

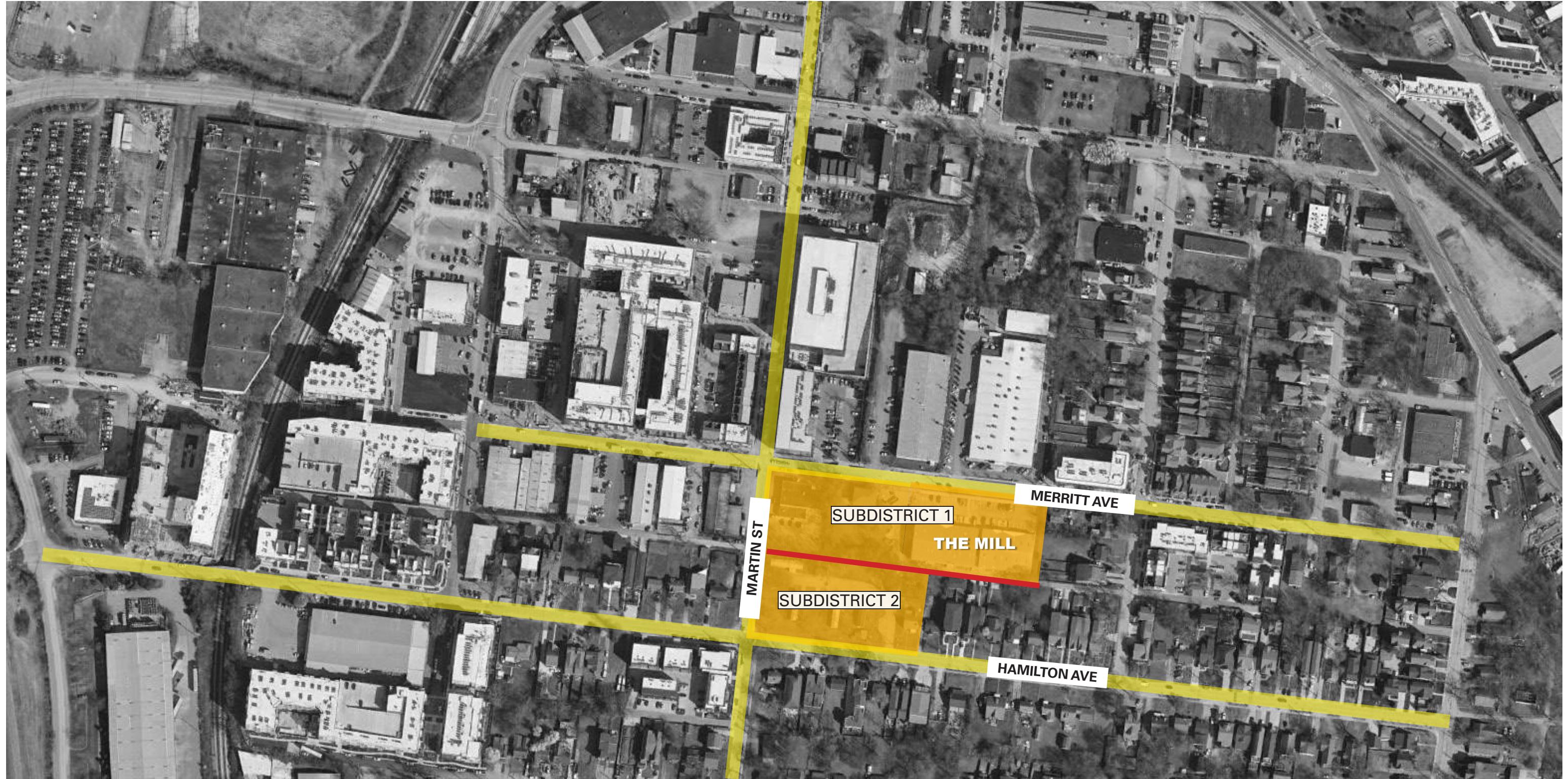
Martin & Merritt

Policy Overview

ARCHITECT (APPLICANT)
JP JACKSON
PFEFFER TORODE ARCHITECTURE
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PRELIMINARY SPECIFIC PLAN APPLICATION
513 MERRITT AVE, 525 MERRITT AVE, 1300-1312 MARTIN ST, 548 HAMILTON AVE
Case No. 2025SP-005-001

CIVIL ENGINEER:
PHILIP NEAL
KIMLEY-HORN
philip.neal@kimley-horn.com



T4-NE

Urban Neighborhood Evolving



Courtyard flats providing housing choice

and private realm and to create a pedestrian-friendly environment. There is minimal spacing between buildings.

Density – Density is secondary to the form of development; however, T4-NE areas are intended to be moderate- to high-density with smaller lots and a more diverse mix of housing types than are typically found in T4 Urban Neighborhood Maintenance areas. Certain areas that are abutting or adjacent to Centers and Corridors may be appropriate for higher density housing and buildings, depending on their surrounding context.

Building Height – Buildings are generally one to three stories in height. Buildings up to four, possibly five, stories may be supported in appropriate locations, such as abutting or adjacent to major corridors as identified on the NashvilleNext Growth & Preservation Concept Map, abutting or adjacent to centers, and to support affordable and workforce housing.

Consideration of taller heights is based on the following factors:

- Adequate infrastructure, such as appropriately sized water and sewer service, complete streets, and streets and sidewalks that are adequately wide to support the increased height without the building overshadowing the street or degrading the pedestrian environment;

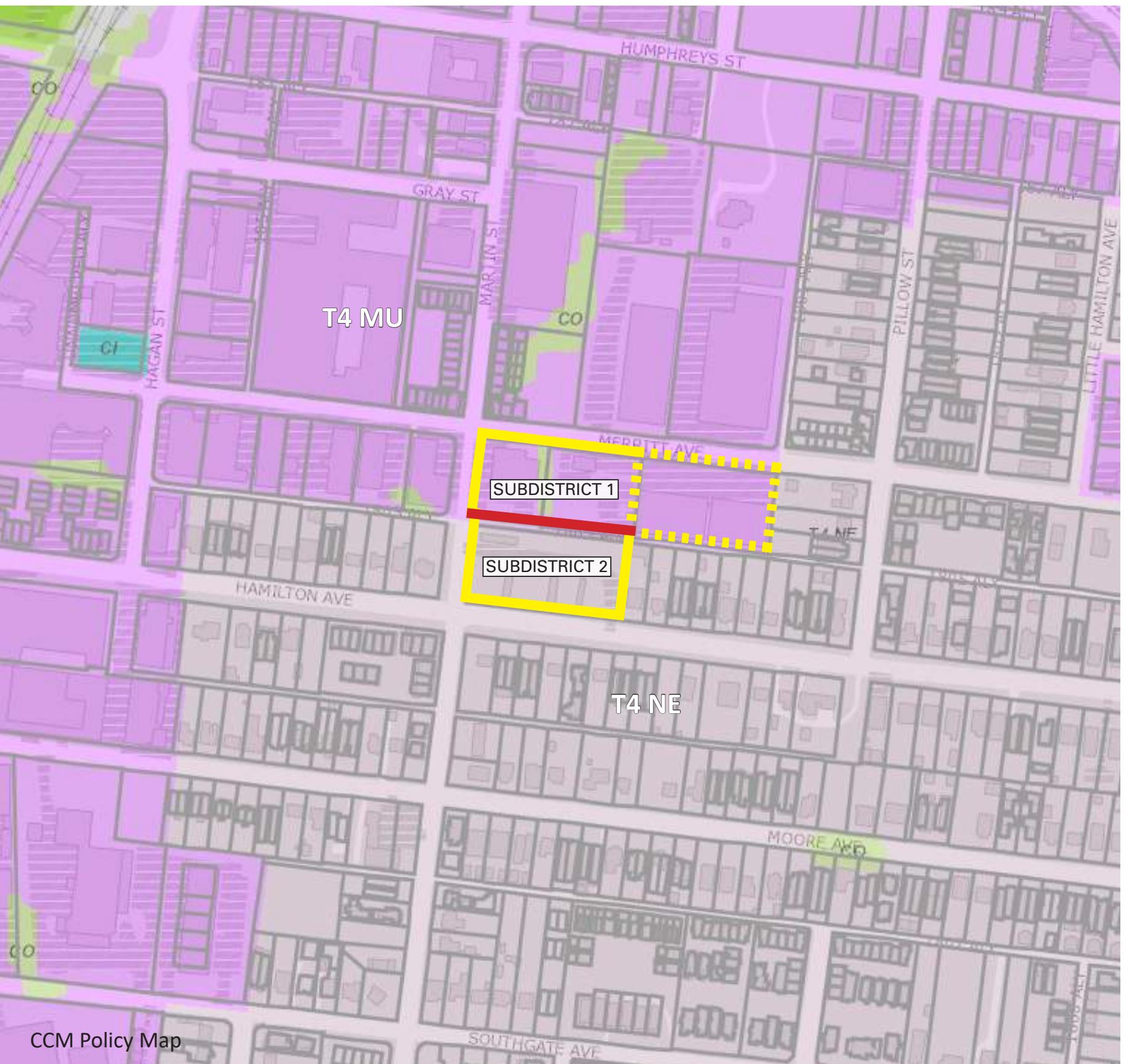
- Access to major transportation networks;
- Opportunities for higher connectivity;
- Ability to form transitions from adjacent higher-intensity development to the lower-scale neighborhood interior;
- Proximity to existing or planned transit, with increased height benefits for areas within 0.25 mile of a High Capacity Transit station;
- Ability to support the viability of nearby consumer businesses; and
- Ability to provide affordable or workforce housing as defined in the Glossary of this document.

