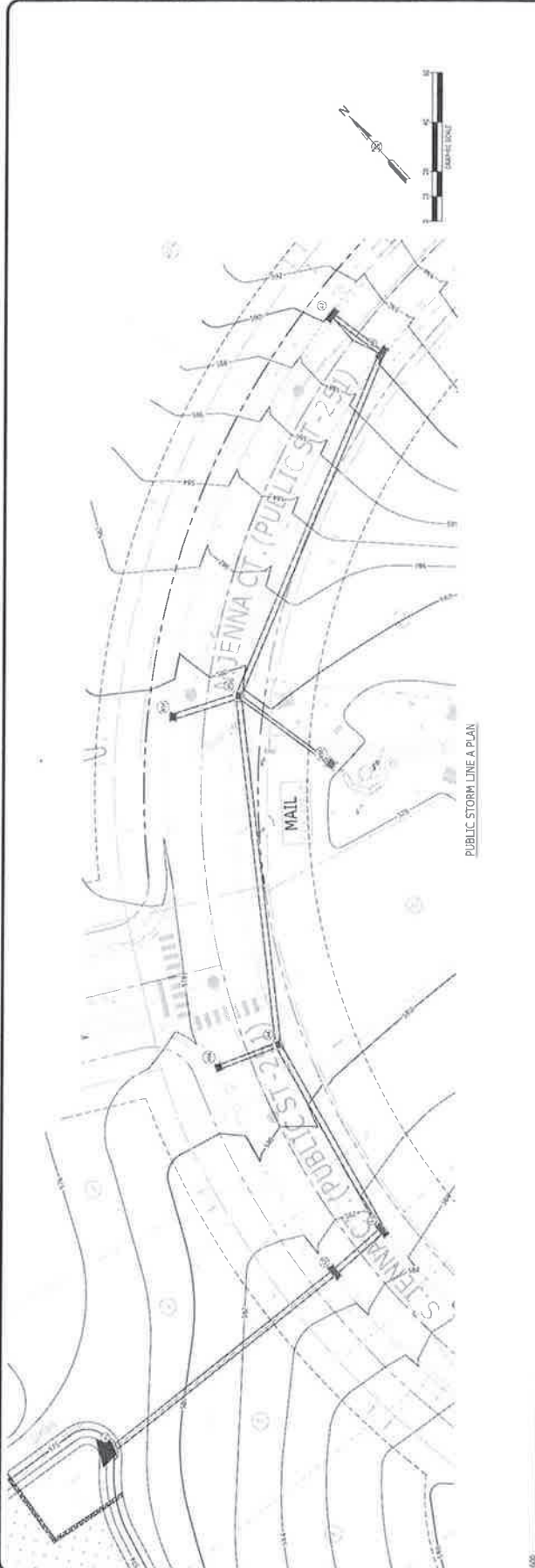


20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
HARPETH OVERLOOK
MCCORMY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221

NO.	DESCRIPTION
1	DEVELOPMENT PLAN RESUBMITTAL
2	DEVELOPMENT PLAN RESUBMITTAL
3	DEVELOPMENT PLAN RESUBMITTAL
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49	DEVELOPMENT PLAN RESUBMITTAL
50	DEVELOPMENT PLAN RESUBMITTAL

PROJECT NUMBER: 20245-083-003
DATE: 08/15/24
PUBLIC STORM PLAN
& PROFILE - LINE A

C6.3



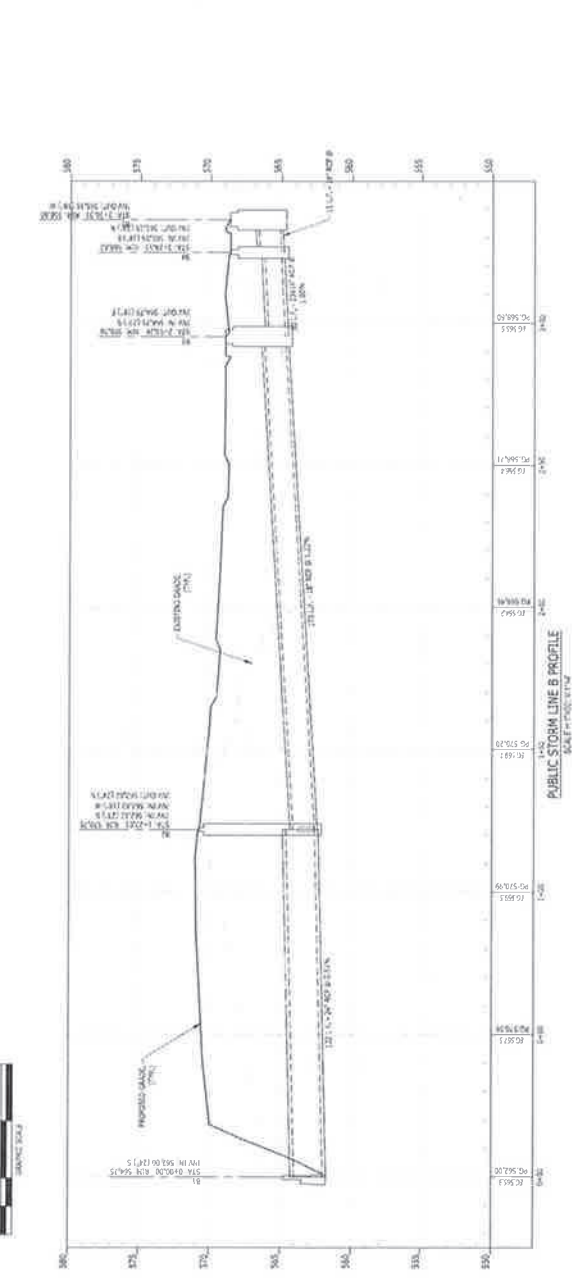
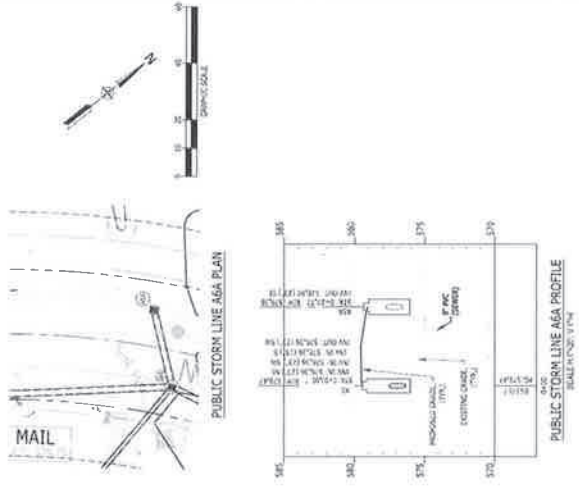
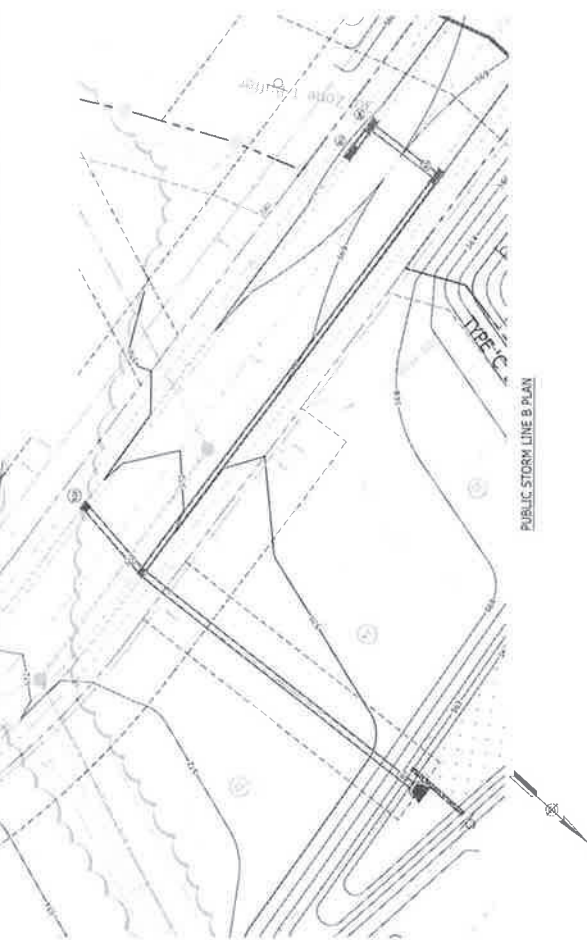
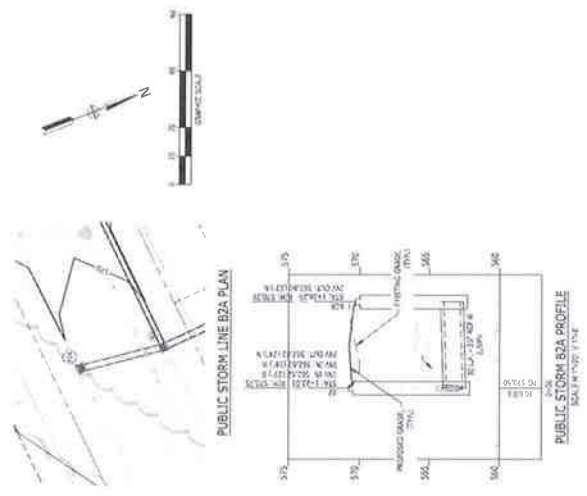
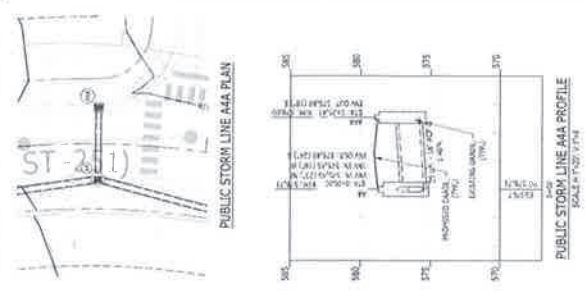


20245-083-003
 DEVELOPMENT PLAN RESUBMITTAL
HARPETH OVERLOOK
 CONSERVATION SUBDIVISION
 MCCORMY LANE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221

NO.	DATE	DESCRIPTION
001	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
002	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
003	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
004	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
005	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
006	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
007	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
008	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
009	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
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012	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
013	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
014	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
015	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
016	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
017	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
018	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
019	08/03/24	DEVELOPMENT PLAN RESUBMITTAL
020	08/03/24	DEVELOPMENT PLAN RESUBMITTAL

PUBLIC STORM PLAN & PROFILE - LINE A4A, LINE A6A & LINE B

C6.4





AREA LIVING
15 CAMDEN STREET
NASHVILLE, TN 37203
615.259.1333

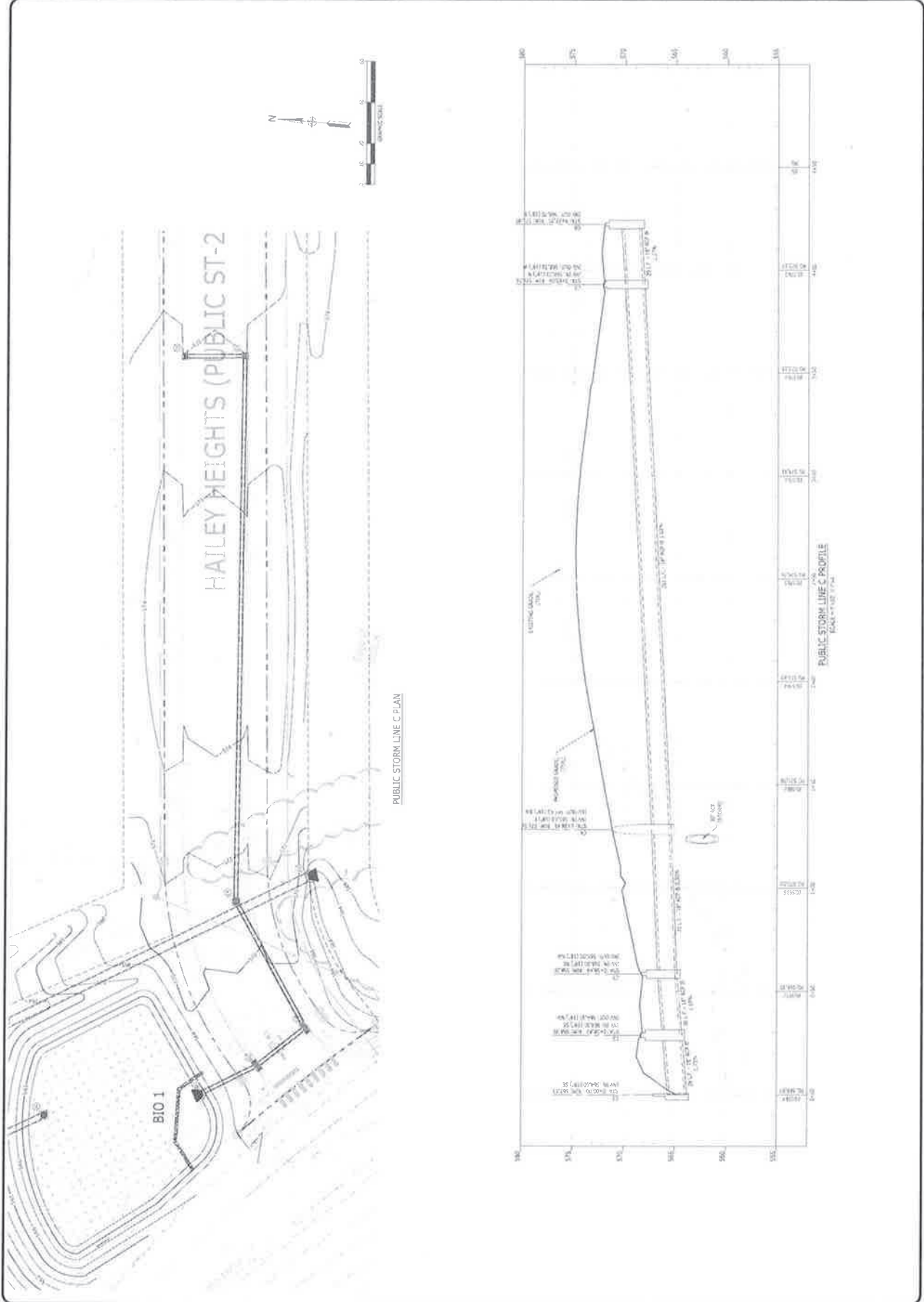



2025-083-003
DEVELOPMENT PLAN RESUBMITTAL
CONSERVATION SUBDIVISION
HARPETH OVERLOOK
NOCCHOY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221

