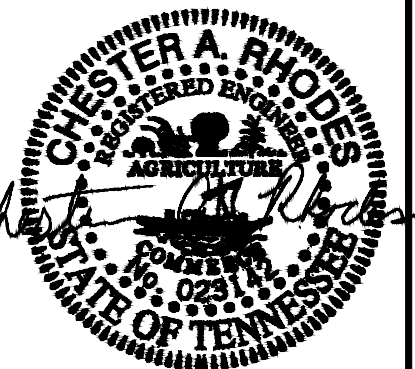


NOTES

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3/29/2023

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SITE DEVELOPMENT WATER/WASTEWATER

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NO.	DATE	DESCRIPTION
1		CHANGED BLDG SIZE AND PARKING AREA

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
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APPROVED	CAR	00/00/00

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
TOWNHOMES
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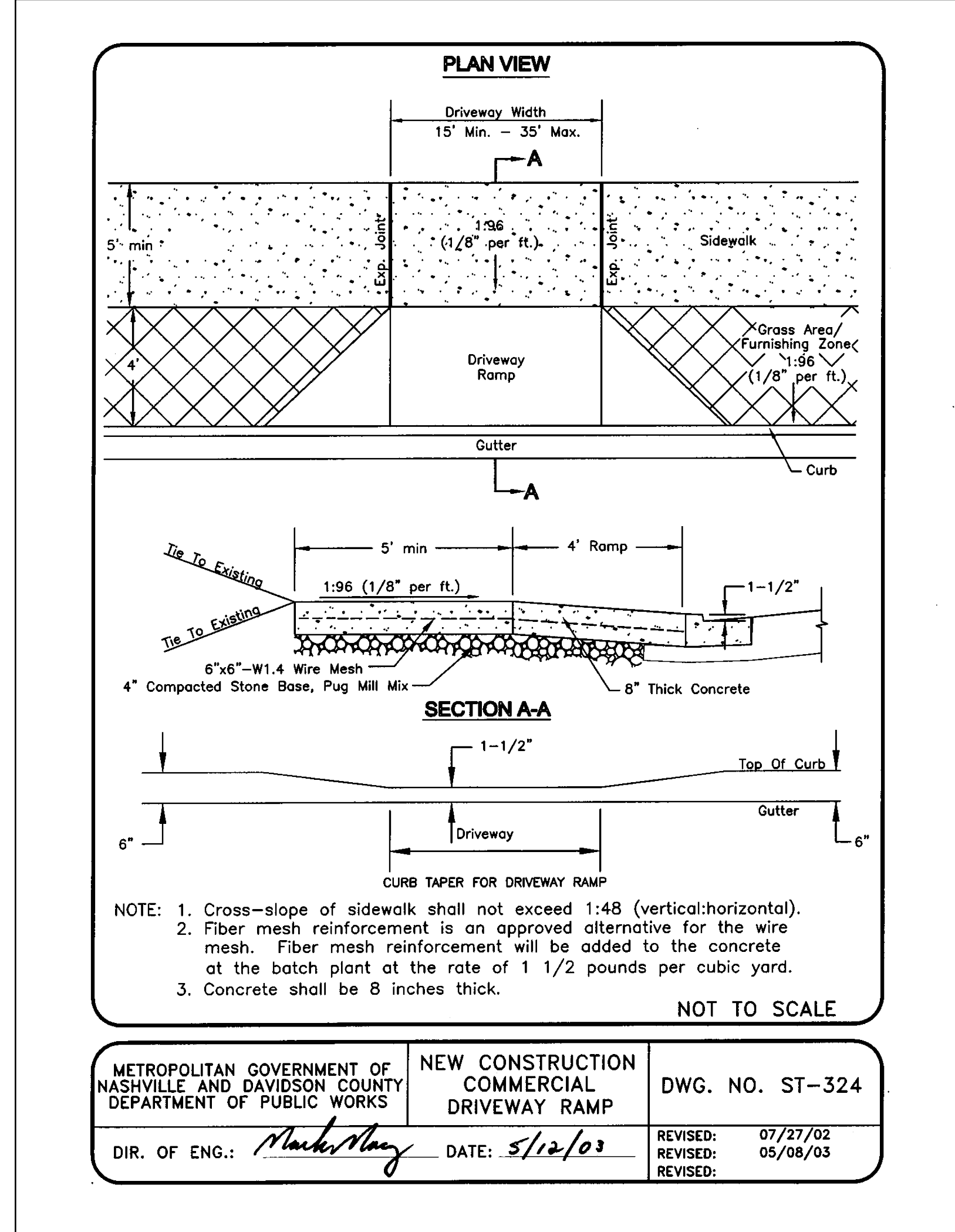
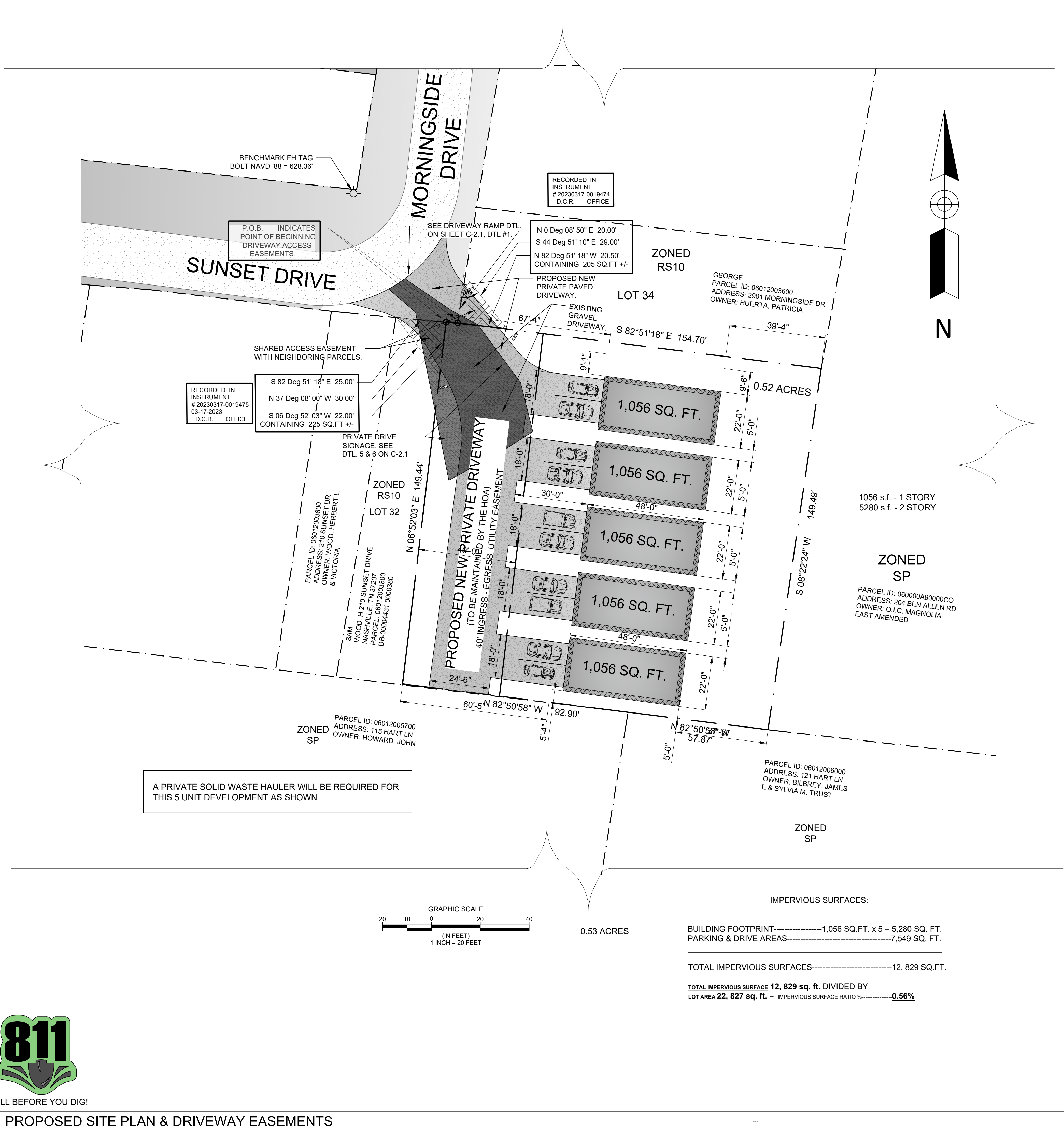
PROPOSED SITE PLAN & DRIVEWAY EASEMENTS

DWG. NO. ST-324
REVISED: 07/27/02
REVISED: 05/08/03

DWG. No.
C-2.0

SCALE: NOTED
CADFILE: 212 Sunset Drive, William Church, 03-29-2023
JOB No.

