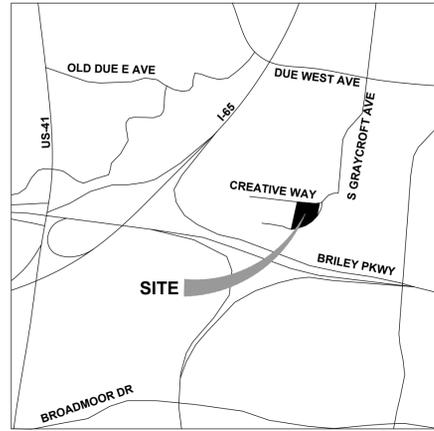


PRELIMINARY SP AMENDMENT CREATIVE WAY VILLAGES DAVIDSON CO., TENNESSEE



VICINITY MAP
(NOT TO SCALE)

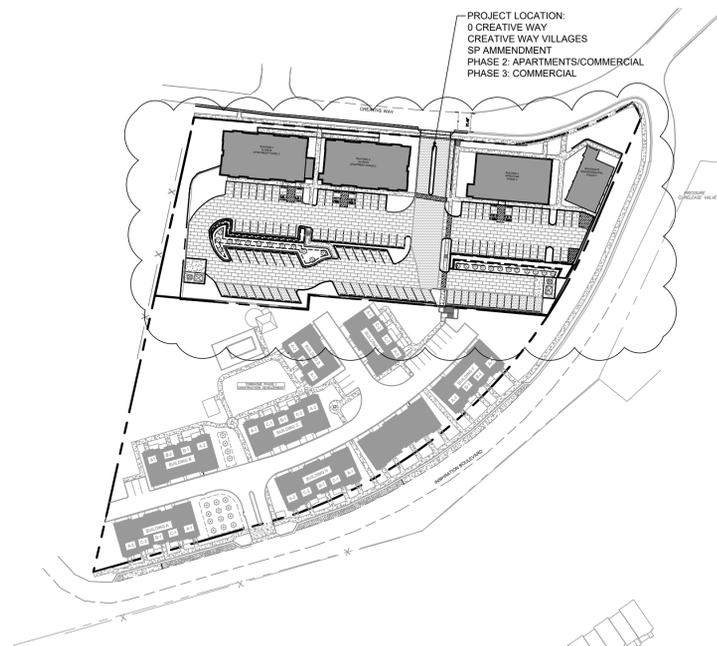
0 CREATIVE WAY, MADISON, TN 37115
 PARCEL ID: 05100008200
 8TH COUNCIL DISTRICT OF DAVISON COUNTY, TN
 COUNCIL PERSON: MRS. NANCY VANREECE
 FEMA MAP NO.: 47037C0251H
 EFFECTIVE: 04/05/2017

METRO SANITARY SEWER:
 800 SECOND AVENUE SOUTH
 PO BOX 196300
 CONTACT: ELI ANDERSON
 PH: 615-862-5464

ELECTRICITY:
 NES
 1214 CHURCH STREET
 NASHVILLE, TN 37246
 CONTACT: PAUL JACKSON (ENGINEERING)
 PH: 615-747-3965

METRO PUBLIC WORKS:
 800 SECOND AVENUE SOUTH
 NASHVILLE, TN 37219
 CONTACT:
 PLAN REVIEW, GRADING PERMITS:
 BEN YORK, PH: 615-862-8758
 PERMITS, CURB & SIDEWALK INSPECTION
 KIM PATTON, PH: 615-862-8782
 SUBDIVISION INSPECTIONS
 BOBBY AIKEN, PH: 615-862-8761

MADISON SUBURBAN UTILITY DISTRICT (MSUD):
 108 WEST WEBSTER STREET
 MADISON, TN 37115
 CONTACT: KENNY TURNER, SYSTEM MANAGER
 PH: 615-207-7721



NOT TO SCALE

PURPOSE NOTE:
 THE PURPOSE OF THIS SP AMMENDMENT IS TO AMMEND THE APPROVED FINAL SP: NO. 2017SP-075-002 FOR ADDITION OF 2,400 SQUARE FOOT COMMERCIAL SPACE AND NEWLY ACQUIRED PROPERTY.

METRO CONDITIONS OF APPROVAL

- THAT TITLE 17 OF THE CODE OF LAWS OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, IS HEREBY AMENDED BY CHANGING THE OFFICIAL ZONING MAP FOR METROPOLITAN NASHVILLE AND DAVIDSON COUNTY, WHICH IS MADE A PART OF TITLE 17 BY REFERENCE, AS FOLLOWS: BY CHANGING FROM R10 TO SP ZONING ON PROPERTIES LOCATED AT BRIARVILLE ROAD AND CHERON ROAD AT THE SOUTHWEST CORNER OF CHERON ROAD AND FRONTAGE ROAD TO PERMIT UP TO 81 MULTI-FAMILY UNITS AND NON-RESIDENTIAL USES, BEING PROPERTY PARCEL NOS. 082, 083.02 AS DESIGNATED ON MAP 051-00 OF THE OFFICIAL PROPERTY IDENTIFICATION MAPS OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, ALL OF WHICH IS DESCRIBED BY LINES, WORDS AND FIGURES ON THE PLAN THAT WAS DULY CONSIDERED BY THE METROPOLITAN PLANNING COMMISSION AND WHICH IS ON FILE WITH THE METROPOLITAN PLANNING DEPARTMENT AND METROPOLITAN CLERK'S DEPARTMENT AND MADE A PART OF THIS ORDINANCE AS THOUGH COPIED HEREIN.
- BE IT FURTHER ENACTED, THAT THE METROPOLITAN CLERK IS HEREBY AUTHORIZED AND DIRECTED, UPON THE ENACTMENT AND APPROVAL OF THIS ORDINANCE, TO CAUSE THE CHANGE TO BE MADE ON MAP 051 OF SAID OFFICIAL ZONING MAP FOR METROPOLITAN NASHVILLE AND DAVIDSON COUNTY, AS SET OUT IN SECTION 1 OF THIS ORDINANCE, AND TO MAKE NOTATION THEREON OF REFERENCE TO THE DATE OF PASSAGE AND APPROVAL OF THIS AMENDATORY ORDINANCE.
- BE IT FURTHER ENACTED, THAT THE USES OF THIS SP SHALL BE LIMITED TO 81 MULTI-FAMILY RESIDENTIAL UNITS AND MAXIMUM OF 5,000 SF OF OFFICE, RESTAURANT OR RETAIL USE.
- BE IT FURTHER ENACTED, THAT THE FOLLOWING CONDITIONS SHALL BE COMPLETED, BONDED OR SATISFIED AS SPECIFICALLY REQUIRED:
 - MAX. HEIGHT OF BLDGS ALONG CHERON RD SHALL BE LIMITED TO 4 STORIES IN 60 FT, MEASURED TO THE ROOFLINE.
 - MAX. HEIGHT OF REMAINING BLDG. NOT ALONG CHERON RD SHALL BE LIMITED TO 3 STORIES IN 40 FT MEASURED TO THE ROOFLINE.
 - COMPLY WITH ALL CONDITIONS OF PUBLIC WORKS AND TRAFFIC AND PARKING.
- BE IT FURTHER ENACTED, A CORRECTED COPY OF THE PRELIMINARY SP PLAN INCORPORATING THE CONDITIONS OF APPROVAL BY METRO COUNCIL SHALL BE PROVIDED TO THE PLANNING DEPARTMENT PRIOR TO OR WITH FINAL SITE PLAN APPLICATION.
- BE IT FURTHER ENACTED, MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- BE IT FURTHER ENACTED, IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUN-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION. USES ARE LIMITED AS DESCRIBED IN THE COUNCIL ORDINANCE.
- BE IT FURTHER ENACTED, THAT THIS ORDINANCE TAKE EFFECT IMMEDIATELY AFTER ITS PASSAGE AND SUCH CHANGE BE PUBLISHED IN A NEWSPAPER OF GENERAL CIRCULATION, THE WELFARE OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY REQUIRING IT.

INDEX OF SHEETS:

- TITLE**
 PAGE 1 OF 1 BOUNDARY & TOPOGRAPHIC SURVEY
 C 1.00 EXISTING CONDITIONS & DEMOLITION PLAN
 C 2.00 SITE & SURFACE MATERIALS PLAN
 C 2.01 FIRE ACCESS
 C 3.00 GRADING & DRAINAGE PLAN
 C 3.01 PAVERS SUB-GRADE PLAN
 C 4.00 PHASED EROSION CONTROL PREVENTION
 C 5.00 UTILITY LAYOUT
 C 5.01 SEWER PLAN & PROFILE SHEET 1
 C 5.02 SEWER PLAN & PROFILE SHEET 2
 C 6.00 STANDARD NOTES
 C 6.01 SITE & SURFACE STANDARD DETAILS
 C 6.02 SITE & SURFACE STANDARD DETAILS
 C 6.03 TDOT STANDARD DETAILS
 C 6.04 TDOT STANDARD DETAILS
 C 6.05 STORMWATER STANDARD DETAILS
 C 6.06 STORMWATER STANDARD DETAILS
 C 6.07 MSUD UTILITY STANDARD DETAILS
 C 6.08 MSUD UTILITY STANDARD DETAILS
 C 6.09 EROSION CONTROL STANDARD DETAILS
 SD 1.00 INSPIRATION BOULEVARD SIGHT DISTANCE
 L 1.0 LANDSCAPE PLAN
 L 1.1 LANDSCAPE NOTES
 PH 1.0 PHOTOMETRIC PLAN
 A 2.00 - BUILDING J & K ELEVATIONS
 A 4.00 - BUILDING L ELEVATIONS
 A 4.00 - BUILDING M ELEVATIONS
 S0.00 - S5.1 - SEGMENTAL RETAINING WALL PLANS
 (FOR INFORMATION ONLY)