NO.	DATE	DESCRIPTION
1	08/15/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
2	08/22/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
3	09/05/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
4	09/12/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
5	09/19/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
6	09/26/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
7	10/03/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
8	10/10/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
9	10/17/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
10	10/24/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
11	10/31/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
12	11/07/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
13	11/14/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
14	11/21/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
15	11/28/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
16	12/05/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
17	12/12/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
18	12/19/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
19	12/26/25	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
20	01/02/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
21	01/09/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
22	01/16/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
23	01/23/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
24	01/30/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
25	02/06/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
26	02/13/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
27	02/20/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
28	02/27/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
29	03/06/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
30	03/13/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
31	03/20/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
32	03/27/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
33	04/03/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
34	04/10/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
35	04/17/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
36	04/24/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
37	05/01/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
38	05/08/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
39	05/15/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
40	05/22/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
41	05/29/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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43	06/12/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
44	06/19/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
45	06/26/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
46	07/03/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
47	07/10/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
48	07/17/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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54	08/28/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
55	09/04/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
56	09/11/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
57	09/18/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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59	10/02/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
60	10/09/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
61	10/16/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
62	10/23/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
63	10/30/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
64	11/06/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
65	11/13/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
66	11/20/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
67	11/27/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
68	12/04/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
69	12/11/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
70	12/18/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
71	12/25/26	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
72	01/01/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
73	01/08/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
74	01/15/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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80	02/26/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
81	03/05/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
82	03/12/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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87	04/16/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
88	04/23/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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96	06/18/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
97	06/25/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
98	07/02/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
99	07/09/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
100	07/16/27	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL

PUBLIC STORM PLAN
& PROFILE - LINE C
SCALE: 1"=40'

C6.5





1700 EAST AVENUE SUITE 1000
NASHVILLE, TN 37212



15 GARDEN STREET
NASHVILLE, TN 37203



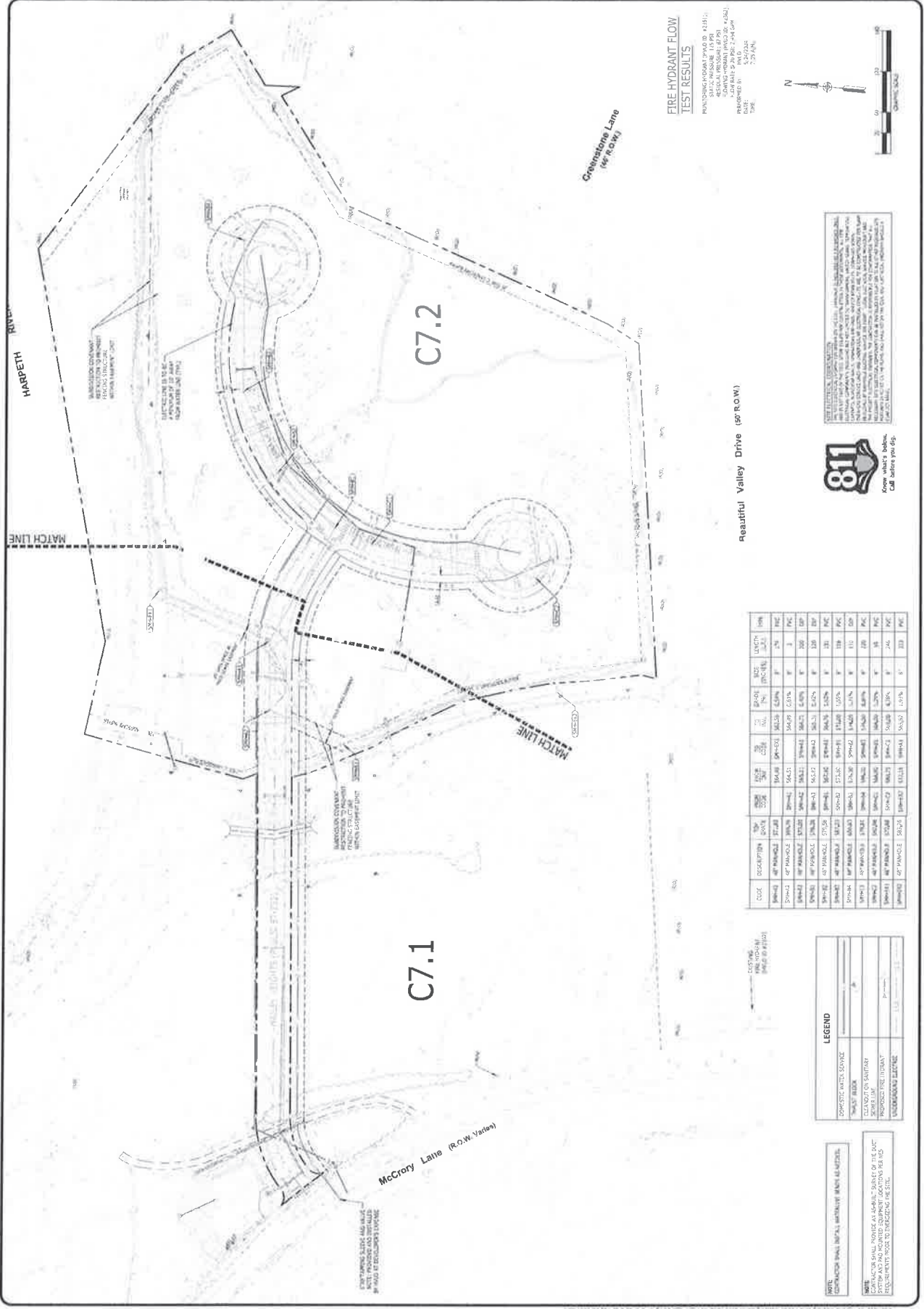
2024-083-003
DEVELOPMENT PLAN RESUBMITTAL
HARPETH SUBDIVISION
CONSERVATION OVERLOOK
MCCRORY LANE
NASHVILLE DAVIDSON COUNTY, TENNESSEE 37221

REVISIONS

NO.	DATE	DESCRIPTION
001	08/01/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
002	08/01/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
003	08/01/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
004	08/01/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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019	08/01/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
020	08/01/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL

OVERALL SITE UTILITIES

PROJECT NUMBER: 2024-083-003
DRAWING NUMBER: C7.0



FIRE HYDRANT FLOW TEST RESULTS

HYDRANT ID: 42181
 TEST DATE: 08/01/24
 TEST TIME: 2:27 PM
 TESTER: [Name]
 TEST RESULTS: [Data]

Realtor: Valley Drive (R.O.W.)



CODE	DESCRIPTION	NO.	DATE	BY	REVISION	DATE	BY	REVISION	DATE	BY	REVISION	DATE	BY	REVISION	DATE	BY	REVISION
001	08/01/24	001	08/01/24	001	08/01/24	001	08/01/24	001	08/01/24	001	08/01/24	001	08/01/24	001	08/01/24	001	08/01/24
002	08/01/24	002	08/01/24	002	08/01/24	002	08/01/24	002	08/01/24	002	08/01/24	002	08/01/24	002	08/01/24	002	08/01/24
003	08/01/24	003	08/01/24	003	08/01/24	003	08/01/24	003	08/01/24	003	08/01/24	003	08/01/24	003	08/01/24	003	08/01/24
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005	08/01/24	005	08/01/24	005	08/01/24	005	08/01/24	005	08/01/24	005	08/01/24	005	08/01/24	005	08/01/24	005	08/01/24
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007	08/01/24	007	08/01/24	007	08/01/24	007	08/01/24	007	08/01/24	007	08/01/24	007	08/01/24	007	08/01/24	007	08/01/24
008	08/01/24	008	08/01/24	008	08/01/24	008	08/01/24	008	08/01/24	008	08/01/24	008	08/01/24	008	08/01/24	008	08/01/24
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LEGEND

DOMESTIC WATER SERVICE
SEWER
STORMWATER
UTILITY EASEMENT
PROPOSED FIRE HYDRANT
PROPOSED FIRE TOWER
UNDERSIGNAL EASEMENT

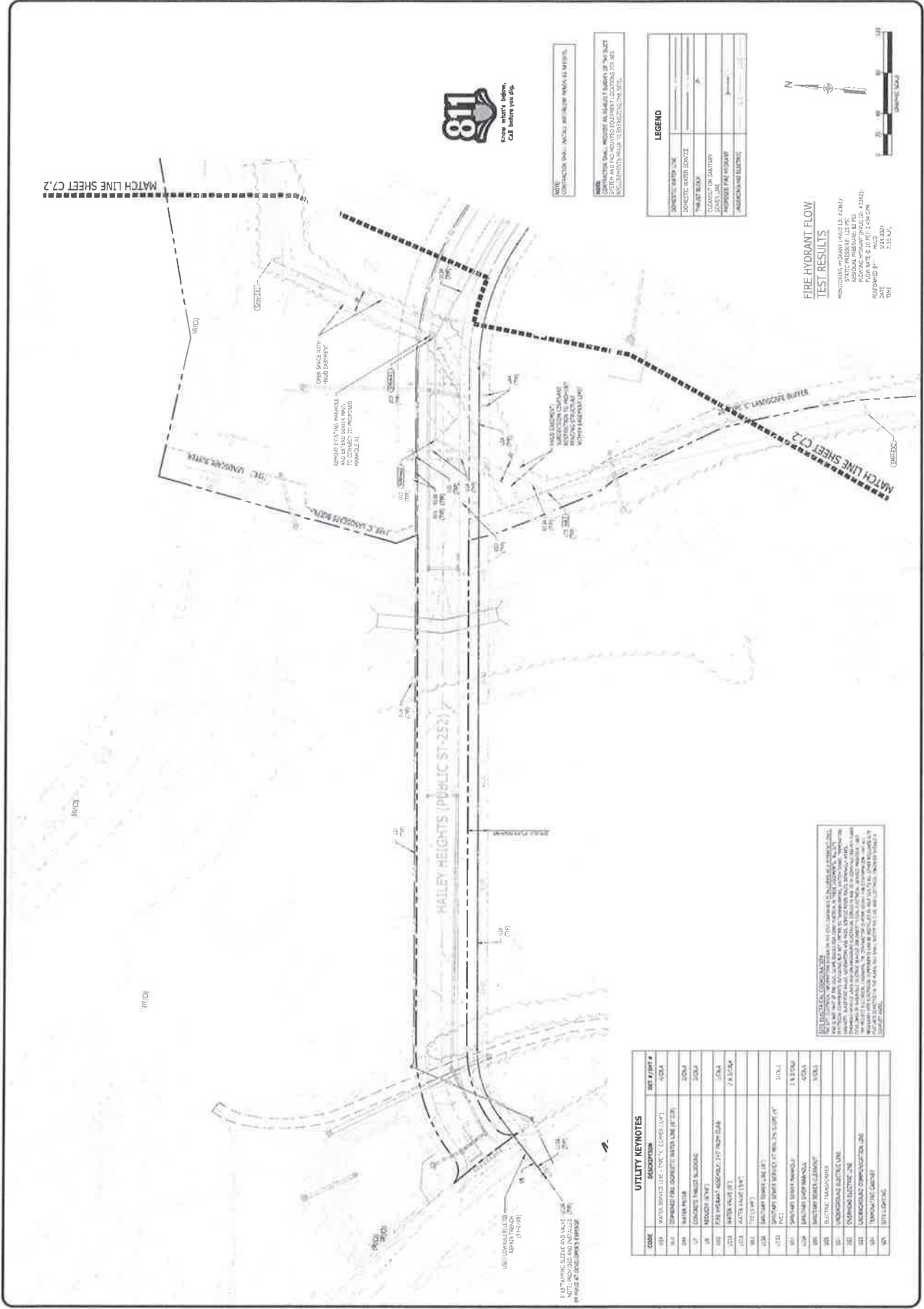
NOTE: CONSTRUCTION SHALL INSTALL UTILITIES IN ACCORDANCE WITH THE CITY OF NASHVILLE'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF UTILITIES. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NASHVILLE'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF UTILITIES. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NASHVILLE'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF UTILITIES.



2023-08-03-003
 DEVELOPMENT PLAN RESUBMITTAL
 HARRETH OVERLOOK
 MCCRORY LANE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37221

NO.	DATE	DESCRIPTION
001	08/03/23	DEVELOPMENT PLAN RESUBMITTAL
002	08/03/23	DEVELOPMENT PLAN RESUBMITTAL
003	08/03/23	DEVELOPMENT PLAN RESUBMITTAL
004	08/03/23	DEVELOPMENT PLAN RESUBMITTAL
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009	08/03/23	DEVELOPMENT PLAN RESUBMITTAL
010	08/03/23	DEVELOPMENT PLAN RESUBMITTAL

DETAILED SITE UTILITIES
 PROJECT NUMBER: 23-00011
 SHEET NUMBER: C7.1



MATCH LINE SHEET C7.2

JAMES CLARKSON BLVD

HAILEY HEIGHTS (PUBLIC ST-252)

MATCH LINE SHEET C7.2

CODE	DESCRIPTION	SET / UNIT #
001	WATER SERVICE LINE (12" DIA) COPED (10')	4/20A
002	CONCRETE FIRE HYDRANT WATER LINE (12" DIA)	2/20A
003	12" WATER MAIN	2/20A
004	CONCRETE TRENCH BUILDING	2/20A
005	12" CONCRETE TRENCH	2/20A
006	12" CONCRETE TRENCH	2/20A
007	12" CONCRETE TRENCH	2/20A
008	12" CONCRETE TRENCH	2/20A
009	12" CONCRETE TRENCH	2/20A
010	12" CONCRETE TRENCH	2/20A

FIRE HYDRANT FLOW TEST RESULTS
 POSITION: 434001 (434012 434013)
 STATIC PRESSURE: 122 PSIG
 FLOW RATE @ 2.0 PSI: 2.4 GPM
 FLOW RATE @ 2.0 PSI: 2.4 GPM
 DATE: 08/03/23
 TIME: 7:35 AM

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	CONCRETE TRENCH
(Symbol)	CONCRETE WATER SERVICE
(Symbol)	12" WATER MAIN
(Symbol)	CONCRETE TRENCH BUILDING
(Symbol)	12" CONCRETE TRENCH
(Symbol)	12" CONCRETE TRENCH
(Symbol)	12" CONCRETE TRENCH
(Symbol)	12" CONCRETE TRENCH
(Symbol)	12" CONCRETE TRENCH
(Symbol)	12" CONCRETE TRENCH

NOTE:
 CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.



Know what's below. Call before you dig.

GENERAL NOTES:
 1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA.
 2. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 4. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 5. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.