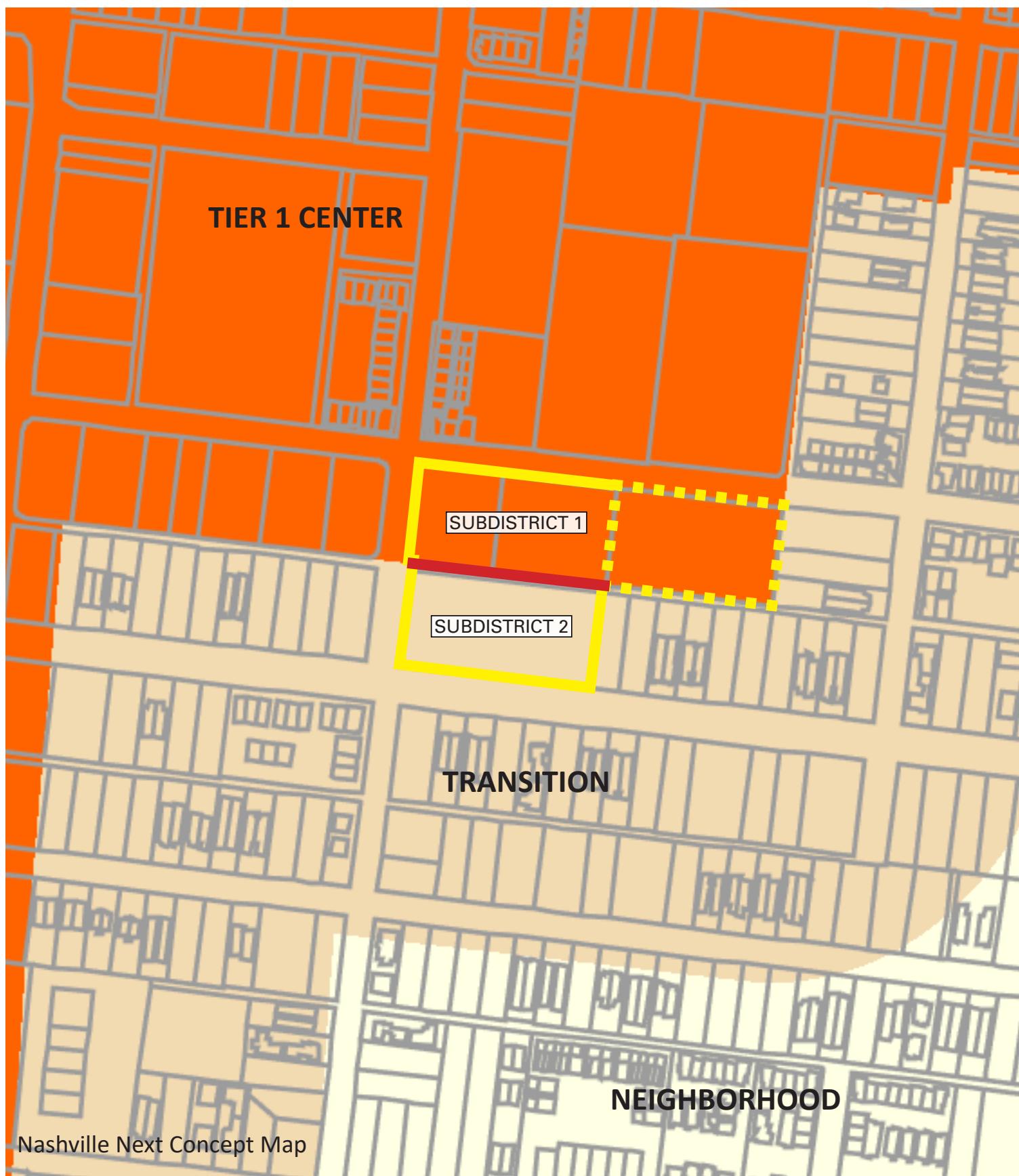
Along Major Corridors – The mix of building types should be thoughtfully placed in relation to Corridors and Centers. Place taller buildings that contain more units abutting or adjacent to Centers and Corridors, and use these more intense building types as land use transitions.

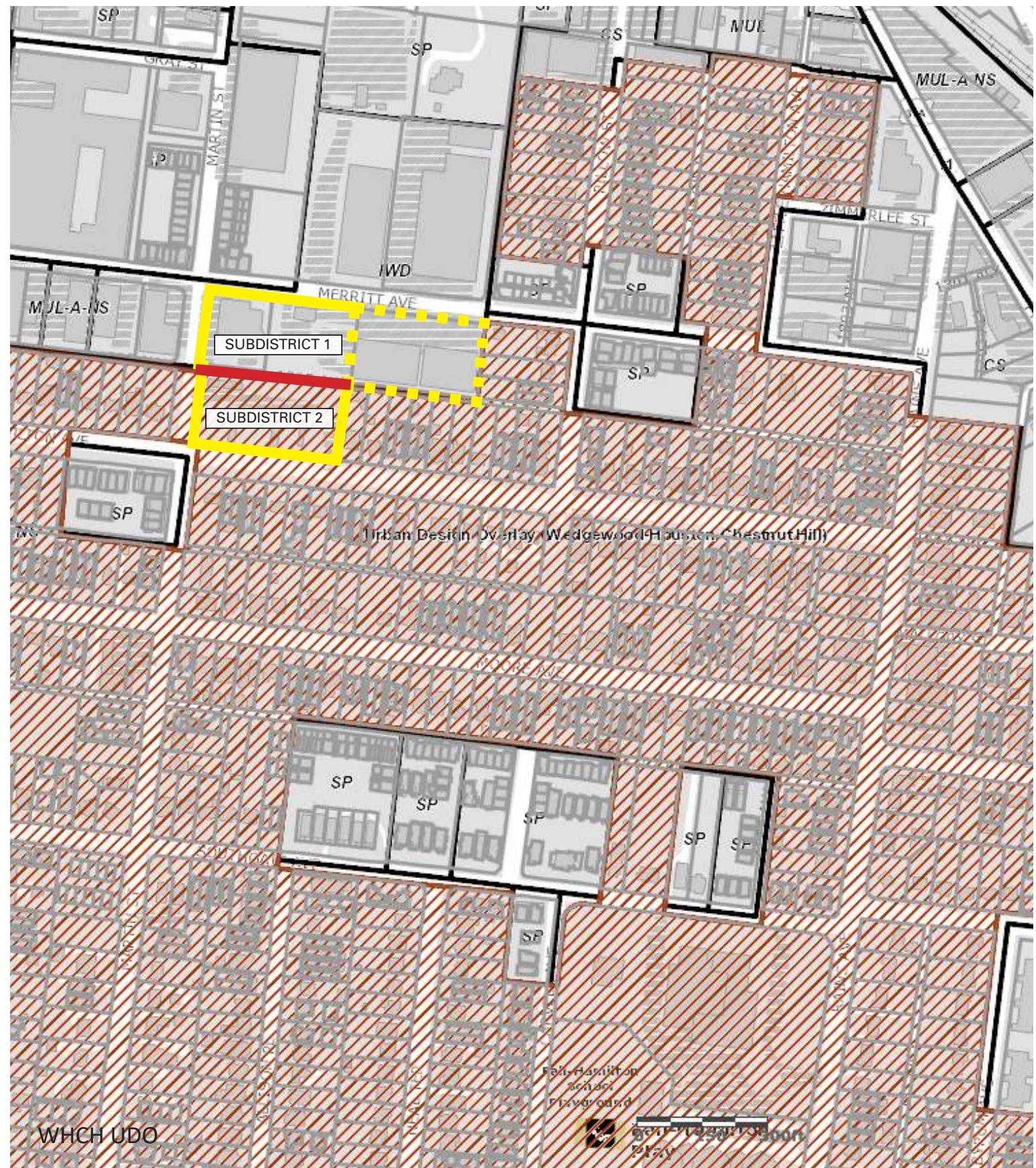
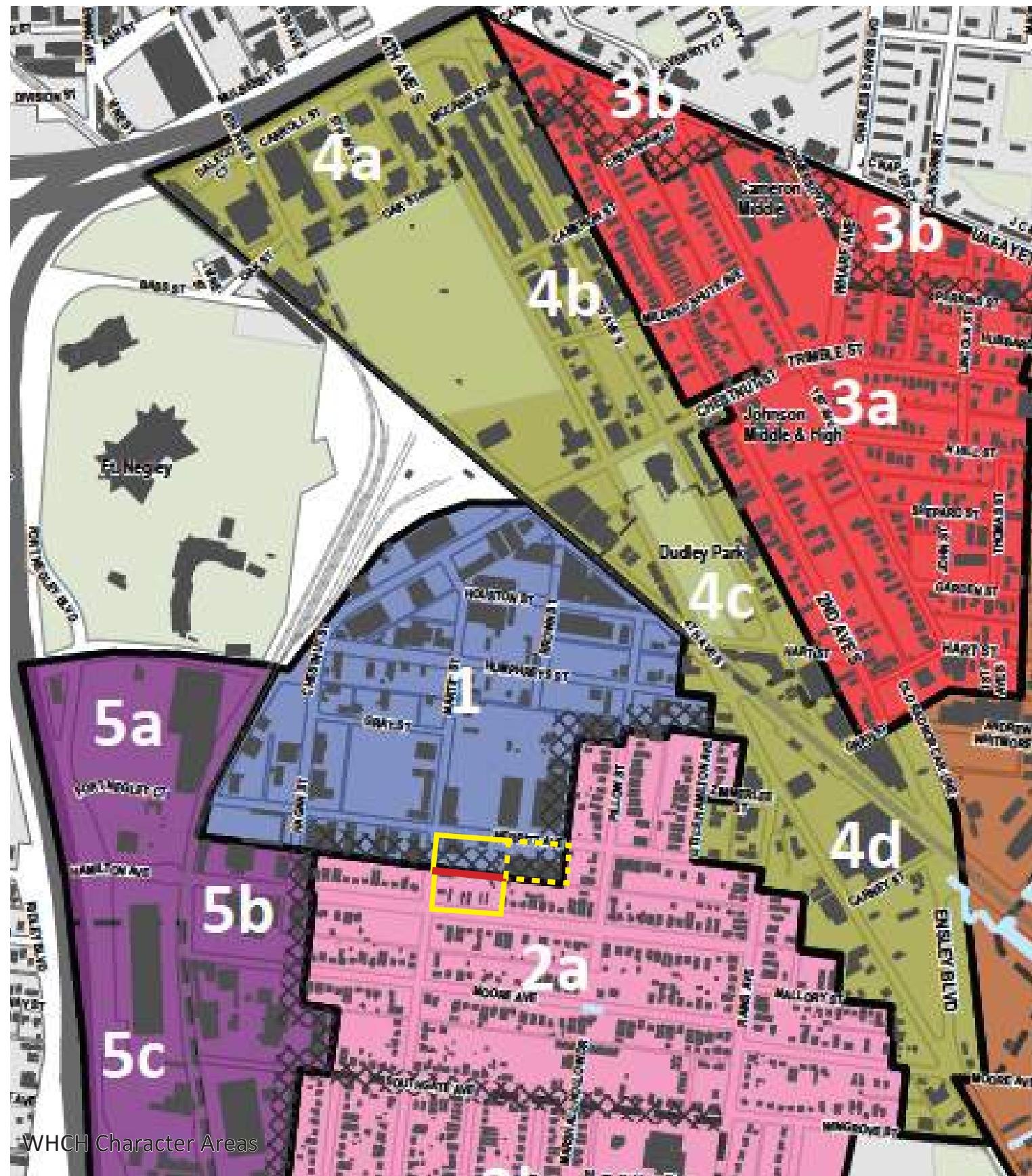
Double Frontage Lots – Development does not result in the creation of double-frontage single- or two-family lots, unless there are extenuating circumstances, such as the need to avoid disturbing sensitive environmental features. For example, development does not create a situation that would result in the rear of a building facing a street.