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FEDERAL COMPLIANCE NOTE:
 ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.ada.gov/>
 U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>

OWNER
 SAMAROO DEVELOPMENT GROUP
 5220 VILLAGE WAY
 NASHVILLE, TN 37211
 PHONE # 586-557-8019

ARCHITECT
 AXIS CREATIVE
 2610 WESTWOOD DRIVE
 NASHVILLE, TN 37204
 PHONE # 615-669-0755

LANDSCAPE DESIGNER
 HEIBERT & BALL LAND DESIGN
 1894 GEN. GEORGE PATTON DR SUITE # 400
 FRANKLIN, TN 37067
 PHONE # 615-376-2421

SWGR # 2018072364
 Sewer # 19SL0067
 Final SP # 2017SP-075-003
 Bld Permit # 2020044057
 MSUD: Submittal on 12/07/20

2200 Rosa L. Parks Blvd.
 Nashville, TN 37228
 P: (615) 244-2040
 F: (931) 647-7135
 visit us online: www.dbsengr.com

DBS & Associates Engineering
 A TTL COMPANY
Engineers • Surveyors • Planners

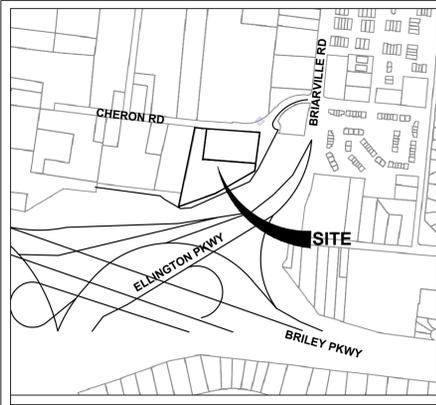


CREATIVE WAY VILLAGES
COVER SHEET
 CREATIVE WAY VILLAGES, MADISON
 DAVIDSON COUNTY, TENNESSEE
 5/14/2021

REVISIONS	
△	DATE - DESCRIPTION
△	03-10-2021 - SP AMMENDMENT

DESIGN BY: CG
 DRAWN BY: CG
 CHECKED BY: JL / DC

TITLE



**VICINITY MAP
(NOT TO SCALE)
SITE LEGEND**

- BOUNDARY LINE
- ADJOINING BOUNDARY LINE
- FENCE
- WATER LINE
- OVERHEAD UTILITY LINE
- CONTOUR LINE INDEX
- CONTOUR LINE INTERVAL
- MINIMUM BUILDING SETBACK LINE
- SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
- ROADWAY CENTER LINE
- TREE ROW

- FIRE HYDRANT
- UTILITY POLE
- SANITARY SEWER MANHOLE
- WATER VALVE
- CLEAN OUT
- MONUMENT FOUND (IRON PIN) UNLESS OTHERWISE NOTED
- MONUMENT SET (1/2" REBAR CAPPED "DBS & ASSOC.")
- CONCRETE HIGHWAY MONUMENT

- + 570.1 SPOT ELEVATION
- EXISTING EASEMENT AS NOTED ON SURVEY
- STOCKPILE/DISTURBED AREAS
- TREE

N.A.D. = NORTH AMERICAN DATUM
 N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
 MBSL = MINIMUM BUILDING SETBACK LINE
 SA = SANITARY SEWER
 TC = TOP OF CASTING
 IE = INVERT ELEVATION
 CMP = CORRUGATED METAL PIPE
 RCP = REINFORCED CONCRETE PIPE
 PVC = POLY VINYL CHLORIDE PIPE (PLASTIC)
 RODCT = REGISTER OF DEEDS DAVIDSON COUNTY, TENNESSEE
 TYP. = TYPICAL

SURVEYOR'S NOTES

A TITLE COMMITMENT/ SEARCH WAS NOT FURNISHED AT TIME OF SURVEY. THEREFORE THIS SURVEY IS SUBJECT TO AN ACCURATE TITLE COMMITMENT/ SEARCH.

SETBACKS ARE AS PER ZONING, PROPERTY IS ZONED AS "R-10"

PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.

THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER, AND DOES NOT EXTEND TO ANY UNNAMED PERSONS OR ENTITIES WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS HEREON.

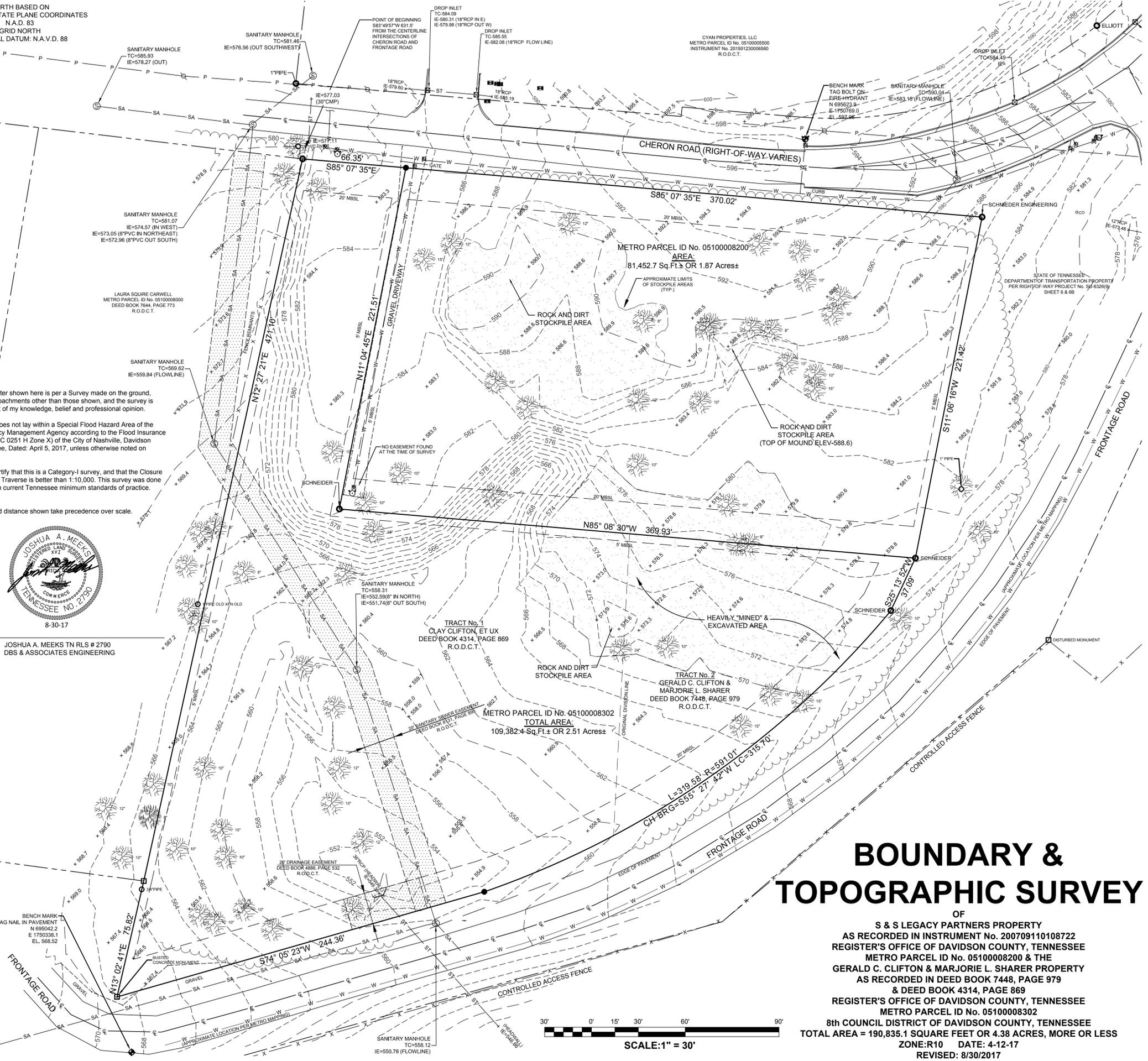
THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AREAS.

TOPOGRAPHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING RANDOM SHOTS; CONTOUR INTERVAL = 2

DISCLAIMER

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT," THAT WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS. NO LESS THAN (3) THREE OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 1-800-351-4111.

NORTH BASED ON
 TENNESSEE STATE PLANE COORDINATES
 N.A.D. 83
 GRID NORTH
 VERTICAL DATUM: N.A.V.D. 88



The perimeter shown here is per a Survey made on the ground, there are no encroachments other than those shown, and the survey is correct to the best of my knowledge, belief and professional opinion.

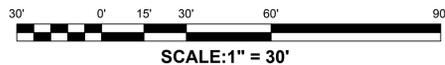
This tract does not lay within a Special Flood Hazard Area of the Federal Emergency Management Agency according to the Flood Insurance Rate Map (47037 C 0251 H Zone X) of the City of Nashville, Davidson County, Tennessee, Dated: April 5, 2017, unless otherwise noted on survey.

I hereby certify that this is a Category-1 survey, and that the Closure of the Unadjusted Traverse is better than 1:10,000. This survey was done in compliance with current Tennessee minimum standards of practice.

Bearing and distance shown take precedence over scale.