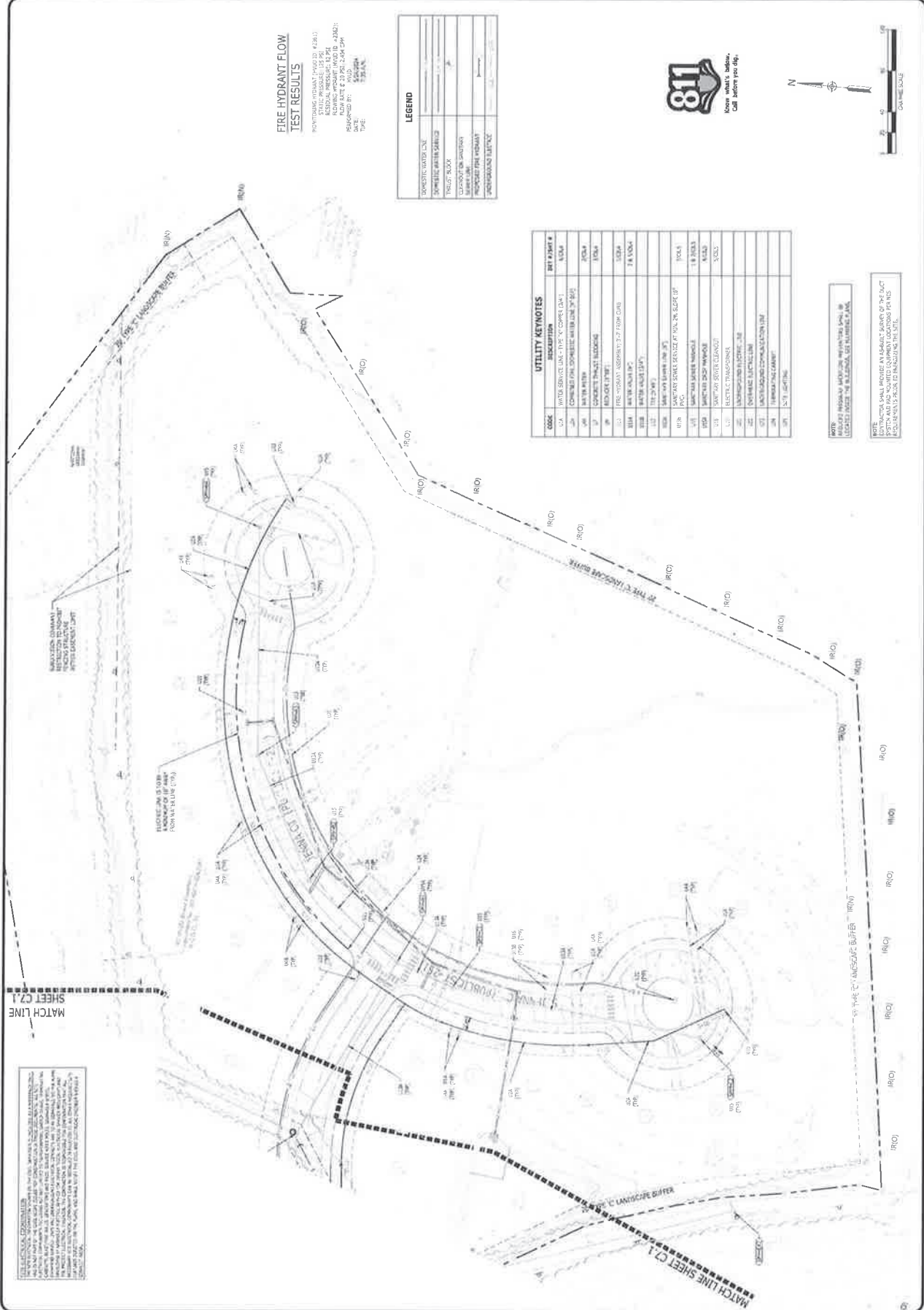
ARLA LIVING
11 KENNEDY BLVD
NASHVILLE, TN 37203
615.259.1232



2024S-08A-003
DEVELOPMENT PLAN RESUBMITTAL
HARPETH SUBDIVISION
MCCROBY LANE
NASHVILLE DAVIDSON COUNTY, TENNESSEE 37221

NO.	DATE	DESCRIPTION
0001	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0002	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0003	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0004	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0005	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0006	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
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0008	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0009	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
0010	08/14/24	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL

PROJECT NUMBER:
20240011
DRAWING NUMBER:
C7.2



FIRE HYDRANT FLOW TEST RESULTS
 MOUNTAIN HYDRANT (PHOTO BY 4/26/23)
 1.5" DIAMETER
 NOMINAL PRESSURE 8.5 PSI
 FLOW CAPACITY (GPM @ 4.5 PSI):
 1,000 GPM @ 4.5 PSI
 750 GPM @ 15.0 PSI
 500 GPM @ 20.0 PSI

LEGEND

CONCRETE CURED CURB	---
CONCRETE DRIVE	---
ASPHALT DRIVE	---
GRASS	---
PAVED DRIVE	---
PAVED DRIVE	---
PAVED DRIVE	---
PAVED DRIVE	---
PAVED DRIVE	---
PAVED DRIVE	---
PAVED DRIVE	---



UTILITY KEYNOTES

CODE	DESCRIPTION	DEPT. AGENCY
UA	WATER SERVICE LINE - 12" VC CORP. (D&T)	UA/VA
UC	COMBINE FIRE HYDRANT AND WATER SERVICE LINE	UC/VA
UB	WATER MAIN	UB/VA
UC	CONCRETE TRUNK SEWERAGE	UC/VA
UD	SEWER MAIN	UD/VA
UE	PRE-INSTALLED ASSEMBLY (P.I.) FOR GAS	UE/VA
UF	WATER MAIN (P.I.)	UF/VA
UG	WATER MAIN (P.I.)	UG/VA
UH	WATER MAIN (P.I.)	UH/VA
UI	WATER MAIN (P.I.)	UI/VA
UJ	WATER MAIN (P.I.)	UJ/VA
UK	WATER MAIN (P.I.)	UK/VA
UL	WATER MAIN (P.I.)	UL/VA
UM	WATER MAIN (P.I.)	UM/VA
UN	WATER MAIN (P.I.)	UN/VA
UO	WATER MAIN (P.I.)	UO/VA
UP	WATER MAIN (P.I.)	UP/VA
UQ	WATER MAIN (P.I.)	UQ/VA
UR	WATER MAIN (P.I.)	UR/VA
US	WATER MAIN (P.I.)	US/VA
UT	WATER MAIN (P.I.)	UT/VA
UU	WATER MAIN (P.I.)	UU/VA
UV	WATER MAIN (P.I.)	UV/VA
UW	WATER MAIN (P.I.)	UW/VA
UX	WATER MAIN (P.I.)	UX/VA
UY	WATER MAIN (P.I.)	UY/VA
UZ	WATER MAIN (P.I.)	UZ/VA
VA	WATER MAIN (P.I.)	VA/VA
VB	WATER MAIN (P.I.)	VB/VA
VC	WATER MAIN (P.I.)	VC/VA
VD	WATER MAIN (P.I.)	VD/VA
VE	WATER MAIN (P.I.)	VE/VA
VF	WATER MAIN (P.I.)	VF/VA
VG	WATER MAIN (P.I.)	VG/VA
VH	WATER MAIN (P.I.)	VH/VA
VI	WATER MAIN (P.I.)	VI/VA
VJ	WATER MAIN (P.I.)	VJ/VA
VK	WATER MAIN (P.I.)	VK/VA
VL	WATER MAIN (P.I.)	VL/VA
VM	WATER MAIN (P.I.)	VM/VA
VN	WATER MAIN (P.I.)	VN/VA
VO	WATER MAIN (P.I.)	VO/VA
VP	WATER MAIN (P.I.)	VP/VA
VQ	WATER MAIN (P.I.)	VQ/VA
VR	WATER MAIN (P.I.)	VR/VA
VS	WATER MAIN (P.I.)	VS/VA
VT	WATER MAIN (P.I.)	VT/VA
VU	WATER MAIN (P.I.)	VU/VA
VV	WATER MAIN (P.I.)	VV/VA
VW	WATER MAIN (P.I.)	VW/VA
VX	WATER MAIN (P.I.)	VX/VA
VY	WATER MAIN (P.I.)	VY/VA
VZ	WATER MAIN (P.I.)	VZ/VA

NOTES:
 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON THE LATEST AVAILABLE RECORD DRAWINGS AND FIELD SURVEY DATA.
 2. VERIFY ALL UTILITY LOCATIONS AND DEPT. AGENCY BEFORE ANY CONSTRUCTION.
 3. VERIFY ALL UTILITY LOCATIONS AND DEPT. AGENCY BEFORE ANY CONSTRUCTION.

LEGEND:
 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON THE LATEST AVAILABLE RECORD DRAWINGS AND FIELD SURVEY DATA.
 2. VERIFY ALL UTILITY LOCATIONS AND DEPT. AGENCY BEFORE ANY CONSTRUCTION.
 3. VERIFY ALL UTILITY LOCATIONS AND DEPT. AGENCY BEFORE ANY CONSTRUCTION.

MATCH LINE SHEET C7.1

MATCH LINE SHEET C7.1



AREA LIVING
15 ARDEN STREET
NASHVILLE, TN 37203
615.259.1733

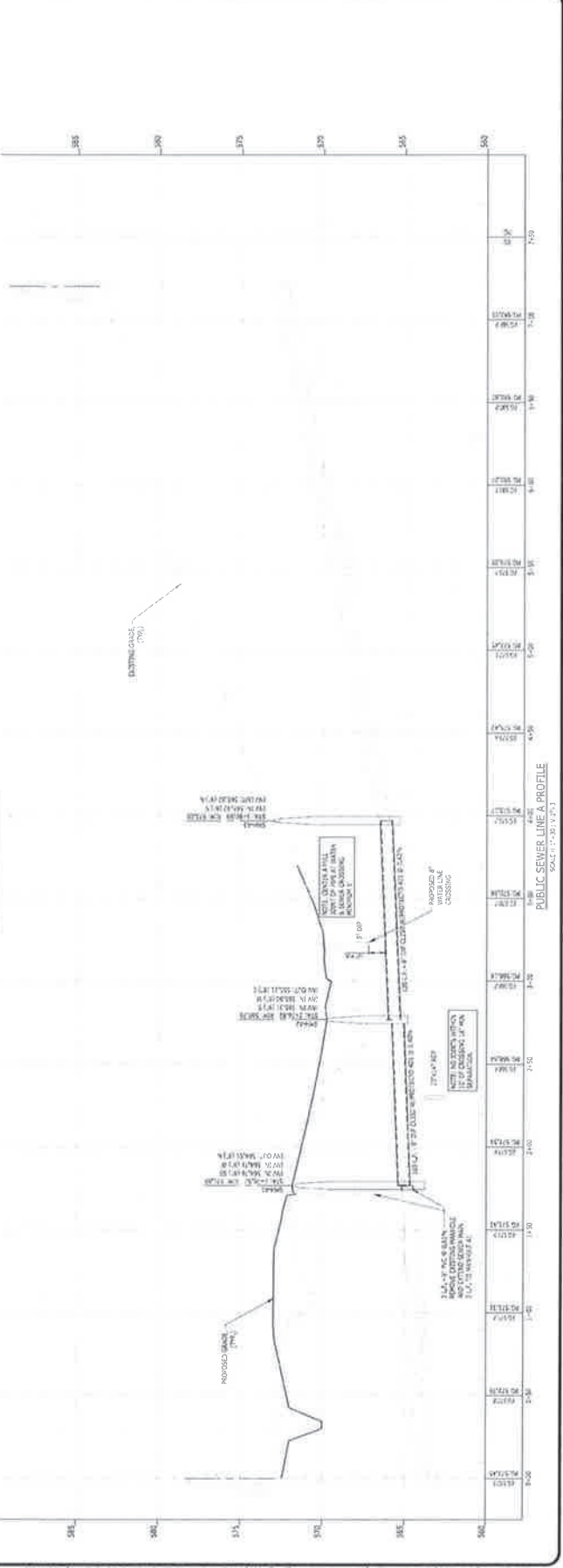


20245-003-003
DEVELOPMENT PLAN RESUBMITTAL
CONSERVATION SUBDIVISION
HARPEH OVERLOOK
MCCROY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221

NO.	DATE	DESCRIPTION
001	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
002	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
003	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
004	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
005	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
006	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
007	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
008	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
009	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
010	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
011	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
012	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
013	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
014	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
015	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
016	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
017	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
018	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
019	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL
020	08/13/24	REVISIONS TO DEVELOPMENT PLAN RESUBMITTAL

DESCRIPTION TITLE
PUBLIC SANITARY SEWER PLAN & PROFILE - LINE A

PROJECT NUMBER
DRAWING NUMBER
C7.3



SEWER LINE A

LOT	STATION	FFE	INL	ITTC	ITE
1	2+7.82	510.72	565.05	569.72	565.37
2	2+12.54	511.76	564.86	570.76	565.64
3	1+86.37	527.33	564.75	571.33	565.19
34	7+94.15	570.21	565.03	569.23	565.47
35	2+76.82	569.86	565.80	567.89	566.70

SEE THESE LOTS FOR THE LOCATION OF THE SEWER LINE. THE LOCATION OF THE SEWER LINE IS SHOWN ON THE ADJACENT SHEET.



DATE PLOTTED: 08/13/24 10:00 AM. PLOT BY: J. B. BROWN. PROJECT: 20245-003-003. SHEET: C7.3 OF 10.