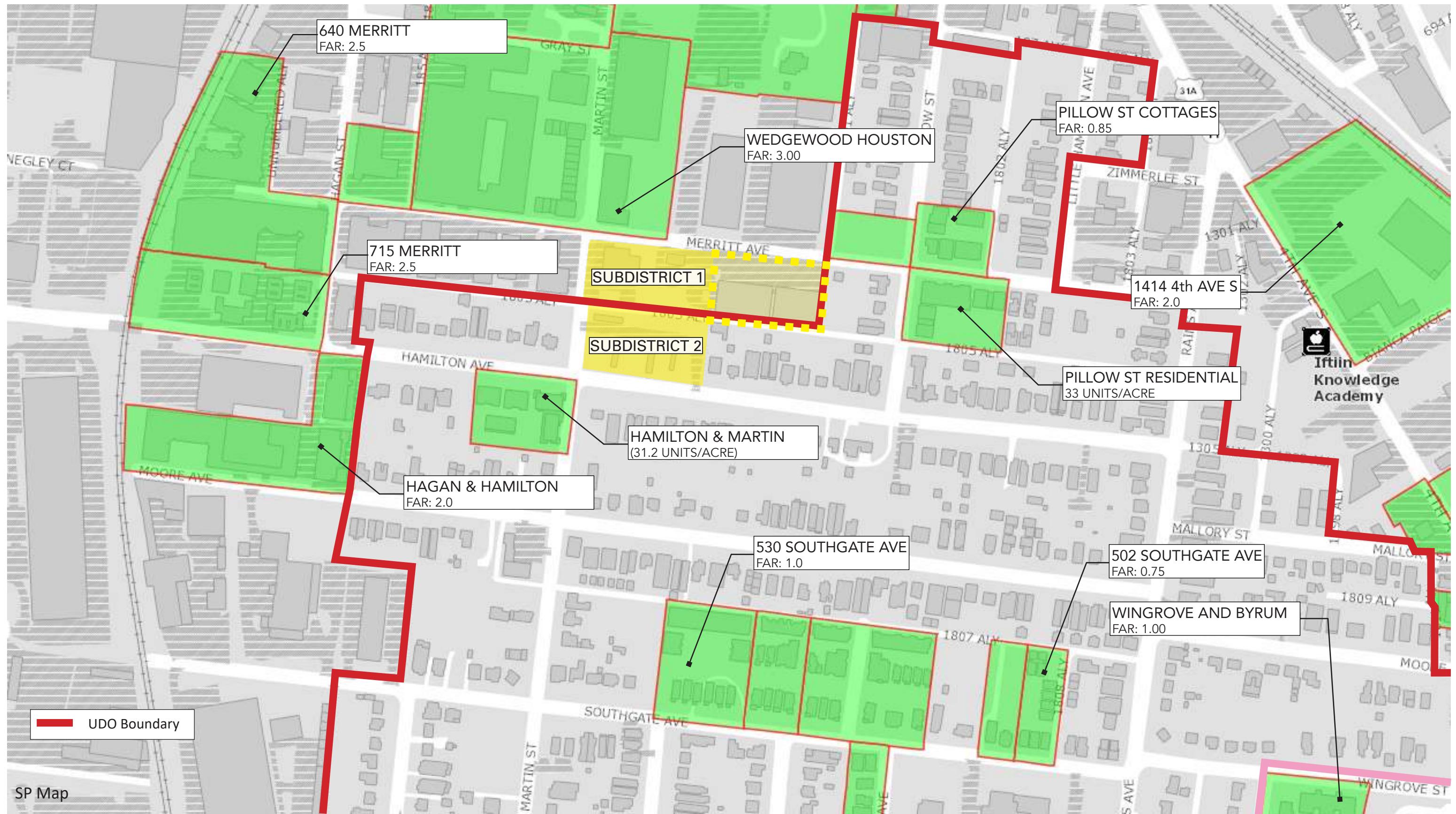
Open Space – New developments that create their own street or internal drive systems also provide inviting, functional, and accessible open space as an integral part of the development. This is particularly important in areas with a deficiency of public open space or where there is a need to protect nearby sensitive environmental features or watersheds. Less extensive new developments provide smaller open spaces that may serve multiple purposes, such as rain gardens that serve as storm water management devices as well as site amenities. New developments near existing parks may have less shared open space within the development, but still should provide green space.

CCM Policy Map









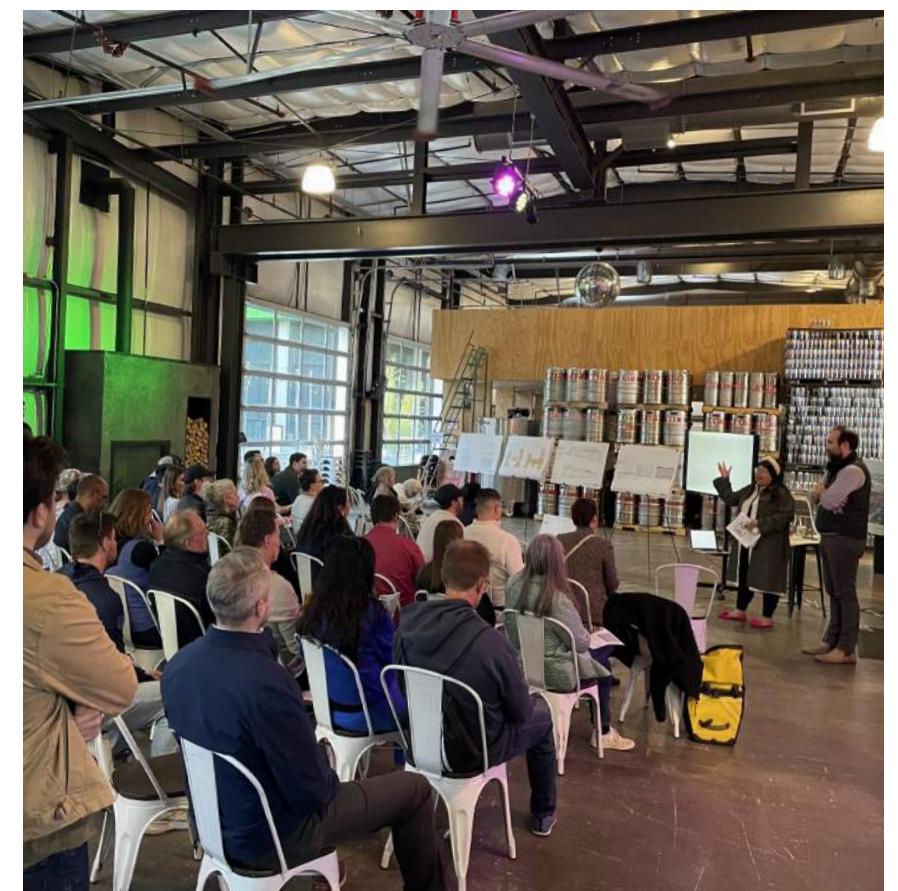
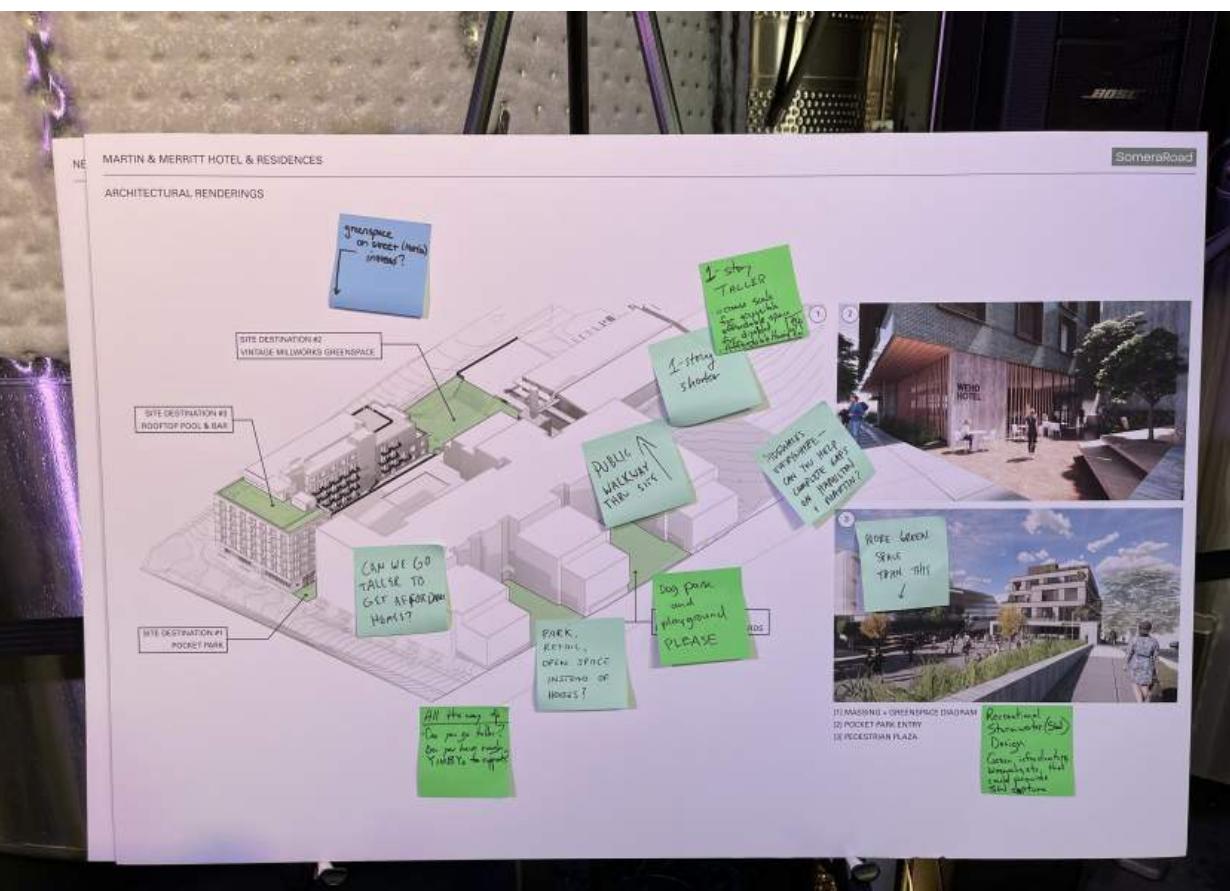
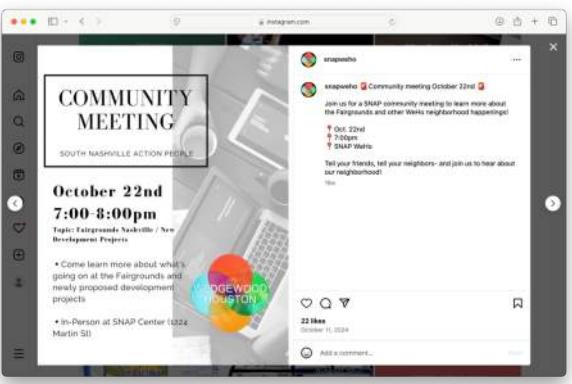
Community Engagement