JOSHUA A. MEESKS TN RLS # 2790
 DBS & ASSOCIATES ENGINEERING



SCALE: 1" = 30'

BOUNDARY & TOPOGRAPHIC SURVEY

OF
 S & S LEGACY PARTNERS PROPERTY
 AS RECORDED IN INSTRUMENT No. 200709110108722
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE
 METRO PARCEL ID No. 05100008200 & THE
 GERALD C. CLIFTON & MARJORIE L. SHARER PROPERTY
 AS RECORDED IN DEED BOOK 7448, PAGE 979
 & DEED BOOK 4314, PAGE 869
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE
 METRO PARCEL ID No. 05100008302
 8th COUNCIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE
 TOTAL AREA = 190,835.1 SQUARE FEET OR 4.38 ACRES, MORE OR LESS
 ZONE: R10 DATE: 4-12-17
 REVISED: 8/30/2017

BOUNDARY & TOPOGRAPHIC SURVEY

OF THE
 S & S LEGACY PARTNERS PROPERTY & THE
 GERALD C. CLIFTON & MARJORIE L. SHARER PROPERTY
 CHERON ROAD, MADISON, TN 37115
 DATE: 4/12/2017
 REVISED DATE: 8/30/2017

REVISIONS

REVISED 8-30-2017
 ADDED ADDITIONAL TOPO DATA
 EXTENDING NORTH OF CHERON
 ROAD & EXTENDING EAST OF
 FRONTAGE ROAD.

DRAWN BY: DRC

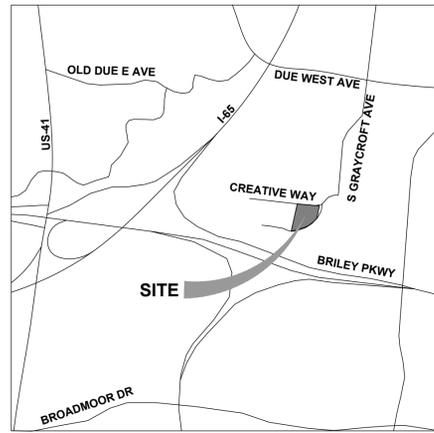
CHECKED BY: GWS

**SHEET
1 OF 1**

DBS & Associates Engineering
 Engineers • Surveyors • Planners

95 White Bridge Rd Suite #250
 Nashville, TN 37205
 Phone (615) 244-2040 Fax (615) 647-7135
 www.dbsengr.com

N:\PROJECTS\2017\CHERON ROAD - PRELIMINARY SP AND SURVEY\CHERON ROAD BOUNDARY AND TOPO.DWG PLOTTED: 03/20/2017 2:12 PM



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT SUMMARY

Base Zoning	MUN-A
Sq Ft / Acreage	205,048 SQ. FT. / 4.71 ACRES
Uses Permitted	61 Multi-Family Residential Units, Maximum of 7,400 SF of Office, Restaurant, or Retail Uses
Land Use Area	Residential & Restaurant/Office/Boutique Hotel
Rear Setback	20 Feet from Property Line
Side Setback	5 Feet - Townhomes, 0 Feet - Commercial
Front Setback	15 Feet from Property Line
Landscape Buffer	None
TOWNHOME BLDGS A THROUGH H	
2 Bedroom Townhomes	10 Units
3 Bedroom Townhomes	25 Units
Floor Area Ratio (FAR)	0.60
Impervious Surface Ratio (ISR)	0.80 / 0.50 Proposed
Foundations	18" (MIN.) - 48" (MAX.) Raised Foundation
Height (Max.)	3 Stories in 40 Feet Measured to the Rooftline
Density (Units/Acre)	Doesn't Apply
SPECIFIC ENCROACHMENTS	
6'-0" Covered Porches, Stoops, & Balconies	
Specific Encroachments proposed to be permitted by SP. (Not to encroach Right-of-Way)	
MULTIFAMILY APARTMENTS BLDG J & K	
2 Bedroom Apartment	26 UNITS
3 Bedroom Apartment	12 UNITS
Multi-Family Foundations	Slab on Grade
FAR	0.60 for 11,094 Square Feet Total
ISR per Base Zoning	0.80 / 0.65 Proposed
Height (Max.)	4 Stories in 60 Feet Measured to the Rooftline
Density (Units/Acre)	Doesn't Apply
MIXED-USE BLDG L (6,000 SQ. FT. MAX.)	
Permitted Uses	Boutique Hotel (8 Units), Retail, Restaurant, & Office Space
Foundations	Slab on Grade
FAR	0.90 for 5,000 Square Feet Total
ISR per Base Zoning	0.80 / 0.65 Proposed
Proposed Building Height (Max.)	4 Stories in 50' Measured to the Rooftline
Density (Units/Acre)	Doesn't Apply
NON-RESIDENTIAL BLDG M (2,400 SQ. FT. MAX.)	
Permitted Uses	Restaurant, Retail, & Office Space
Foundations	Slab on Grade
FAR	0.90 for 2,400 Square Feet Total
ISR per Base Zoning	0.80 / 0.65 Proposed
Proposed Building Height (Max.)	2 Story in 25' Measured to the Rooftline
Density (Units/Acre)	Doesn't Apply

PARKING

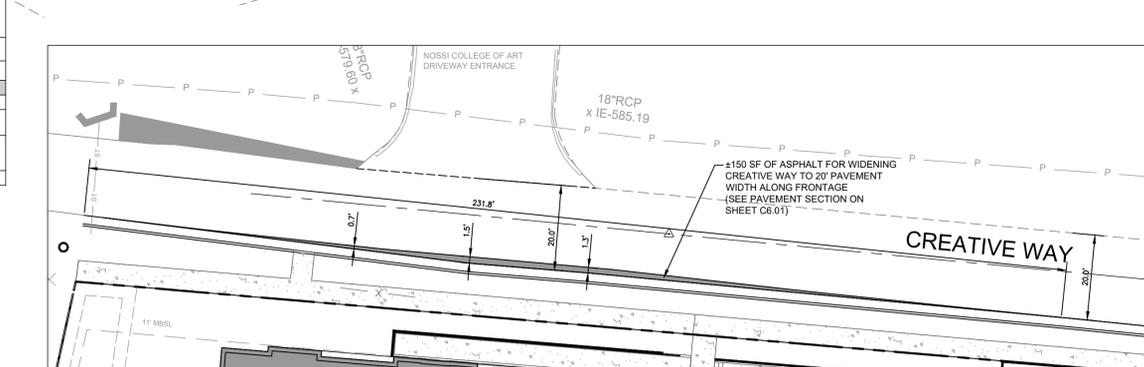
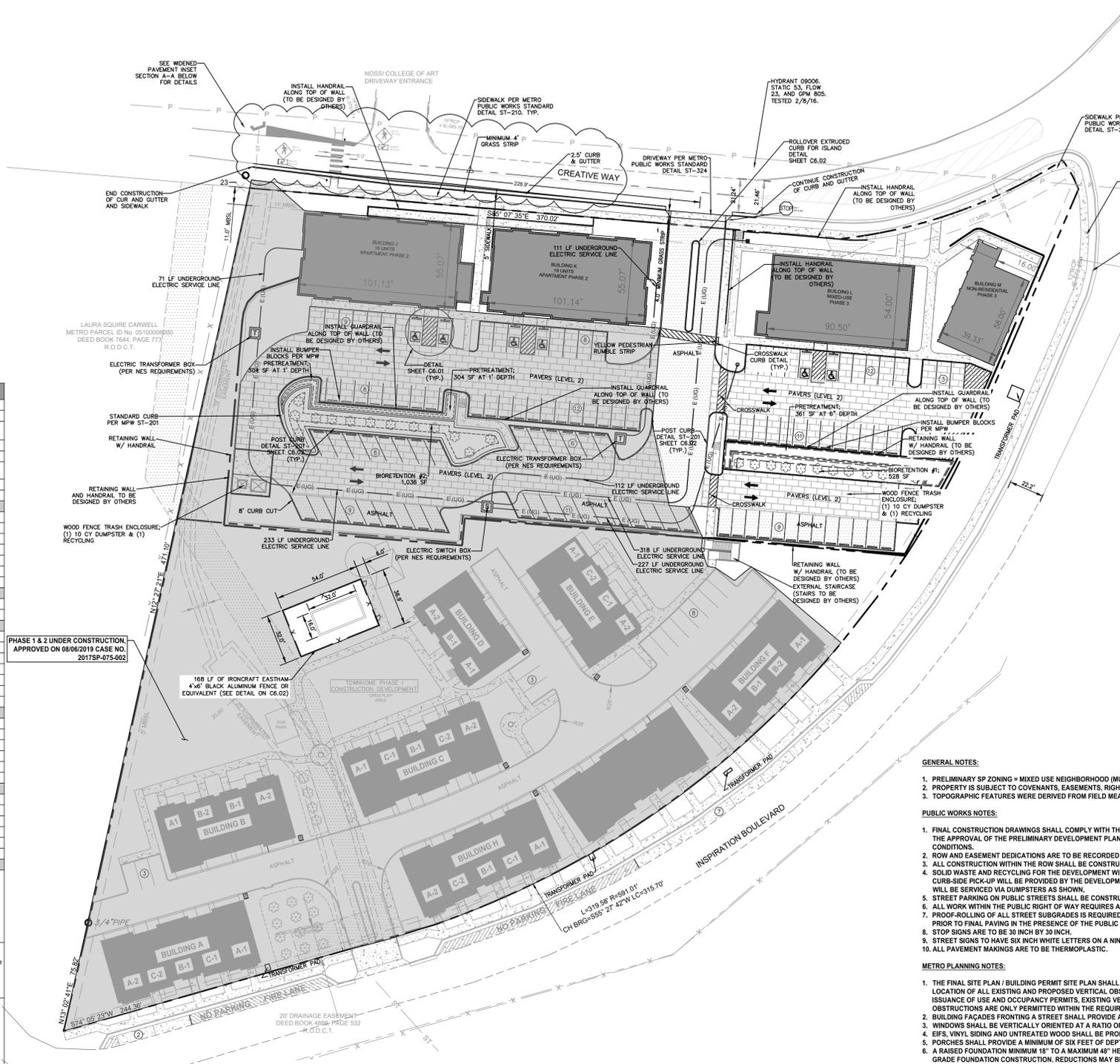
	Required	Provided
Townhomes (2 Bdr) C1 & C2 (10 Units)	18 Spaces 20 Spaces (2 per Unit) -2 Spaces (10% Transit Line Reduction)	18 Spaces
Townhomes (3 Bdr) A1, A2, B1, B2 (25 Units)	54 Spaces 63 Spaces (2.5 Per Unit) On Street Parking: 4 Spaces 9 Spaces Total -6.0 Spaces (10% Transit Line Reduction)	79 Spaces
Multi-Family Apartments (2 Bdr) BLDG J&K (26 Units)	47 Spaces 52 Spaces (2 Per Unit) w/ 2 Handicap -5 Spaces (10% Transit Line Reduction)	120 Total 51 Spaces on-site (4 Handicap) 69 Spaces off-site
Multi-Family Apartments (3 Bdr) BLDG J&K (12 Units)	27 Spaces 30 Spaces (2.5 per Unit) w/ 1 Handicap -3 Spaces (10% Transit Line Reduction)	27 Spaces (1 Handicap)
Restaurant (1,000 Sq Ft) BLDG L	10 Spaces (1 per 100 Sq Ft) w/ 1 Handicap	10 Spaces (1 Handicap)
General Office (2,000 Sq Ft) BLDG L	7 Spaces (1 per 300 Sq Ft)	8 Spaces
Retail (2,000 Sq Ft) BLDG L	10 Spaces (1 per 200 Sq Ft)	10 Spaces (1 Handicap)
2nd & 3rd Floor Boutique Hotel (8 - 3 Bdr Units) BLDG L	8 Spaces 8 Spaces (1 per Unit) w/ 1 Handicap -0 Spaces (10% Transit Line Reduction)	8 Spaces 62 Spaces (4 Handicap)
Restaurant (2,400 Sq Ft) BLDG M	22 Spaces 24 Spaces (1 per 100 Sq Ft) -2 Spaces (10% Pedestrian Access Reduction)	22 Spaces (2 Handicap)
Total Spaces	204 Spaces (230 w/ Out Reduction)	219 Spaces 261 Spaces Provided