AREA LIVING
NASHVILLE, TN 37210
800.346.1723

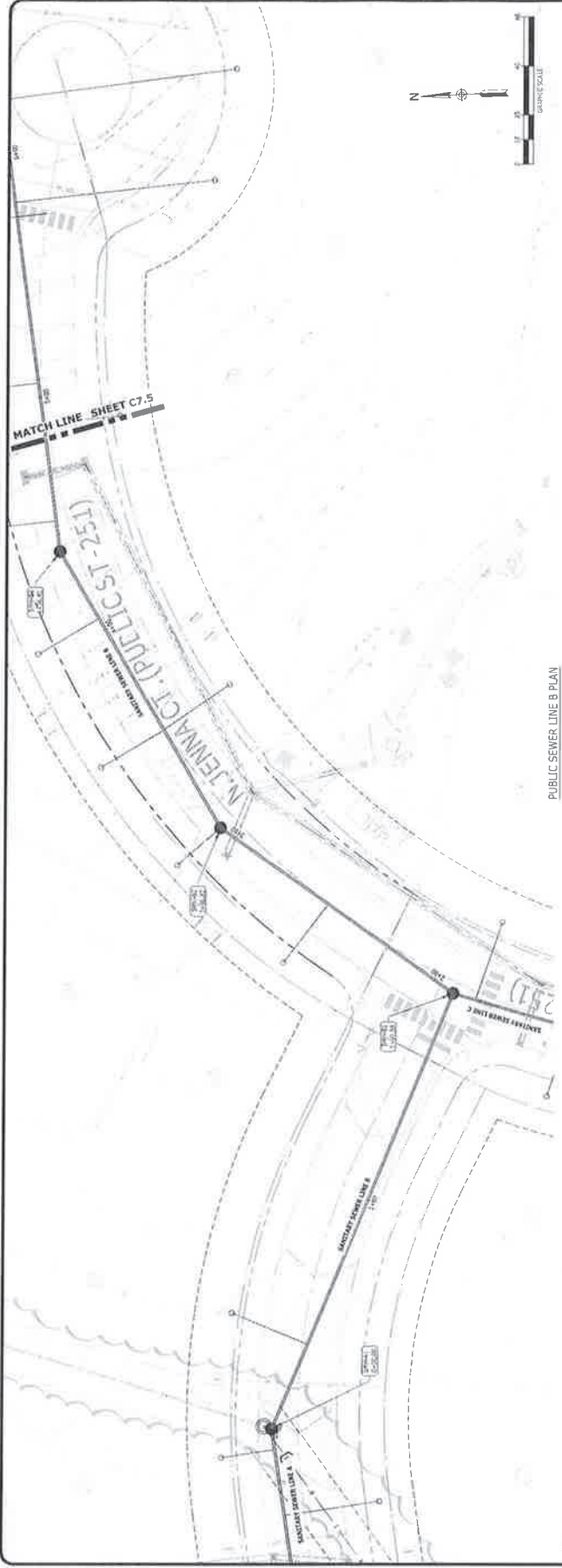


2023-08-003
DEVELOPMENT PLAN RESUBMITTAL
HARPETH OVERLOOK
MCCROY LANE
NASHVILLE DAVIDSON COUNTY, TENNESSEE 37221

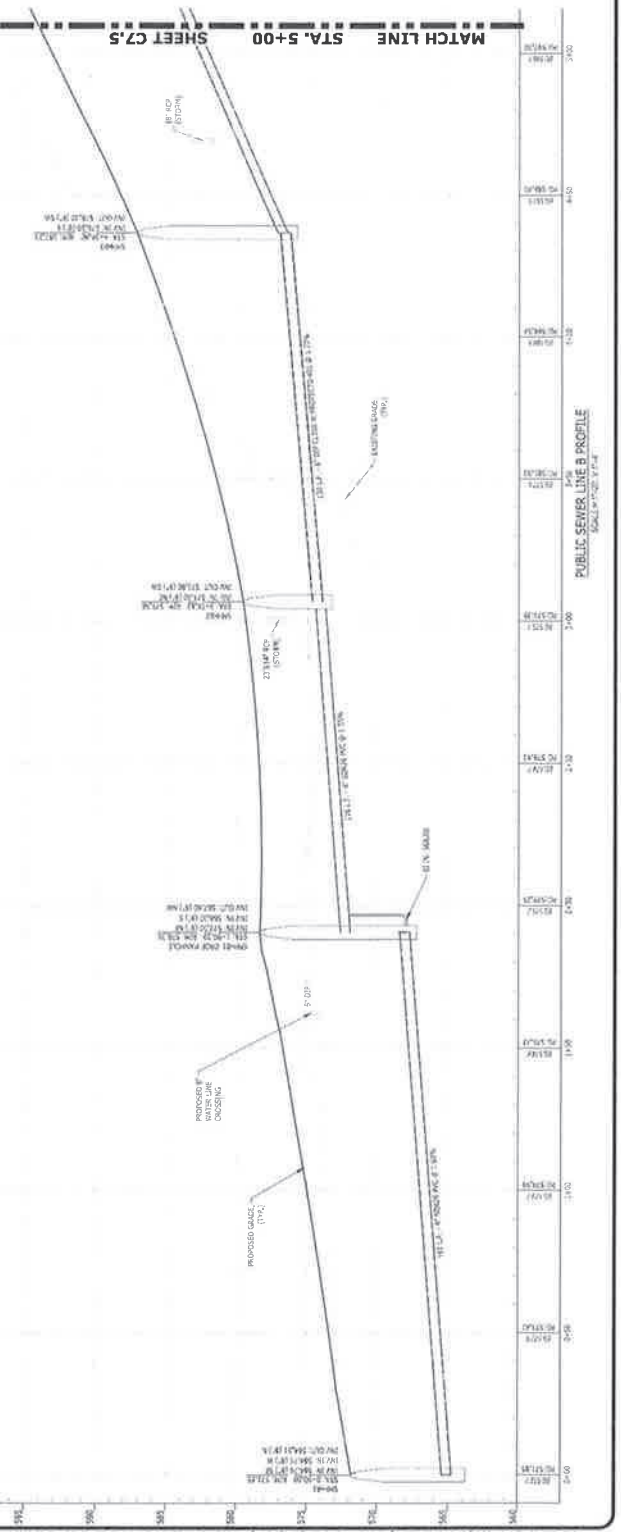
NO.	DATE	DESCRIPTION
001	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
002	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
003	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
004	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
005	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
006	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
007	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
008	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
009	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL
010	08/03/23	PRELIMINARY DEVELOPMENT PLAN RESUBMITTAL

PROJECT NUMBER: 2023-08-003
SHEET NUMBER: 0001
SHEET TITLE: PUBLIC SANITARY SEWER PLAN & PROFILE - LINE B

C7.4



LOT	STATION	FEE	INAL	ITTC	ITTE
17	4+22.72	1,822.13	374.85	381.17	379.46
16	4+466.90	1,955.80	381.17	391.52	387.74
19	3+79.77	809.94	589.15	807.94	1,540.79
20	8+21.75	805.02	592.86	804.02	894.50
21	8+57.26	1,603.37	396.00	695.37	597.51
22	8+57.26	809.45	586.00	695.45	598.94
23	8+57.26	804.75	585.70	692.75	594.45
24	8+57.26	804.75	585.70	692.75	594.45
25	5+73.86	1,603.34	396.02	595.83	586.03
26	3+105.74	594.08	582.60	1,322.89	583.17
27	4+49.55	3,989.31	577.67	3,469.31	578.12
28	4+49.55	1,485.73	675.74	584.07	576.41
29	3+62.72	1,563.81	474.98	582.63	585.40
30	3+62.72	1,563.81	474.98	582.63	585.40
31	2+53.24	578.99	724.97	577.89	573.56
32	3+40.55	1,474.13	585.41	577.45	568.05



1:22/23/2023 11:28 AM Only user: harpeth-overlook-construction-projct-23-08-003-001-1-01-01.dwg at 2023-08-03 11:28 AM



AREA LIVING
17 GARDEN STREET
NASHVILLE, TN 37203
615.259.1733



2024-03-03
DEVELOPMENT PLAN RESUBMITTAL
HARETH OVERLOOK
MCCOY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37221

NO.	DATE	DESCRIPTION
1	03/03/24	INITIAL PLAN SUBMITTAL
2	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
3	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
4	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
5	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
6	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
7	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
8	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
9	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
10	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
11	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
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13	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
14	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
15	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
16	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
17	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
18	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
19	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL
20	03/03/24	REVISIONS TO INITIAL PLAN SUBMITTAL

SITE DETAILS
PROJECT NUMBER: 2024-03-03
DRAWING NUMBER: C8.0

1 SIDEWALK CONSTRUCTION
NOT TO SCALE

GENERAL NOTES:
1. SIDEWALK SHALL BE 4' WIDE IN ALL AREAS UNLESS OTHERWISE NOTED.
2. SIDEWALK SHALL BE CONCRETE WITH A FINISH OF BROOM OR POLISHED.
3. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
4. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
5. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
6. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
7. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
8. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
9. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.
10. SIDEWALK SHALL BE 1/2" BELOW FINISH GRADE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-210
REVISED: 03/03/24

2 EXPANSION JOINT FOR CONC. SIDEWALK
NOT TO SCALE

GENERAL NOTES:
1. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
2. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
3. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
4. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
5. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
6. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
7. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
8. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
9. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.
10. EXPANSION JOINT SHALL BE 1/2" BELOW FINISH GRADE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-210
REVISED: 03/03/24

3 CONCRETE POST CURB
NOT TO SCALE

GENERAL NOTES:
1. CURB SHALL BE 4" HIGH AND 4" WIDE.
2. CURB SHALL BE 4" HIGH AND 4" WIDE.
3. CURB SHALL BE 4" HIGH AND 4" WIDE.
4. CURB SHALL BE 4" HIGH AND 4" WIDE.
5. CURB SHALL BE 4" HIGH AND 4" WIDE.
6. CURB SHALL BE 4" HIGH AND 4" WIDE.
7. CURB SHALL BE 4" HIGH AND 4" WIDE.
8. CURB SHALL BE 4" HIGH AND 4" WIDE.
9. CURB SHALL BE 4" HIGH AND 4" WIDE.
10. CURB SHALL BE 4" HIGH AND 4" WIDE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-210
REVISED: 03/03/24

4 STANDARD CURB & GUTTER
NOT TO SCALE

GENERAL NOTES:
1. CURB SHALL BE 4" HIGH AND 4" WIDE.
2. CURB SHALL BE 4" HIGH AND 4" WIDE.
3. CURB SHALL BE 4" HIGH AND 4" WIDE.
4. CURB SHALL BE 4" HIGH AND 4" WIDE.
5. CURB SHALL BE 4" HIGH AND 4" WIDE.
6. CURB SHALL BE 4" HIGH AND 4" WIDE.
7. CURB SHALL BE 4" HIGH AND 4" WIDE.
8. CURB SHALL BE 4" HIGH AND 4" WIDE.
9. CURB SHALL BE 4" HIGH AND 4" WIDE.
10. CURB SHALL BE 4" HIGH AND 4" WIDE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-210
REVISED: 03/03/24

5 RESIDENTIAL LOCAL STREET
NOT TO SCALE

GENERAL NOTES:
1. STREET SHALL BE 20' WIDE.
2. STREET SHALL BE 20' WIDE.
3. STREET SHALL BE 20' WIDE.
4. STREET SHALL BE 20' WIDE.
5. STREET SHALL BE 20' WIDE.
6. STREET SHALL BE 20' WIDE.
7. STREET SHALL BE 20' WIDE.
8. STREET SHALL BE 20' WIDE.
9. STREET SHALL BE 20' WIDE.
10. STREET SHALL BE 20' WIDE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-252
REVISED: 03/03/24

6 RESIDENTIAL CUL-DE-SAC
NOT TO SCALE

GENERAL NOTES:
1. CUL-DE-SAC SHALL BE 20' WIDE.
2. CUL-DE-SAC SHALL BE 20' WIDE.
3. CUL-DE-SAC SHALL BE 20' WIDE.
4. CUL-DE-SAC SHALL BE 20' WIDE.
5. CUL-DE-SAC SHALL BE 20' WIDE.
6. CUL-DE-SAC SHALL BE 20' WIDE.
7. CUL-DE-SAC SHALL BE 20' WIDE.
8. CUL-DE-SAC SHALL BE 20' WIDE.
9. CUL-DE-SAC SHALL BE 20' WIDE.
10. CUL-DE-SAC SHALL BE 20' WIDE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-252
REVISED: 03/03/24

7 RESIDENTIAL DRIVEWAY RAMP
NOT TO SCALE

GENERAL NOTES:
1. RAMP SHALL BE 10' WIDE.
2. RAMP SHALL BE 10' WIDE.
3. RAMP SHALL BE 10' WIDE.
4. RAMP SHALL BE 10' WIDE.
5. RAMP SHALL BE 10' WIDE.
6. RAMP SHALL BE 10' WIDE.
7. RAMP SHALL BE 10' WIDE.
8. RAMP SHALL BE 10' WIDE.
9. RAMP SHALL BE 10' WIDE.
10. RAMP SHALL BE 10' WIDE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-252
REVISED: 03/03/24

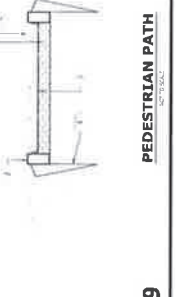
8 PEDESTRIAN PATH
NOT TO SCALE

GENERAL NOTES:
1. PATH SHALL BE 4' WIDE.
2. PATH SHALL BE 4' WIDE.
3. PATH SHALL BE 4' WIDE.
4. PATH SHALL BE 4' WIDE.
5. PATH SHALL BE 4' WIDE.
6. PATH SHALL BE 4' WIDE.
7. PATH SHALL BE 4' WIDE.
8. PATH SHALL BE 4' WIDE.
9. PATH SHALL BE 4' WIDE.
10. PATH SHALL BE 4' WIDE.

METROPOLITAN DEPARTMENT OF PUBLIC WORKS
DATE OF THE: 03/03/24
DWG. NO. ST-252
REVISED: 03/03/24

RESERVED

CODE	NOTES
1	1" MIN OF FINISHED CONCOURSE GRABER WITH ADJUSTABLE SILL AND TYP TO CURB
2	2" MIN. PRESSURE-TREATED PINE (PTP)
3	4" MIN. PRESSURE-TREATED PINE (PTP)
4	12" MIN. CONCRETE CONC. EXPOSED PART
5	12" MIN. CONCRETE CONC. EXPOSED PART
6	12" MIN. CONCRETE CONC. EXPOSED PART
7	12" MIN. CONCRETE CONC. EXPOSED PART
8	12" MIN. CONCRETE CONC. EXPOSED PART
9	12" MIN. CONCRETE CONC. EXPOSED PART
10	12" MIN. CONCRETE CONC. EXPOSED PART
11	12" MIN. CONCRETE CONC. EXPOSED PART
12	12" MIN. CONCRETE CONC. EXPOSED PART
13	12" MIN. CONCRETE CONC. EXPOSED PART
14	12" MIN. CONCRETE CONC. EXPOSED PART
15	12" MIN. CONCRETE CONC. EXPOSED PART
16	12" MIN. CONCRETE CONC. EXPOSED PART
17	12" MIN. CONCRETE CONC. EXPOSED PART
18	12" MIN. CONCRETE CONC. EXPOSED PART
19	12" MIN. CONCRETE CONC. EXPOSED PART
20	12" MIN. CONCRETE CONC. EXPOSED PART





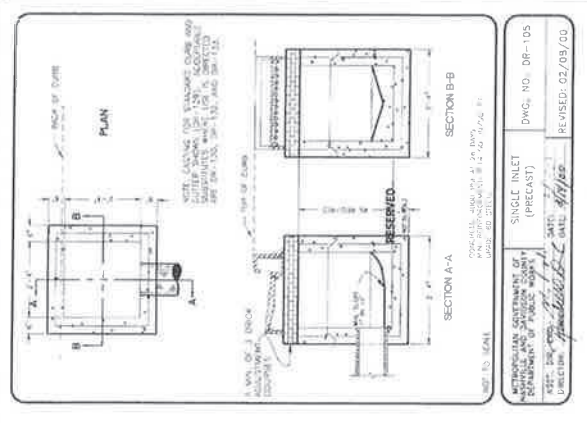
AGRA LIVING
19 GARDEN STREET
NASHVILLE, TN 37203



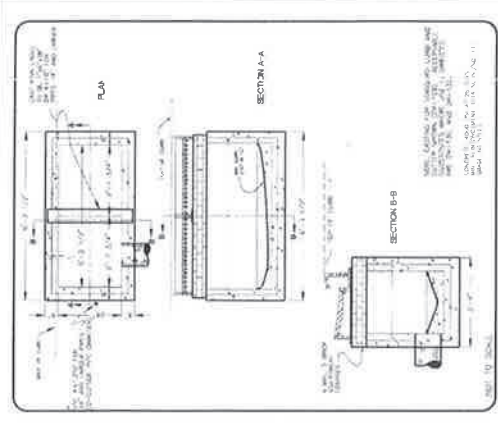
20250823-003
DEVELOPMENT PLAN RESUBMITTAL
HARPETH SUBDIVISION
MCDONOUGH
NASHVILLE, TENNESSEE 37223