NEIGHBORHOOD FEEDBACK

9

COMMUNITY MEETING DATES

MARCH 25, 2023:	SOMERA ROAD AT DISKIN CIDER
DECEMBER 19, 2023:	SOMERA ROAD AT 1300 MARTIN
MARCH 19, 2024:	WEHO SOCIAL
APRIL 16, 2024:	SOMERA ROAD AT THE MALIN WH
JULY 20, 2024:	SNAP
SEPTEMBER 12, 2024:	WEHO SOCIAL
OCTOBER 22, 2024:	SNAP
JANUARY 14, 2025:	WEHO SOCIAL
FEBRUARY 11, 2025:	SNAP
APRIL 7, 2025:	COUNCILWOMAN VO + SOMERA ROAD AT DISKIN CIDER



Preliminary SP Submittal

ARCHITECT (APPLICANT)
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Case No. 2025SP-005-001

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PURPOSE

A REQUEST TO REZONE THE PROPERTIES FROM 513 MERRITT AVENUE, 1300-1312 MARTIN STREET, 525 MERRITT AVENUE, AND 548 HAMILTON AVE (4.03 ACRES IN TOTAL), TO SPECIFIC PLAN AND PERMIT USES PREVIOUSLY DEEMED APPROPRIATE BY THE WEDGEWOOD HOUSTON COMMUNITY CHARACTER POLICY.

SUBDISTRICT 1: 513 MERRITT AVE + 525 MERRITT AVENUE + 1300 MARTIN STREET

PROPOSED USES IN WEDGEWOOD HOUSTON CHARACTER AREA 1T: COMMERCIAL (RETAIL & RESTAURANT), RESIDENTIAL (HOTEL & MULTIFAMILY)

SUBDISTRICT 2: 1312 MARTIN + 948 HAMILTON AVE

PROPOSED USE IN WEDGEWOOD HOUSTON CHARACTER AREA 2A: RESIDENTIAL (MULTIFAMILY)

VINTAGE MILLWORKS (513 MERRITT) IS UNDER THE SAME OWNERSHIP AS THE SP SITE. IT WAS RECENTLY REDEVELOPED AND IS CURRENTLY OPERATING AS AN ADAPTIVE REUSE OF AN EXISTING HISTORIC STRUCTURE. VINTAGE MILLWORKS HAS BEEN INCLUDED IN THIS SPTO CODIFY THE PRESERVATION OF THIS HISTORIC STRUCTURE. CURRENT AND FUTURE USES WILL BE RESTRICTED TO THOSE PERMITTED BY THE LAND USE TABLE ON FOLLOWING PAGE.

COUNCIL

DISTRICT 17

COUNCILPERSON: TERRY VO

EXISTING LAND USE

VACANT LAND, SINGLE FAMILY, SMALL WAREHOUSE

NEW CONSTRUCTION

PROPOSED USE/DENSITY

525 MERRITT AVENUE, 1300 MARTIN STREET
1312 MARTIN, 948 HAMILTON AVE

HOTEL

110,000 SF MAX (7,500 SF OF COMMERCIAL)
150 KEYS MAX

MULTIFAMILY

215,000 SF MAX
175 UNITS MAX

COMMERCIAL
(RETAIL & RESTAURANT)

7,500 SF MAX*
*INCLUDED WITHIN HOTEL TOTAL ABOVE

TOTAL BUILDINGS SF
TOTAL SITE SF

325,000 SF MAX
124,708 SF

TOTAL PROPOSED MAX SF + EXISTING VINTAGE MILLWORKS:
 $325,000 + 25,245 = 350,245$ SF

TOTAL SITE + VINTAGE MILLWORKS SITE:
 $124,708 + 50,965 = 175,673$ SF

FAR: 2.00

EXISTING CONSTRUCTION

VINTAGE MILLWORKS DENSITY

513 MERRITT AVE
TOTAL SITE SF
BUILT SF
50,965 SF
25,245 SF

maximum number of hotel keys
and multifamily units adjusted

Parking Section
added to clarify
maximum number of
spaces project can
provide based on final
unit/key counts and sf

LAND USE POLICY COMPLIANCE

SUBDISTRICT 1 OF THIS PROPOSED SP FALLS WITHIN CHARACTER AREA 1TR (TRANSITION) AREA WHICH ENDORSES MUL-A-NS AS RECOMMENDED MAXIMUM ZONING.

SUBDISTRICT 2 OF THE SITE FALLS WITHIN CHARACTER AREA 2A WHICH ENDORSES RM-40A-NS AS THE RECOMMENDED MAXIMUM REZONING.

THIS SP REQUESTS A REZONE OF THESE PROPERTIES USING THE RECOMMENDED MAXIMUM REZONING STANDARDS AS THE BASE REGULATIONS.

THERE ARE ADJACENT PROPERTIES WITH AN SP THAT ADHERES TO THE RECOMMENDED MAXIMUM ZONING AS SET FORTH BY THE WEDGEWOOD HOUSTON PLANNING STUDY.

ADJACENT PROPERTIES TWELVE 60 MARTIN, SIX 10 MERRITT, AND THE FINERY ARE ALL PART OF A SPECIFIC PLAN THAT USES MUG-A AS ITS BASE FOR REGULATIONS.

NEARBY PROPERTY 500 MERRITT AVE USES RM-40A MAXIMUM RECOMMENDED ZONING TO ESTABLISH THEIR FAR.

FOR SUBDISTRICT 1, THE PROPOSED SP IS CONSISTENT WITH THE T4MU POLICY'S EXAMPLES OF APPROPRIATE USES (RESIDENTIAL, MIXED-USE, COMMERCIAL), BASE ZONING (MUL-A-NS), BUILDING TYPES (MID-RISE MIXED-USE), MASSING (HIGH LOT COVERAGE), ORIENTATION (STREET FACING), SETBACKS (SHALLOW).

FOR SUBDISTRICT 2, THE PROPOSED SP IS CONSISTENT WITH T4-NE POLICY'S EXAMPLES OF APPROPRIATE USES (RESIDENTIAL), BASE ZONING (RM-40A-NS), BUILDING TYPES (MID-RISE TOWNHOUSE, COURTYARD FLAT), MASSING (MODERATE TO HIGH COVERAGE), ORIENTATION (STREET FACING AND OPEN SPACES WITH COURTYARDS), SETBACKS (SHALLOW). AS AN ADDITIONAL RESTRICTION, NON-RESIDENTIAL USES WILL BE PROHIBITED WITHIN SUBDISTRICT 2.