*Parking Agreement between the property owner and Nossi College has been established for the amount of 69 spaces for student use.

Access
Drive Entrance on Creative Way & Inspiration Blvd
Distance to College Driveway Entrance ± 178 Ft
Distance from Entrance to Inspiration Blvd ± 936 Ft

Phasing
Three Phase Development
Phase I - Townhomes
Phase II - Apartments
Phase III - Non-Residential

FEDERAL COMPLIANCE NOTE:
ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.ada.gov/>
U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>



WIDENED PAVEMENT INSET
SECTION A-A
GRAPHIC SCALE: 1" = 20'



NORTH BASED ON
TENNESSEE STATE PLANE COORDINATES
N.A.D. 83
GRID NORTH
VERTICAL DATUM: N.A.V.D. 88



LEGEND

---	BOUNDARY LINE
---	PROPERTY LINE
X X	EXISTING FENCE
G G	EXISTING GAS LINE
P P	EXISTING OVERHEAD POWER LINE
SA SA	EXISTING SANITARY SEWER
ST ST	EXISTING STORM SEWER
W W	EXISTING WATER LINE
---	PROPOSED CURB AND GUTTER
G G	PROPOSED GAS LINE
8" W	PROPOSED WATER LINE
SA SA	PROPOSED SANITARY SEWER
ST ST	PROPOSED STORM SEWER
---	PROPOSED RETAINING WALL
---	STORM PIPING

⊕	SANITARY SEWER MANHOLE	⊕	GAS METER
⊕	BELLSOUTH MANHOLE	⊕	WATER METER
⊕	UTILITY POLE	⊕	GAS VALVE
⊕	GAS VALVE	⊕	LIGHT POLE
⊕	BENCHMARK	⊕	TREE
⊕	WATER VALVE	⊕	PROPOSED HEADWALL
⊕	FLOW DIRECTION	⊕	PROPOSED INLET

---	PROPOSED CONCRETE	---	PROPOSED BUILDING
---	PREVIOUS PAVERS	---	ASPHALT

TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRADE
EX	EXISTING SPOT ELEV.

GENERAL NOTES:

1. PRELIMINARY SP ZONING = MIXED USE NEIGHBORHOOD (MUN)
2. PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.
3. TOPOGRAPHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING RANDOM SHOTS; CONTOUR INTERVAL = 2'

PUBLIC WORKS NOTES:

1. FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
2. ROW AND EASEMENT DEDICATIONS ARE TO BE RECORDED PRIOR TO METRO PUBLIC WORKS SIGN-OFF ON THE BUILDING PERMIT.
3. ALL CONSTRUCTION WITHIN THE ROW SHALL BE CONSTRUCTED IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
4. SOLID WASTE AND RECYCLING FOR THE DEVELOPMENT WILL BE IN COMPLIANCE WITH PUBLIC WORKS CURBSIDE PICK-UP WITHIN DEVELOPMENT. PRIVATE CURBSIDE PICK-UP WILL BE PROVIDED BY THE DEVELOPMENT'S HOMEOWNER'S ASSOCIATION FOR THE TOWNHOMES (UNITS 1 THROUGH 35), BUILDINGS A, B, AND C WILL BE SERVICED VIA DUMPSTERS AS SHOWN.
5. STREET PARKING ON PUBLIC STREETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
6. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
7. PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
8. STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
9. STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
10. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC.

METRO PLANNING NOTES:

1. THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
2. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.
3. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.75:1 OR GREATER, EXCEPT FOR DORMERS.
4. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
5. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
6. A RAISED FOUNDATION MINIMUM 6" TO A MAXIMUM 48" HEIGHT IS REQUIRED FOR ALL MULTIFAMILY RESIDENTIAL STRUCTURES. COMMERCIAL USES MAY HAVE SLAB ON GRADE FOUNDATION CONSTRUCTION. REDUCTIONS MAY BE GRANTED BY STAFF WITH THE FINAL SP APPLICATION FOR TOPOGRAPHICALLY CHALLENGING AREAS WITH ADA REQUIREMENTS.

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DISCLAIMER
THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 1-800-351-1111.

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**CREATIVE WAY VILLAGES
SITE AND SURFACE MATERIALS**
CREATIVE WAY VILLAGES, MADISON
DAVIDSON COUNTY, TENNESSEE
5/14/2021

REVISIONS

△	DATE - DESCRIPTION
△	03-10-2021 - AMENDMENT

REV: 4-24-2020 - ADDED TRANSFORMER PADS

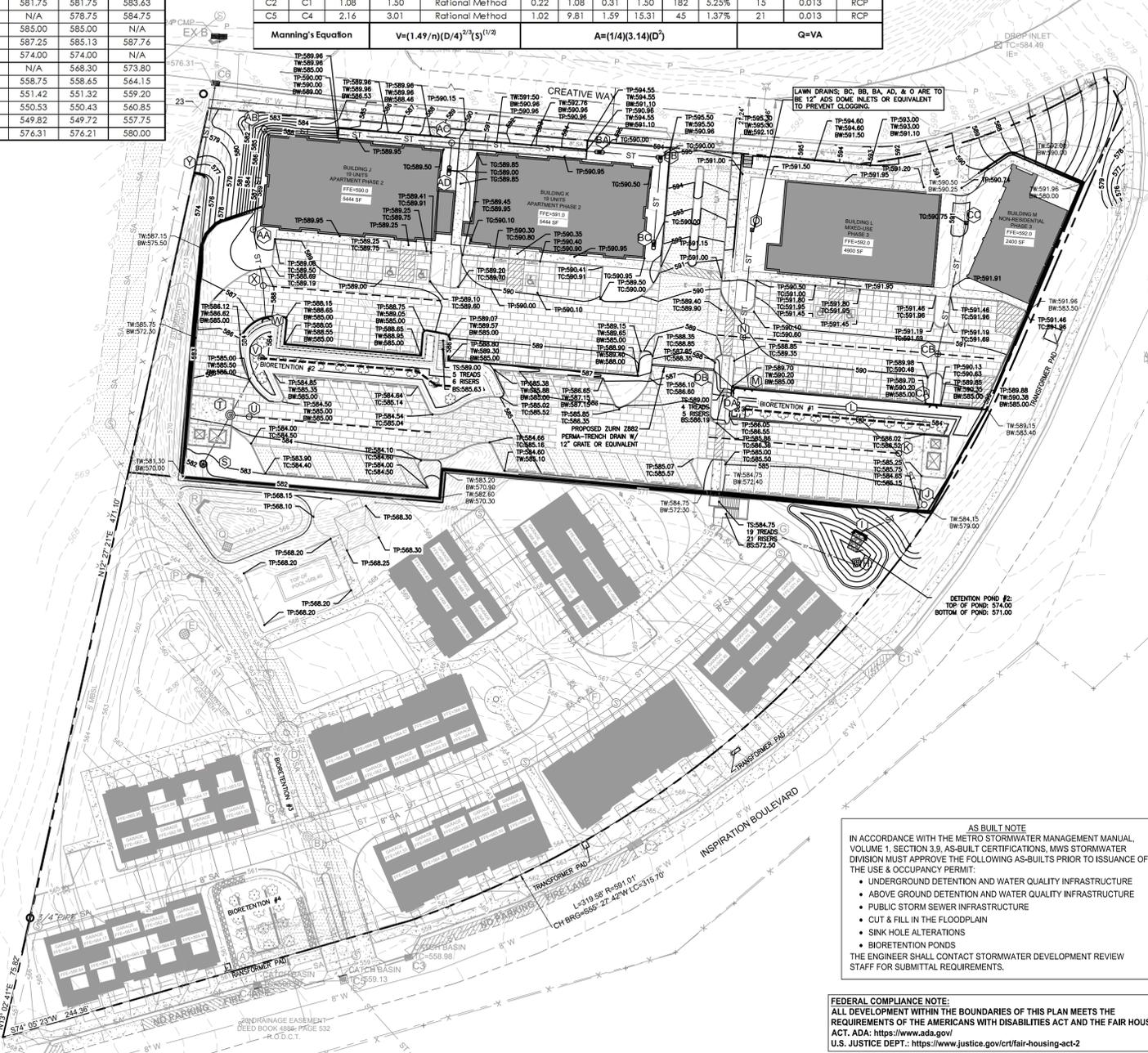
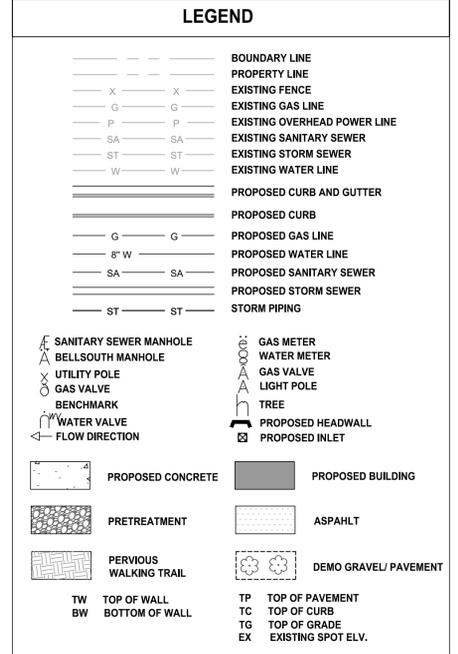
DESIGN BY: CG
DRAWN BY: CG
CHECKED BY: JL / DC

