

ORDINANCE NO. BL2020 - 446

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from IR to SP zoning for properties located at 515 and 516 Foster Street, at the eastern terminus of Foster street and partially located with a Planned Unit Development Overlay District (9.51 acres), to permit a mixed use development,. (9.51 acres), all of which is described herein (Proposal No. 2020SP-021-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IR to SP zoning for properties located at 515 and 516 Foster Street, at the eastern terminus of Foster street and partially located with a Planned Unit Development Overlay District (9.51 acres), to permit a mixed use development, being Property Parcel Nos. 083, 085 as designated on Map 082-11 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to 490 multi-family units, 125 hotel rooms, 123,000 square feet of office space, and 62,000 square feet of mixed use commercial space. The permitted commercial and office uses for this project are identified on the plans. Short term rental property – owner occupied and short term rental property – not owner occupied shall be prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Applicant shall work to engage the surrounding neighborhood and District 5 Council Member to identify and install appropriate traffic calming measures in

the area bounded by Cleveland Street, Dickerson Pike, Ellington Parkway, and Spring Street. The cost to the applicant to install the traffic calming measures shall not exceed \$60,000. The traffic calming measures shall be identified and reviewed by Public Works prior to the building permit process. Public Works may alter the final design of the traffic calming measures.

2. The Commission urges Council to adopt conditions that, prior to final site plan approval, the applicant shall coordinate with Metro Greenways and the District Councilmember, to identify the planned greenway on the project site and identify opportunities for construction.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

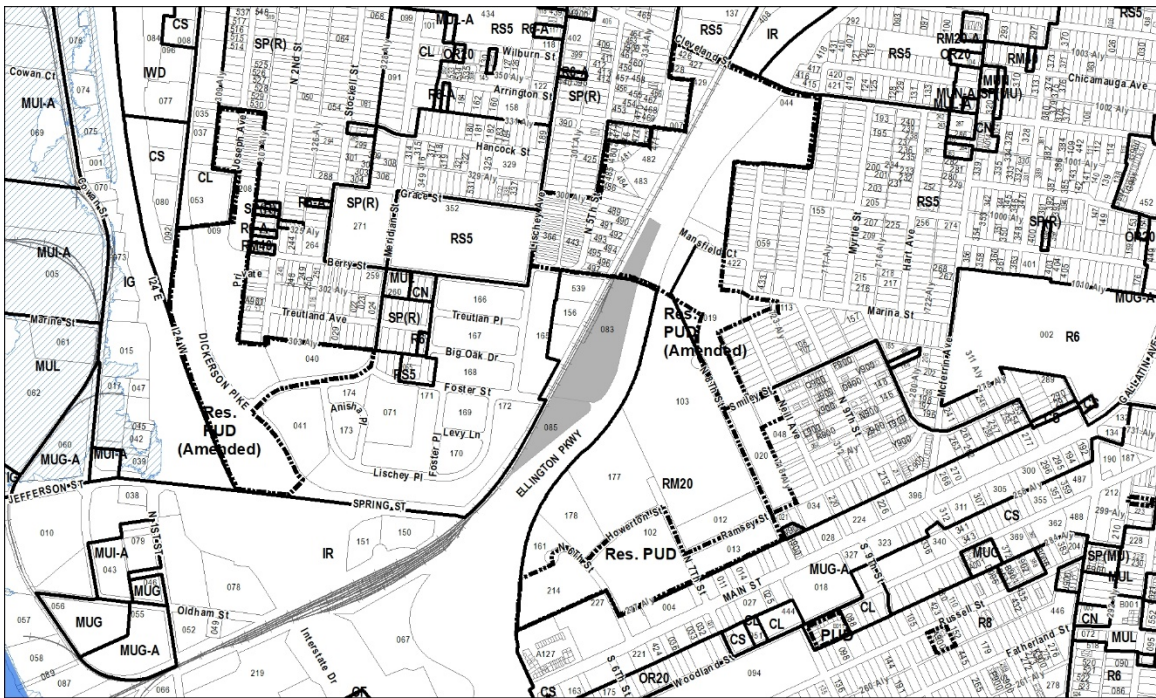
INTRODUCED BY:



Councilmember Sean Parker

2020SP-021-001
 FOSTER STREET SP
 Map 082-11, Parcel(s) 083, 085
 Subarea 05, East Nashville
 District 05 (Parker)
 Application fee paid by: Foster Street Partners, LLC

A request to rezone from IR to SP zoning for properties located at 515 and 516 Foster Street, at the eastern terminus of Foster street and partially located with a Planned Unit Development Overlay District (9.51 acres), to permit a mixed use development, requested by Barge Cauthen and Associates, applicant; Foster Street Partners LLC, owner.



Modified Foster St. Land Use	Back up Zoning Mixed Use Intensive
Key: P-Permitted PC-Permitted w/ conditions SE-Special Exception A-Accessory O-Overlay	MUI
Residential Uses:	
Single-family	P
Two-family	P
Elderly Housing	P
Multifamily	P
Mobile home dwelling	
Accessory apartment	
Accessory dwelling, detached	
Boarding house	P
Consignement sale	P
Domesticated hens	
Garage sale	A
Historic bed and breakfast homestay	O
Historic home events	P
Home occupation	A
Rural bed and breakfast homestay	
Security residence	
Short-term Rental Property Owner Occupied	A
Institutional Uses:	
Correctional facility	
Cultural center	P
Day care center (Up to 75)	PC
Day care center (Over 75)	PC
Day care home	PC
Day care—Parent's day out	A
* Day care centers (over 75) as special	
School day care	A
Monastery or convent	P
Orphanage	P
Religious institution	P
Educational Uses:	
Business school	P
College or university	P
Community education	P
Dormitory	P
Fraternity/sorority house	P
Personal instruction	P
Vocational school	P
Office Uses:	
Alternative Financial Services	PC
Financial institution	P
General office	P
Leasing/sales office	P
Medical Uses:	
Animal hospital	P
Assisted-care living	P
Hospice	P
Hospital	P