PARKING

THE PROJECT IS LOCATED WITHIN THE URBAN ZONING OVERLAY AND BY CODE IS NOT REQUIRED TO PROVIDE FOR ANY PARKING. THE PROJECT IS PROPOSING TO PROVIDE FOR 241 SPACES AND SHALL COMPLY WITH THE PERMITTED PARKING MAXIMUM OF 360 SPACES PERMITTED BY CODE. THE PROJECT SHALL ALSO INCLUDE A DEDICATED AREA FOR RIDESHARE USE WITHIN THE PROPOSED PARKING GARAGE. FINAL PARKING COUNT SHALL BE DEPENDENT ON FINAL UNIT COUNT, RETAIL + COMMERCIAL SQUARE FOOTAGE AND NUMBER OF HOTEL KEYS BUT SHALL NOT EXCEED THE MAXIMUM PERMITTED NUMBER OF SPACES.

PARKING METRICS:

1 SPACE PER RESIDENTIAL UNIT AND 1.5 PER 2+ BEDROOMS UNITS
0.5 SPACES PER HOTEL KEY
1 SPACE PER 150 SF RESTAURANT, FIRST 1,000 SF EXEMPT

PARKING ON PROJECT: 150 MAX HOTEL KEYS; 175 MAX MULTIFAMILY UNITS

$150 \text{ HOTEL KEYS} * 0.5 \text{ SPACES PER KEY} = 75 \text{ HOTEL SPACES}$

$175 \text{ MULTIFAMILY UNITS} * 60 \text{ 1 BD / 40 2 BD}$
 $175 * .6 = 105 \text{ ONE BED} * 1 \text{ SPACE PER UNIT} = 105 \text{ ONE-BED SPACES}$
 $175 * .4 = 70 \text{ TWO BED} * 1.5 \text{ SPACES PER UNIT} = 105 \text{ TWO-BED SPACES}$
 $105 + 105 = 210 \text{ MULTIFAMILY SPACES}$

$7,500 \text{ RESTAURANT & RETAIL MAX} - 1,000 \text{ FIRST SF EXEMPTION} = 6,500 / 150 = 44 \text{ RESTAURANT & RETAIL SPACES}$

75 HOTEL
+ 31 HOTEL EMPLOYEE PARKING
+ 210 MULTIFAMILY
+ 44 COMMERCIAL
= 360 MAX PARKING SPACES

MARTIN & MERRITT SP**LAND USE TABLE FOR SP SUBMITTAL**

Fallback Zoning: MUL-A-NS

added to SP allowable uses

Key: P-Permitted PC-Permitted w/ conditions SE-Special Exception A-Accesory O-Overlay	MUL-A-NS
Residential Uses:	
Single-family	P
Two-family	P
Multifamily	P
Elderly Housing	P
Consignment sale	P
Garage sale	A
Historic bed and breakfast homestay	O
Historic home events	P
Home occupation	A
Institutional Uses:	
Cultural center	P
Day care center (Up to 75)	PC
Day care center (Over 75)	PC
Day care home- Large	PC
Daycare Home - Small	PC
Day care—Parent's day out	A
School day care	A
Monastery or convent	P
Orphanage	P
Religious institution	P
Educational Uses:	
Business school	P
Community education	P
Dormitory	P
Personal instruction	P
Vocational school	PC
Office Uses:	
Alternative Financial Services	PC
Financial institution	P
General office	P
Leasing/sales office	P

Medical Uses:	
Assisted-care living	P
Hospice	P
Medical appliance sales	P
Medical office	P
Medical or scientific lab	P
Nursing home	P
Outpatient clinic	P
Veterinarian	P
Commercial Uses:	
ATM	PC
Auction house	P
Bar or nightclub	P
Bed and breakfast inn	P
Business service	P
Custom assembly	PC
Furniture store	P
Grocery store	P
Home improvement sales	PC
Hotel/motel	P
Inventory stock	A
Liquor sales	
Nano brewery	P
Personal care services	P
Restaurant, fast-food	P
Restaurant, full-service	P
Restaurant, take-out	P
Retail	P

Communication Uses:	
Amateur radio antenna	P
Audio/video tape transfer	P
Communications hut	PC
Multi-media production	P
Printing and publishing	P
Telecommunication Facility	PC
Industrial Uses:	
Artisan distillery	
Distributive business/ wholesale	PC
Manufacturing, Artisan	PC
Tasting room	
Warehouse	PC
Transportation Uses:	
Bus transfer station	SE
Commuter rail	SE
Utility Uses:	
Safety services	P
Construction/ demolition waste processing (project specific)	PC
Recreation and Entertainment Uses:	
Golf course	P
Greenway	P
Park	P
Recreation center	P
Rehearsal hall	P
Temporary festival	SE
Theater	P
Other Uses:	
Pond/lake	P

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GENERAL NOTES:

- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.
- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTRAGE ZONE. PRIOR TO THE ISSUANCE OF USE AN OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTRAGE ZONE.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL, THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/ OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF MUL-A FOR SUBDISTRICT 1 AND RM40-A-NS FOR SUBDISTRICT 2.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL, THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
- FINAL SITE PLAN MUST COMPLY WITH ALL REGULATIONS IN THE STORMWATER MANAGEMENT MANUAL AT THE TIME OF SUBMITTAL.
- SHORT-TERM RENTAL PROPERTIES OWNER-OCCUPIED AND SHORT TERM RENTAL PROPERTIES NON OWNER- OCCUPIED SHALL BE PROHIBITED. SCREENING DETAILS ARE TO BE SUBMITTED WITH THE FINAL SITE PLAN.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM THE RIGHT-OF-WAY BY LANDSCAPING OR AN ENCLOSURE, OR A COMBINATION OF BOTH.

- THE DEVELOPER SHALL CREATE A PROJECT WEBSITE THAT WILL POST KEY PROJECT UPDATES AND A CONTACT PERSON AVAILABLE TO COMMUNITY MEMBERS DURING CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE DEVELOPER SHALL PREPARE A CONSTRUCTION PARKING PLAN TO BE SHARED WITH THE DISTRICT COUNCIL MEMBER AND ADJACENT PROPERTY OWNERS AND POSTED TO THE DEVELOPMENT WEBSITE. SUCH A PLAN SHALL INCLUDE AN OFF-SITE PARKING AREA FOR CONSTRUCTION WORKERS TO BE USED UNTIL THE ONSITE PARKING GARAGE CAN BE UTILIZED.
- CONSTRUCTION VEHICLES SHALL BE PROHIBITED FROM USING ALLEY #1805 TO ACCESS THE CONSTRUCTION SITE.
- THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS OF SECTION 9.30.010 OF THE METROPOLITAN CODE REGARDING OUTDOOR CONSTRUCTION HOURS.
- THE PROJECT SHALL INCLUDE PROVISIONS FOR TENANTS OF THE ADJACENT "THE MILL" PROPERTY TO UTILIZE THE TRASH/LOADING AREA WITHIN THE PROJECT SO AS TO MINIMIZE USE OF EXISTING ALLEY #1805.
- THE DEVELOPER SHALL REPAIR OR REPAVE EXISTING ALLEY #1805 BETWEEN PILLOW STREET AND ITS TERMINUS, AND SHALL REPAIR OR REPAVE ANY DRIVEWAYS HAVING ACCESS TO THIS PORTION OF ALLEY #1805 THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION ASSOCIATED WITH THE DEVELOPMENT OF THIS SP.

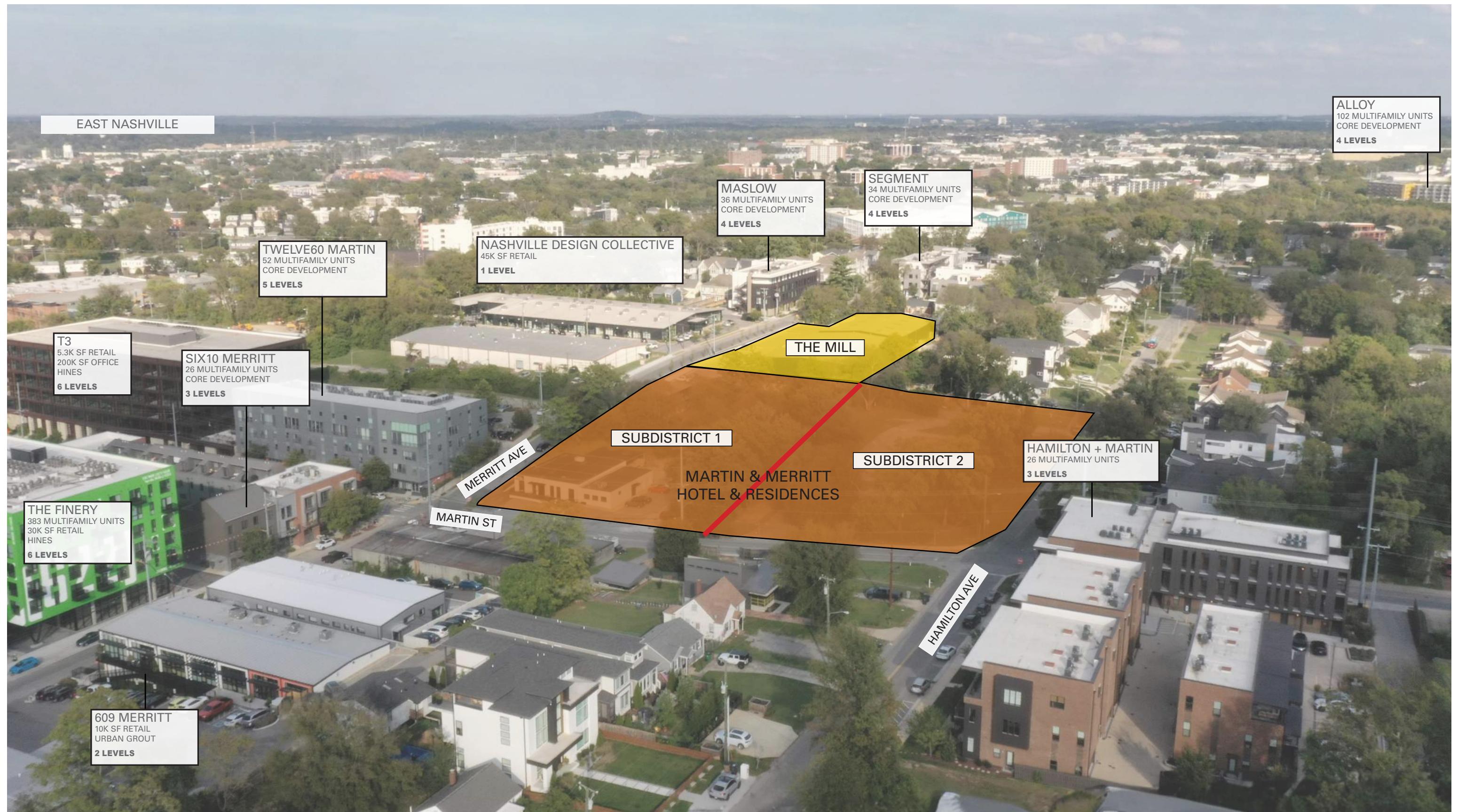
project website, construction parking plan, construction vehicular access, construction hours, alley and driveway repair, and alley access restrictions requirements added