C 2.00

Struct	Number of Gates	Type	Inlet Flow Q-10 (cfs)	Inlet Flow Q-100 (cfs)	Invert In	Invert Out	Top of Gate
EX A	N/A	EXISTING HEADW ALL	N/A	N/A	546.86	546.86	N/A
EX B	N/A	EXISTING HEADW ALL	31.19	43.43	577.03	577.03	N/A
AA	N/A	CLEANOUT	N/A	N/A	585.39	585.29	588.00
AB	N/A	CLEANOUT	N/A	N/A	585.79	585.69	587.00
AC	1	CLEANOUT	N/A	N/A	586.44	586.34	589.95
AD	1	INLET	0.06	0.09	N/A	586.52	589.00
BA	1	INLET	0.17	0.25	586.97	586.87	590.00
BB	N/A	INLET	0.17	0.25	587.25	587.15	590.00
BC	N/A	INLET	0.17	0.25	N/A	587.50	590.00
CA	N/A	HEADW ALL	N/A	N/A	585.00	585.00	N/A
CB	N/A	CLEANOUT	0.78	1.28	587.38	587.38	590.66
CC	1	INLET	0.78	1.28	N/A	588.75	590.75
DA	N/A	HEADW ALL	N/A	N/A	N/A	585.00	N/A
DB	1	TRENCH DRAIN	0.91	1.33	N/A	585.75	587.25
A	1	INLET (BIORETENTION #4)	7.65	12.30	550.84	550.74	559.50
B	N/A	MANHOLE	N/A	N/A	551.98	551.88	560.39
C	1	INLET (BIORETENTION #3)	1.72	2.87	N/A	552.22	560.00
D	N/A	MANHOLE	N/A	N/A	553.24	553.14	561.17
E	1	INLET	48.10	69.18	N/A	555.40	559.40
F	N/A	CLEANOUT	N/A	N/A	562.24	562.24	566.34
G	N/A	CLEANOUT	N/A	N/A	567.85	567.85	571.60
H	1	OUTFALL STRUCTURE	1.95	2.73	571.00	569.25	573.75
I	N/A	HEADW ALL	N/A	N/A	573.00	573.00	N/A
J	1	INLET (DROP)	0.43	0.62	575.25	573.25	584.61
K	N/A	CLEANOUT	0.10	0.14	582.43	579.00	585.58
L	1	INLET (BIO #1)	1.62	2.81	N/A	579.75	585.00
M	N/A	HEADW ALL	N/A	N/A	585.00	585.00	N/A
N	N/A	CLEANOUT	1.62	2.81	586.25	586.25	589.46
O	1	INLET	1.46	2.41	N/A	588.57	590.50
P	N/A	HEADW ALL	N/A	N/A	565.00	565.00	N/A
Q	1	OUTFALL STRUCTURE	1.70	3.85	N/A	563.50	568.00
R	N/A	HEADW ALL	N/A	N/A	565.00	565.00	N/A
S	1	INLET	0.90	1.40	576.25	569.90	582.00
T	N/A	MANHOLE	N/A	N/A	581.25	577.50	583.87
U	N/A	CLEANOUT	0.52	0.69	581.75	581.75	583.63
V	1	INLET (BIO #2)	1.99	3.68	N/A	578.75	584.75
W	N/A	HEADW ALL	N/A	N/A	585.00	585.00	N/A
X	N/A	CLEANOUT	0.27	0.57	587.25	585.13	587.76
Y	N/A	HEADW ALL	N/A	N/A	574.00	574.00	N/A
CI	1	CURB INLET	1.08	1.50	N/A	568.30	573.80
C2	2	CURB INLET	1.32	1.84	558.75	558.65	564.15
C3	1	CURB INLET	1.12	1.56	551.42	551.32	559.20
C4	1	CURB INLET	2.16	3.01	550.53	550.43	560.85
C5	1	INLET	0.75	1.04	549.82	549.72	557.75
C6	2	CURB INLET	0.88	1.22	576.31	576.21	580.00

To	From	Inlet Flow Q-10 (cfs)	Inlet Flow Q-100 (cfs)	Inlet Flow runoff coeff. c	V-10 (fps)	Q-10 (cfs)	V-100 (fps)	Q-100 (cfs)	Length of Pipe (ft.)	Slope (ft./ft.)	Pipe Size (in.)	Manning Roughness Coeff. N	Pipe Type
EX A	CS	0.75	1.04	Rational / Hydraul	2.46	69.38	3.59	101.42	130	2.22%	36	0.013	RCP
C4	A	7.65	12.30	Hydraul	1.08	7.65	1.74	12.30	15	1.37%	18	0.013	RCP
CS	B	0.00	0.00	Rational / Hydraul	2.86	56.05	4.14	81.21	80	2.57%	30	0.013	RCP
B	D	0.00	0.00	Rational / Hydraul	2.72	53.36	3.91	76.77	45	2.57%	30	0.013	RCP
B	C	1.72	2.87	Hydraul	0.55	1.72	0.91	2.87	16	2.13%	12	0.013	RCP
D	E	51.64	73.90	Rational / Hydraul	2.63	51.64	3.77	73.90	84	2.57%	30	0.013	RCP
B	F	0.00	0.00	Hydraul	0.86	2.69	1.41	4.44	179	5.73%	12	0.013	RCP
F	G	0.00	0.00	Hydraul	1.81	5.69	1.41	4.44	141	3.98%	12	0.013	RCP
G	H	1.95	2.73	Hydraul	7.54	1.95	8.26	2.73	44	3.18%	12	0.013	RCP
I	J	1.96	3.19	Hydraul	4.21	1.96	4.55	3.19	38	0.66%	12	0.012	HDPE
J	K	1.53	2.57	Hydraul	11.35	1.53	13.18	2.57	31	12.09%	12	0.012	HDPE
K	L	1.46	2.46	Hydraul	6.38	1.46	7.35	2.46	30	2.50%	12	0.012	HDPE
DA	DB	0.91	1.33	Hydraul	6.98	0.91	7.79	1.33	16	4.69%	12	0.012	HDPE
CB	CC	0.78	1.28	Hydraul	4.73	0.78	5.44	1.28	77	1.78%	12	0.012	HDPE
CA	CB	0.78	1.28	Hydraul	8.13	0.78	9.40	1.28	29	8.21%	12	0.012	HDPE
BB	CB	0.17	0.25	Hydraul	1.93	0.17	2.17	0.25	50	0.50%	12	0.012	HDPE
BA	BB	0.17	0.25	Hydraul	1.93	0.17	2.17	0.25	36	0.50%	12	0.012	HDPE
AC	BA	0.17	0.25	Hydraul	1.93	0.17	2.17	0.25	86	0.50%	12	0.012	HDPE
AC	AD	0.06	0.09	Hydraul	1.42	0.06	1.60	0.09	16	0.50%	12	0.012	HDPE
AB	AC	0.23	0.34	Hydraul	2.13	0.24	2.37	0.34	110	0.50%	12	0.012	HDPE
AA	AB	0.23	0.34	Hydraul	2.13	0.24	2.37	0.34	60	0.50%	12	0.012	HDPE
X	AA	0.23	0.34	Hydraul	2.39	0.24	2.64	0.34	33	0.68%	12	0.012	HDPE
M	N	2.42	4.30	Hydraul	9.79	2.42	11.42	4.30	29	5.56%	18	0.012	HDPE
N	O	1.46	2.40	Hydraul	7.48	1.46	8.59	2.41	66	3.89%	12	0.012	HDPE
P	Q	1.84	4.12	Hydraul	9.76	1.84	12.19	4.12	22	6.82%	12	0.012	HDPE
R	S	4.19	7.24	Hydraul	19.15	4.19	22.24	7.24	21	23.33%	12	0.012	HDPE
S	T	3.32	5.89	Hydraul	9.85	3.32	11.30	5.89	28	4.46%	12	0.012	HDPE
T	V	1.99	3.68	Hydraul	7.91	1.99	9.31	3.68	35	3.57%	12	0.012	HDPE
W	X	0.27	0.57	Hydraul	6.86	0.27	8.58	0.57	18	12.50%	12	0.012	HDPE
Y	C6	0.88	1.22	Hydraul	6.67	0.88	7.33	1.22	52	4.25%	12	0.012	HDPE
C6	EX B	31.19	43.43	Rational Method	2.48	31.19	3.46	43.43	24	3.00%	24	0.023	CMP
O	C6	0.88	1.22	Rational Method	2.55	32.07	3.55	44.65	52	4.25%	24	0.013	RCP
C5	C3	1.12	1.56	Rational Method	0.72	3.52	1.00	4.90	35	4.29%	15	0.013	RCP
C3	C2	1.32	1.84	Rational Method	0.49	2.40	0.68	3.34	139	5.02%	15	0.013	RCP
C2	C1	1.08	1.50	Rational Method	0.22	1.08	0.31	1.50	182	5.25%	15	0.013	RCP
C5	C4	2.16	3.01	Rational Method	1.02	9.81	1.59	15.31	45	1.37%	21	0.013	RCP