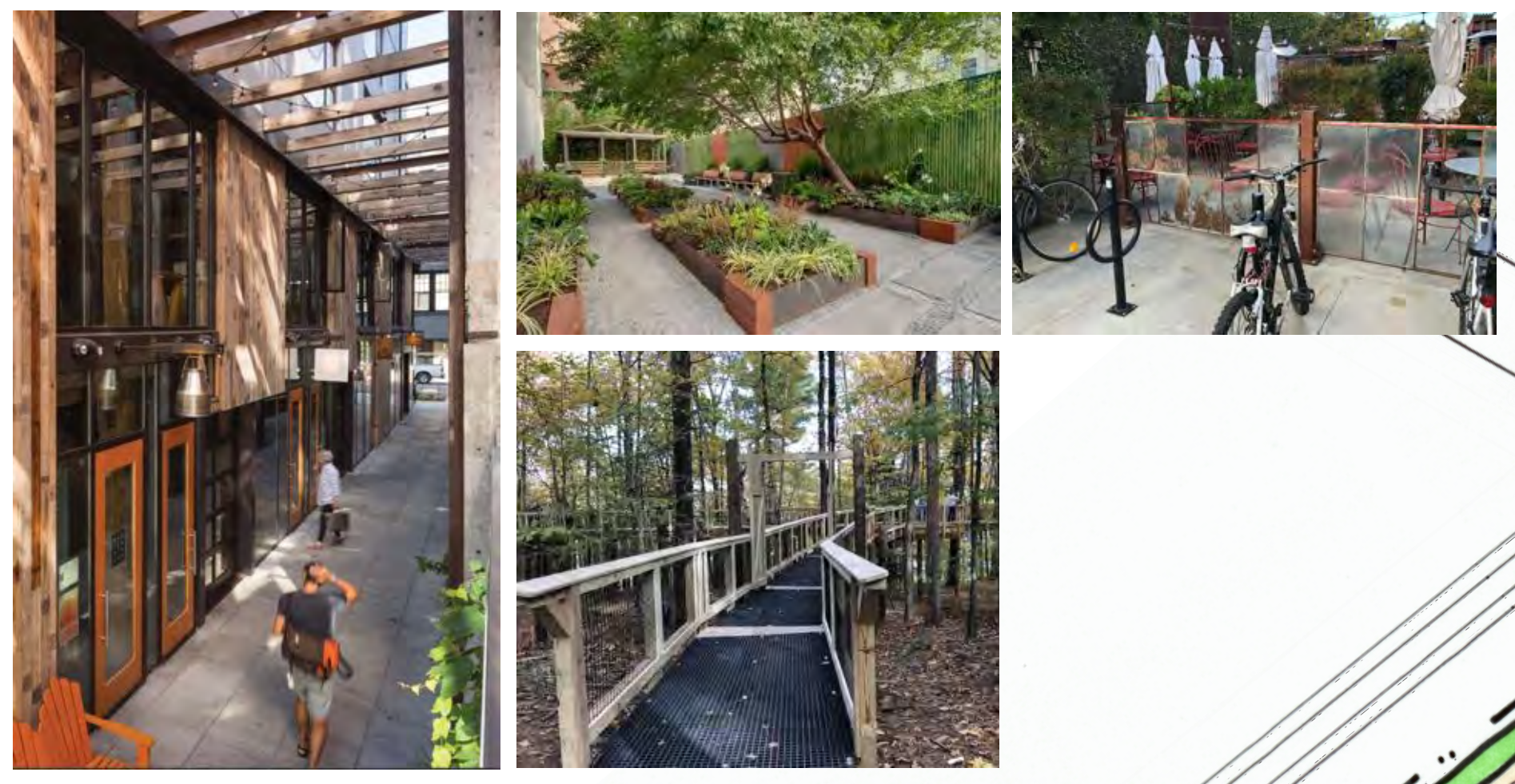
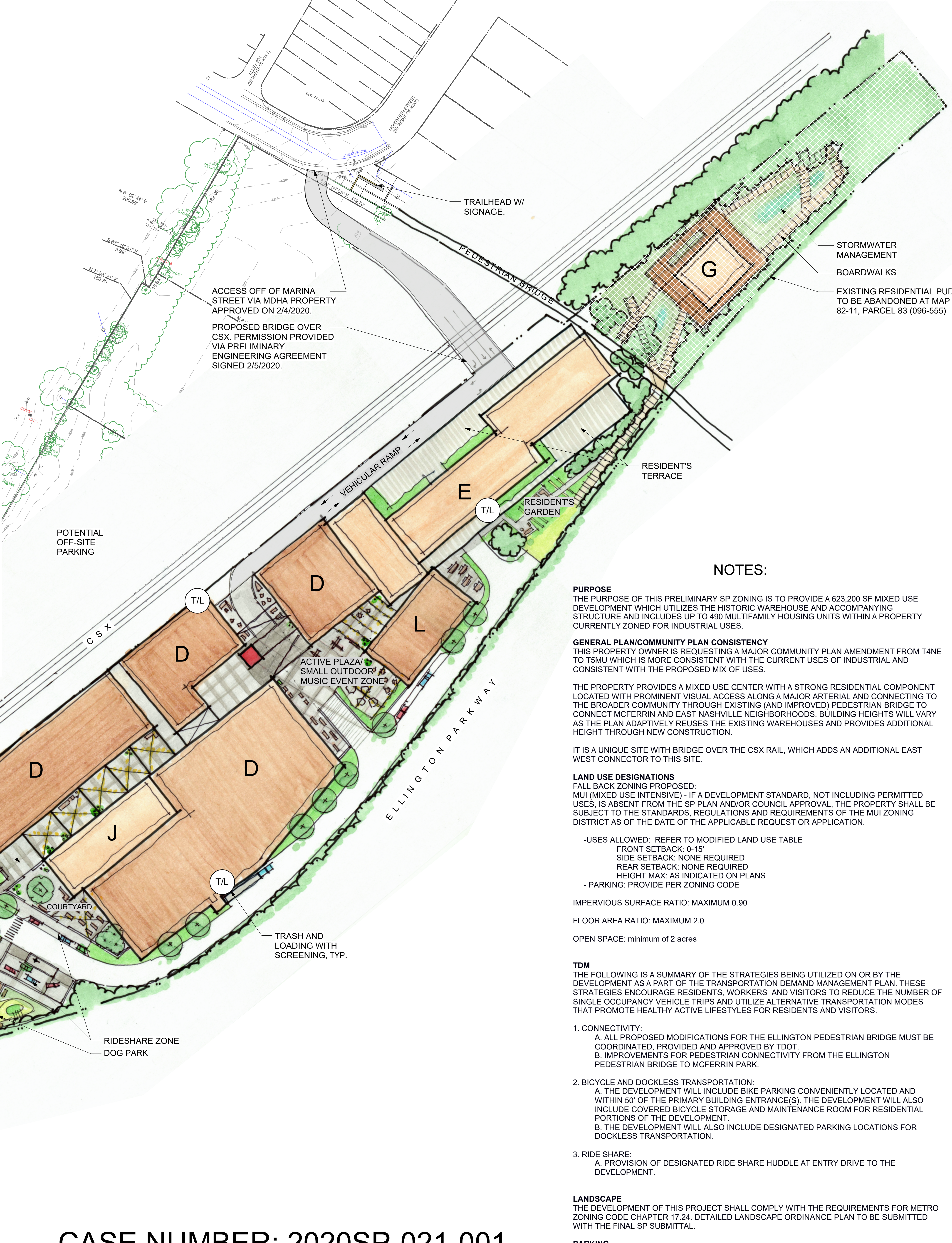
Medical appliance sales	P
Medical office	P
Medical or scientific lab	P
Nonresidential drug treatment facility	
Nursing home	P
Outpatient clinic	P
Rehabilitation services	P
Residence for handicapped, more than eight individuals	P
Veterinarian	PC
Commercial Uses:	
Animal boarding facility	
ATM	P
Auction house	P
Automobile convenience	PC
Automobile parking	P
Automobile repair	P
Automobile sales, new	A
Automobile sales, used	P
Automobile service	P
Bar or nightclub	P
Bed and breakfast inn	P
Beer and cigarette market	P
Boat storage	
Business service	P
Carpet cleaning	PC
Car wash	PC
Community gardening (commercial)	P
Community gardening (noncommercial)	P
Custom assembly	PC
Donation center, drop-off	PC
Flea market	P
Funeral home	P
Furniture store	P
Grocery store	P
Home improvement sales	P
Hotel/motel	P
Inventory stock	A
kennel/stable	P
Laundry plants	P
Liquor sales	P
Major appliance repair	P
Mobile storage unit	PC
Mobile vendor	PC
Nano brewery	PC
Personal care services	P
Restaurant, fast-food	P
Restaurant, full-service	P
Restaurant, take-out	P
Retail	P
Self-service storage	PC
Short term rental property-Not owner occupied	PC
Vehicular rental/leasing	P

Vehicular sales and service, limited	
Wrecker service	
Communication Uses:	
Amateur radio antenna	P
Audio/video tape transfer	P
Communications hut	PC
Multi-media production	P
Printing and publishing	P
Radio/TV studio	P
Satellite dish	P
Telecommunications Facility	PC
Industrial Uses:	
Artisan distillery	P
Asphalt Plant	
Building contractor supply	
Compressor Station	
Concrete Plant	
Distributive business/wholesale	PC-P
Fuel storage	A
Heavy equipment, sales and service	
Hazardous operation	
Manufacturing, heavy	
Manufacturing, medium	
Manufacturing, light	
Microbrewery	P
Research service	P
Scrap operation	
Tank farm	
Tasting room	P
Warehouse	PC
Transportation Uses:	
Airport/heliport	
Boatdock (commercial)	P
Bus station/landport	SE
Bus transfer station	P
Commuter rail	P
Helistop	SE
Motor freight	
Park and ride lot	P
Railroad station	SE
Railroad yard	
Water taxi station	P
Utility Uses:	
Power/gas substation	PC
Power plant	A
Reservoir/water tank	PC
Safety services	P
Waste water treatment	SE
Water/sewer pump station	P
Water treatment plant	SE
Wind energy facility (small)	PC
Wind energy facility (utility)	
Waste Management Uses:	
Collection center	