NOTED

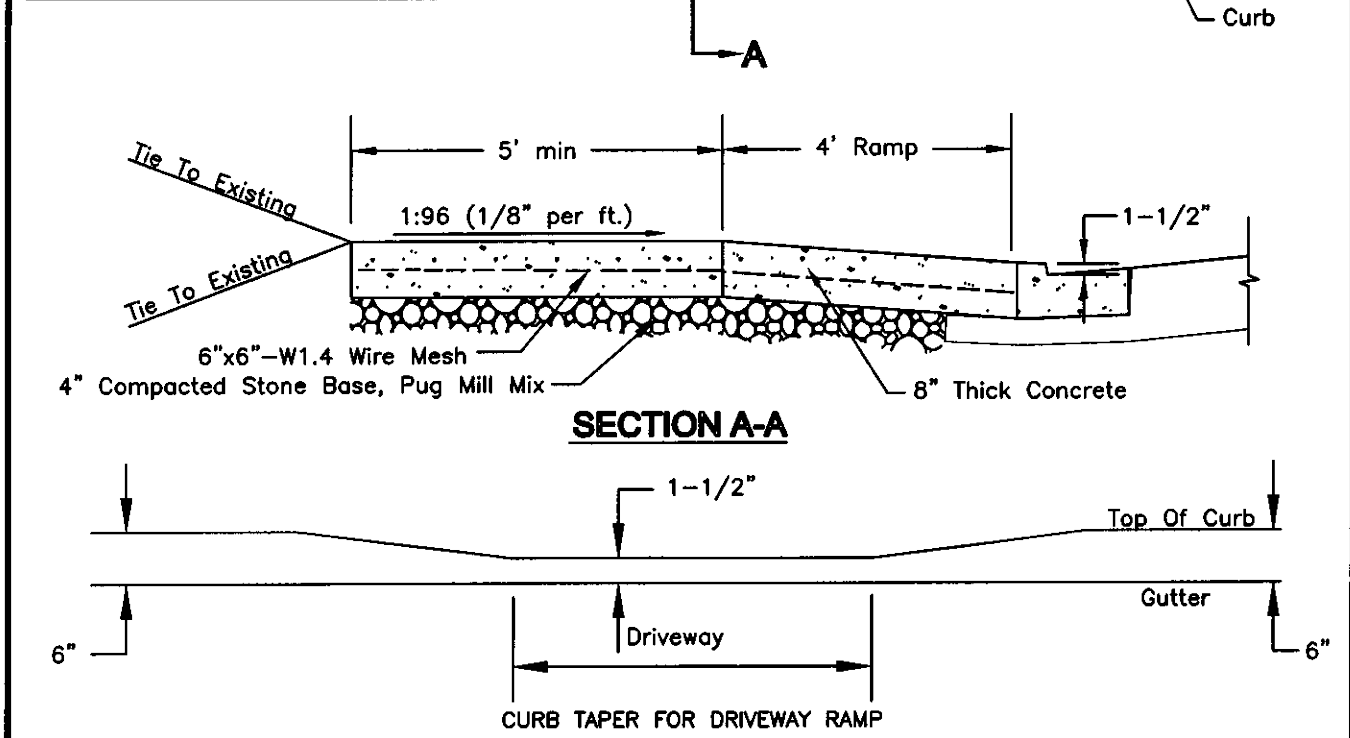