NO.	DATE	DESCRIPTION
001	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
002	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
003	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
004	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
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006	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
007	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
008	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
009	08/13/25	DEVELOPMENT PLAN RESUBMITTAL
010	08/13/25	DEVELOPMENT PLAN RESUBMITTAL

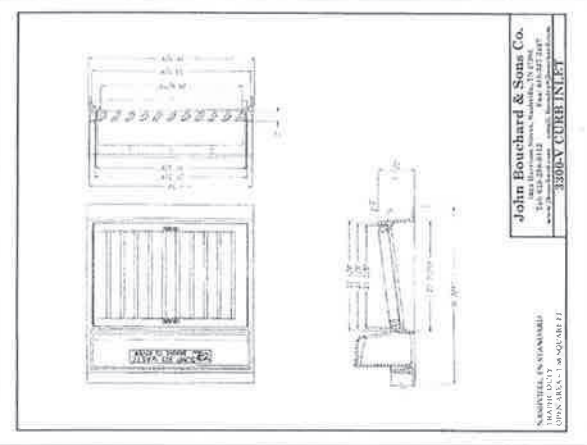
SITE DETAILS
C8.2
SHEET NUMBER
SHEET TOTAL



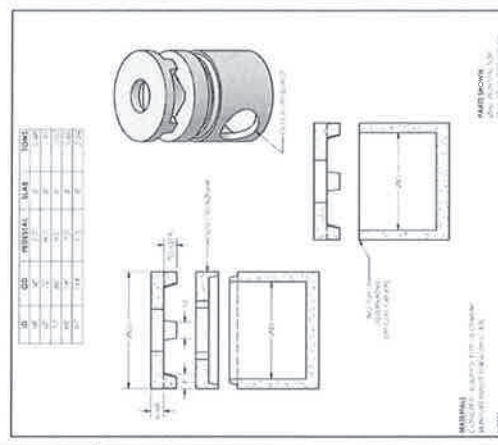
1 SINGLE INLET (DR-105)
VERTICAL



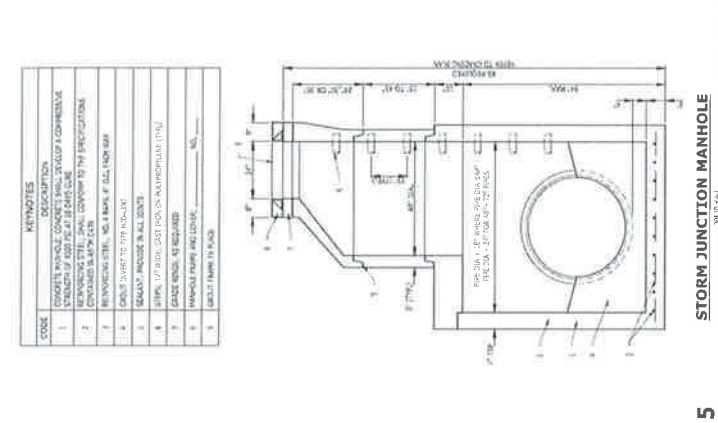
2 DOUBLE INLET (DR-110)
VERTICAL



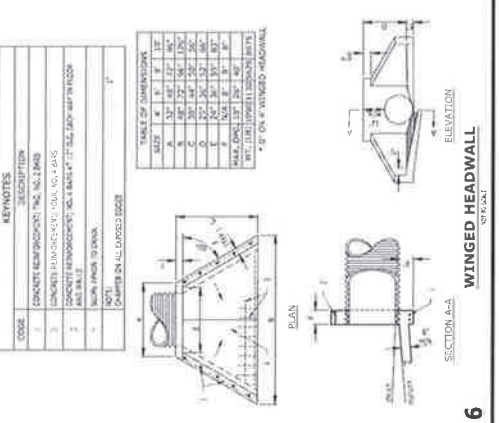
3 PUBLIC INLET (GRATE)
VERTICAL



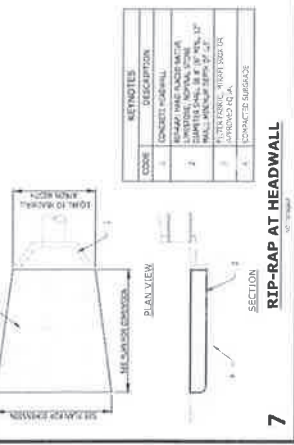
4 PEDESTAL TOP OUTLET STRUCTURE
VERTICAL



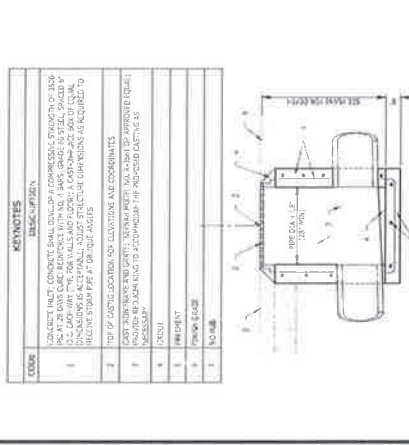
5 STORM JUNCTION MANHOLE
VERTICAL



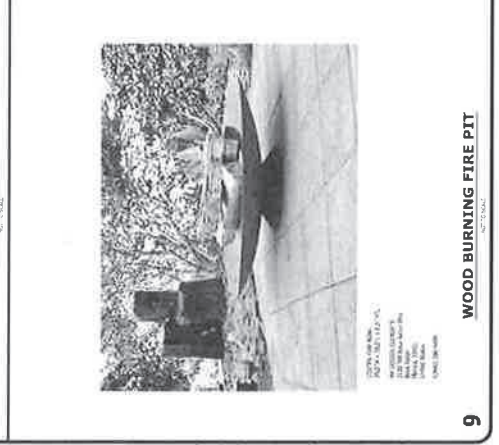
6 WINGED HEADWALL
VERTICAL



7 RIP-RAP AT HEADWALL
VERTICAL



8 CATCH BASIN
VERTICAL



9 WOOD BURNING FIRE PIT
VERTICAL



CONSERVATION SUBDIVISION
HARPETH OVERLOOK
DEVELOPMENT PLAN RESUBMITTAL
MADISON COUNTY, TENNESSEE 37221

NO.	REVISION
1	ISSUED FOR PERMITS
2	REVISED PER COMMENTS FROM PERMITS
3	REVISED PER COMMENTS FROM PERMITS
4	REVISED PER COMMENTS FROM PERMITS
5	REVISED PER COMMENTS FROM PERMITS
6	REVISED PER COMMENTS FROM PERMITS
7	REVISED PER COMMENTS FROM PERMITS
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15	REVISED PER COMMENTS FROM PERMITS
16	REVISED PER COMMENTS FROM PERMITS
17	REVISED PER COMMENTS FROM PERMITS
18	REVISED PER COMMENTS FROM PERMITS
19	REVISED PER COMMENTS FROM PERMITS
20	REVISED PER COMMENTS FROM PERMITS

PROJECT NUMBER	C8.5
DATE	10/15/2024
SCALE	AS SHOWN

HARPETH VALLEY UTILITIES DISTRICT
STANDARD PRECAST CONCRETE MANHOLES
101

1 STANDARD PRECAST CONCRETE MANHOLE (101)
10/15/2024

HARPETH VALLEY UTILITIES DISTRICT
MANHOLE FRAME AND COVER
109

2 MANHOLE FRAME AND COVER (109)
10/15/2024

HARPETH VALLEY UTILITIES DISTRICT
SANITARY SEWER LATERAL
127

3 SANITARY SEWER LATERAL (127)
10/15/2024

HARPETH VALLEY UTILITIES DISTRICT
STANDARD DROP MANHOLE
110

4 STANDARD DROP MANHOLE (110)
10/15/2024

CLEANOUT @ BUILDING
10/15/2024

5

BUBBLER FOUNTAIN
10/15/2024

6

BENCH B
10/15/2024

7

8 RESERVED
10/15/2024

NO.	REVISION
1	ISSUED FOR PERMITS
2	REVISED PER COMMENTS FROM PERMITS
3	REVISED PER COMMENTS FROM PERMITS
4	REVISED PER COMMENTS FROM PERMITS
5	REVISED PER COMMENTS FROM PERMITS
6	REVISED PER COMMENTS FROM PERMITS
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10	REVISED PER COMMENTS FROM PERMITS
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12	REVISED PER COMMENTS FROM PERMITS
13	REVISED PER COMMENTS FROM PERMITS
14	REVISED PER COMMENTS FROM PERMITS
15	REVISED PER COMMENTS FROM PERMITS
16	REVISED PER COMMENTS FROM PERMITS
17	REVISED PER COMMENTS FROM PERMITS
18	REVISED PER COMMENTS FROM PERMITS
19	REVISED PER COMMENTS FROM PERMITS
20	REVISED PER COMMENTS FROM PERMITS

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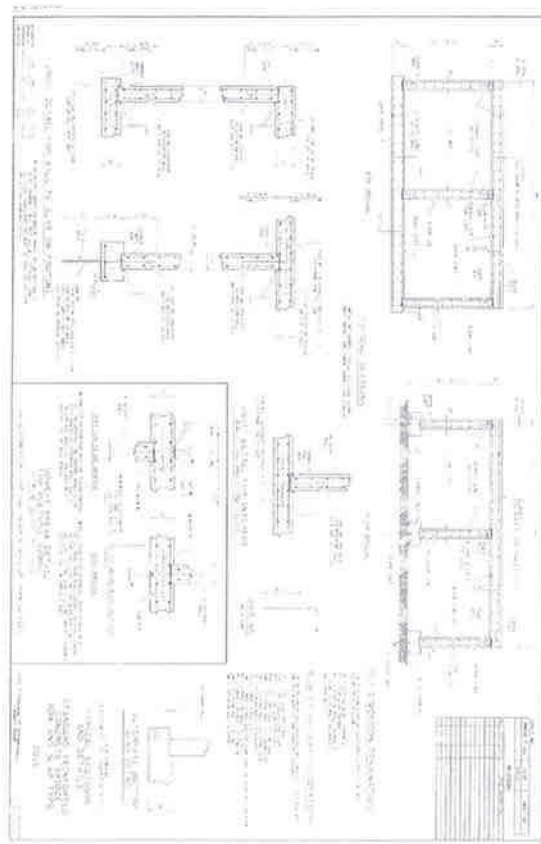
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DESIGN SECTION LIMITS (TDOT STD-17-4)



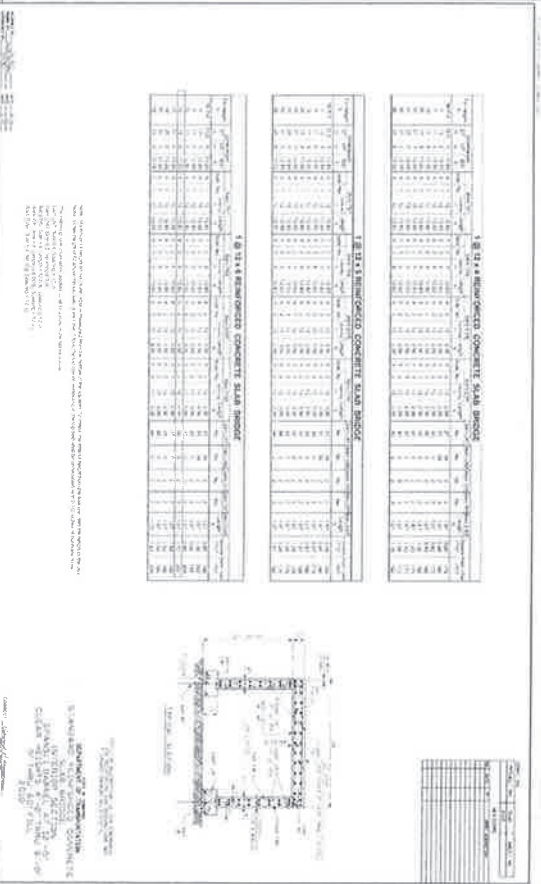
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TYPICAL SECTION AND DETAILS (TDOT STD-17-5)



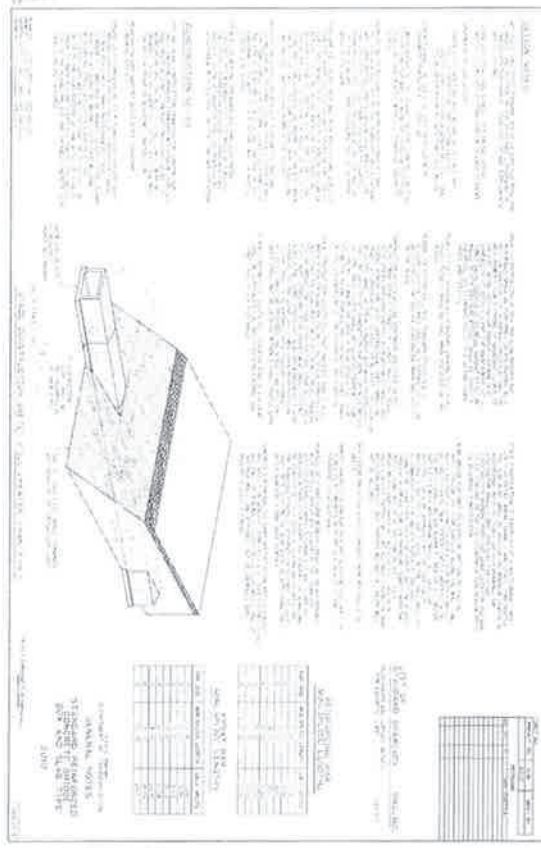
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CONCRETE SLAB BRIDGE (TDOT STD-17-116)



2

GENERAL NOTES (TDOT STD-17-3)



C8.6

SITE DETAILS

NO.	DATE	DESCRIPTION
2024-08-02		DEVELOPMENT PLAN RESUBMITTAL
2024-07-18		DEVELOPMENT PLAN RESUBMITTAL
2024-07-18		DEVELOPMENT PLAN RESUBMITTAL
2024-07-02		FINAL PUBLIC UTILITY RESUBMITTAL
2024-06-03		PERMITS PACKAGE SUBMITTAL
2024-05-20		DEVELOPMENT PLAN RESUBMITTAL
2024-05-01		FINAL PUBLIC UTILITY RESUBMITTAL
2024-04-17		TRUCK CRASHING PERMIT APPLICATION
2024-04-04		FINAL PUBLIC UTILITY RESUBMITTAL

2024-083-003
DEVELOPMENT PLAN RESUBMITTAL
CONSERVATION SUBDIVISION
HARPETH OVERLOOK
MCCRORY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221



AERA LIVING
45 GARDEN STREET
NASHVILLE, TN 37210
602.345.8339



P:\2024\240011_Tenney Lane\Media\dwg\Conservation\240011_C8.7_17-11.dwg (11/14/24) 11/14/24 10:25 am