Construction/demolition landfill	SE
Construction/demolition waste processing (project specific)	PC
Medical waste	A
Recycling collection center	A
Recycling facility	
Sanitary landfill	
Waste transfer	
Recreation and Entertainment Uses:	
Adult entertainment	O
After hours establishment	
Camp	
Club	
Commercial amusement (inside)	P
Commercial amusement (outside)	P
Country club	P
Drive-in movie	P
Driving range	PC
Fairground	P
Golf course	P
Greenway	P
Park	P
Racetrack	SE
Recreation center	P
Rehearsal hall	P
Sex Club	
Small outdoor music event	PC
Stadium arena/convention center	P
Temporary festival	SE
Theater	P
Zoo	
Other Uses:	
Agricultural activity	
Cemetery	PC
Domestic animals/wildlife	
Mineral extraction	
On-site agricultural sales	P
Pond/lake	P

* CONDITION #6 IN SECTION 17.16.120D OF THE METRO ZONING ORDINANCE RELATED TO COLLECTOR STREETS DOES NOT APPLY TO THIS SP.

LEGEND: Relating to MUI standard land use designations
 Unchanged (Green)
 Added (Red)
 Deleted (White)



PRECEDENT IMAGERY

NOTES:

PURPOSE
 THE PURPOSE OF THIS PRELIMINARY SP ZONING IS TO PROVIDE A 623,200 SF MIXED USE DEVELOPMENT WHICH UTILIZES THE HISTORIC WAREHOUSE AND ACCOMPANYING STRUCTURE AND INCLUDES UP TO 490 MULTIFAMILY HOUSING UNITS WITHIN A PROPERTY CURRENTLY ZONED FOR INDUSTRIAL USES.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY
 THIS PROPERTY OWNER IS REQUESTING A MAJOR COMMUNITY PLAN AMENDMENT FROM T4NE TO T5MU WHICH IS MORE CONSISTENT WITH THE CURRENT USES OF INDUSTRIAL AND CONSISTENT WITH THE PROPOSED MIX OF USES.

THE PROPERTY PROVIDES A MIXED USE CENTER WITH A STRONG RESIDENTIAL COMPONENT LOCATED WITH PROMINENT VISUAL ACCESS ALONG A MAJOR ARTERIAL AND CONNECTING TO THE BROADER COMMUNITY THROUGH EXISTING (AND IMPROVED) PEDESTRIAN BRIDGE TO CONNECT MCFERRIN AND EAST NASHVILLE NEIGHBORHOODS. BUILDING HEIGHTS WILL VARY AS THE PLAN ADAPTIVELY REUSES THE EXISTING WAREHOUSES AND PROVIDES ADDITIONAL HEIGHT THROUGH NEW CONSTRUCTION.

IT IS A UNIQUE SITE WITH BRIDGE OVER THE CSX RAIL, WHICH ADDS AN ADDITIONAL EAST WEST CONNECTOR TO THIS SITE.

LAND USE DESIGNATIONS
 FALL BACK ZONING PROPOSED:
 MUI (MIXED USE INTENSIVE) - IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUI ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

- USES ALLOWED: REFER TO MODIFIED LAND USE TABLE
- FRONT SETBACK: 0-15'
- SIDE SETBACK: NONE REQUIRED
- REAR SETBACK: NONE REQUIRED
- HEIGHT MAX: AS INDICATED ON PLANS
- PARKING: PROVIDE PER ZONING CODE

IMPERVIOUS SURFACE RATIO: MAXIMUM 0.90
 FLOOR AREA RATIO: MAXIMUM 2.0
 OPEN SPACE: minimum of 2 acres

TDM
 THE FOLLOWING IS A SUMMARY OF THE STRATEGIES BEING UTILIZED ON OR BY THE DEVELOPMENT AS A PART OF THE TRANSPORTATION DEMAND MANAGEMENT PLAN. THESE STRATEGIES ENCOURAGE RESIDENTS, WORKERS AND VISITORS TO REDUCE THE NUMBER OF SINGLE OCCUPANCY VEHICLE TRIPS AND UTILIZE ALTERNATIVE TRANSPORTATION MODES THAT PROMOTE HEALTHY ACTIVE LIFESTYLES FOR RESIDENTS AND VISITORS.

- CONNECTIVITY:
 - ALL PROPOSED MODIFICATIONS FOR THE ELLINGTON PEDESTRIAN BRIDGE MUST BE COORDINATED, PROVIDED AND APPROVED BY TDOT.
 - IMPROVEMENTS FOR PEDESTRIAN CONNECTIVITY FROM THE ELLINGTON PEDESTRIAN BRIDGE TO MCFERRIN PARK.
- BICYCLE AND DOCKLESS TRANSPORTATION:
 - THE DEVELOPMENT WILL INCLUDE BIKE PARKING CONVENIENTLY LOCATED AND WITHIN 50' OF THE PRIMARY BUILDING ENTRANCE(S). THE DEVELOPMENT WILL ALSO INCLUDE COVERED BICYCLE STORAGE AND MAINTENANCE ROOM FOR RESIDENTIAL PORTIONS OF THE DEVELOPMENT.
 - THE DEVELOPMENT WILL ALSO INCLUDE DESIGNATED PARKING LOCATIONS FOR DOCKLESS TRANSPORTATION.
- RIDE SHARE:
 - PROVISION OF DESIGNATED RIDE SHARE HUDDLE AT ENTRY DRIVE TO THE DEVELOPMENT.

LANDSCAPE
 THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS FOR METRO ZONING CODE CHAPTER 17.24. DETAILED LANDSCAPE ORDINANCE PLAN TO BE SUBMITTED WITH THE FINAL SP SUBMITTAL.

PARKING
 VEHICULAR AND BIKE PARKING COUNTS SHALL BE SUBJECT TO METRO URBAN ZONING ORDINANCE PARKING REQUIREMENTS. PROJECT SHALL MEET PARKING REQUIREMENT FOR EACH PHASE OF DEVELOPMENT THROUGH STRUCTURED PARKING, SURFACE PARKING OR OFF-SITE PARKING IN INTERMITTENT PHASES.



CASE NUMBER: 2020SP-021-001

SHEET title:
FOSTER STREET DEVELOPMENT
 516 FOSTER STREET
 NASHVILLE, TN 37205

MANUEL ZEITLIN ARCHITECTS
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revisions:
 2020-5-13 MPC RESUBMITTAL

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SHEET title:
LANDSCAPE SITE PLAN

Project Status
 date: 03.18.2020
 drawn by: WM/EL
 project no.: 17-130

SHEET NO.:

L0.0

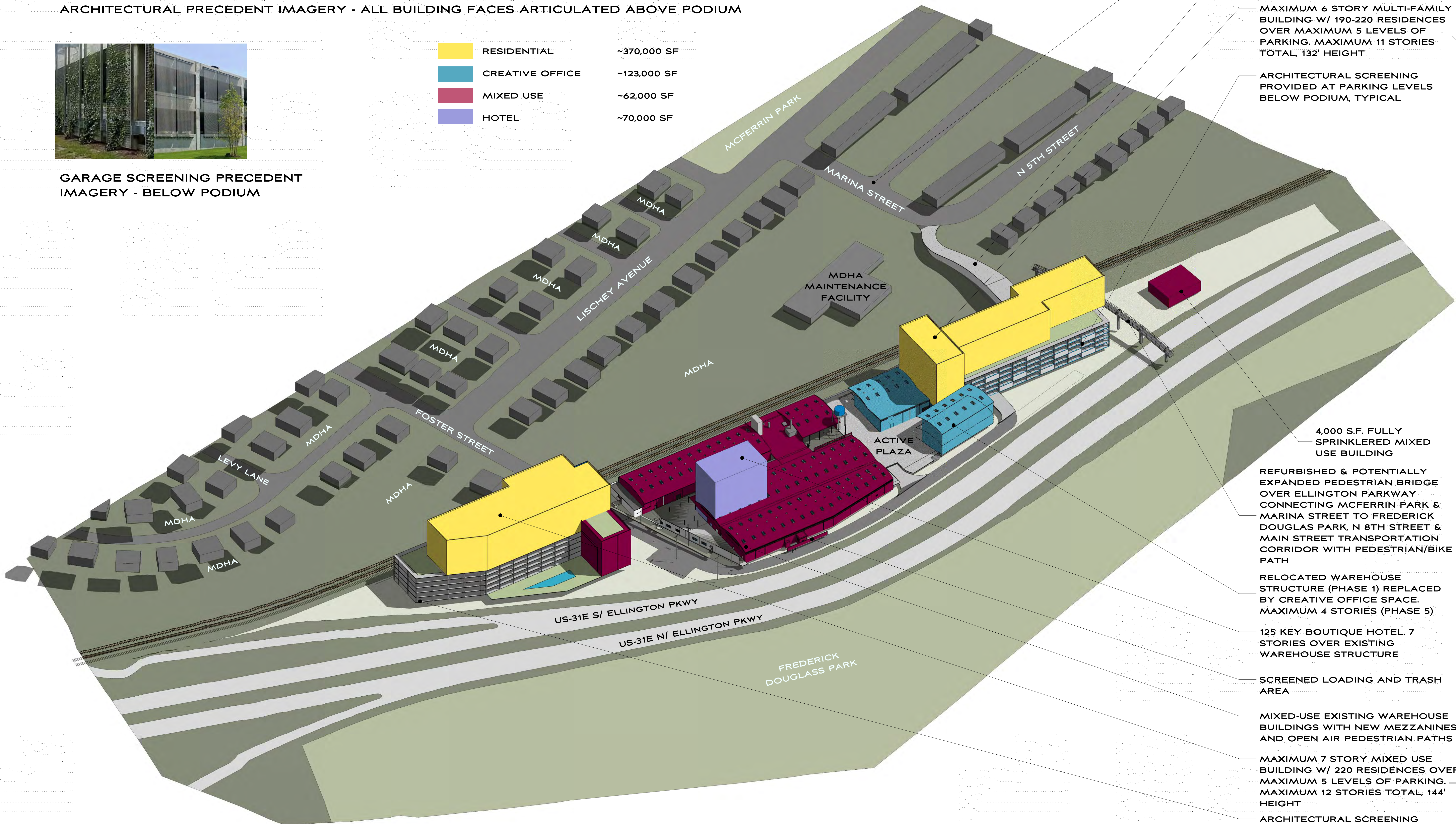


ARCHITECTURAL PRECEDENT IMAGERY - ALL BUILDING FACES ARTICULATED ABOVE PODIUM



GARAGE SCREENING PRECEDENT IMAGERY - BELOW PODIUM

■	RESIDENTIAL	~370,000 SF
■	CREATIVE OFFICE	~123,000 SF
■	MIXED USE	~62,000 SF
■	HOTEL	~70,000 SF



IMPROVED MARINA STREET CONNECTOR TO MCFERRIN PARK

NEW BRIDGE OVER CSX TRAIN TRACKS CONNECTING MARINA STREET TO PARKING DECK AND BACK TO FOSTER STREET

MAXIMUM 6 STORY MULTI-FAMILY BUILDING W/ 190-220 RESIDENCES OVER MAXIMUM 5 LEVELS OF PARKING. MAXIMUM 11 STORIES TOTAL, 132' HEIGHT

ARCHITECTURAL SCREENING PROVIDED AT PARKING LEVELS BELOW PODIUM, TYPICAL

4,000 S.F. FULLY SPRINKLERED MIXED USE BUILDING

REFURBISHED & POTENTIALLY EXPANDED PEDESTRIAN BRIDGE OVER ELLINGTON PARKWAY CONNECTING MCFERRIN PARK & MARINA STREET TO FREDERICK DOUGLAS PARK, N 8TH STREET & MAIN STREET TRANSPORTATION CORRIDOR WITH PEDESTRIAN/BIKE PATH

RELOCATED WAREHOUSE STRUCTURE (PHASE 1) REPLACED BY CREATIVE OFFICE SPACE. MAXIMUM 4 STORIES (PHASE 5)

125 KEY BOUTIQUE HOTEL. 7 STORIES OVER EXISTING WAREHOUSE STRUCTURE

SCREENED LOADING AND TRASH AREA

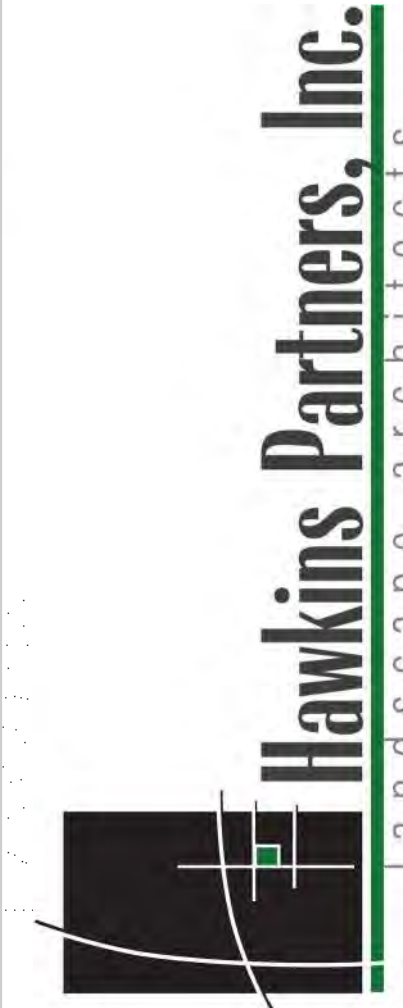
MIXED-USE EXISTING WAREHOUSE BUILDINGS WITH NEW MEZZANINES AND OPEN AIR PEDESTRIAN PATHS

MAXIMUM 7 STORY MIXED USE BUILDING W/ 220 RESIDENCES OVER MAXIMUM 5 LEVELS OF PARKING. MAXIMUM 12 STORIES TOTAL, 144' HEIGHT

ARCHITECTURAL SCREENING PROVIDED AT PARKING LEVELS BELOW PODIUM, TYPICAL

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REVISIONS:
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SHEET TITLE:
SITE MASSING & PRECEDENT

PROJECT STATUS
DATE: 03/18/2020
DRAWN BY: NTB
PROJECT NO.: 1752

SHEET NO.:

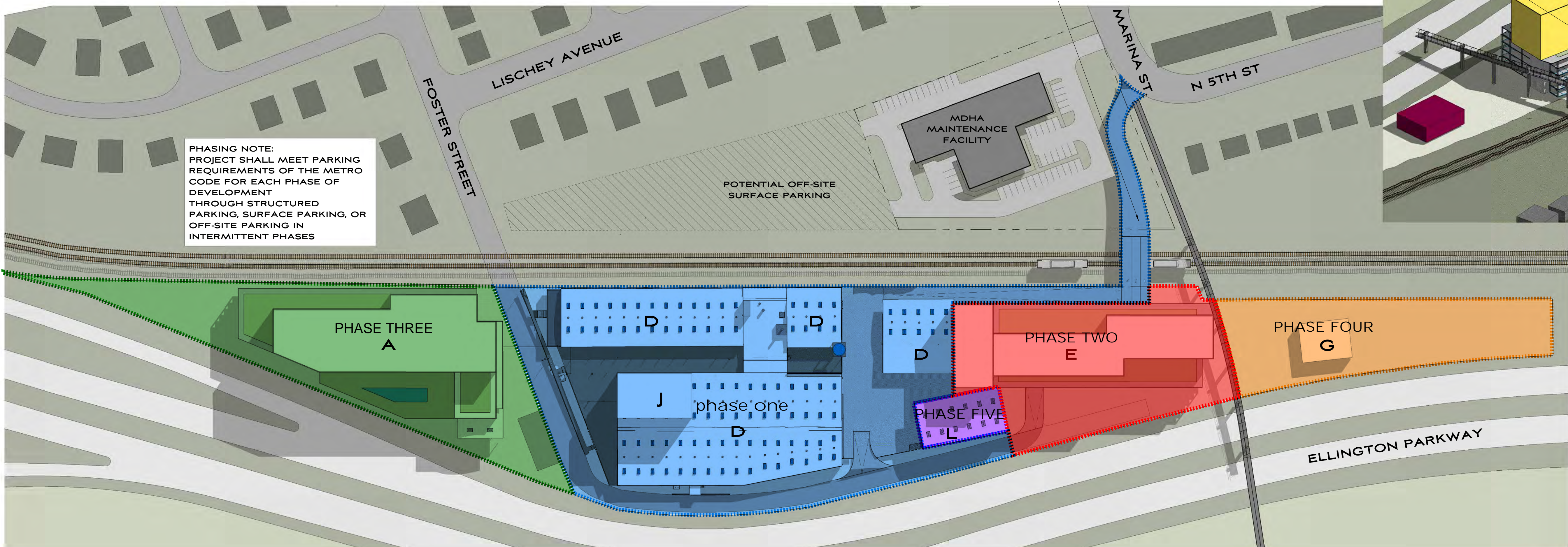
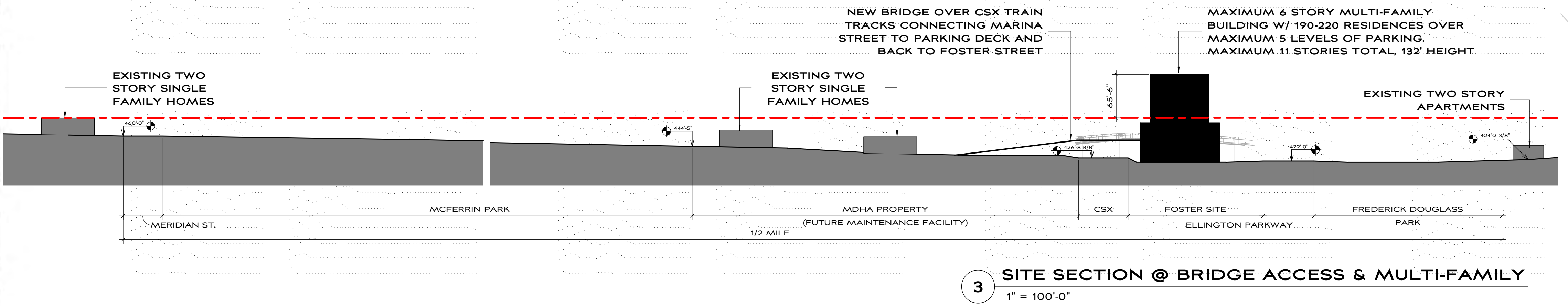
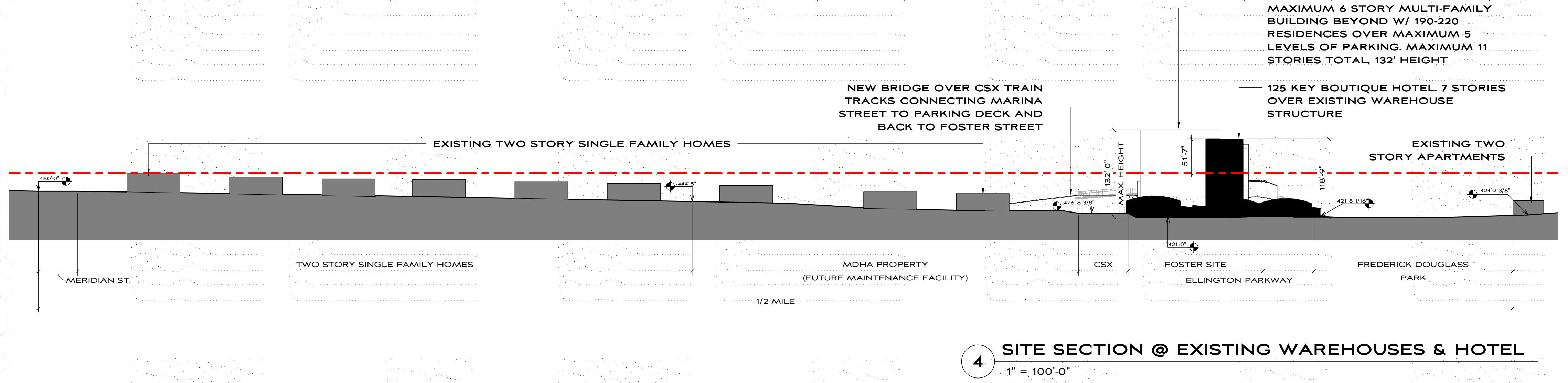
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515 Foster Street Program Phasing

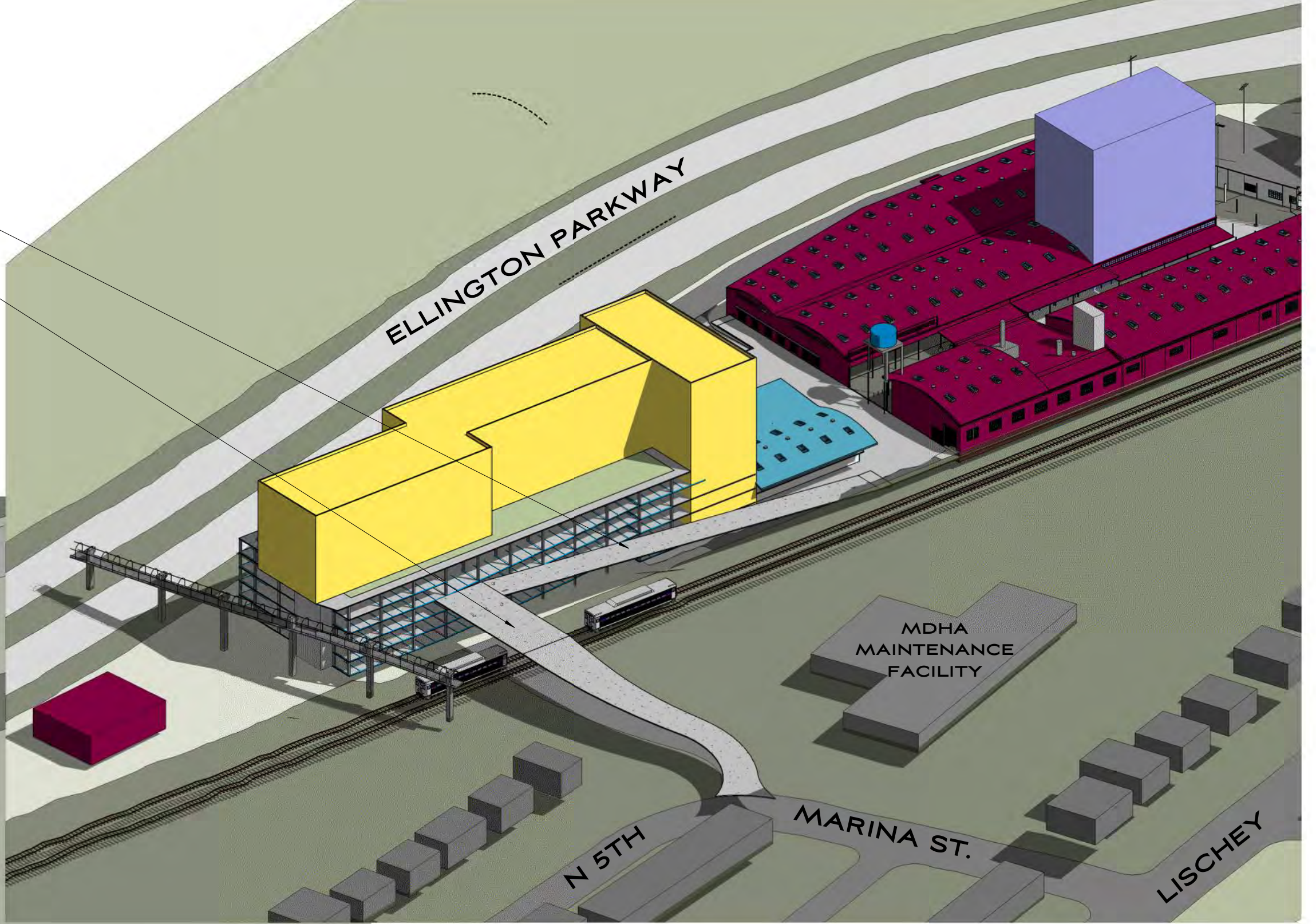
Phase:	Building:	Use	Gross SF	Max. No. of Levels	No. of Units/Keys
Phase One	Building D:	Creative Office	77,000	2	
	Existing Warehouse	Food & Beverage	32,000	1	-
		Event Space - 800 Seat Max	8,000	1	-
		Hotel	70,000	7	125
		Commercial/Retail	3,000	1	
		Flex Space	4,500	1	
			194,500		
Relocated Warehouse Structure	Creative Office	15,000	2	-	
	Food & Beverage	1,200	1	-	
		16,200			
Plaza	Multi-Use	9,500	1	-	
		9,500			
Phase Two	Building E:	Multi Family (1 & 2 BR)	178,000	6	270
		Creative Office	11,000	2	-
		Structured Parking		5	
		189,000			
Phase Three	Building A:	Multi Family (1 & 2 BR)	191,000	7	220
		Creative Office	20,000	2	-
		Commercial/Retail	10,000	1	-
		Structured Parking		5	
		221,000			
Phase Four	Building G	Mixed Use	4,000	1	-
			4,000		
Phase Five	Future Creative Office to Replace Phase One Structure	Creative office	32,000	4	-
			32,000		