Manning's Equation $V = (1.49/n)(D/4)^{2/3}(S)^{1/2}$ $A = (1/4)(3.14)(D^2)$ $Q = VA$



- GENERAL NOTES:**
- THIS TRACT DOES NOT LAY WITHIN A SPECIAL FLOOD HAZARD AREA OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO FLOOD INSURANCE RATE MAP (47037 C 0251 H ZONE X) OF THE CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE, DATED: APRIL 5, 2017, UNLESS OTHERWISE NOTED ON SURVEY.
- EROSION CONTROL AND GRADING NOTES:**
- EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
 - ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70% - 80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
 - EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME 4, SECTION TCP-14.
 - DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
 - ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
 - THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOIL, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION THREE DAYS PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ARCHITECT. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR A DECISION.
 - SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
 - ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
 - ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
 - CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.
 - BUILDING AREA DOES NOT INCLUDE ANY SLOPE EXCEEDING A 15% GRADE

- AS BUILT NOTE**
- IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT.
- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
 - ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
 - PUBLIC STORM SEWER INFRASTRUCTURE
 - CUT & FILL IN THE FLOODPLAIN
 - SINK HOLE ALTERATIONS
 - BIORETENTION PONDS
- THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

FEDERAL COMPLIANCE NOTE:

ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.ada.gov/> U.S. JUSTICE DEPT.: <https://www.justice.gov/crt/fair-housing-act-2>

- STORMWATER NOTES:**
- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
 - CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS DEVELOPMENT AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PLANTING SOIL FILTER BED. AT THE COMPLETION OF INSTALLATION, THE ABOVE REFERENCED PERSON WILL COLLECT ONE SAMPLE PER BIORETENTION BED FOR ANALYSIS AND CONFIRMATION OF THE SOIL CHARACTERISTICS AS DEFINED BY GP-01, FILTER MEDIA AND SURFACE COVER, SECTION 6.6, PAGE 20.

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CREATIVE WAY VILLAGES
STORMWATER & GRADING PLAN
CREATIVE WAY VILLAGES, MADISON
DAVIDSON COUNTY, TENNESSEE
5/14/2021

REVISIONS

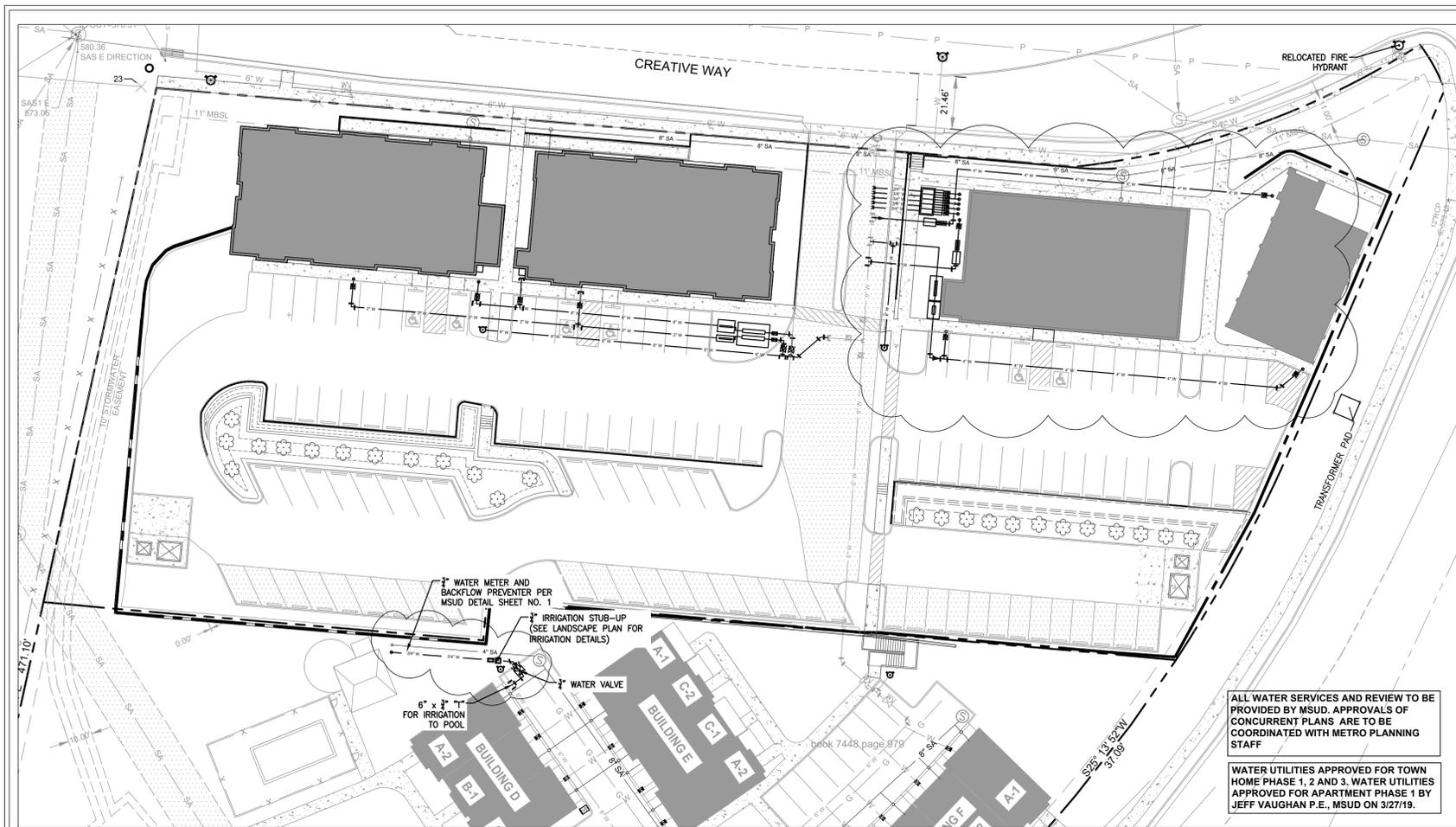
DATE	DESCRIPTION
03-10-2021	AMENDMENT

DESIGN BY: CG
DRAWN BY: CG
CHECKED BY: JL / DC

C 3.00



811: Call before you dig. Call 811 to report a problem with a utility. Call 811 to report a problem with a utility. Call 811 to report a problem with a utility.