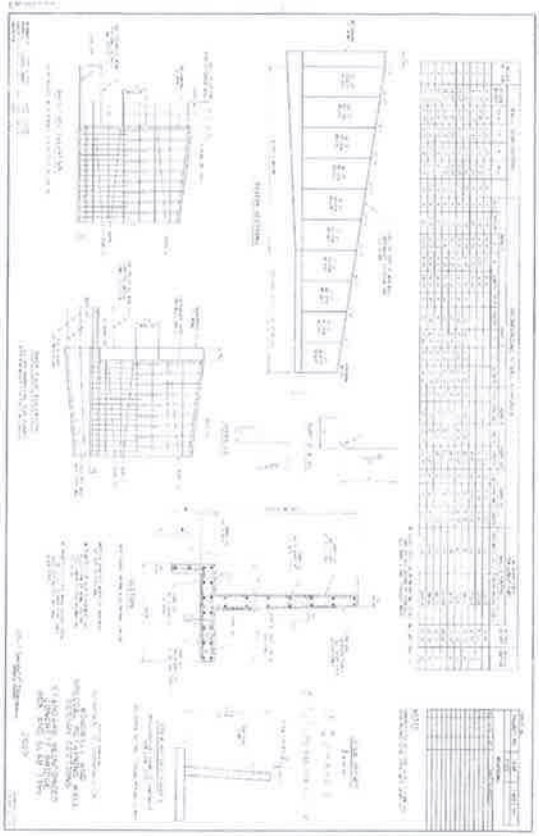
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WINGWALL DIMENSIONS AND QUANTITIES (TDOT STD-17-11)

SECTION	DESCRIPTION	QUANTITY	UNIT
SECTION 1	WINGWALL	100.00	LINEAL FEET
SECTION 2	WINGWALL	150.00	LINEAL FEET
SECTION 3	WINGWALL	200.00	LINEAL FEET
SECTION 4	WINGWALL	250.00	LINEAL FEET
SECTION 5	WINGWALL	300.00	LINEAL FEET
SECTION 6	WINGWALL	350.00	LINEAL FEET
SECTION 7	WINGWALL	400.00	LINEAL FEET
SECTION 8	WINGWALL	450.00	LINEAL FEET
SECTION 9	WINGWALL	500.00	LINEAL FEET
SECTION 10	WINGWALL	550.00	LINEAL FEET
SECTION 11	WINGWALL	600.00	LINEAL FEET
SECTION 12	WINGWALL	650.00	LINEAL FEET
SECTION 13	WINGWALL	700.00	LINEAL FEET
SECTION 14	WINGWALL	750.00	LINEAL FEET
SECTION 15	WINGWALL	800.00	LINEAL FEET
SECTION 16	WINGWALL	850.00	LINEAL FEET
SECTION 17	WINGWALL	900.00	LINEAL FEET
SECTION 18	WINGWALL	950.00	LINEAL FEET
SECTION 19	WINGWALL	1000.00	LINEAL FEET

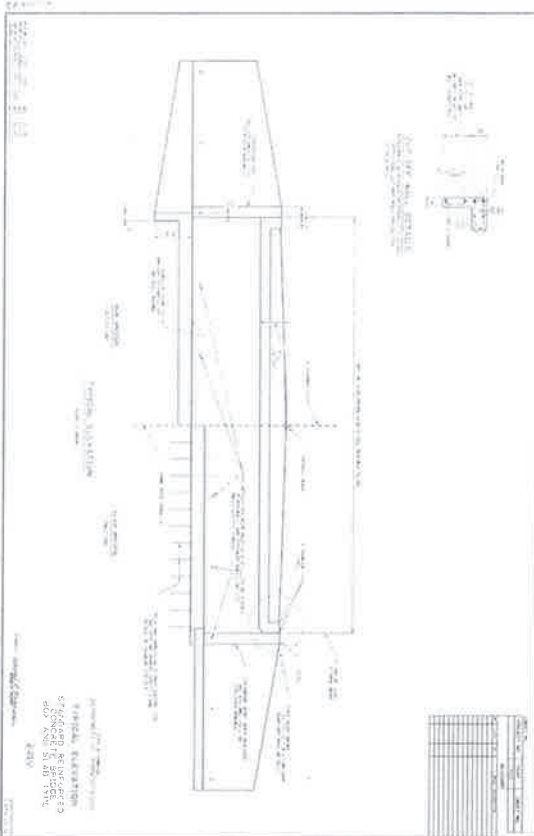
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WINGWALL & SPECIAL RETAINING WALL DESIGN SECTIONS (TDOT STD-17-15)



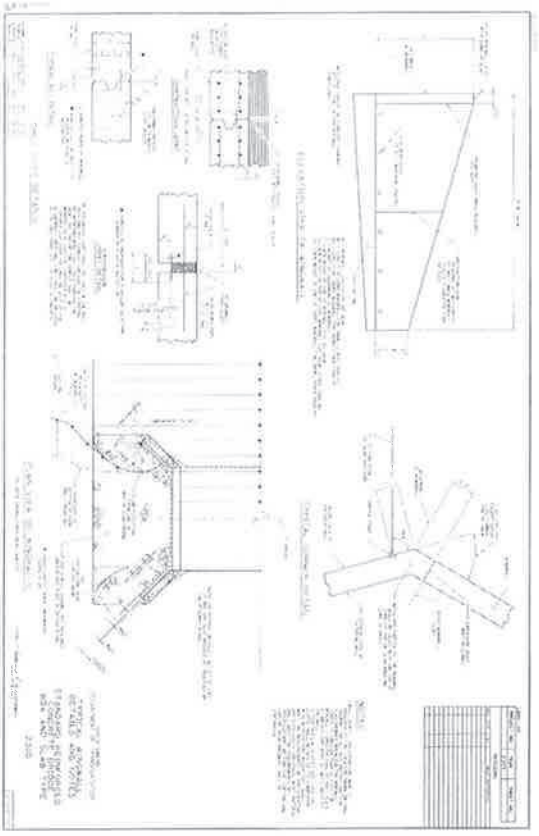
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TYPICAL ELEVATIONS (TDOT STD-17-6)



2

TYPICAL WINGWALL DETAILS AND NOTES (TDOT STD-17-10)



C8.7	PROJECT NUMBER	20245-083-003
	DATE	11/14/24

NO.	DATE	DESCRIPTION
2024-05-02		DEVELOPMENT PLAN RESUBMITTAL
2024-07-18		DEVELOPMENT PLAN RESUBMITTAL
2024-12-11		DEVELOPMENT PLAN RESUBMITTAL
2024-10-08		INVOIC PUBLIC UTILITY RESUBMITTAL
2024-09-29		PARKING FACILITY SUBMITTAL
2024-10-30		DEVELOPMENT PLAN RESUBMITTAL
2024-10-01		INVOIC PUBLIC UTILITY RESUBMITTAL
2024-10-01		SWAMP GRADING PERMITS RESUBMITTAL
2024-10-04		INVOIC PUBLIC UTILITY RESUBMITTAL

20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
**CONSERVATION SUBDIVISION
HARPETH OVERLOOK**
MCCRORY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37221

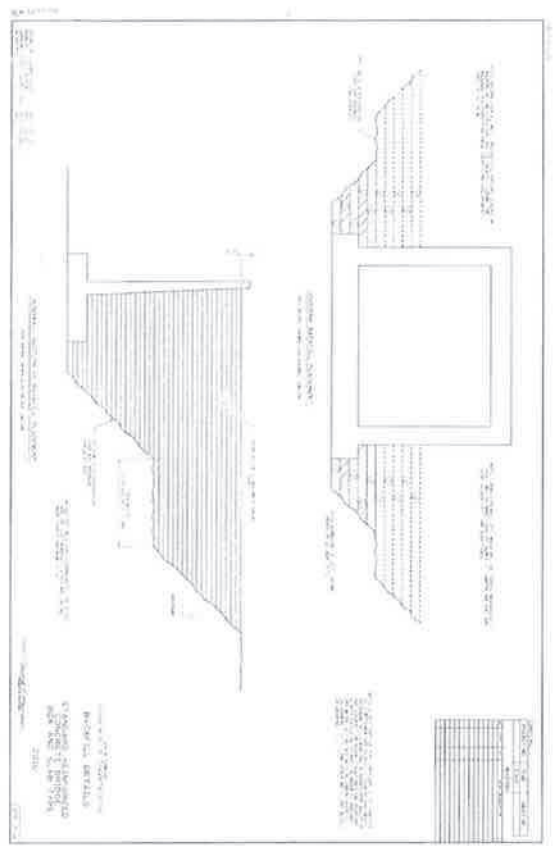


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NASHVILLE, TN 37203
808.345.1732

Catalyst
DESIGN GROUP
3100 TENNESSEE AVENUE, NASHVILLE, TN 37209
(615) 620-7100 | WWW.CATALYSTGROUP.COM

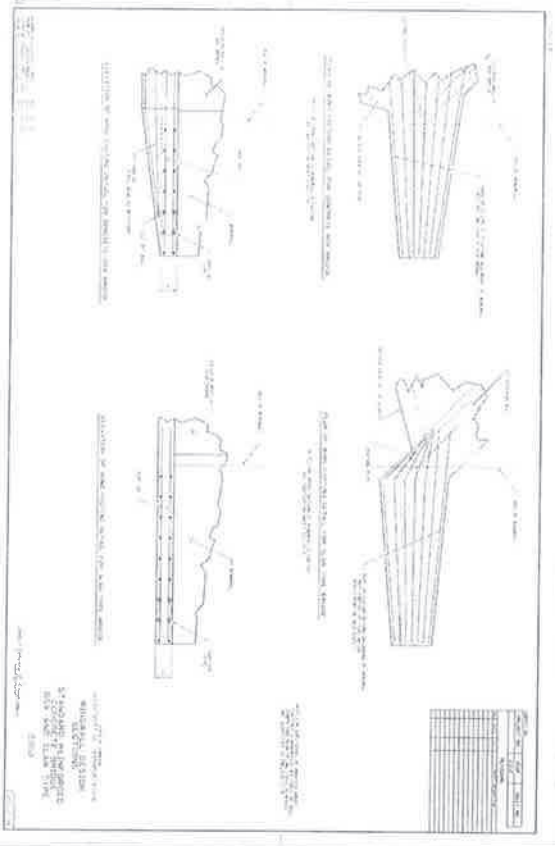
#020220011, THE PROVISIONS REGARDING CONSTRUCTION SHALL BE SUBJECT TO THE CURRENT EDITIONS OF THE CODE

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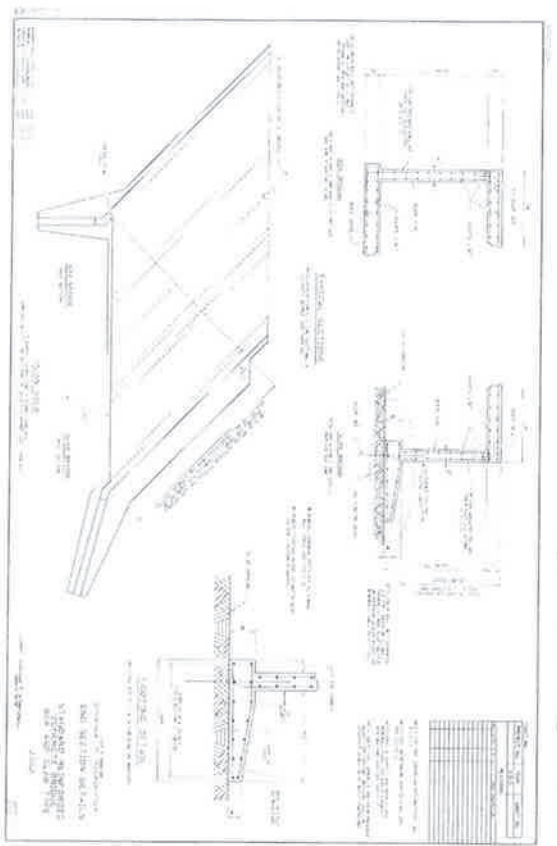
BACKFILL DETAILS (TDOT STD-17-18)

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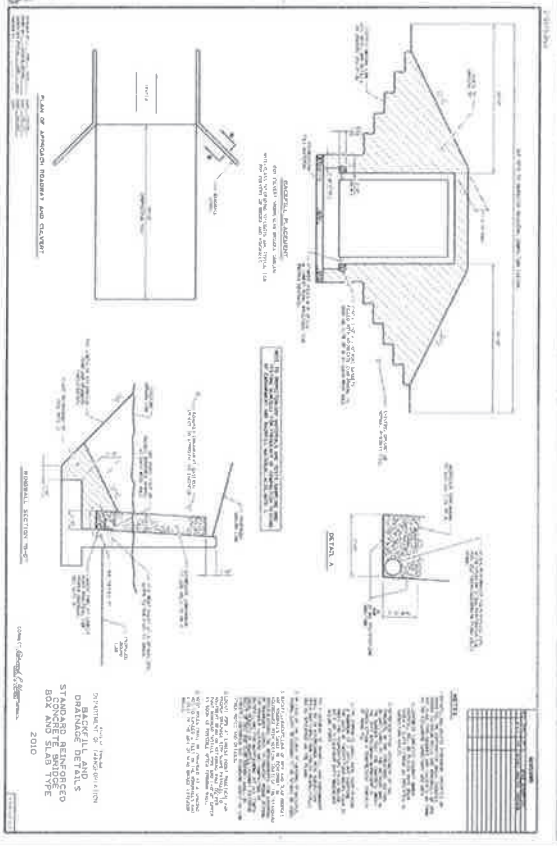
WINGWALL DESIGN SECTION (TDOT STD-17-16)

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END SECTION DETAILS (TDOT STD-17-28)

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BACKFILL AND DRAINAGE DETAILS (TDOT STD-17-17)

NO.	DATE	DESCRIPTION
2025.01.20		DEVELOPMENT PLAN RESUBMITTAL
2024.09.16		DEVELOPMENT PLAN RESUBMITTAL
2024.07.11		DEVELOPMENT PLAN RESUBMITTAL
2024.10.30		SHOULD PUBLIC UTILITY RESUBMITTAL
2024.09.03		PAVING PACKAGE SUBMITTAL
2024.10.30		DEVELOPMENT PLAN RESUBMITTAL
2024.09.03		SHOULD PUBLIC UTILITY RESUBMITTAL
2024.10.11		SHOULD GRADING PERMIT RESUBMITTAL
2024.10.04		SHOULD PUBLIC UTILITY RESUBMITTAL

20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
**CONSERVATION SUBDIVISION
HARPETH OVERLOOK**
MCCRORY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221