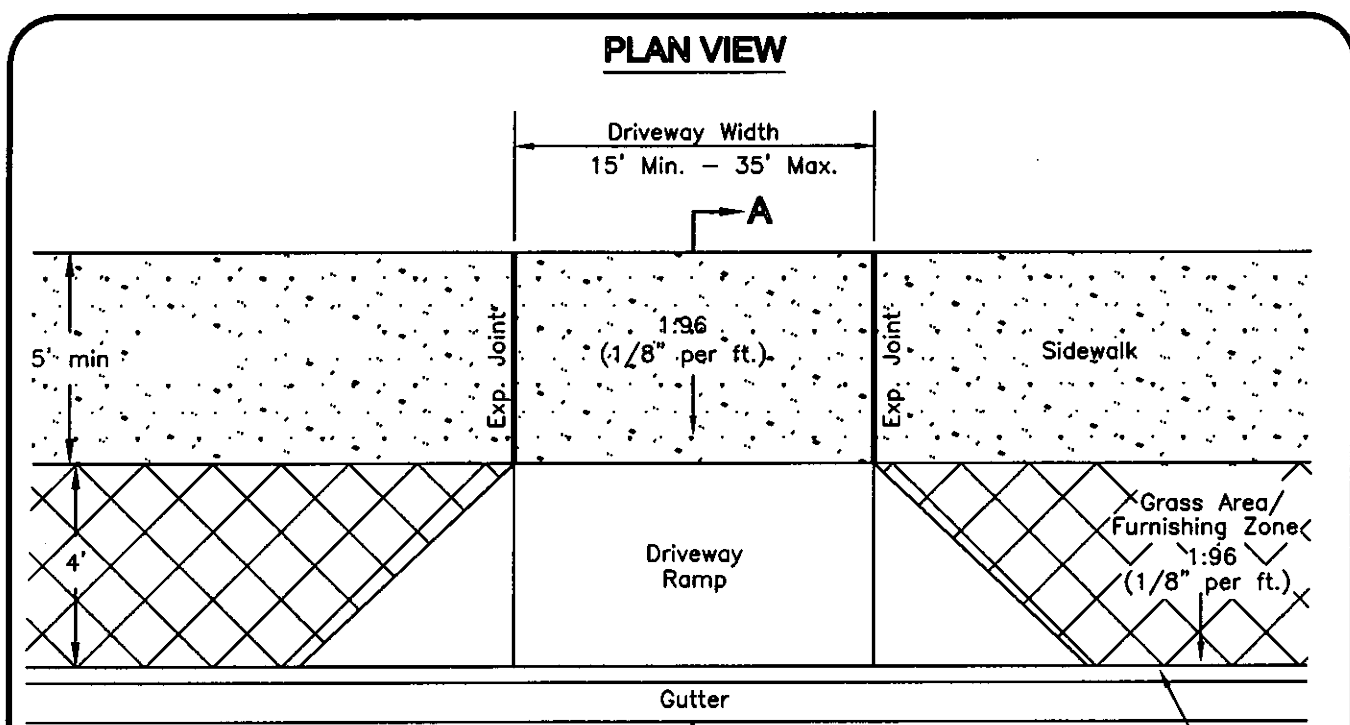


METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS
 NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP
 DWG. NO. ST-324
 DIR. OF ENG.: *Manish Kh* DATE: 5/12/03
 REVISED: 07/27/02
 REVISED: 05/08/03



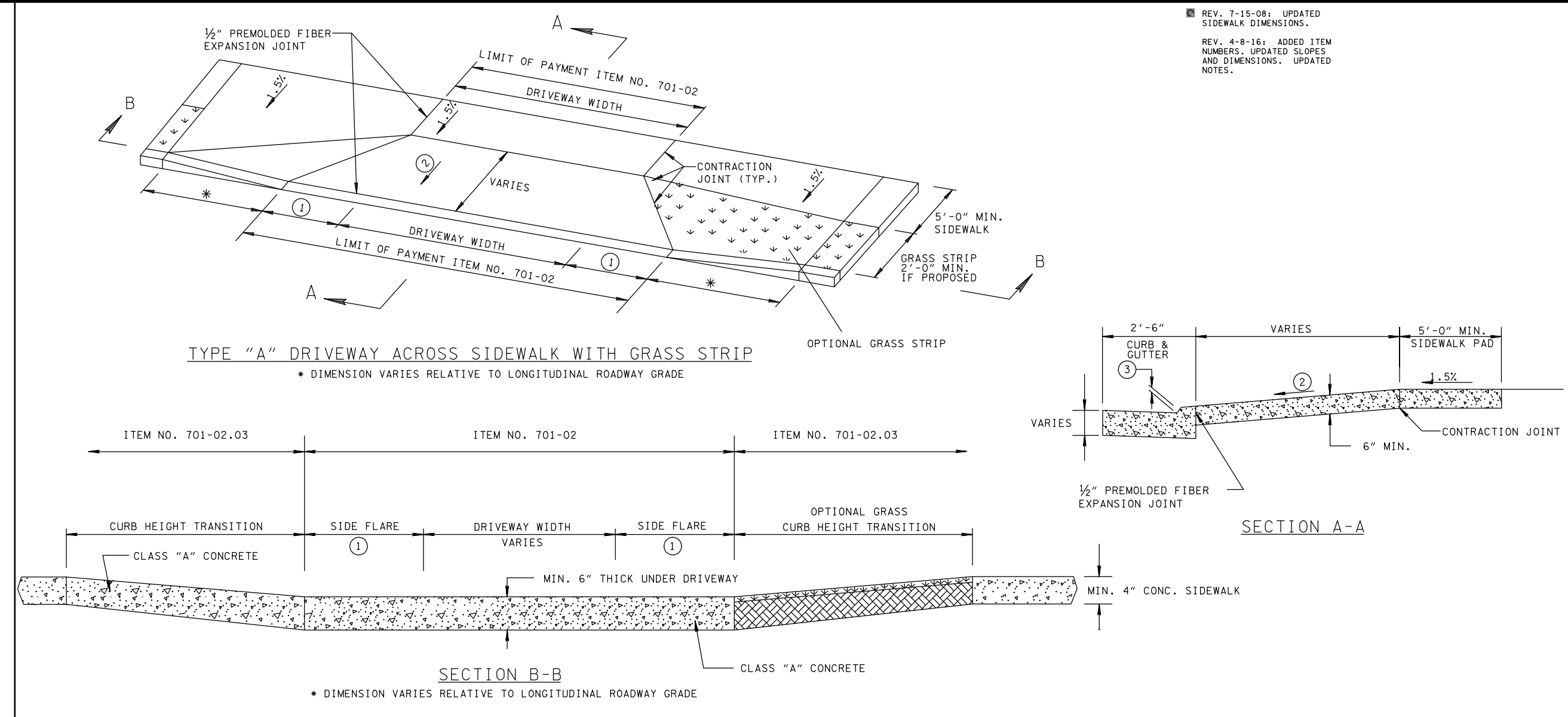
CALL BEFORE YOU DIG!
PROPOSED SITE PLAN & DRIVEWAY EASEMENTS

CASE# 2022SP-017-001



NOTE: 1. Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).
 2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.
 3. Concrete shall be 8 inches thick.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/27/02 REVISED: 05/08/03



GENERAL NOTES	
(A)	5'-0" MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 1.5% THROUGH DRIVEWAYS.
(B)	DESIGNER TO CHECK GUTTER FLOW DEPTH AT DRIVEWAY LOCATIONS TO ASSURE THAT THE DESIGN FLOW DOES NOT OVERTOP THE SIDEWALK AREA. IF OVERTOPPING OCCURS, PLACE AN INLET AT THE UPSTREAM SIDE OF THE DRIVEWAY OR PERFORM OTHER DESIGN MITIGATION.
(C)	THE SLOPE OF THE LANDING AREA SHALL NOT EXCEED 1.5% IN THE SIDEWALK AREA.
(D)	DRIVEWAYS TO BE BUILT COMPLETE OR IN PART AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
(E)	ALL DRIVEWAYS TO BE 6" UNIFORM THICKNESS, UNLESS OTHERWISE SHOWN ON PLANS.
(F)	EXPANSION JOINTS TO BE PLACED AS INDICATED ON THE PLANS EXCEPT JOINT AT BACK OF DRIVEWAY WHICH WILL BE PLACED WHEN DRIVEWAY ADJUTS A RIGID DRIVEWAY OR BUILDING.
(G)	THE ROADWAY DESIGNER SHALL CONSIDER THE USE OF A CATCH BASIN ON EITHER SIDE OF THE DRIVEWAY. CAREFUL CONSIDERATION TO THE PLACEMENT OF CATCH BASINS SHALL BE TAKEN IF THE DRIVEWAY IS IN A VERTICAL SAG CURVE.
(H)	ITEM NOS:
701-02	CONCRETE DRIVEWAY PER SF
701-02.03	CONCRETE RAMP PER SF
(I)	TYPICAL DRIVEWAY WIDTHS ARE 12' (14' TYP) FOR RESIDENTIAL AND 24' (40' MAX.) FOR COMMERCIAL
(J)	REFER TO SECTION 5.1.3.1 IN THE MANUAL FOR CONSTRUCTING DRIVEWAY ENTRANCES ON STATE HIGHWAYS (2015) FOR RADIUS OF CURVATURE GUIDANCE.

