

PRELIMINARY SPECIFIC PLAN SUBMITTAL 5043 MT. VIEW ROAD

ANTIOCH, DAVIDSON COUNTY COUNTY, TENNESSEE

2023SP-042-001
CATALYST PROJECT NO. 20230011
MARCH 15, 2023



VICINITY MAP
NOT TO SCALE

SITE DATA

COUNCIL DISTRICT: 28
COUNCIL MEMBER: TANAKA VERCHER
TAX MAP: 163
PARCEL ID.: 16300023500
SITE ADDRESS: 5043 MOUNT VIEW RD, ANTIOCH, TN 37013
SITE ACREAGE: 2.03 AC. (88,426.8 FT²)
EXISTING ZONING: AR2A & OV-AIR
PROPOSED ZONING: SPECIFIC PLAN (FALL BACK ZONING RM-15A)
PROPOSED USE: TOWN HOUSES

PROPOSED UNITS: 20 UNITS
THREE BEDROOM: 20 UNITS
TOTAL UNITS: 20 UNITS
PROPOSED MAX. BUILDING HEIGHT: 3 STORIES IN 45' (REFER TO ARCHITECTURAL STANDARDS NOTE 2)

IMPERVIOUS SURFACE AREA
BUILDINGS: 0.41 AC. (17,740 FT²)
DRIVES/SIDEWALKS: 0.73 AC. (31,845.7 FT²)
TOTAL PROPOSED IMPERVIOUS AREA: 1.13 AC. (49,585.7 FT²)
ALLOWED ISR: 0.70
ALLOWED FAR: 0.80

PARKING SUMMARY
PARKING REQUIRED: 50 SPACES
(1 SPACE PER BED UP TO 2 BEDROOMS; 0.5 SPACE FOR EACH ADDITIONAL BEDROOM)