ARCHITECTURAL NOTES:

- BUILDING FAÇADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, METAL PANEL, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
- BUILDING FAÇADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE.
- WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER EXCEPT FOR DORMERS.
- PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET IN DEPTH.
- THE PROPOSED HOTEL POOL SHALL NOT BE PERMITTED TO HAVE OVERHEAD LIGHTING SO AS TO PERMIT USAGE OF THE POOL AT NIGHT AND POOL OPERATING HOURS SHALL BE LIMITED TO DAYLIGHT HOURS. THE ROOFTOP POOL + BAR SHALL BE OPERATED BY THE HOTEL OPERATOR AND SHALL BE AN ANCILLARY/ AMENITY USE FOR THE HOTEL. THE POOL SHALL NOT BE PERMITTED TO BE OPEN AFTER SUNDOWN AND THE ROOFTOP FACILITIES SHALL COMPLY WITH ALL APPLICABLE NOISE ORDINANCES INCLUDING TITLE 9 OF THE METRO NASHVILLE CODE IN CONNECTION WITH AMPLIFIED NOISE.

rooftop bar operating restrictions added

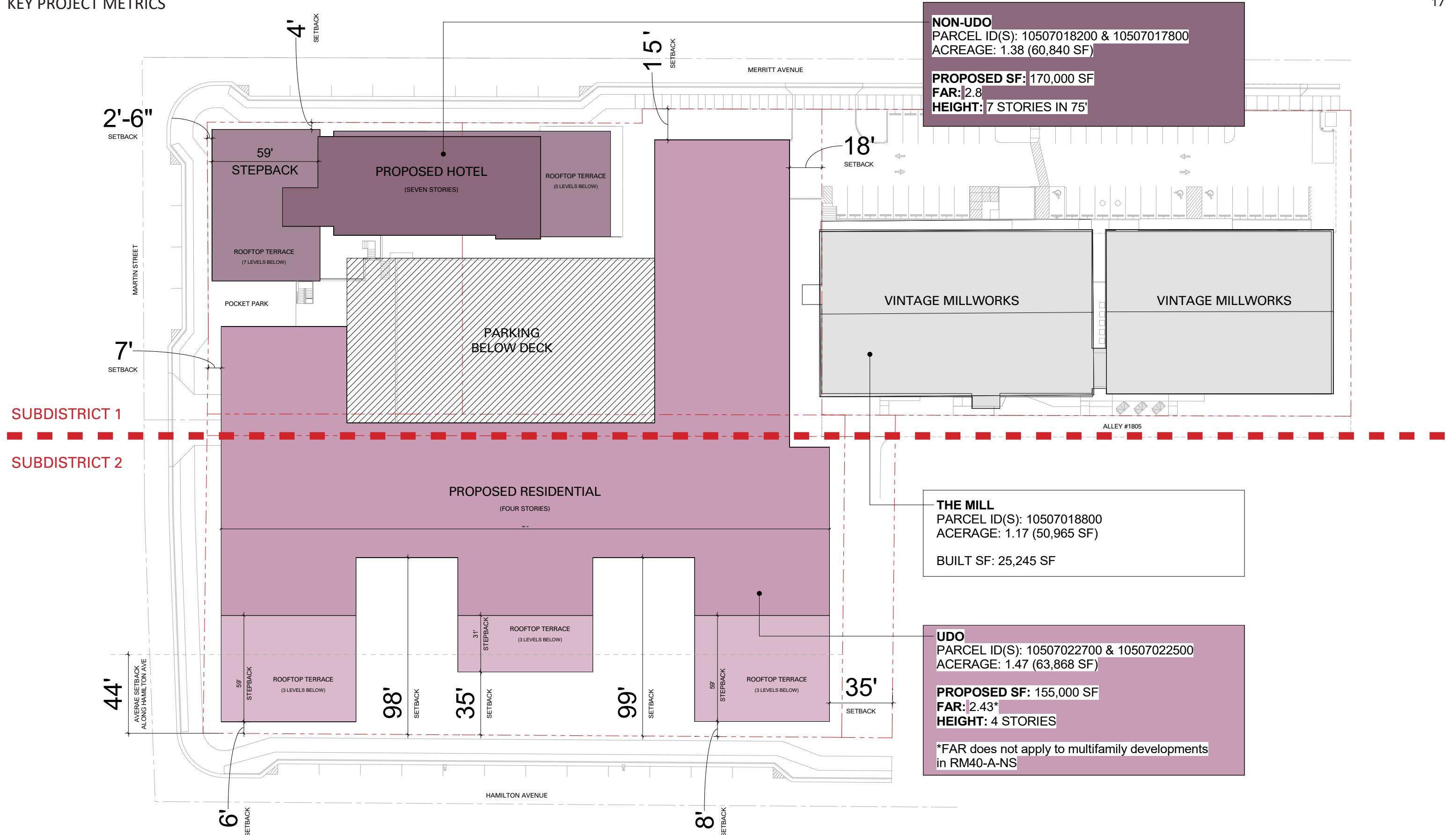
ADDRESS	PARCEL ID	ACREAGE	OWNER	EXISTING ZONING	EXISTING LAND USE	NASHVILLE NEXT	PLANNING POLICIES	MCSP REQUIREMENTS
513 MERRITT AVE	10507018800	50,965 SF 1.17 AC	MTP - 513 MERRITT AVE LLC	IWD - INDUSTRIAL WAREHOUSING/ DISTRIBUTION WITH OV-UZO	BUSINESS, RETAIL	CENTER - FIRST TIER	THESE THREE NORTHERN PARCELS ARE DESIGNATED AS T4 URBAN MIXED USE NEIGHBORHOOD (T4-MU) WITHIN THE NASHVILLE COMMUNITY CHARACTER MANUAL. THE POLICY INTENDS TO PROMOTE AND DEVELOP URBAN, MIXED-USE NEIGHBORHOODS WITH MODERATE-TO HIGH-DENSITY RESIDENTIAL, COMMERCIAL, OFFICE, AND LIGHT INDUSTRIAL USES. THE T4-MU POLICY APPLIES TO AREAS CURRENTLY OR PLANNED TO BE PRIMARILY RESIDENTIAL, COMMERCIAL, OR LIGHT INDUSTRIAL, SUPPORTING A MIX OF THESE USES.	T4-M-LS2 BOTH MERRITT AVE AND NORTH MARTIN ST ARE DESIGNATED AS URBAN MIXED-USE LOCAL STREETS WITH 56' STANDARD RIGHT-OF-WAYS. THIS DESIGNATION REQUIRES 32' CURB-TO-CURB FOR TWO VEHICULAR TRAVEL LANES WITH 12' SIDEWALKS ON EACH SIDE, BOTH CONSISTING OF 4' PLANTING ZONES WITH 8' PEDESTRIAN ZONES.
525 MERRITT AVE	10507018200	34,150 SF 0.78 AC	MTP MERRITT AVENUE PROPCO, LLC		BUSINESS, RETAIL		BUILDING HEIGHTS: SINGLE-FAMILY AND TWO-FAMILY HOMES RANGE FROM ONE TO THREE STORIES, WHILE MIXED-USE, NON-RESIDENTIAL, AND MULTIFAMILY BUILDINGS TYPICALLY REACH UP TO FIVE STORIES. BUILDING HEIGHT IS DETERMINED BY TYPE, SURROUNDING CONTEXT, ARCHITECTURAL FEATURES, AND LOCATION WITHIN THE NEIGHBORHOOD	
1300 MARTIN ST	10507017800	25,950 SF 0.6 AC	MTP-1300 MAIN STREET PROPCO, LLC		BUSINESS, OFFICE		THE TWO PARCELS ARE ALSO INCLUDED IN THE 'WEDGEWOOD-HOUSTON AND CHESTNUT HILL PLANNING STUDY (ADOPTED OCT 2019) AS CHARACTER AREA 1 TR (TRANSITION AREA): NORTH WEDGEWOOD-HOUSTON AREA 1 HOSTS DIVERSE COMMERCIAL AND LIGHT INDUSTRIAL SPACES, ALONG WITH A GROWING NUMBER OF HOMES AND ARTISAN/MAKER BUSINESSES, ALIGNING WITH THE NEIGHBORHOOD'S LONG-TERM VISION.	
1312 MARTIN ST	10507022700	56,342 SF 1.32 AC	MTP-1300 MAIN STREET PROPCO, LLC	RM20-A-NS WITH OV-UDO AND OV-UZO	CURRENTLY VACANT, FORMERLY RESIDENTIAL	TRANSITION / INFILL BETWEEN CENTER FIRST TIER AND NEIGHBORHOOD	POLICY SUPPORTED REZONINGS: MUN-A, MUL-A, OR20-A, OR40-A, RM9-A TO RM40-A WITH SPECIFIC PLANS BASED ON THESE ZONES. RECOMMENDED MAXIMUM ZONING OF MUL-A OR DESIGN-BASED ZONING.	WILL CONTINUE PAST THE CORNER ONTO HAMILTON AVE. HAMILTON AVE CURRENTLY IS A TWO VEHICULAR LANE STREET WITH SIDEWALKS ON THE SOUTHERN PORTION.
548 HAMILTON AVE	10507022500	8,536 SF 0.2 AC	MTP-MARTIN AVENUE PROPCO, LLC				THESE TWO SOUTHERN PARCELS ARE DESIGNATED AS T4 URBAN NEIGHBORHOOD EVOLVING (T4-NE) WITHIN THE NASHVILLE COMMUNITY CHARACTER MANUAL. THE POLICY THE T4-NE POLICY PROMOTES HOUSING CHOICE BY INTEGRATING VARIOUS BUILDING TYPES, SUCH AS SINGLE-FAMILY HOMES, ACCESSORY DWELLING UNITS, PLEX HOUSES, TOWNHOUSES, AND FLATS.	
							BUILDING HEIGHTS: TYPICALLY 1-3 STORIES IN HEIGHT AND THOSE IN APPROPRIATE LOCATIONS ALONG MAJOR CORRIDORS REACH UP TO 5 STORIES IN HEIGHT.	20' IS THE MINIMUM WIDTH FOR ALL METRO ALLEYWAYS. THE EXISTING '1805' ALLEYWAY RUNNING SOUTH OF THE MERRITT PARCELS IS 12' AND UNIMPROVED. THE ALLEYWAY WILL BE EXTENDED TO HAMILTON AVE, WIDENED TO 20' WITH 4' BUFFERS ON EACH SIDE, AND IMPROVEMENTS MADE.
							THE TWO PARCELS ARE ALSO INCLUDED IN THE 'WEDGEWOOD-HOUSTON AND CHESTNUT HILL PLANNING STUDY (ADOPTED OCT 2019) AS CHARACTER AREA 2A: SOUTH WEDGEWOOD-HOUSTON, SUBDISTRICT 2A FORMS THE RESIDENTIAL CORE OF THE WEDGEWOOD-HOUSTON NEIGHBORHOOD, STRUCTURED AROUND AN URBAN STREET GRID. NEW INFILL DEVELOPMENT HAS INTRODUCED A VARIETY OF HOUSING TYPES TO THIS PRIMARILY ONE- AND TWO-FAMILY HOME AREA.	
							POLICY SUPPORTED REZONINGS: R6-A, RM15-A, RM20-A, RM40-A WITH SPECIFIC PLANS BASED ON THESE ZONES. RECOMMENDED MAXIMUM ZONING OF RM40-A.	