FOOTNOTES	
(1)	SIDE FLARE WIDTH SHOULD BE A MINIMUM 7'-0" FOR COMMERCIAL DRIVEWAYS. SIDE FLARE WIDTH SHOULD BE A MINIMUM 3'-6" FOR RESIDENTIAL DRIVEWAYS.
(2)	DRIVEWAY RAMP GRADE VARIES, 15% MAX. (10% RECOMMENDED) APRON GRADE FOR RESIDENTIAL DRIVEWAYS, 8% MAX. (5% RECOMMENDED) APRON GRADE FOR COMMERCIAL DRIVEWAYS.
(3)	HEIGHT OF LOWERED CURB SHALL BE 2.25 INCHES. SEE STD. DWG. RP-10C-10.

MINOR REVISION - FINAL APPROVAL NOT REQUIRED.
STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION
DETAILS OF STANDARD CONCRETE DRIVEWAYS
2-15-07 RP-D-15



NOTES

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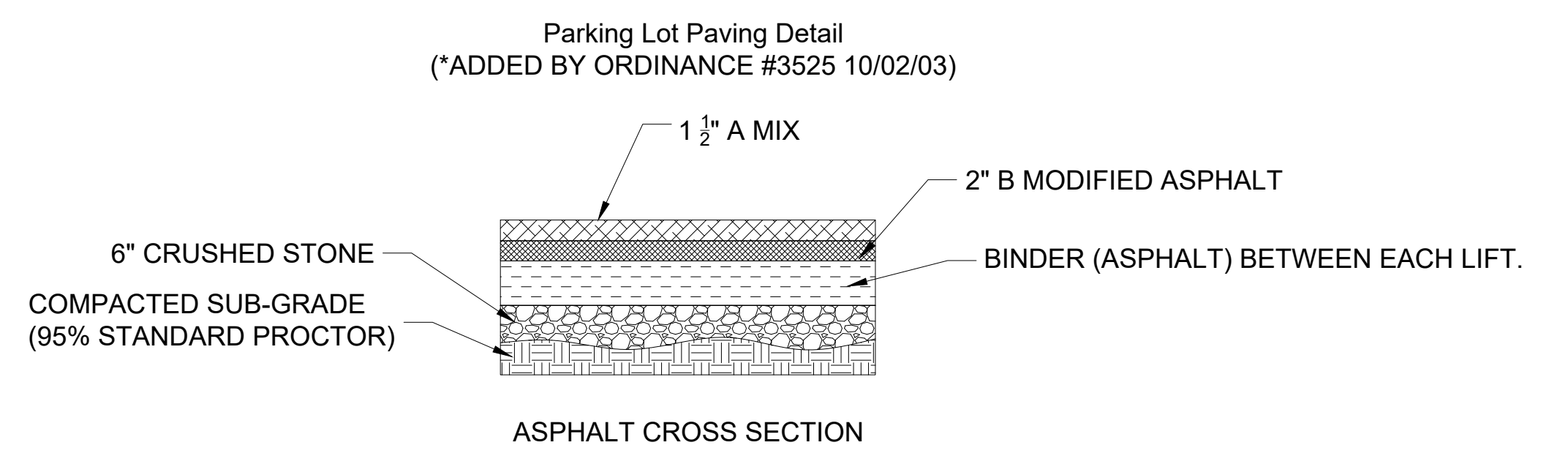
WILLIAM CHURCH & MANISH KHARAT
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 SITE DEVELOPMENT WATER/WASTEWATER