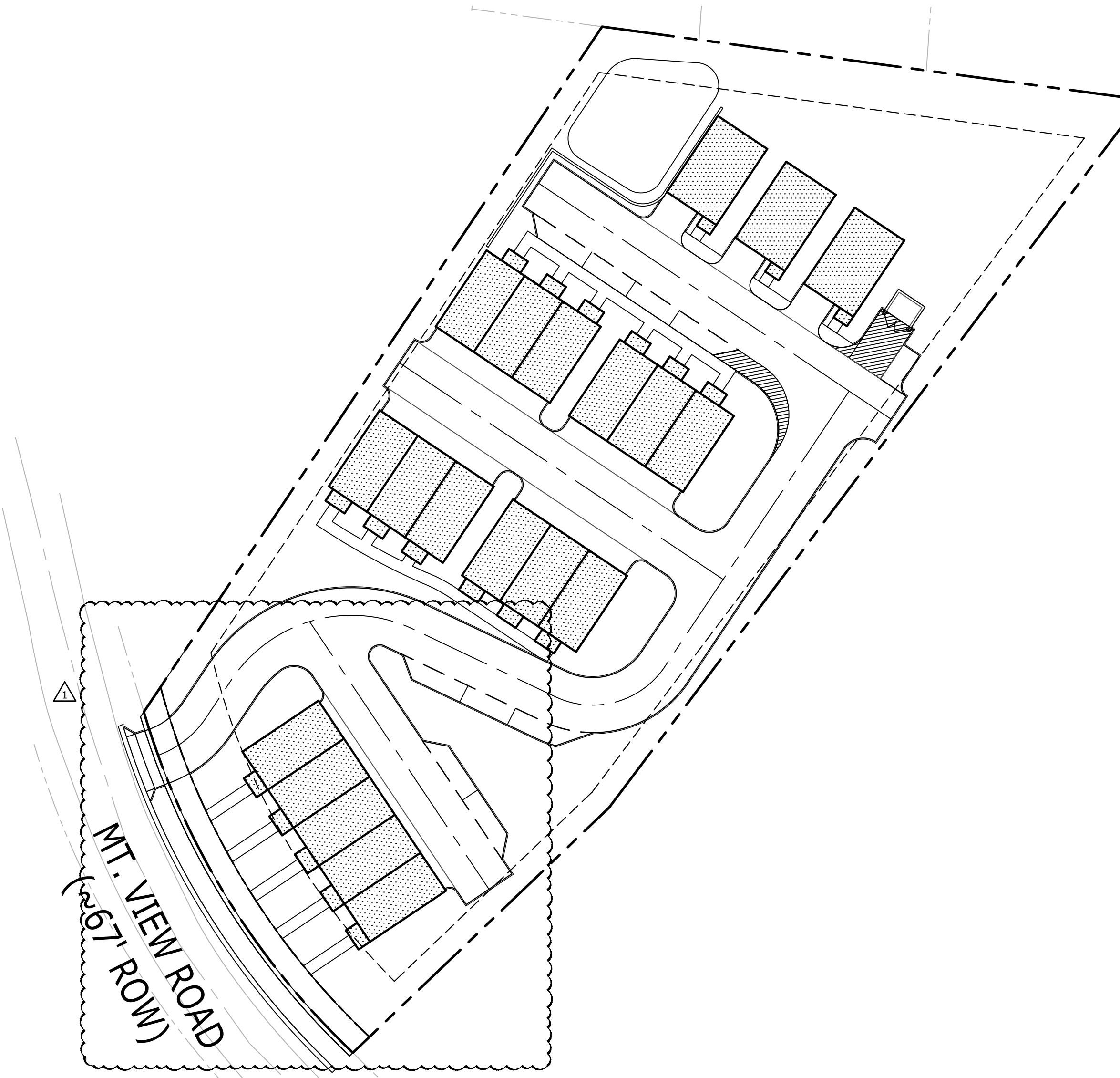
(PARKING REQUIREMENTS) PARKING TO BE PROVIDED PER METRO CODE

PARKING PROVIDED: 40 SPACES
GARAGE: 10 SPACES
SURFACE: 50 SPACES PROVIDED
TOTAL: 50 SPACES PROVIDED

OWNER: 5043 MT. VIEW DEVELOPMENTS LLC
ADDRESS: 5461 OAK CHASE DRIVE, ANTIOCH, TENNESSEE 37013
PHONE NO.: 615-612-8989
CONTACT NAME: HARSH PREMA
CONTACT E-MAIL ADDRESS: harshprema@yahoo.com

PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP
ADDRESS: 5100 TENNESSEE AVENUE, NASHVILLE, TENNESSEE, 37209
PHONE NO.: 615.622.7200
CONTACT NAME: ANDREW WISEMAN
CONTACT E-MAIL ADDRESS: awiseman@catalyst-dg.com

FEMA PANEL: THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47037C0391H, 04/05/2017, COMMUNITY NAME: DAVIDSON.



DEVELOPMENT NOTES

THE PURPOSE OF THIS PROPOSED PRELIMINARY SP IS TO CREATE A SITE SPECIFIC ZONING TO PERMIT THE DEVELOPMENT OF 17 TOWNHOUSES AND 3 DETACHED COTTAGE STYLE UNITS FOR A TOTAL OF 20 UNITS. THE PROPERTY IS SPLIT BETWEEN TWO POLICY AREAS WITH T3 NEIGHBORHOOD EVOLVING FOR THE MAJORITY WITHIN THE ANTIOCH - PRIEST LAKE SUPPLEMENTAL BOUNDARY 13-80-T3-NE-01 AND T3 RESIDENTIAL CORRIDOR WITHIN THE ANTIOCH - PRIEST LAKE SUPPLEMENTAL BOUNDARY 13-80-T3-NE-01 ON THE SOUTHERN PORTION OF THE PROPERTY. IN ORDER TO COMPLY WITH THESE POLICIES THE PROJECT INTENDS TO PROVIDE CROSS PARCEL ACCESS THROUGH ACCESS EASEMENTS BETWEEN THE ADJACENT PARCELS AS NECESSARY AS WELL AS TRANSITION WITH A REDUCTION OF DENSITY AND PROVIDES LARGER OPEN SPACE AS THE DEVELOPMENT REACHES NORTH TO THE EXISTING COMMUNITIES. THIS TRANSITION WILL PROVIDED FOR A NATURAL BUFFER TO EXISTING NEIGHBORHOODS WHILE RESPECTING THAT THE NEIGHBORING PROPERTIES COULD DEVELOP IN A SIMILAR WAY.

1. TO THE BEST OF OUR KNOWLEDGE AND BELIEF ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FAIR HOUSING ACT.
ADA: HTTP://WWW.ADA.GOV/
U.S. JUSTICE DEPT.: HTTP://WWW.JUSTICE.GOV/CRT/HOUSING/FAIRHOUSING/ABOUT_FAIRHOUSINGACT.HTM

3. SHORT TERM RENTAL IS NOT A PERMITTED USE WITHIN THIS DEVELOPMENT INCLUDING BUT NOT LIMITED TO OWNER OCCUPIED OR NON-OWNER OCCUPIED SHORT TERM RENTALS.