COMMERCIAL WATER UTILITIES DETAIL SECTION

- NES NOTES:**
- POWER FOR THE DEVELOPMENT WILL COME FROM CREATIVE WAY AS THERE ARE NES FACILITIES ALONG INSPIRATION BLVD.
 - THE RISER POLE SHOULD BE PLACED ON DEVELOPMENT PROPERTY.
 - NES SHALL BE PLACED IN "PUE" INSIDE DEVELOPMENT FOR CONDUIT RUNS AND METER CENTERS.
 - ANY ADDITIONAL EASEMENTS REQUIRED THAT ARE NOT PART OF THIS PARCEL MUST BE OBTAINED BY THE DEVELOPER OR THE ENGINEER FOR THE DEVELOPER.
 - POSTAL PLAN IS REQUIRED BEFORE NES'S FINAL CONSTRUCTION DRAWINGS CAN BE APPROVED.
 - NES NEEDS ANY DRAWINGS THAT WILL COVER ANY ROAD IMPROVEMENTS.
 - NES FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES. REFER TO NFPA 70 ARTICLE 450-27, AND NES SECTION 15-152.A.2 FOR COMPLETE RULES (SEE NES CONSTRUCTION GUIDELINES UNDER 'BUILDERS AND CONTRACTORS' TAB @ WWW.NESPOWER.COM).
 - OVERHEAD ELECTRICAL POWER LINES ARE REQUIRED TO MEET OR EXCEED THE CONDITIONS AS SPECIFIED IN THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE STATE OF TENNESSEE IN CHAPTER 89, PUBLIC ACTS. THE EXISTING OVERHEAD POWER LINES ARE LOCATED IN THE PUBLIC RIGHT-OF-WAYS AND WILL REQUIRE AN ELECTRICAL SAFETY CLEARANCE THAT MUST BE MAINTAINED DURING AND AFTER CONSTRUCTION OF ANY BUILDINGS. THE NATIONAL ELECTRICAL SAFETY CODE, 2012 EDITION, DICTATES THE CLEARANCES IN RULE 234 C AND G TO PROVIDE THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM LIVE CONDUCTORS. THE OVERHEAD LINE MUST HAVE A HORIZONTAL CLEARANCE OF 7'-8" AWAY FROM THE NEAREST CONDUCTOR TO ALLOW FOR BLOW-OUT CONDITIONS AS IT IS CONFIGURED TODAY. IT IS THE DEVELOPER AND HIS CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THEY COMPLY WITH OSHA REGULATIONS FOR WORKING NEAR ENERGIZED CONDUCTORS. CHECK WITH OSHA REGULATIONS FOR MEETING CLEARANCES FOR CONSTRUCTION NEAR ENERGIZED CONDUCTORS FOR ADDITIONAL CLEARANCE REQUIREMENTS. TYPICALLY OSHA CLEARANCES WILL EXCEED WHAT IS REQUIRED BY THE NES. OFTEN THE LOCATIONS OF NEW BUILDINGS ARE IMPACTED BY THE INABILITY OF DE-ENERGIZING THE CIRCUITS TO MEET COST AND CONSTRUCTION SCHEDULES. PROPER CLEARANCES MUST BE MAINTAINED FROM NOT ONLY THE BUILDING ENVELOPE, BUT ALSO FROM SCAFFOLDING AND OTHER CONSTRUCTION EQUIPMENT.
 - IF PORCHES OR WALLS ARE ALLOWED TO BE CONSTRUCTED BEYOND THE MINIMUM SETBACK LIMITS AND INTO THE PUBLIC UTILITY EASEMENTS, THEN THE EASEMENT WILL BE CONSIDERED REDUCED BY THAT MUCH OF THE EASEMENT. SUCH ENCROACHMENTS MAY INCREASE THE COST OF ELECTRICAL INFRASTRUCTURE TO ALLOW FOR REDUCED OR LIMITED ACCESS TO EQUIPMENT. NES RESERVES THE RIGHT TO ENTER AND TO ERECT, MAINTAIN, REPAIR, REBUILD, OPERATE AND PATROL ELECTRICAL POWER OVERHEAD AND UNDERGROUND CONDUCTORS AND COMMUNICATIONS CIRCUITS WITH ALL NECESSARY EQUIPMENT REASONABLY INCIDENT THERETO INCLUDING THE RIGHT TO CLEAR SAID EASEMENT AND KEEP THE SAME CLEAR OF BRUSH, TIMBER, FLAMMABLE STRUCTURES, BUILDINGS, PERMANENT STRUCTURES, AND FIRE HAZARDS; ALL OVER, UNDER, UPON, AND ACROSS THE EASEMENT AS GRANTED ON ANY PLAT.
 - FINAL QUANTITY AND LOCATION OF NES EQUIPMENT TO BE DETERMINED BY THE NES ENGINEER AFTER RECEIVING FINAL PLANS AND ELECTRICAL LOAD INFORMATION. A PRELIMINARY EXHIBIT 'B' DESIGN WILL BE SENT TO THE DEVELOPER OR REPRESENTATIVES OF THE DEVELOPER FOR REVIEW. SUGGESTIONS OR REQUESTS TO THE DESIGN SHOULD BE MADE DURING THIS REVIEW PROCESS. ANY CHANGES REQUIRING RE-DESIGN, AFTER THIS DOCUMENT HAS BEEN SIGNED, WILL BE AT THE DEVELOPER'S EXPENSE.
 - DEVELOPER'S VEGETATION DESIGN SHALL MEET BOTH METRO REQUIREMENTS AND NES VEGETATION MANAGEMENT REQUIREMENTS CLEARANCES.
 - NES FACILITIES WILL NOT BE ALLOWED TO SIT IN OR TO PASS THROUGH RETENTION AREAS INCLUDING RAIN GARDENS, BIOTENTION, BIO SWALES AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN PAD-MOUNTED EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER OR METER CENTER.
 - NES NEEDS ELECTRICAL LOAD INFORMATION.

- WATER & STORMWATER NOTES**
- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES. ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MADISON SUBURBAN UTILITY DISTRICT (MSUD) STANDARD SPECIFICATIONS FEBRUARY 2017 EDITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE UTILITY PROVIDER FOR THE COST OF INSPECTION.
 - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
 - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
 - UPON COMPLETION OF CONSTRUCTION OF SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSE PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.

ALL WATER SERVICES AND REVIEW TO BE PROVIDED BY MSUD. APPROVALS OF CONCURRENT PLANS ARE TO BE COORDINATED WITH METRO PLANNING STAFF

WATER UTILITIES APPROVED FOR TOWN HOME PHASE 1, 2 AND 3. WATER UTILITIES APPROVED FOR APARTMENT PHASE 1 BY JEFF VAUGHAN P.E., MSUD ON 3/27/19.

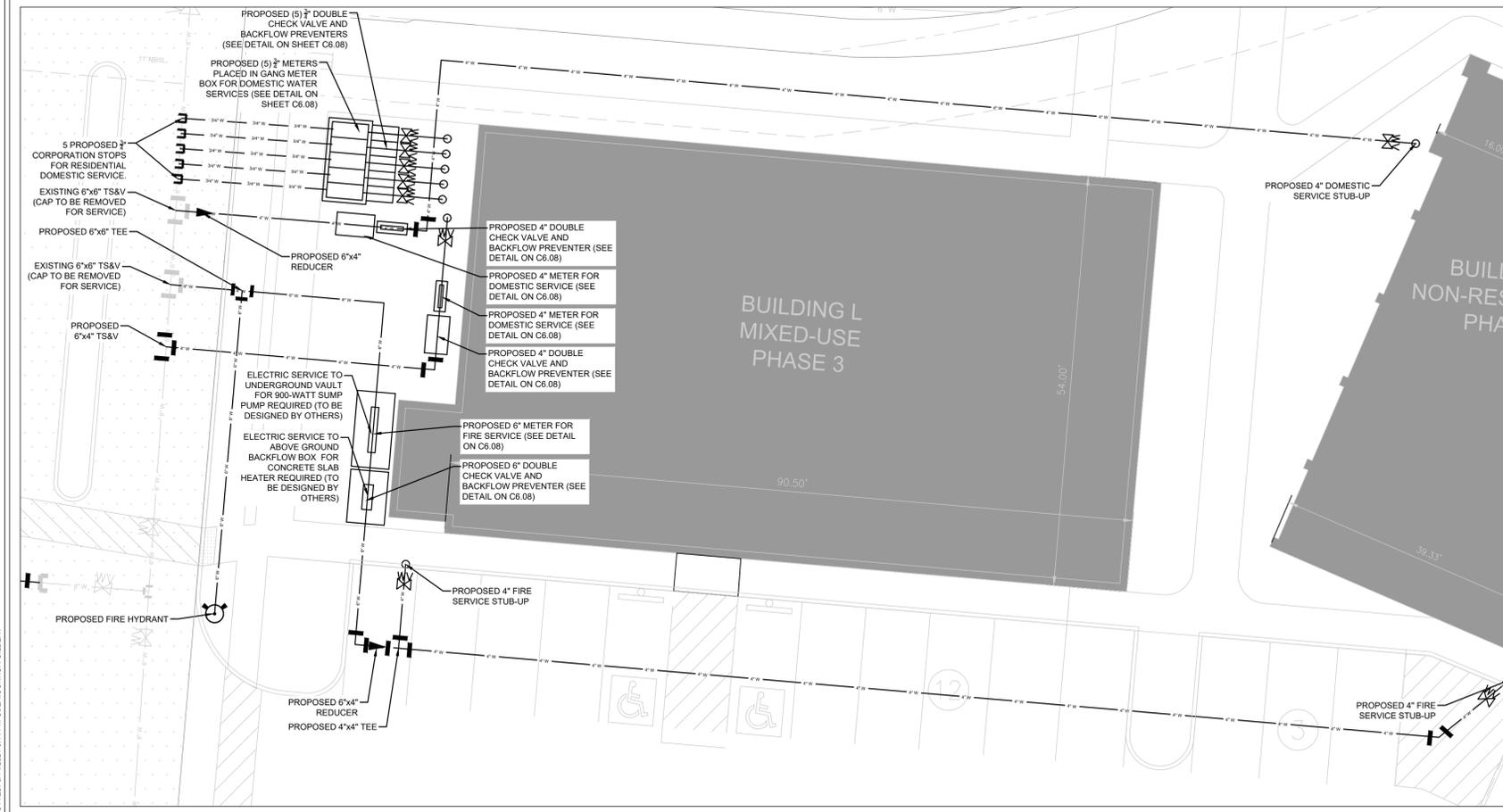
LEGEND

---	BOUNDARY LINE	---	BOUNDARY LINE
---	PROPERTY LINE	---	PROPERTY LINE
X - X	EXISTING FENCE	---	EXISTING GAS LINE
G - G	EXISTING GAS LINE	---	EXISTING OVERHEAD POWER LINE
P - P	EXISTING SANITARY SEWER	---	EXISTING SANITARY SEWER
SA - SA	EXISTING STORM SEWER	---	EXISTING WATER LINE
ST - ST	EXISTING WATER LINE	---	PROPOSED CURB AND GUTTER
W - W	PROPOSED CURB AND GUTTER	---	PROPOSED CURB
---	PROPOSED CURB	---	PROPOSED GAS LINE
G - G	PROPOSED GAS LINE	---	PROPOSED WATER LINE
8" W	PROPOSED WATER LINE	---	PROPOSED SANITARY SEWER
SA - SA	PROPOSED SANITARY SEWER	---	PROPOSED STORM SEWER
ST - ST	PROPOSED STORM SEWER	---	STORM PIPING