AERA LIVING
18 GARDEN STREET
NASHVILLE, TN 37203
608.345.1722



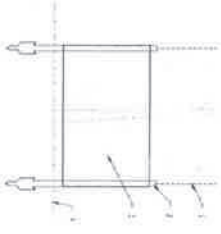
C8.8

SITE DETAILS

2102223055 L:\06 Projects\1444\06-2102223055\20240811_11_4_11.dwg: L1.0 TREE PROTECTION PLAN MAY 02, 2025 10:41

1

TREE PROTECTION



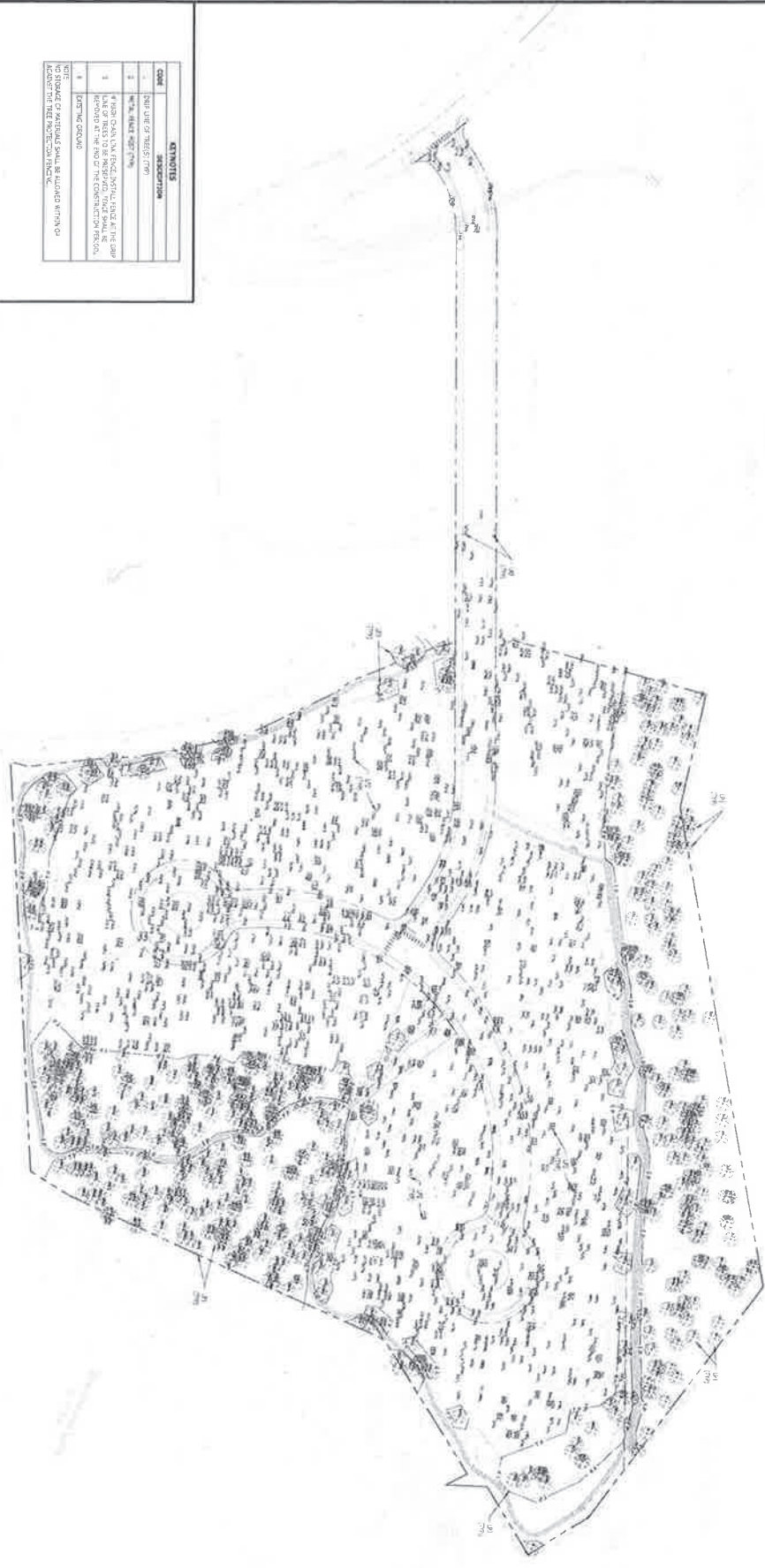
CODE	DESCRIPTION
1	TRUNK PROTECTION
2	ROOT PROTECTION
3	ROOT PROTECTION
4	ROOT PROTECTION
5	ROOT PROTECTION
6	ROOT PROTECTION
7	ROOT PROTECTION
8	ROOT PROTECTION
9	ROOT PROTECTION
10	ROOT PROTECTION

SITE PRESERVATION KEYNOTES

CODE	DESCRIPTION	SEE SHEET #
1	EXISTING TO BE PRESERVED	
2	EXISTING TO BE REMOVED	
3	TO BE REPLACED	
4	TO BE REPLACED	
5	TO BE REPLACED	
6	TO BE REPLACED	
7	TO BE REPLACED	
8	TO BE REPLACED	
9	TO BE REPLACED	
10	TO BE REPLACED	

LANDSCAPE NOTES:

1. SEE SHEET L1.1 - U.S. FOR TREE PROTECTION AND REMOVAL
2. THE FINAL LAYOUT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 2008-238 (METRO CODE CHAPTER 17.24, ARTICLE 1), TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES.)



PROJECT NUMBER	2024-083-003
SHEET NUMBER	L1.0
TITLE	CONSERVATION SUBDIVISION HARPETH OVERLOOK

NO.	DATE	DESCRIPTION
2025.05.07		DEVELOPMENT PLAN RESUBMITTAL
2025.02.14		DEVELOPMENT PLAN RESUBMITTAL
2024.11.17		DEVELOPMENT PLAN RESUBMITTAL
2024.10.30		FINAL PUBLIC UTILITY RESUBMITTAL
2024.10.30		PRECING PACKAGE SUBMITTAL
2024.10.30		DEVELOPMENT PLAN SUBMITTAL
2024.10.27		FINAL PUBLIC UTILITY RESUBMITTAL
2024.10.11		SOAK ORAINING PERMIT RESUBMITTAL
2024.10.04		FINAL PUBLIC UTILITY RESUBMITTAL

20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
**CONSERVATION SUBDIVISION
HARPETH OVERLOOK**
MCCRORY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37223



AERA LIVING
15 GARDEN STREET
NASHVILLE, TN 37203
602.348.1733

**Catalyst
DESIGN GROUP**
100 TOWNHALL AVENUE, NASHVILLE, TN 37203
(615) 622-7500 | WWW.CATALYSTDG.COM

Project No. 2024-083-003

ID	Code	Quantity	Material	Notes
2024-083-003-001	100	1	100' x 100' concrete pad	
2024-083-003-002	100	1	100' x 100' concrete pad	
2024-083-003-003	100	1	100' x 100' concrete pad	
2024-083-003-004	100	1	100' x 100' concrete pad	
2024-083-003-005	100	1	100' x 100' concrete pad	
2024-083-003-006	100	1	100' x 100' concrete pad	
2024-083-003-007	100	1	100' x 100' concrete pad	
2024-083-003-008	100	1	100' x 100' concrete pad	
2024-083-003-009	100	1	100' x 100' concrete pad	
2024-083-003-010	100	1	100' x 100' concrete pad	

ID	Code	Quantity	Material	Notes
2024-083-003-011	100	1	100' x 100' concrete pad	
2024-083-003-012	100	1	100' x 100' concrete pad	
2024-083-003-013	100	1	100' x 100' concrete pad	
2024-083-003-014	100	1	100' x 100' concrete pad	
2024-083-003-015	100	1	100' x 100' concrete pad	
2024-083-003-016	100	1	100' x 100' concrete pad	
2024-083-003-017	100	1	100' x 100' concrete pad	
2024-083-003-018	100	1	100' x 100' concrete pad	
2024-083-003-019	100	1	100' x 100' concrete pad	
2024-083-003-020	100	1	100' x 100' concrete pad	

ID	Code	Quantity	Material	Notes
2024-083-003-021	100	1	100' x 100' concrete pad	
2024-083-003-022	100	1	100' x 100' concrete pad	
2024-083-003-023	100	1	100' x 100' concrete pad	
2024-083-003-024	100	1	100' x 100' concrete pad	
2024-083-003-025	100	1	100' x 100' concrete pad	
2024-083-003-026	100	1	100' x 100' concrete pad	
2024-083-003-027	100	1	100' x 100' concrete pad	
2024-083-003-028	100	1	100' x 100' concrete pad	
2024-083-003-029	100	1	100' x 100' concrete pad	
2024-083-003-030	100	1	100' x 100' concrete pad	

ID	Code	Quantity	Material	Notes
2024-083-003-031	100	1	100' x 100' concrete pad	
2024-083-003-032	100	1	100' x 100' concrete pad	
2024-083-003-033	100	1	100' x 100' concrete pad	
2024-083-003-034	100	1	100' x 100' concrete pad	
2024-083-003-035	100	1	100' x 100' concrete pad	
2024-083-003-036	100	1	100' x 100' concrete pad	
2024-083-003-037	100	1	100' x 100' concrete pad	
2024-083-003-038	100	1	100' x 100' concrete pad	
2024-083-003-039	100	1	100' x 100' concrete pad	
2024-083-003-040	100	1	100' x 100' concrete pad	

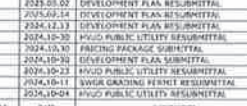
ID	Code	Quantity	Material	Notes
2024-083-003-041	100	1	100' x 100' concrete pad	
2024-083-003-042	100	1	100' x 100' concrete pad	
2024-083-003-043	100	1	100' x 100' concrete pad	
2024-083-003-044	100	1	100' x 100' concrete pad	
2024-083-003-045	100	1	100' x 100' concrete pad	
2024-083-003-046	100	1	100' x 100' concrete pad	
2024-083-003-047	100	1	100' x 100' concrete pad	
2024-083-003-048	100	1	100' x 100' concrete pad	
2024-083-003-049	100	1	100' x 100' concrete pad	
2024-083-003-050	100	1	100' x 100' concrete pad	

ID	Code	Quantity	Material	Notes
2024-083-003-051	100	1	100' x 100' concrete pad	
2024-083-003-052	100	1	100' x 100' concrete pad	
2024-083-003-053	100	1	100' x 100' concrete pad	
2024-083-003-054	100	1	100' x 100' concrete pad	
2024-083-003-055	100	1	100' x 100' concrete pad	
2024-083-003-056	100	1	100' x 100' concrete pad	
2024-083-003-057	100	1	100' x 100' concrete pad	
2024-083-003-058	100	1	100' x 100' concrete pad	
2024-083-003-059	100	1	100' x 100' concrete pad	
2024-083-003-060	100	1	100' x 100' concrete pad	

ID	Code	Quantity	Material	Notes
2024-083-003-061	100	1	100' x 100' concrete pad	
2024-083-003-062	100	1	100' x 100' concrete pad	
2024-083-003-063	100	1	100' x 100' concrete pad	
2024-083-003-064	100	1	100' x 100' concrete pad	
2024-083-003-065	100	1	100' x 100' concrete pad	
2024-083-003-066	100	1	100' x 100' concrete pad	
2024-083-003-067	100	1	100' x 100' concrete pad	
2024-083-003-068	100	1	100' x 100' concrete pad	
2024-083-003-069	100	1	100' x 100' concrete pad	
2024-083-003-070	100	1	100' x 100' concrete pad	

ID	Code	Quantity	Material	Notes
2024-083-003-071	100	1	100' x 100' concrete pad	
2024-083-003-072	100	1	100' x 100' concrete pad	
2024-083-003-073	100	1	100' x 100' concrete pad	
2024-083-003-074	100	1	100' x 100' concrete pad	
2024-083-003-075	100	1	100' x 100' concrete pad	
2024-083-003-076	100	1	100' x 100' concrete pad	
2024-083-003-077	100	1	100' x 100' concrete pad	
2024-083-003-078	100	1	100' x 100' concrete pad	
2024-083-003-079	100	1	100' x 100' concrete pad	
2024-083-003-080	100	1	100' x 100' concrete pad	

2024-083-003
DEVELOPMENT PLAN RESUBMITTAL
CONSERVATION SUBDIVISION
HARPETH OVERLOOK
MCCORRY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221



DAVIDSON COUNTY
TENNESSEE

AERA LIVING
15 GARDEN STREET
NASHVILLE, TN 37210
608.249.1722



Catalyst DESIGN GROUP
5100 TOWNSEND AVENUE, NASHVILLE, TN 37220
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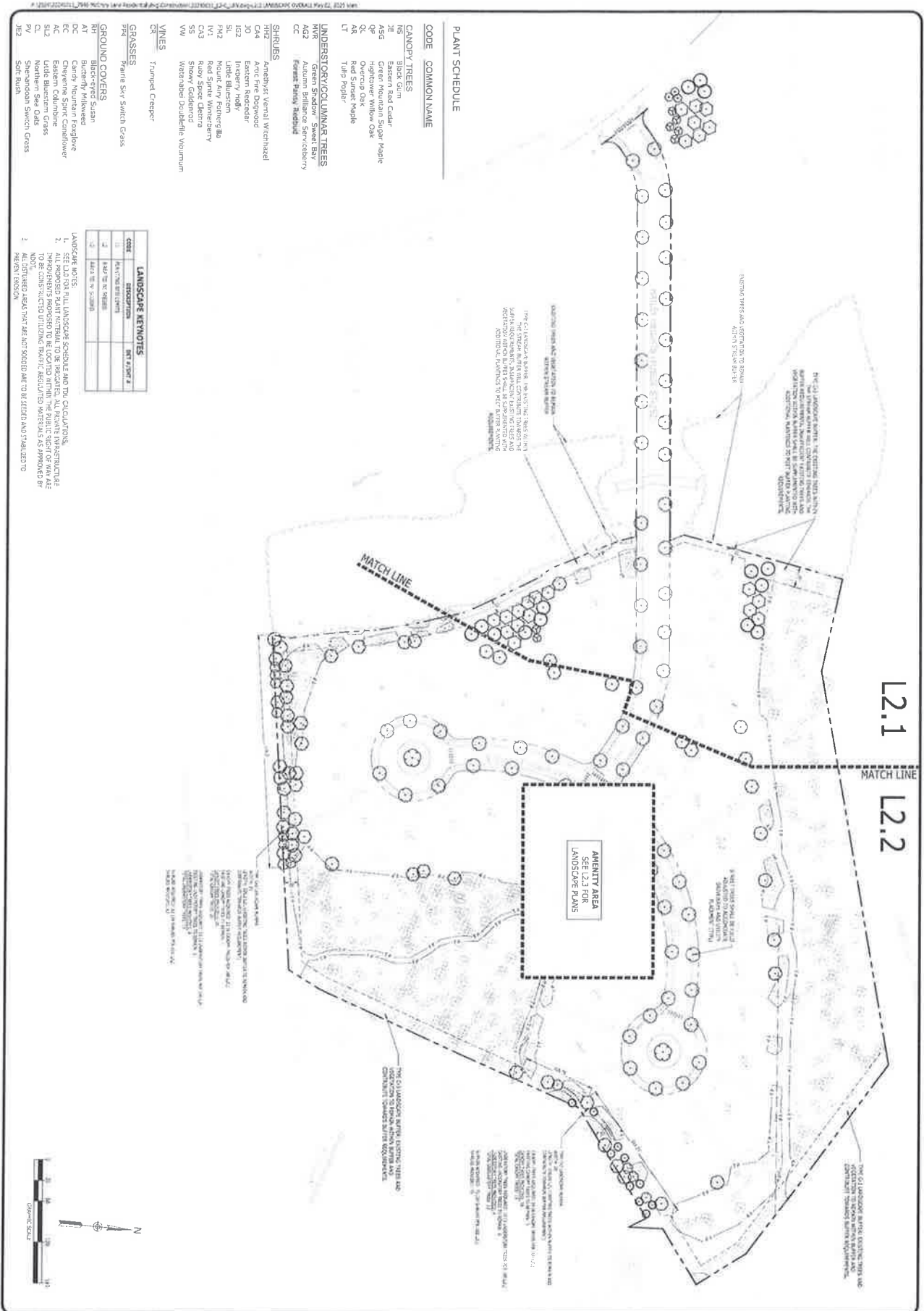
PROJECT NUMBER: 2024-083-003
SHEET NUMBER: L1.6