POLICY COMPLIANCE NOTE:

THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE T3 NEIGHBORHOOD EVOLVING AND T3 RESIDENTIAL CORRIDOR AS WELL AS THE SUPPLEMENTAL POLICIES IN BOTH DENSITY AND FORM. THE DEVELOPMENT WILL PROVIDE A UNIQUE MIX OF UNIT TYPES AND PROVIDES TRANSITION INTO THE ESTABLISHED NEIGHBORHOODS TO ITS NORTH.

ARCHITECTURAL STANDARDS

1. VINYL SIDING, EPS AND UNTREATED WOOD SHALL NOT BE PERMITTED AS A PRIMARY MATERIAL BUT CAN BE USED AS AN ACCENT MATERIAL BASE

2. OVERALL BUILDING HEIGHT IN FEET SHALL BE MEASURED FROM THE AVERAGE ELEVATION (AVERAGE OF 4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE, HOWEVER, WHERE A BASEMENT CONDITION (MEETING THE CODE DEFINITION) CAN BE ACHIEVED THE AVERAGE ELEVATION SHALL BE TAKEN FROM THE AVERAGE OF THE TWO POINTS ON THE NON-BASEMENT SIDE OF THE BUILDING. A MAXIMUM SKY EXPOSURE PLANE OF 2:1 (VERTICAL TO HORIZONTAL) SHALL BE REQUIRED FOR ANY PROVIDED SLOPED ROOF FORMS, ROOFTOP MECHANICAL EQUIPMENT, STAIR BULKHEADS, ROOFTOP AIRUNITES AND INTERNAL AIRING STRUCTURES. MEZZANINES SHALL NOT BE CONSIDERED A STORY FOR THE PURPOSES OF CALCULATING OVERALL # OF STORIES. ADDITIONAL "BASEMENT" LEVEL MAY BE PROVIDED INTERNALLY TO THE DEVELOPMENT WHERE TOPOGRAPHY ALLOWS FOR ADDITIONAL SUB-SURFACE DEVELOPMENT INCLUDING PARKING AND CONDITIONED RESIDENTIAL.

3. THE MAXIMUM SLOPE OF ANY ROOF FORM SHOULD BE NO GREATER THAN A 12:12 PITCH; FLAT AND SLOPED ROOF FORMS ARE PERMITTED. SLOPED ROOF FORMS MAY CONTAIN CONDITIONED SPACE AND SHALL NOT BE CONSIDERED A "STORY" FOR THE PURPOSES OF CALCULATING MAXIMUM NUMBER OF STORIES.

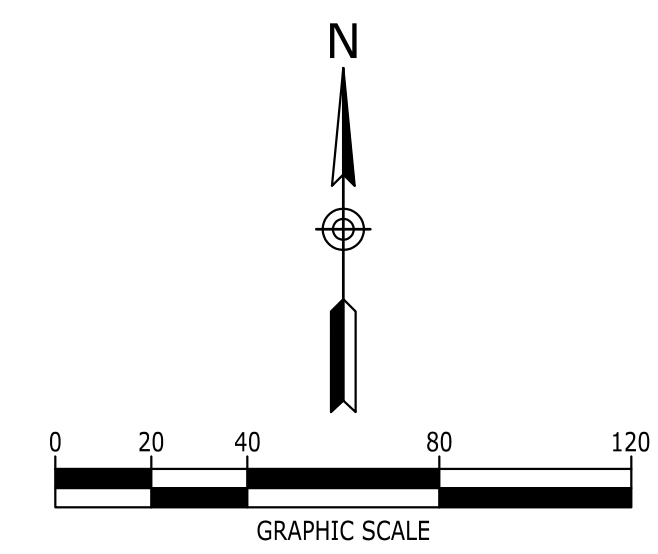
4. WITH THE EXCEPTION OF ACCESSIBLE UNITS, VISITABLE UNITS, AND TOPOGRAPHICALLY CHALLENGING UNITS, CHALLENGING SITE TOPOGRAPHY MAY RESULT IN RAISED/LOWERED FOUNDATIONS AT STRATEGIC LOCATIONS. TYPICALLY 18"-36" EXPOSED FOUNDATIONS ARE PROVIDED. SCREENING MAY BE REQUIRED WHEN RAISED FOUNDATIONS EXCEED 36" ALONG PUBLIC STREETS AND OPEN SPACES.