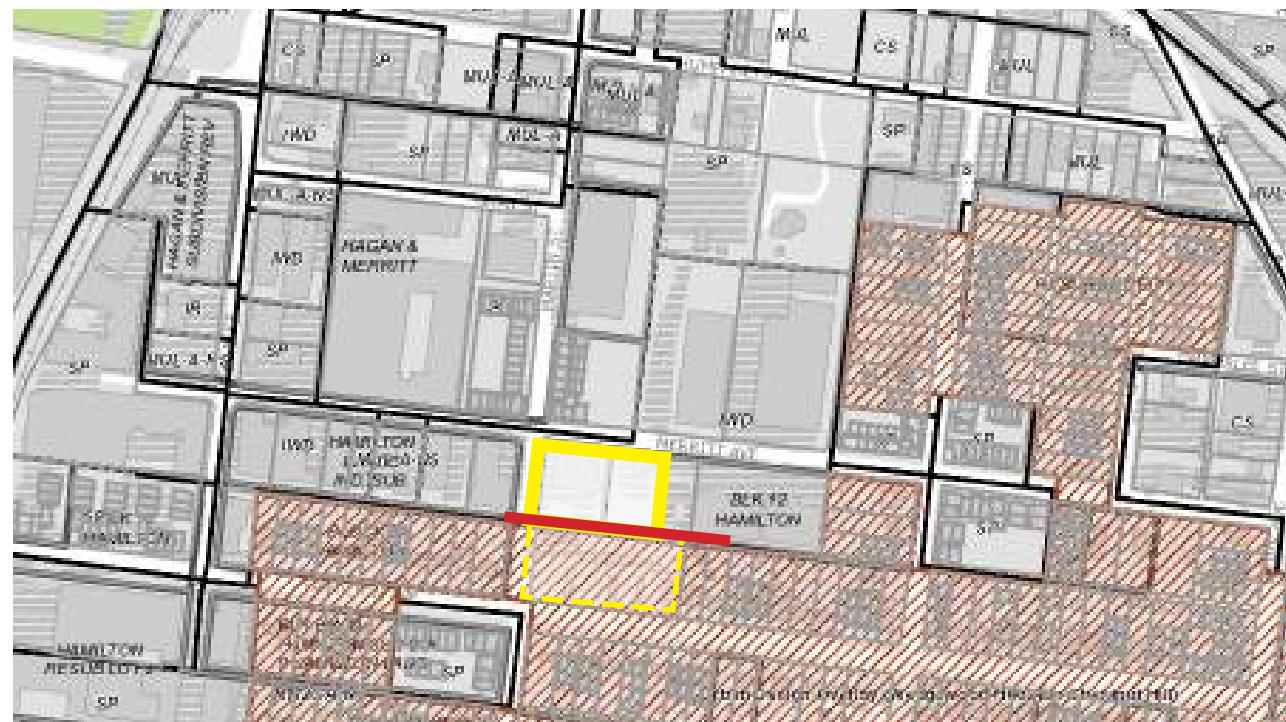
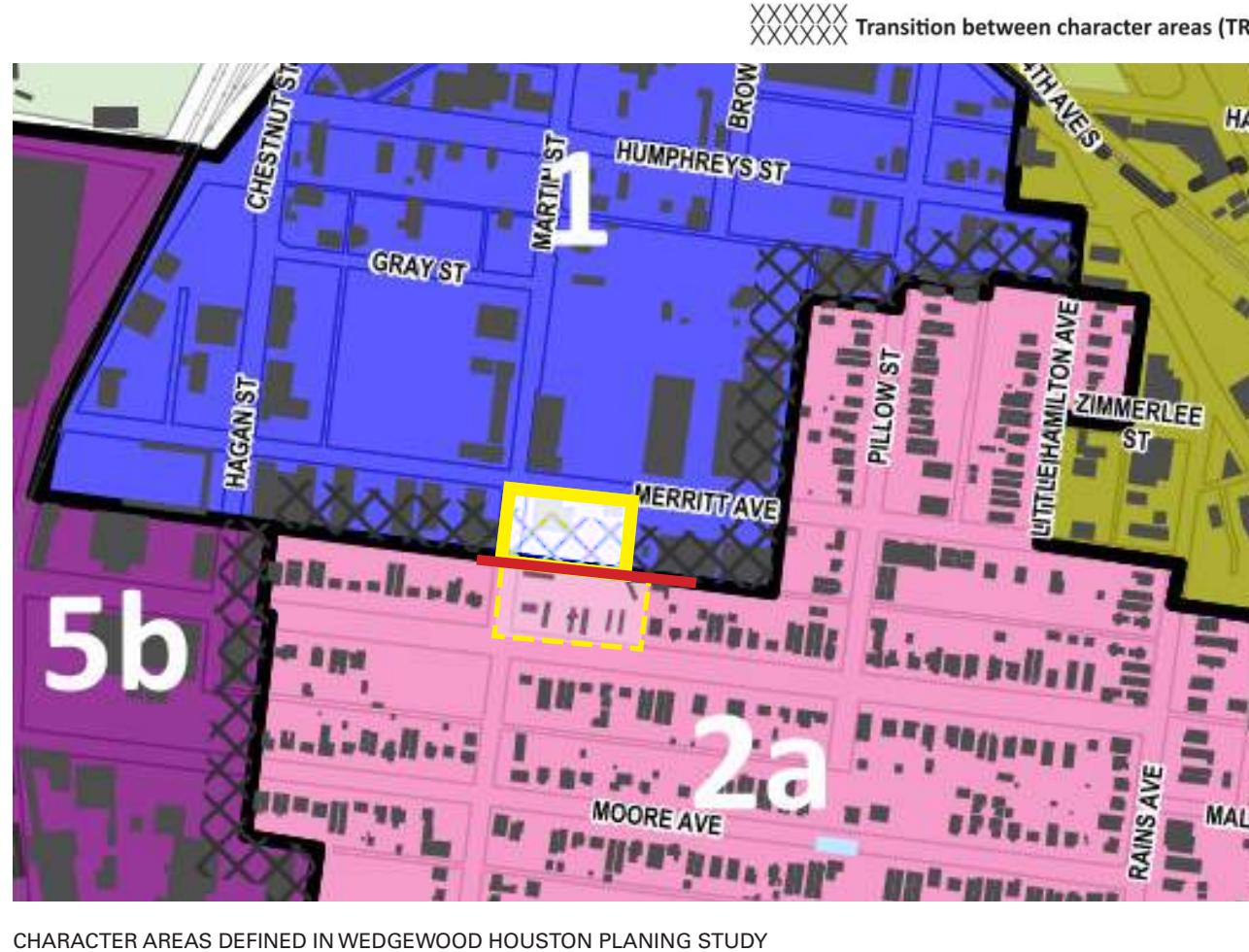




KEY PROJECT METRICS

17





URBAN DESIGN OVERLAY

SPECIFIC PLAN BULK REGULATIONS - SUBDISTRICT 2**PROPOSED ZONING OF THE PARCELS:**

1312 MARTIN ST (10507022700 PARCEL ID)

548 HAMILTON AVE (10507022500 PARCEL ID)

BASED ON WEDGEWOOD HOUSTON'S PLANNING STUDY'S RECOMMENDED MAX ZONING, **RM-40A FOR THE 2A CHARACTER AREA WITHIN THE UDO (SUBDISTRICT 2).**

FURTHER PROPOSED BULK REGULATIONS BASED ON UDO'S MERRITT-SOUTHGATE NEIGHBORHOOD.