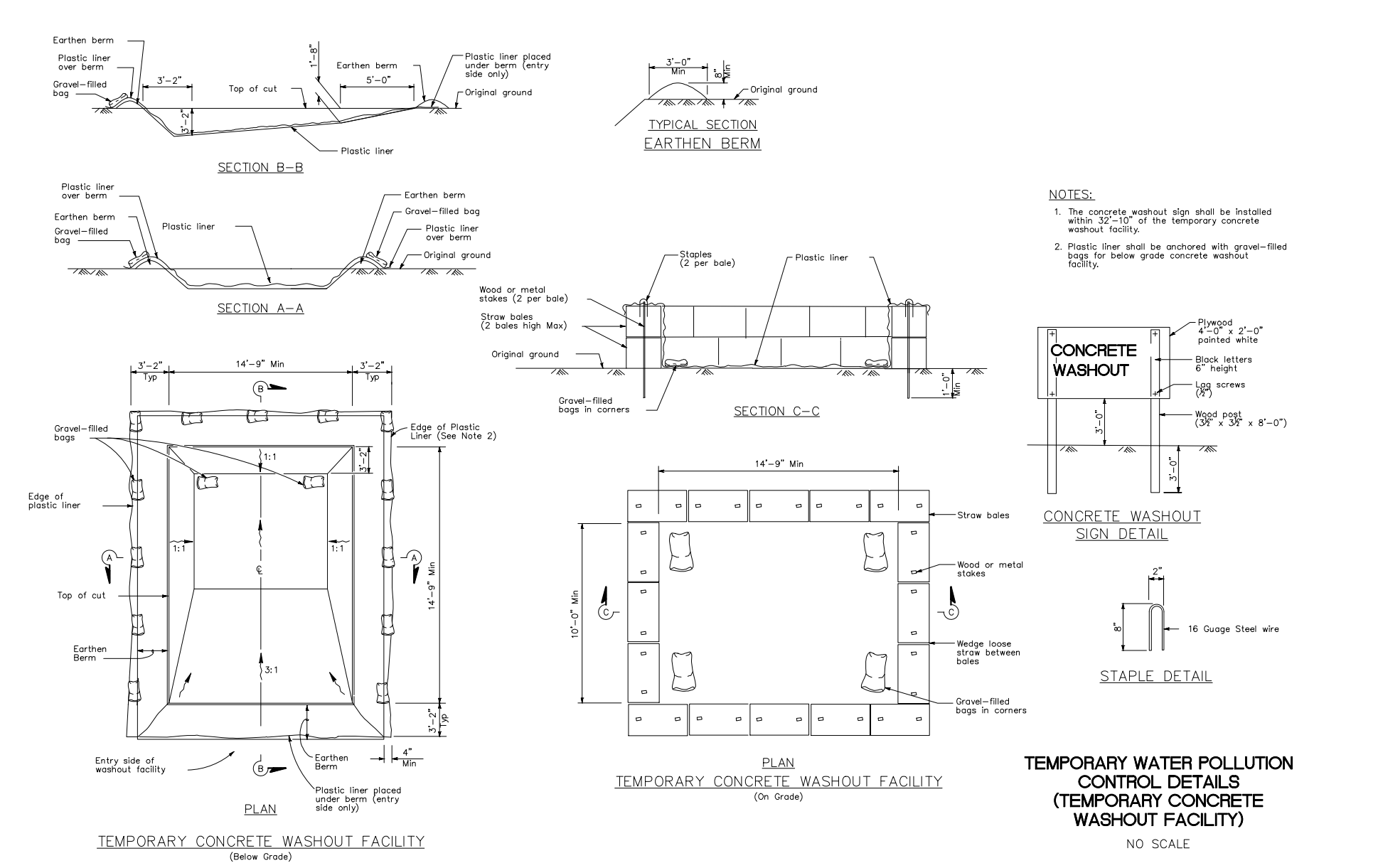
3/29/2023

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2 RP-D-15 STANDARD CONCRETE DRIVEWAY
 SCALE: N.T.S.