NDOT CONSTRUCTION NOTES:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF TRANSPORTATION.
2. PROOF-ROLLING OF ALL STREET SUB-GRADES IS REQUIRED IN THE PRESENCE OF THE NDOT INSPECTOR, REQUEST TO BE MADE 24 HOURS IN ADVANCE.
3. STOP SIGNS TO BE 30 INCH BY 30 INCH.
4. STREET NAME SIGNS ARE TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, AND BE MOUNTED VERTICALLY STAGGERED.
5. STREET NAME SIGNS SHALL BE ASSEMBLED USING EXTRUDED SIGN BLADES.
6. ALL SIGNS TO HAVE 3M REFLECTIVE COATING.

STORMWATER NOTES:

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
3. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" RCP).
4. DRAWING IS TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL DENSITY AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION. OFFSITE INFRASTRUCTURE AND EASEMENTS MAY BE NECESSARY TO CONVEY STORMWATER FROM THE SITE AND SHALL BE REVIEWER AT FINAL SP.



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	LAYOUT & LANDSCAPE PLAN
C3.0	GRADING DRAINAGE & UTILITY PLAN

PREPARED FOR
5043 MT. VIEW DEVELOPMENTS LLC
5461 OAK CHASE DRIVE
ANTIOCH, TENNESSEE 37013
615-612-8989



CIVIL ENGINEER/LANDSCAPE ARCHITECT
Catalyst
DESIGN GROUP
5100 TENNESSEE AVENUE
NASHVILLE, TN 37209
(615) 622-7200

COVER SHEET

C0.0

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SLOPE CONDITIONS

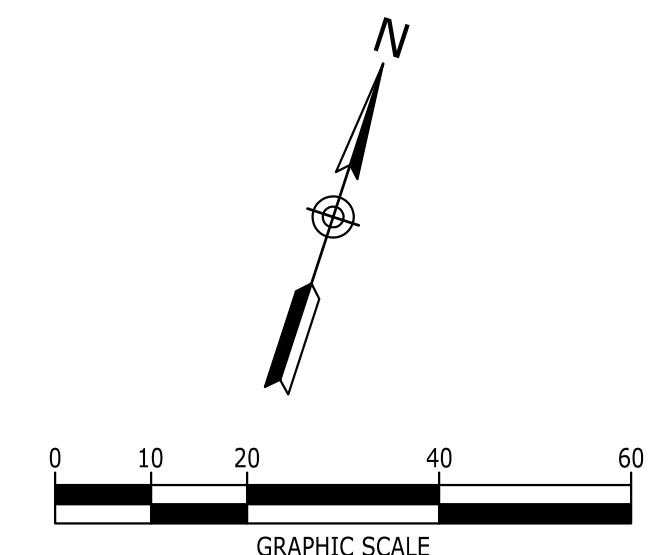
Symbol	Name and Description
[Light Gray Box]	15% - 20%
[Dark Gray Box]	25% +

Hydrologic Soil Groups

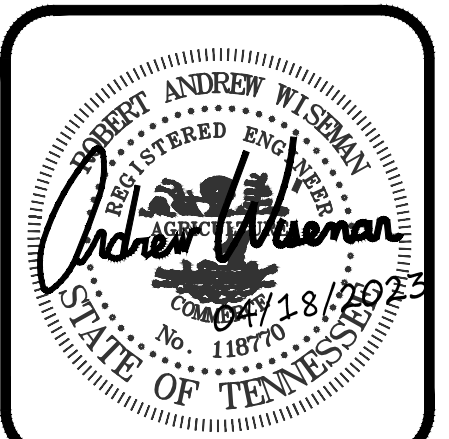
Symbol	Name and Description	Acres in AOI	Percent of AOI
StC	STIVERSVILLE LOAM, 12 TO 25 PERCENT SLOPES, ERODED	0.1	4.1%
StD	STIVERSVILLE LOAM, 12-25 PERCENT SLOPES, ERODED	1.0	49.2%
TrC	TALBOTT-ROCK OUTCROP COMPLEX, 5 TO 15 PERCENT SLOPES	1.0	46.7%

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY SURVEY COMPANY, DATED SURVEY DATE. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

NOTE: SOIL INFORMATION ON THIS SHEET WAS OBTAINED FROM NRCS ONLINE SOIL SURVEY DATA. AREAS ARE APPROXIMATE AND ARE FOR REFERENCE ONLY.