Summary	Gross SF	No. of Units/Keys/Seats
Multi Family (1 & 2 BR)	369,000	490
Commercial/Retail	13,000	
Food & Beverage	33,200	
Event Space	8,000	500
Hotel	70,000	125
Mixed Use	18,000	
Creative Office	112,000	
TOTAL S.F.*	623,200	

*Total square footage is for all program elements and may include uses listed within the Modified Land Use Table on Sheet L0.0. The final program distribution of uses will adjust with Final SP.



PHASING NOTE:
PROJECT SHALL MEET PARKING REQUIREMENTS OF THE METRO CODE FOR EACH PHASE OF DEVELOPMENT THROUGH STRUCTURED PARKING, SURFACE PARKING, OR OFF-SITE PARKING IN INTERMITTENT PHASES



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Hawkins Partners, Inc.
landscape architects

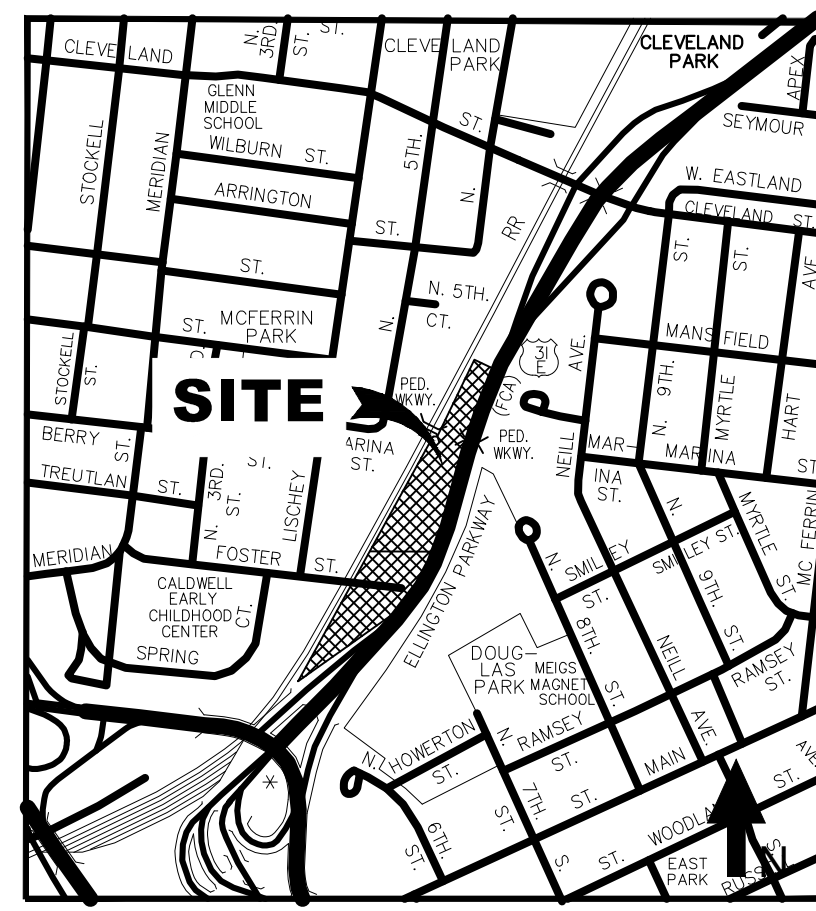
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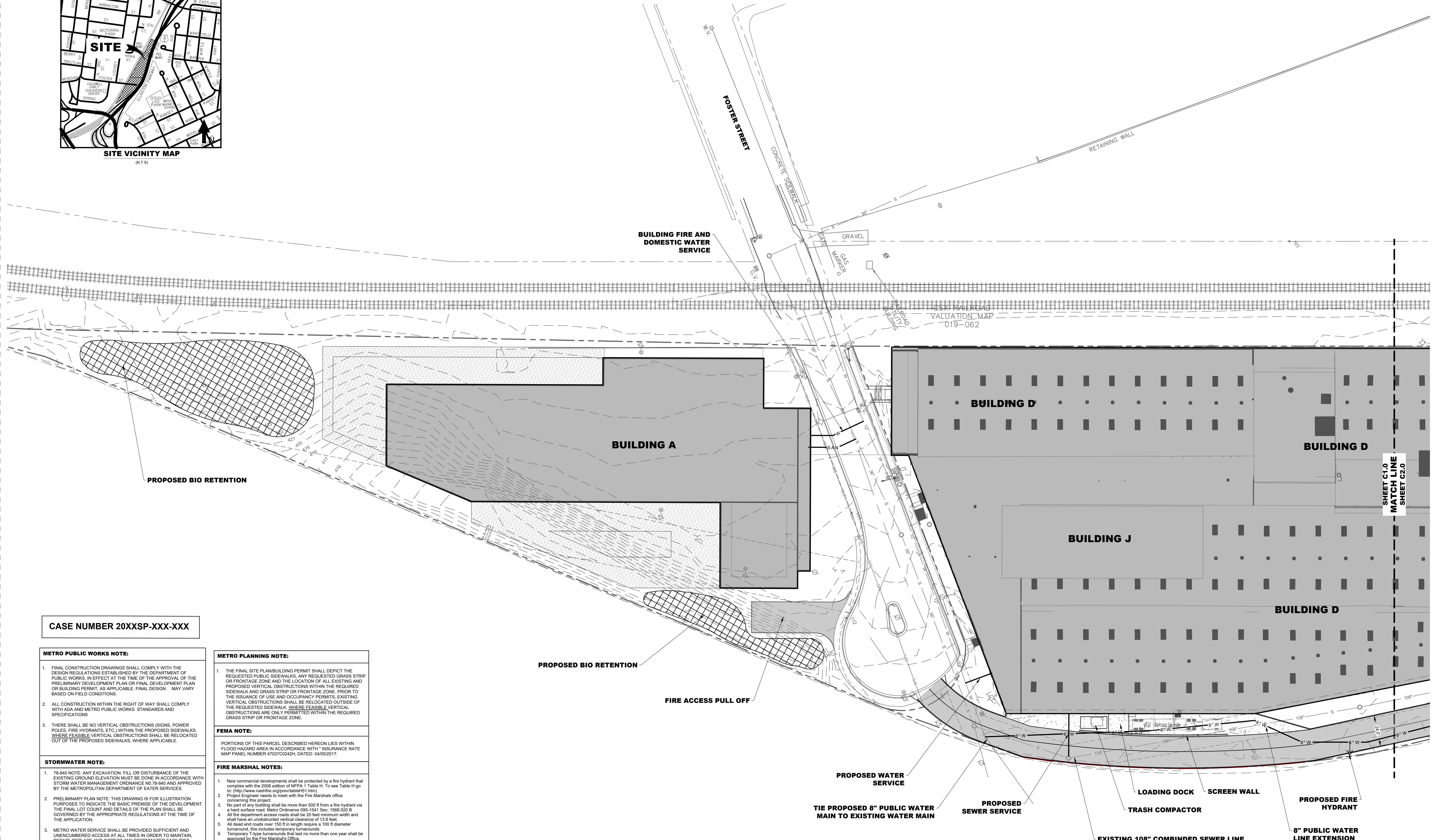
SHEET TITLE:
PROGRAM PHASING, SITE SECTIONS