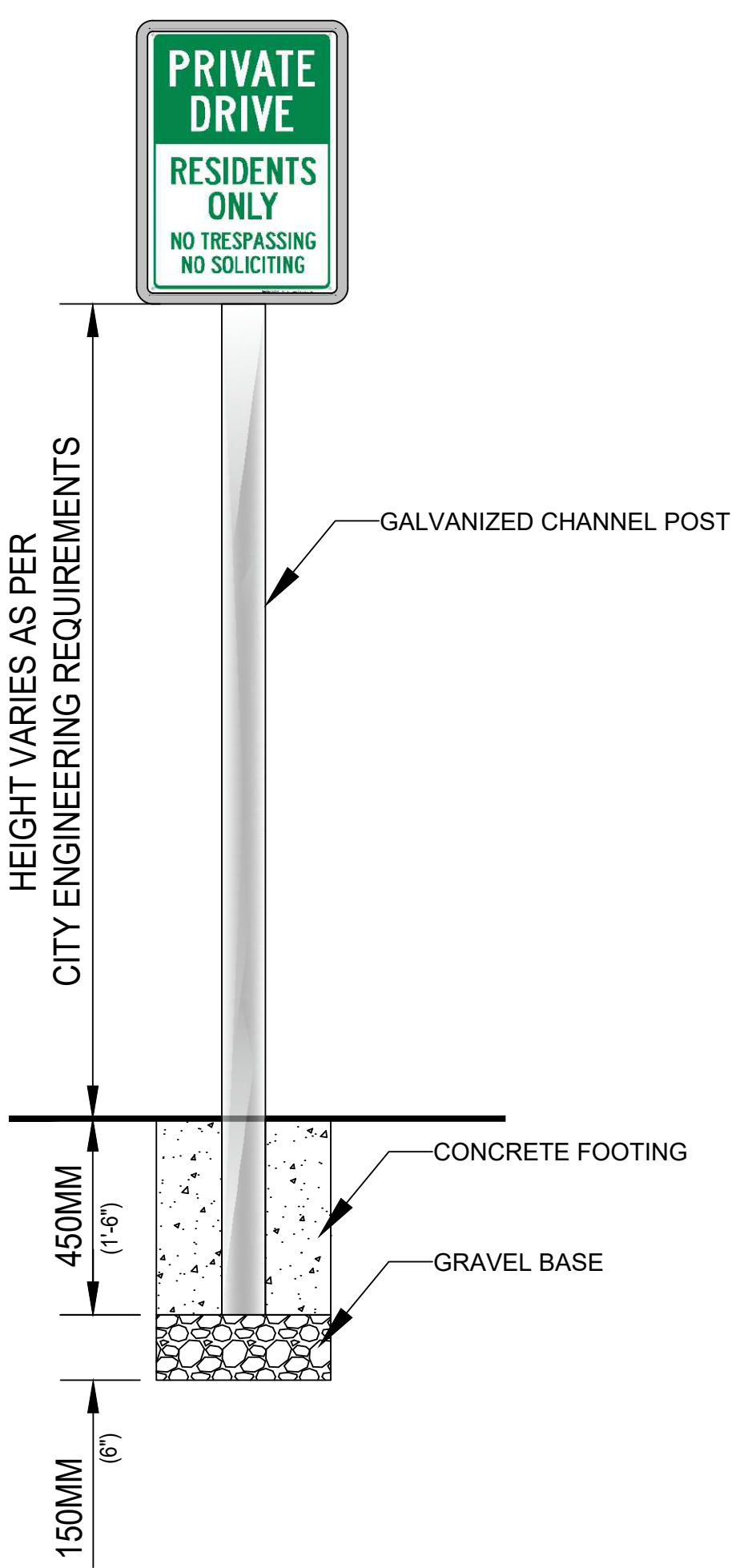
3 STANDARD ASPHALT DRIVEWAY CROSS-SECTION
 SCALE: N.T.S.



4 STANDARD CONCRETE WASHOUT DETAIL
 SCALE: N.T.S.



5 PRIVATE DRIVE SIGNAGE
 SCALE: N.T.S.



6 PRIVATE DRIVE SIGNAGE DETAIL
 SCALE: N.T.S.

1 CHANGED BLDG SIZE AND PARKING AREA

NO.	DATE	DESCRIPTION	APPROVAL
1			

DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

WILLIAM CHURCH & MANISH KHARAT
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 212 SUNSET DRIVE, NASHVILLE, TN 37207

DWG. NO. **C-2.1**

SCALE: NOTED
 CADFILE: 212 Sunset Drive_William Church_03-29-2023

JOB No. REV.

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