DATE: 2024-05-02
DESCRIPTION: DEVELOPMENT PLAN RESUBMITTAL

DATE: 2024-05-14
DESCRIPTION: DEVELOPMENT PLAN RESUBMITTAL

DATE: 2024-05-16
DESCRIPTION: DEVELOPMENT PLAN RESUBMITTAL

DATE: 2024-05-16
DESCRIPTION: DEVELOPMENT PLAN RESUBMITTAL



OVERALL LANDSCAPE PLAN

L2.0

NO.	DATE	DESCRIPTION
2025-03-02	DEVELOPMENT PLAN RESUBMITTAL	
2025-02-14	DEVELOPMENT PLAN RESUBMITTAL	
2024-12-11	DEVELOPMENT PLAN RESUBMITTAL	
2024-10-30	PUBLIC PUBLIC UTILITY RESUBMITTAL	
2024-10-30	PRELIMINARY PACKAGE SUBMITTAL	
2024-10-23	DEVELOPMENT PLAN RESUBMITTAL	
2024-10-23	PUBLIC PUBLIC UTILITY RESUBMITTAL	
2024-10-11	SINGLE GRADING PERMIT RESUBMITTAL	
2024-10-04	PUBLIC PUBLIC UTILITY RESUBMITTAL	

20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
**CONSERVATION SUBDIVISION
HARPETH OVERLOOK**
MCCRORY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37222



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15 GARDEN STREET
NASHVILLE, TN 37210
602.548.8772

Catalyst DESIGN GROUP
5110 TOWNHALL AVENUE, SUITE 100, NASHVILLE, TN 37204
(615) 621-2100 | WWW.CATALYSTDESIGN.COM

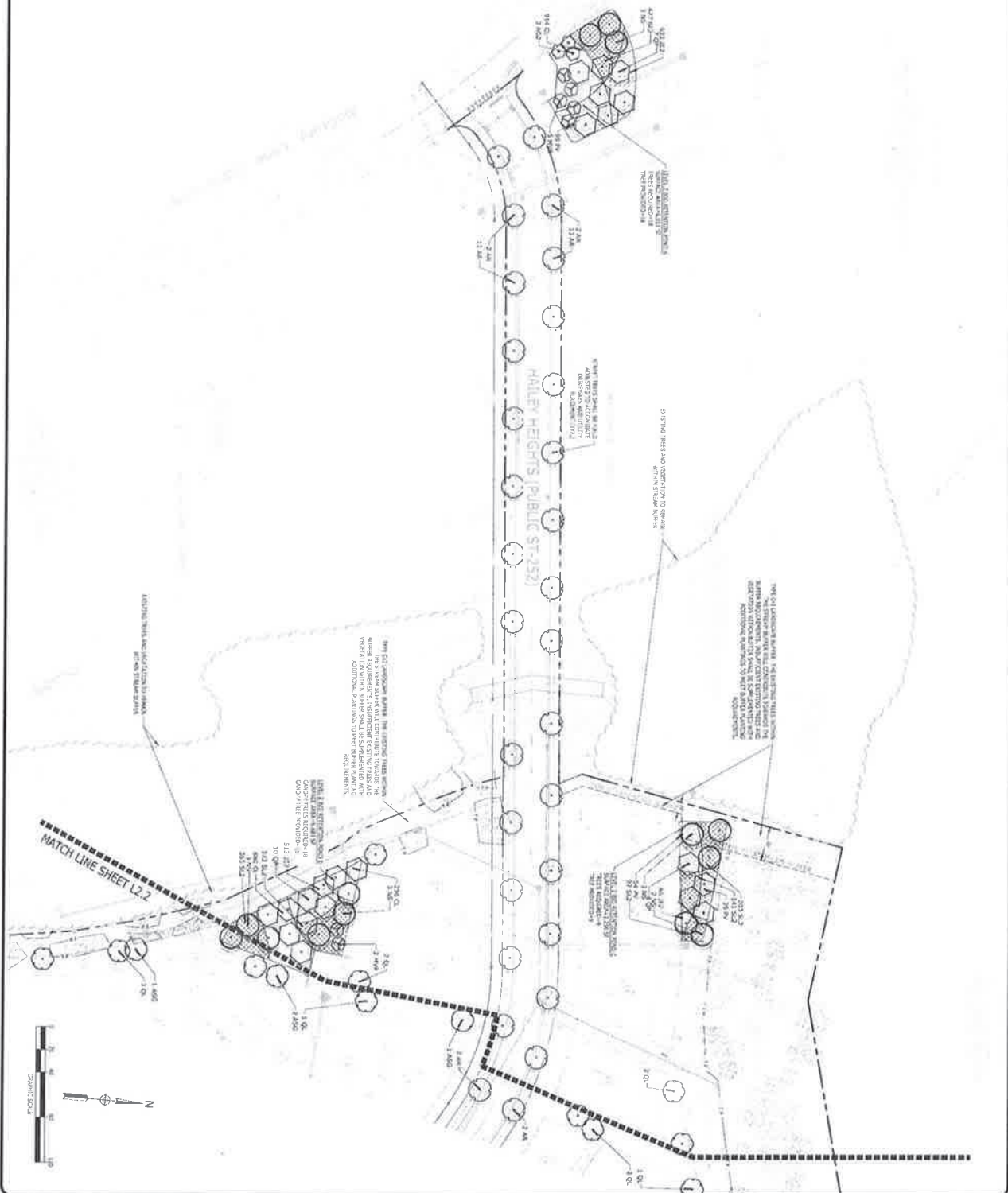
20240803_003_Plan Notes (A) Resubmittal (20240803) (20240803) (20240803) LANDSCAPE Rev 22 2024.rvt

PLANT SCHEDULE

CODE	COMMON NAME
CANOPY TREES	
NS	Black Gum
JE	Eastern Red Cedar
SG	Green Mountain Sycamore
OL	Overcup Oak
AR	Red Sunset Maple
LT	Tulip Poplar
UNDERSTORY/COLUMNAR TREES	
WV	Waxleaf Viburnum
AG2	Autumn Brilliance Serviceberry
CC	Forest Pansy Redbud
SHRUBS	
ST2	Amelanchier
CH	Cherry
JO	Eastern Redcedar
IG2	Inhbery Holly
SL	Little Bluestem
PI2	Pointe d'Or
CS	Claytonia
SS	Sheepscot
VW	Waxleaf Viburnum
VINES	
CR	Trumpet Creeper
GRASSES	
PR	Prune Spire Switch Grass
GROUND COVERS	
AT	Autumn Yellow
EC	Candy Mountain Forgetme
MC	Maryland Yellow
CL	Cheerful Yellow
PV	Shirley's Poppy
BE2	Blueberry

CODE	LANDSCAPE REMARKS	SEE PLAN #
NS	Black Gum	11.1
JE	Eastern Red Cedar	11.1
SG	Green Mountain Sycamore	11.1
OL	Overcup Oak	11.1
AR	Red Sunset Maple	11.1
LT	Tulip Poplar	11.1

- LANDSCAPE NOTES:
- SEE L2.1 FOR FULL LANDSCAPE SCHEDULE AND MATERIALS LIST.
 - ALL PLANTINGS TO BE INSTALLED TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF NASHVILLE'S LANDSCAPE INSTALLATION MANUALS AS APPROVED BY NIOS.
 - REVISIONS TO THIS PLAN SHALL BE MADE IN THE MARGINS OF THIS PLAN.



PROJECT INFORMATION

PROJECT NAME: CONSERVATION SUBDIVISION HARPETH OVERLOOK

DATE: 2024.08.03

SCALE: 1/8" = 1'-0"

L2.1

NO.	DATE	DESCRIPTION
001	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
002	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
003	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
004	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
005	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
006	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
007	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
008	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
009	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL
010	2024.08.03	DEVELOPMENT PLAN RESUBMITTAL

20245-083-003
DEVELOPMENT PLAN RESUBMITTAL
CONSERVATION SUBDIVISION HARPETH OVERLOOK
MICCORY LANE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221



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NASHVILLE, TN 37203
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Catalyst DESIGN GROUP
1100 TOWNSEND AVENUE, SUITE 100, NASHVILLE, TN 37203
(615) 252-7262 | WWW.CATALYSTDG.COM

20240503_1780 McCreary Lane Residential Subdivision 20240503 L2.PC_A1.dwg 2.2 DETAILED LANDSCAPE PLAN 21 2024.spl

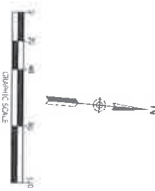


PLANT SCHEDULE

CODE	COMMON NAME
CANOPY TREES	
1E	Eastern Red Cedar
1G	Green Mountain Sugar Maple
1H	Hightower Willow Oak
1I	Overcup Oak
1J	Tulip Poplar
UNDERSTORY/COLUMNAR TREES	
2A	Green Shadow Sweet Bay
2B	Aurum Brilliance Snowberry
2C	Forest Fairy Noddy
SHRUBS	
3A	Amethyst Vernal Witchhazel
3B	Arctic Fire Dogwood
3C	Eastern Redbud
3D	Little Bluestem
3E	Hourglass Forsythia
3F	Red Spoke Winterberry
3G	Ruby Spice Clematis
3H	Westchester Doublefile Yucca
VINES	
4A	Trumpet Creeper
GRASSES	
5A	Prairie Sky Switch Grass
GROUND COVERS	
6A	Buck-eyed Susan
6B	Chrysanthemum
6C	Chrysanthemum
6D	Eastern Starlet Coneflower
6E	Little Bluestem Grass
6F	American Sea Oats
6G	Prairie Sunflower
6H	Soft Blue

LANDSCAPE REMARKS

- SEE EXISTING PLAN FOR LANDSCAPE SCHEDULE AND MATERIALS.
- ALL PROPOSED PLANT MATERIAL TO BE INDICATED, ALL PROPOSED INFRASTRUCTURE WITHIN THE PROPOSED PLAN SHALL BE CONSTRUCTED OUTLINED TRAFFIC REGULATED MATERIALS APPROVED BY MOVT.
- ALL PLANT MATERIAL TO BE PROVIDED TO BE STORED AND MAINTAINED TO PREVENT DISEASE.



<p>L2.2</p>	<p>DETAILED LANDSCAPE PLAN</p>	<p>20245-083-003 DEVELOPMENT PLAN RESUBMITTAL CONSERVATION SUBDIVISION HARPETH OVERLOOK MCCRORY LANE NASHVILLE, DAVIDSON COUNTY, TENNESSEE, 37221</p>		<p>AERA LIVING 33 GARDEN STREET NASHVILLE, TN 37210 888.344.3722</p>	<p>5105 FLEMING AVENUE, NASHVILLE, TN 37204 (615) 623-7100 WWW.CATALYST-DSG.COM</p>
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FREDDIE O'CONNELL, MAYOR



METROPOLITAN BOARD OF PARKS AND RECREATION

Centennial Park Office
Park Plaza at Oman Street
Nashville, TN 37201

(615) 862-8400
Fax (615) 862-8414
www.nashville.gov/parks

Monique Horton Odom, Director

January 6, 2026

Ms. Cindy Harrison
Assistant Director Greenways & Open Space
Metro Board of Parks and Recreation
P.O. Box 196340
Nashville, TN 37219-6340

Dear Ms. Harrison:

The Metropolitan Board of Parks and Recreation, on Tuesday, January 6, 2026, approved staff's request of a dedicated Conservation Greenway Easement on property at 0 MCCRORY LN, NASHVILLE, TN. 37221, Map and Parcel 12600015500, along the Harpeth River. This greenway easements will conserve 2.40 acres of open space and provide for future expansion of the Harpeth River Greenway. The easement dedication was a condition of the Planning Commission's approval of the final plat for Harpeth Overlook, 2024S-083-004.

Sincerely,

Monique Horton Odom, Director
and Secretary to the Board

"It is the mission of Metro Parks and Recreation to sustainably and equitably provide everyone in Nashville with an inviting network of parks and greenways that offer health, wellness and quality of life through recreation, conservation and community"



FOR ADA ACCOMMODATIONS, PLEASE CONTACT 615-862-8400

WE ARE AN EQUAL OPPORTUNITY EMPLOYER



June 2, 2026

To: Antony Kwanya Metro General Services

**Re: CGEA Harpeth Overlook Easement
Planning Commission Mandatory Referral 2026M-018AG-001
Council District # 35 Jason Spain, Council Member**

On behalf of the Metropolitan Planning Commission, the following item, referred to the Commission as required by the Metro Charter, has been recommended for *approval* to the Metropolitan Council:

An ordinance approving a greenway conservation easement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Board of Parks and Recreation, and Harpeth Overlook Partners, LLC, for greenway improvements at 0 McCrory Lane (Parcel No. 12600015500) (Proposal No. 2026M-018AG-001).

The relevant Metro agencies (Metro Parks, Nashville Department of Transportation, Metro Water Services, Metro Emergency Communications, the Nashville Electric Service, General Services-Public Property and the Metro Historical Commission) have reviewed the proposal and concur in the recommendation for approval. This request must be approved by the Metro Council to become effective. A sketch showing the location of the request is attached to this letter.

Conditions that apply to this approval: none

This recommendation for approval is given as set forth in the Metropolitan Planning Commission Rules and Procedures. If you have any questions about this matter, please contact Delilah Rhodes at Delilah.Rhodes@nashville.gov or 615-862-7208

Sincerely,

A handwritten signature in blue ink that reads "Robert Leeman". The signature is fluid and cursive, with a long horizontal stroke at the end.

Robert Leeman, AICP
Assistant Director Land Development
Metro Planning Department
cc: *Metro Clerk*

**Re: CGEA Harpeth Overlook Easement
 Planning Commission Mandatory Referral 2026M-018AG-001
 Council District # 35 Jason Spain, Council Member**

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