⊕	SANITARY SEWER MANHOLE	⊕	GAS METER	TP	TOP OF PAVEMENT
⊕	BELLSOUTH MANHOLE	⊕	WATER METER	TC	TOP OF CURB
⊕	UTILITY POLE	⊕	GAS VALVE	TG	TOP OF GRADE
⊕	GAS VALVE	⊕	LIGHT POLE	EX	EXISTING SPOT ELEV.
⊕	BENCHMARK	⊕	TREE		
⊕	WATER VALVE	⊕	PROPOSED HEADWALL		
⊕	FLOW DIRECTION	⊕	PROPOSED INLET		

⊕	PROPOSED CONCRETE	⊕	PROPOSED BUILDING
⊕	BIOTENTION	⊕	ASPAHLT

- GENERAL NOTES:**
- ALL UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON LOCATION OF UTILITIES BY LOCAL UTILITY AUTHORITIES, VISIBLE APPURTENANCES, OR MAPS PREPARED BY OTHERS. THESE LOCATIONS ARE NO GUARANTEE THAT THERE ARE NO OTHER UTILITIES, EITHER PUBLIC OR PRIVATE, THAT ARE NOT SHOWN ON THIS DRAWING. ALL UTILITIES SHALL BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE NECESSARY ARRANGEMENTS WITH THE GOVERNING UTILITY COMPANY FOR UTILITIES REQUIRING RELOCATION.
 - ALL PROPOSED UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE METRO NASHVILLE WATER SERVICE REQUIREMENTS AND/ OR MADISON SUBURBAN UTILITY DISTRICT.
 - CONTRACTOR SHALL MAINTAIN 10' HORIZONTAL CLEARANCE AND 18" VERTICAL CLEARANCE BETWEEN ALL DOMESTIC WATER AND SANITARY SEWER LINES. IF CLEARANCE CANNOT BE OBTAINED, CONCRETE ENCASUREMENT WILL BE NECESSARY (TO BE PROVIDED BY CONTRACTOR).
 - ALL SANITARY SEWER PIPE SHALL CONFORM TO ASTM 3034-SDR35 STANDARDS.
 - ALL SANITARY SEWER CLEANOUTS IN CONCRETE OR PAVEMENT AREAS SHALL BE IN A BROOKS PRODUCT, 12" WITH SOLID LID, OR APPROVED EQUIVALENT.
 - MECHANICAL RESTRAINT SHALL BE USED ON ALL FITTINGS AND VALVES.
 - SEE MECHANICAL DRAWINGS FOR EXACT LOCATION OF UTILITIES ENTERING / EXITING BUILDING.
 - CONTRACTOR TO ENSURE THAT ALL GRADING IS TO SUBGRADE PRIOR TO INSTALLATION OF UTILITY LINES.
 - UTILITY CONTRACTOR RESPONSIBLE FOR TESTING & FINAL APPROVAL OF NEW SEWER SYSTEM PER METRO WATER REQUIREMENTS.
 - ANY EXISTING OR PROPOSED VALVES, FIRE HYDRANTS, METER VAULTS, MANHOLES, SPRINKLER HEADS, ELECTRIC METERS VAULTS, PULL BOXES, TRANSFORMERS (THIS SHALL INCLUDE ANY PADS, GRATES, LIDS, SIGNS, POSTS, OR ANY OTHER ITEMS ASSOCIATED WITH SUCH APPURTENANCES), TELEPHONE PEDESTALS, CABLE BOXES, FIBER OPTIC VAULTS (BOXES), REMOTE FIRE DEPARTMENT CONNECTIONS, CLEANOUTS, SPIGOTS, LIGHT POLES, FLOOD LIGHTS, AREA DRAINS, CATCH BASINS, OR OTHER SUCH APPURTENANCES LOCATED WITHIN THE CONSTRUCTION SITE SHALL BE ADJUSTED TO MATCH FINISHED GRADES WHICH ARE NOT SPECIFIED TO BE REMOVED.
 - GAS AND ELECTRICAL LINES TO BE DESIGNED AND INSTALLED BY RESPECTIVE PROVIDERS. DESIGN SHOWN ON PLAN FOR SCHEMATICALLY PURPOSES ONLY.
 - A COPY OF THE STANDARD SPECIFICATIONS FOR WATER MAIN MATERIAL & INSTALLATION THE MADISON SUBURBAN UTILITY DISTRICT MADISON, TENNESSEE, FEBRUARY 2017 EDITION (UWBWS/CS 5100 LINBAR DRIVE, SUITE 106 NASHVILLE, TENNESSEE 37211) WILL BE PROVIDED TO THE CONTRACTOR



GRAPHIC SCALE: 1" = 30'

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CREATIVE WAY VILLAGES
UTILITY PLAN PHASES 4 & 5
CREATIVE WAY VILLAGES, MADISON
DAVIDSON COUNTY, TENNESSEE
5/14/2021

REVISIONS

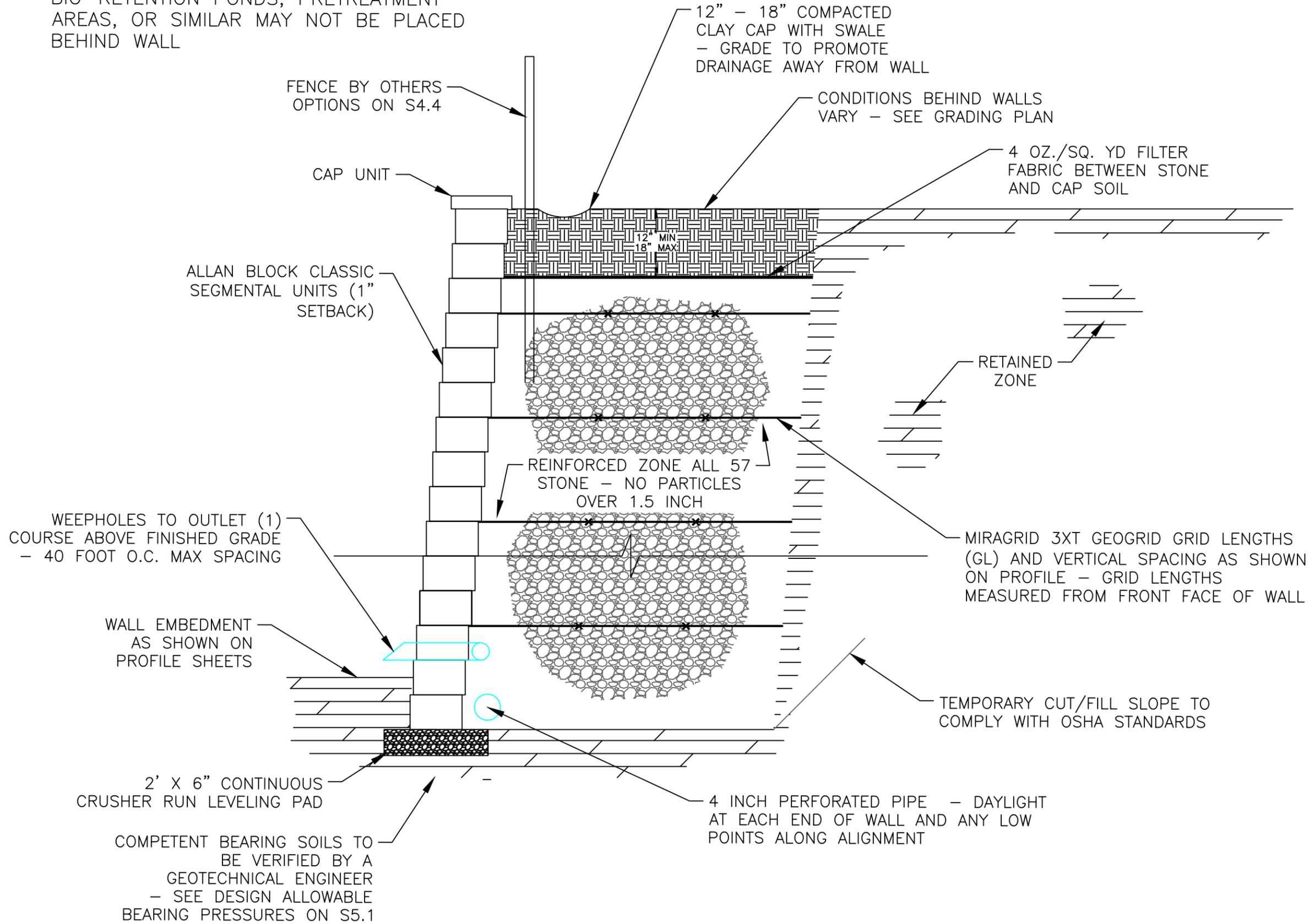
DATE	DESCRIPTION
03-10-2021	SP AMENDMENT

DESIGN BY: CG
DRAWN BY: CG
CHECKED BY: JL / DC

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NOTE: BIO-RETENTION PONDS, PRETREATMENT AREAS, OR SIMILAR MAY NOT BE PLACED BEHIND WALL



1
S3.1

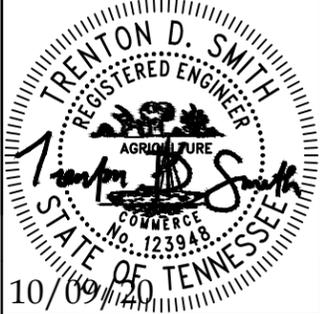
TYPICAL CROSS SECTION
N.T.S.



DEAN
ENGINEERING & DESIGN
KNOXVILLE, TN
(865) 385-1167

TYPICAL CROSS SECTION
SEGMENTAL RETAINING WALL PLANS
CREATIVE WAY VILLAGES
DAVIDSON CO., TN

REVISIONS		PREP	AUTH
DATE	DESCRIPTION	INITIAL	RELEASE
10/09/20		TDS	



PROJECT NO.
20-61
SHEET NO.
S3.1