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ANTIOCH, TENNESSEE 37013
615-612-9899



PRELIMINARY SPECIFIC PLAN SUBMITTAL
5043 MT. VIEW ROAD
5043 MOUNT VIEW RD.
ANTIOCH, TENNESSEE, 37013
DAVIDSON COUNTY

NO.	DATE	DESCRIPTION

DRAWING TITLE
EXISTING CONDITIONS

PROJECT NUMBER
20230011

DRAWING NUMBER
C1.0

1524 WILLIAMS DRIVE, SUITE 201, MURFREESBORO, TN 37129
(615) 627-7600 | WWW.CATALYST-DESIGN.COM

SITE DATA

SITE ACREAGE: 2.03 AC. (88,426.8 FT²)
 EXISTING ZONING: AR2A & OV-AIR
 PROPOSED ZONING: SPECIFIC PLAN (FALL BACK ZONING RM-15A)
 PROPOSED USE: TOWN HOUSES
 PROPOSED UNITS:
 THREE BEDROOM: 20 UNITS
 TOTAL UNITS: 20 UNITS
 PROPOSED MAX. BUILDING HEIGHT: 3 STORIES IN 45'; MEASURED FROM THE FIRST FLOOR ELEVATION

PARKING PROVIDED:
 GARAGE: 40 SPACES
 SURFACE: 10 SPACES
 TOTAL: 50 SPACES PROVIDED

UNIT TYPE LEGEND	
	BASEMENT GARAGE
	MAIN LEVEL GARAGE



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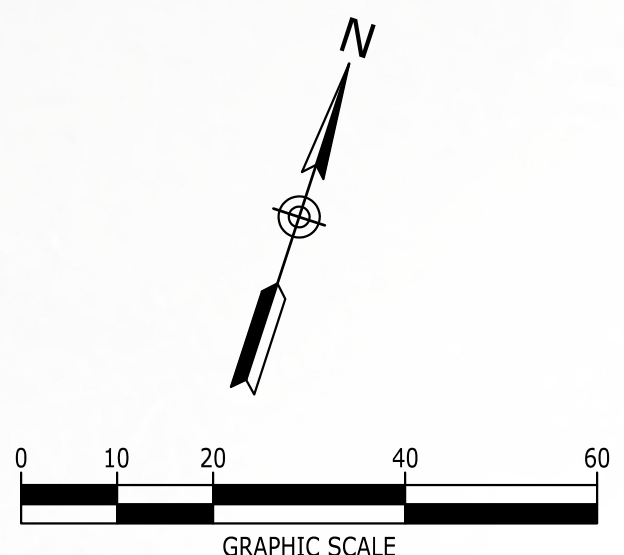
PRELIMINARY SPECIFIC PLAN SUBMITTAL
5043 MT. VIEW ROAD
 5043 MOUNT VIEW RD,
 ANTOCH, TENNESSEE, 37013
 DAVIDSON COUNTY

NO.	DATE	GENERAL REVISION	DESCRIPTION

DRAWING TITLE
LAYOUT & LANDSCAPE PLAN

PROJECT NUMBER
 20230011

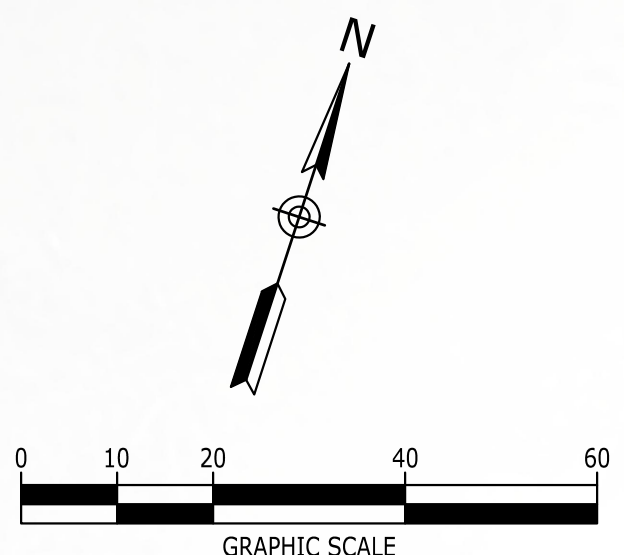
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C2.0



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20' P.U.D.E. MAY BE REQUIRED FOR STORMWATER AND SEWER CONVEYANCE. EASEMENTS COULD BE REQUIRED AT FINAL SP TO BE PROVIDED IF ADEQUATE INFRASTRUCTURE.



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NO.	DATE	GENERAL REVISION	DESCRIPTION

DRAWING TITLE
GRADING DRAINAGE & UTILITY PLAN

PROJECT NUMBER
20230011

DRAWING NUMBER
C3.0