PROJECT STATUS
DATE: 03/18/2020
DRAWN BY: NTB
PROJECT NO.: 1752

SHEET NO.:



SITE VICINITY MAP
(N.T.S.)



CASE NUMBER 20XXSP-XXX-XXX

METRO PUBLIC WORKS NOTE:

1. FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
2. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
3. THERE SHALL BE NO VERTICAL OBSTRUCTIONS (SIGNS, POWER POLES, FIRE HYDRANTS, ETC.) WITHIN THE PROPOSED SIDEWALKS, WHERE FEASIBLE VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUT OF THE PROPOSED SIDEWALKS, WHERE APPLICABLE.

STORMWATER NOTE:

1. 78-840 NOTE: ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. PRELIMINARY PLAN NOTE: THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE APPLICATION.
3. METRO WATER SERVICE SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
4. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.V. IS 18" CMP).

ON-SITE PARKING:

ALL USES TO BE PARKED ON SITE PER METRO ZONING ORDINANCE. PARKING TOTALS SHALL BE VERIFIED WITH FINAL DESIGN AND USE BEFORE ANY PERMITS ARE ISSUED.

METRO WATER SERVICES NOTE:

1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICE SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

METRO PLANNING NOTE:

1. THE FINAL SITE PLAN/BUILDING PERMIT SHALL DEPICT THE REQUESTED PUBLIC SIDEWALKS, ANY REQUESTED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUESTED SIDEWALK, WHERE FEASIBLE VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

FEMA NOTE:

PORTIONS OF THIS PARCEL DESCRIBED HEREON LIES WITHIN FLOOD HAZARD AREA IN ACCORDANCE WITH INSURANCE RATE MAP PANEL NUMBER 47037C0242H, DATED: 04/08/2017.

FIRE MARSHAL NOTES:

1. New commercial developments shall be protected by a fire hydrant that complies with the 2006 edition of NFPA 1 Table H. To see Table H go to: <http://1803/www.nafire.org/verticaltableH1.htm>
2. Project Engineer needs to meet with the Fire Marshals office concerning this project.
3. No part of any building shall be more than 500 ft from a fire hydrant via a hard surface road. Metro Ordinance 095-1941 Sec: 1588.020 B
4. All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.0 feet.
5. All dead end roads over 150 ft in length require a 100 ft diameter turnaround, this includes temporary turnarounds.
6. Temporary T-type turnarounds that last no more than one year shall be approved by the Fire Marshal's Office.
7. If more than three stories above grade, Class I standpipe system shall be installed.
8. If more than one story below grade Class I standpipe system shall be installed.
9. When a bridge is required to be used as part of a fire department access road, it shall be constructed and maintained in accordance with nationally recognized standards.
10. A fire hydrant shall be provided within 100 ft of the fire department connection.
11. Fire hydrants shall be in-service before any combustible material is brought on site.

SHEET TITLE:
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BCA FILE NO. 2020-04

revisions:

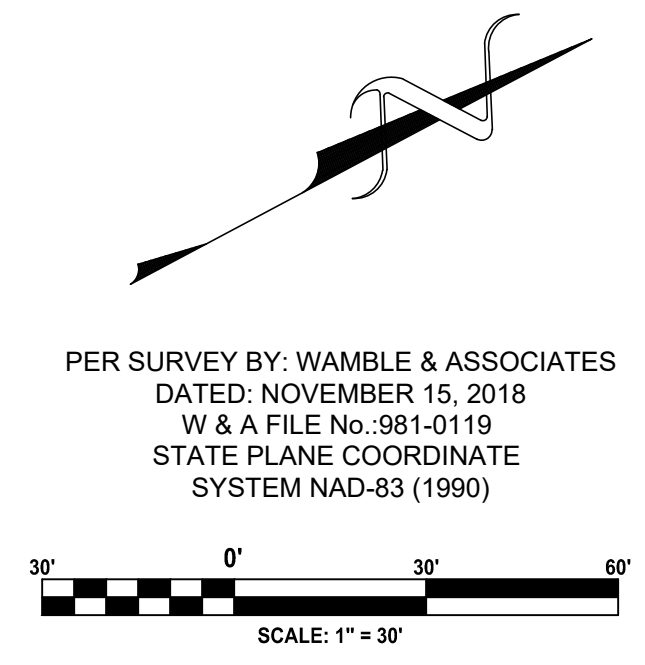
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SHEET TITLE:
Unnamed

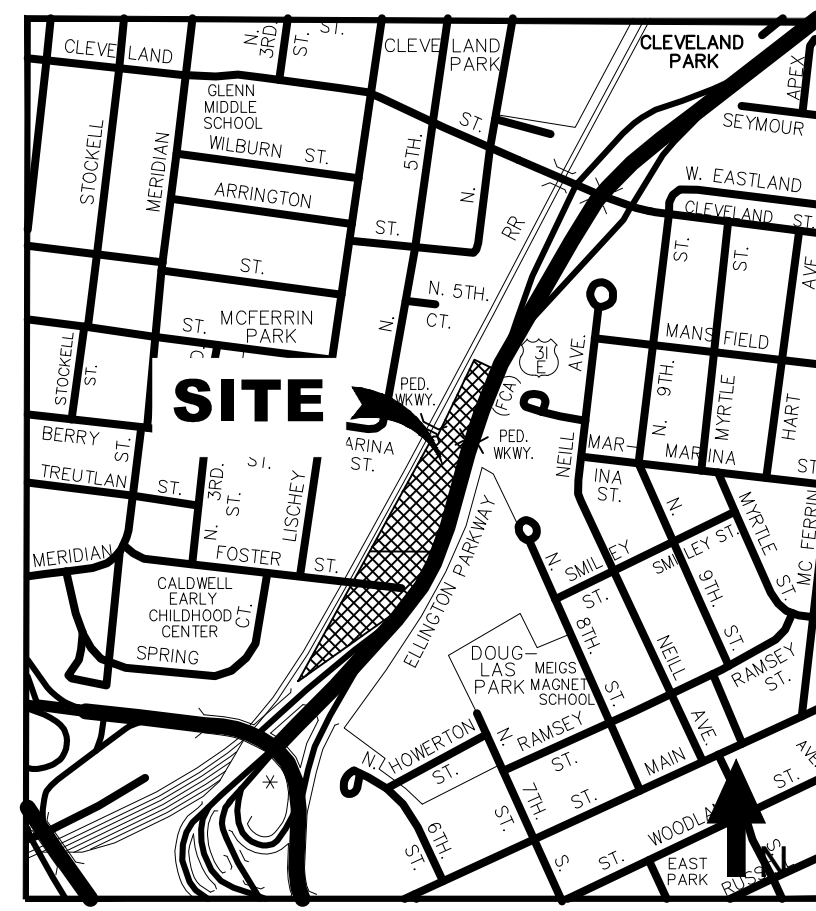
Project Status
date: 03.18.2020
drawn by: Author
project no.: 1752

SHEET NO.:

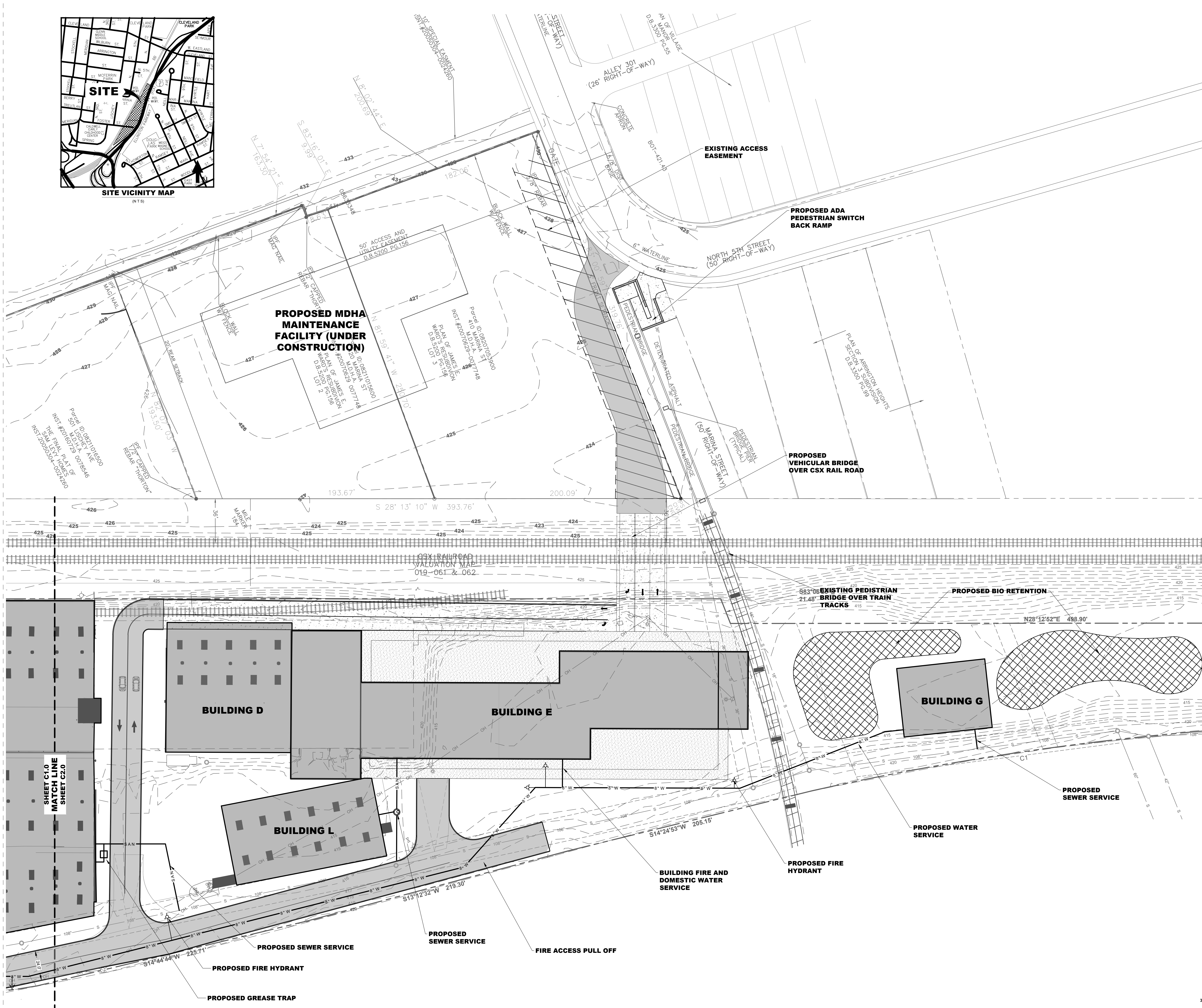
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PER SURVEY BY: WAMBLE & ASSOCIATES
DATED: NOVEMBER 15, 2018
W & A FILE NO.: 981-0119
STATE PLANE COORDINATE
SYSTEM NAD-83 (1990)



SITE VICINITY MAP
(N.T.S.)



CASE NUMBER 20XXSP-XXX-XXX

METRO PUBLIC WORKS NOTE:

1. FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
2. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
3. THERE SHALL BE NO VERTICAL OBSTRUCTIONS (SIGNS, POWER POLES, FIRE HYDRANTS, ETC.) WITHIN THE PROPOSED SIDEWALKS WHERE FEASIBLE VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUT OF THE PROPOSED SIDEWALKS, WHERE APPLICABLE.

STORMWATER NOTE:

1. 78-840 NOTE: ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF EATER SERVICES.
2. PRELIMINARY PLAN NOTE: THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE APPLICATION.
3. METRO WATER SERVICE SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
4. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15' CMP)

METRO PLANNING NOTE:

1. THE FINAL SITE PLAN/BUILDING PERMIT SHALL DEPICT THE REQUESTED PUBLIC SIDEWALKS, ANY REQUESTED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUESTED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUESTED SIDEWALK, WHERE FEASIBLE VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUESTED GRASS STRIP OR FRONTAGE ZONE.

FEMA NOTE:

PORTIONS OF THIS PARCEL DESCRIBED HEREON LIES WITHIN FLOOD HAZARD AREA IN ACCORDANCE WITH "INSURANCE RATE MAP" PANEL NUMBER 470370024H, DATED: 04/05/2017.

FIRE MARSHAL NOTES:

1. New commercial developments shall be protected by a fire hydrant that complies with the 2009 edition of NFPA 1 Table H. To see Table H go to: (http://www.nfpa.org/pdffiles/code/nfpa1_2009.pdf)
2. Project Engineer needs to meet with the Fire Marshal's office concerning this project.
3. No part of any building shall be more than 500 ft from a fire hydrant via a hard surface road. Metro Ordinance 095-1541 Sec. 1568.020 B
4. All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.5 feet.
5. All dead end roads over 150 ft in length require a 100 ft diameter turnaround, this includes temporary turnarounds.
6. Temporary T-type turnarounds that last no more than one year shall be approved by the Fire Marshal's Office.
7. If more than three stories about grade, Class I standpipe system shall be installed.
8. If more than one story below grade Class I standpipe system shall be installed.
9. When a bridge is required to be used as part of a fire department access road, it shall be constructed and maintained in accordance with nationally recognized standards.
10. A fire hydrant shall be provided within 100 ft of the fire department connection.
11. Fire hydrants shall be in-service before any combustible material is brought on site.

ON-SITE PARKING:

ALL USES TO BE PARKED ON SITE PER METRO ZONING ORDINANCE. PARKING TOTALS SHALL BE DETERMINED WITH FINAL DESIGN AND USE BEFORE ANY PERMITS ARE ISSUES.

METRO WATER SERVICES NOTE:

1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICE SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

PER SURVEY BY: WAMBLE & ASSOCIATES
DATED: NOVEMBER 15, 2018
W & A FILE NO.: 981-0119
STATE PLANE COORDINATE
SYSTEM NAD-83 (1990)

SCALE: 1" = 30'

SHEET TITLE:
**FOSTER STREET
DEVELOPMENT**

MANUEL ZEITLIN ARCHITECTS
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**Barge
Cauthen**
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revisions:

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