**PROPOSED ZONING
SPECIFIC PLAN****FAR**
DOES NOT APPLY TO MULTIFAMILY DEVELOPMENTS**ISR**
0.6**SETBACKS**
REFER TO PAGE 16 FOR SETBACK DIMENSIONS**MAX HEIGHT**
4 STORIES IN 48'
STEPBACK PROVIDED ALONG HAMILTON AVE IN ACCORDANCE WITH UDO GUIDELINES**ENTRANCES**
PRIMARY ENTRANCES INTO BOTH THE HOTEL AND THE RESIDENCES WILL BE LOCATED ON MARTIN STREET.**ENVISIONED MATERIALS / GLAZING**

THE FAÇADE REFLECTS THE MASONRY SEEN IN THE INDUSTRIAL CHARACTER OF THE NEIGHBORHOOD AND IS PRIMARILY COMPOSED OF BRICK AND GLASS.

GLAZING WILL BE PRIMARILY USED ON THE GROUND FLOOR AS CURTAINWALL AND STOREFRONT SYSTEMS AND THEN AS PUNCHED OPENINGS IN THE BRICK ON THE ABOVE RESIDENTIAL STORIES. THE FIRST FLOOR SHALL HAVE MIN 40% GLAZING AND 25% FOR RESIDENTIAL USE.

PARKING**MAXIMUM PARKING COUNTS:**

1 SPACE PER RESIDENTIAL UNIT & 1.5 PER UNITS 2+ BEDROOMS

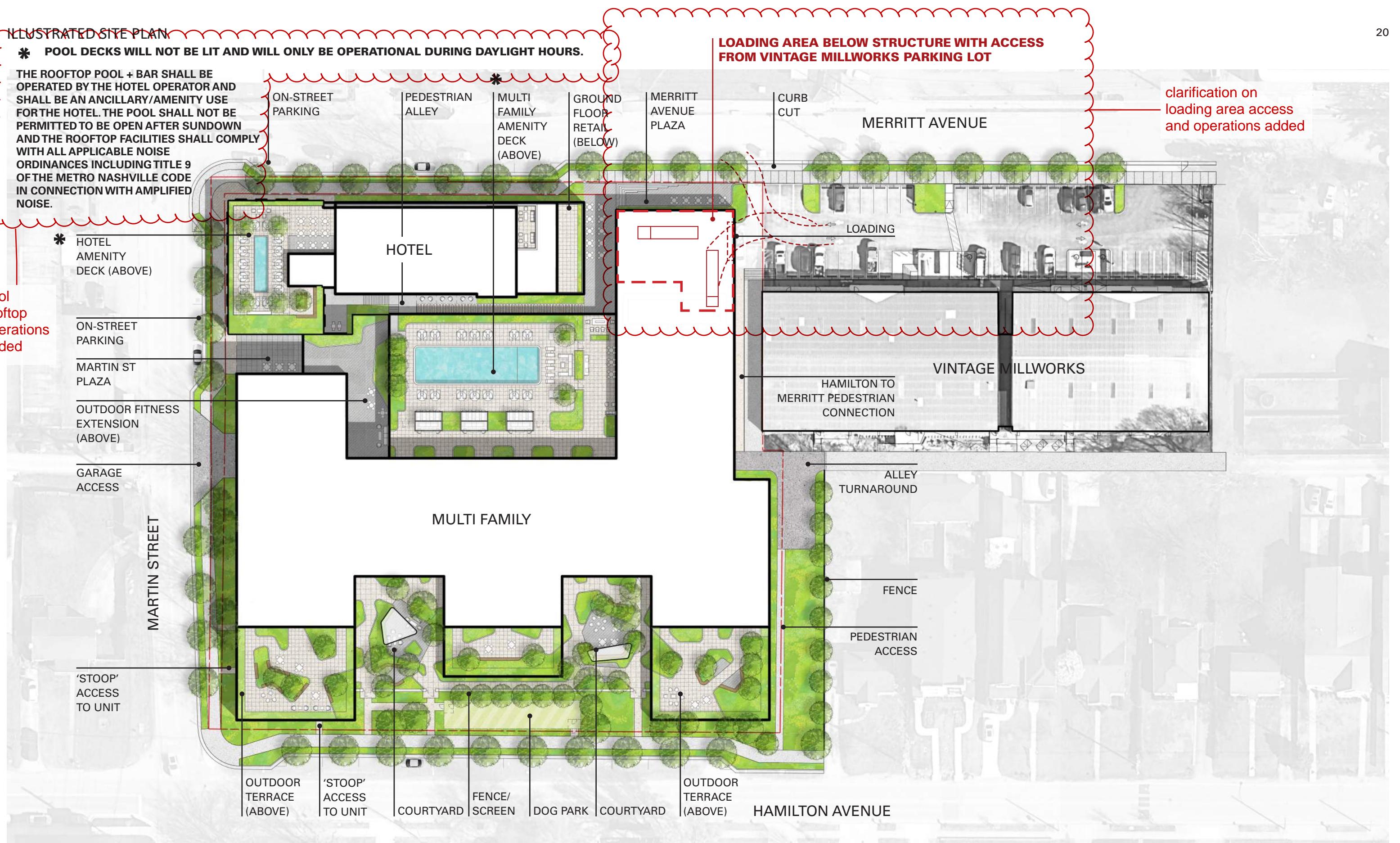
STREET PARKING SHALL BE AVAILABLE ON MARTIN STREET AND HAMILTON AVENUE. IN-BOUND GARAGE SHALL BE SUBSURFACE AND ABOVE GRADE.

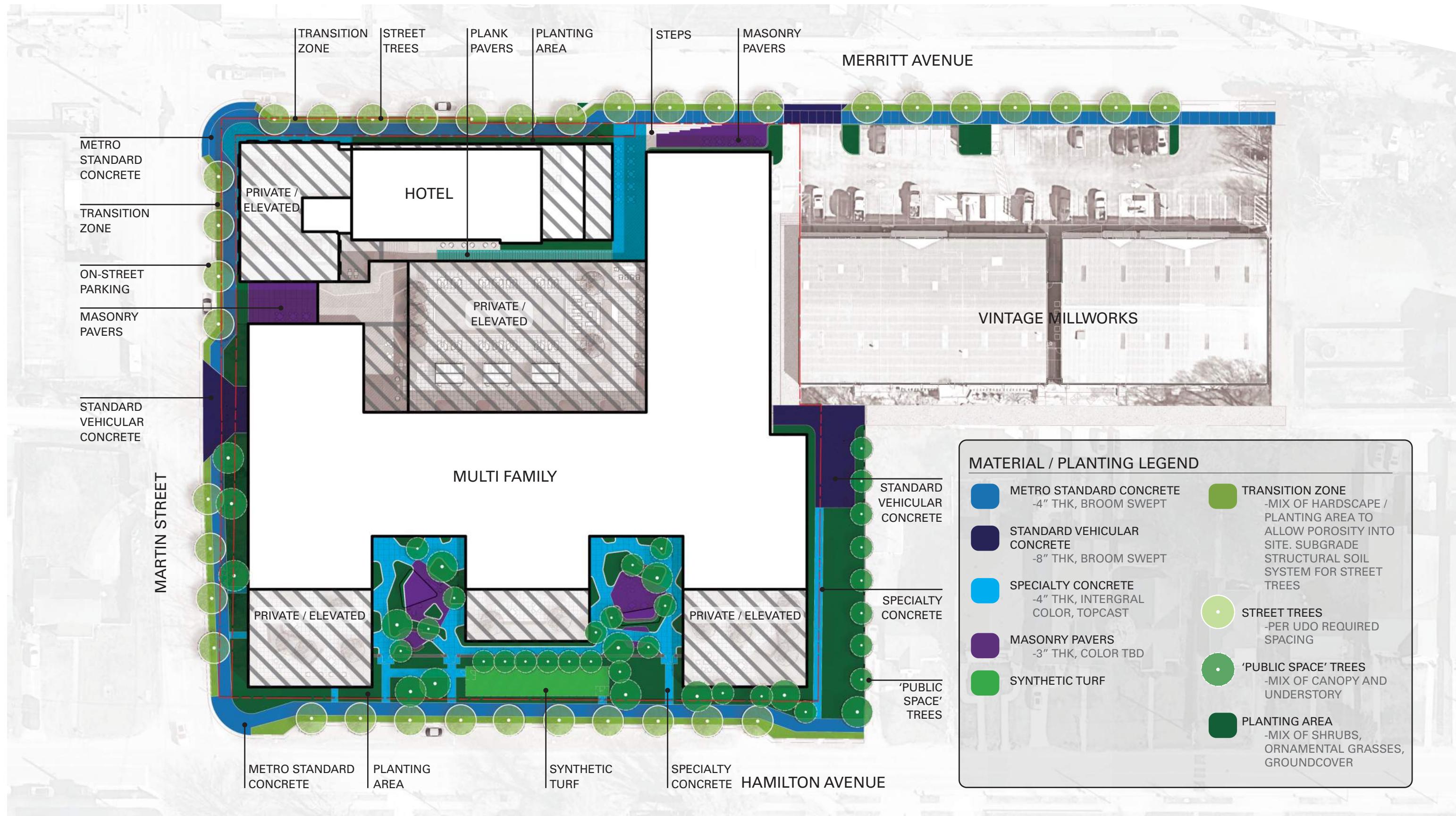
ILLUSTRATED SITE PLAN

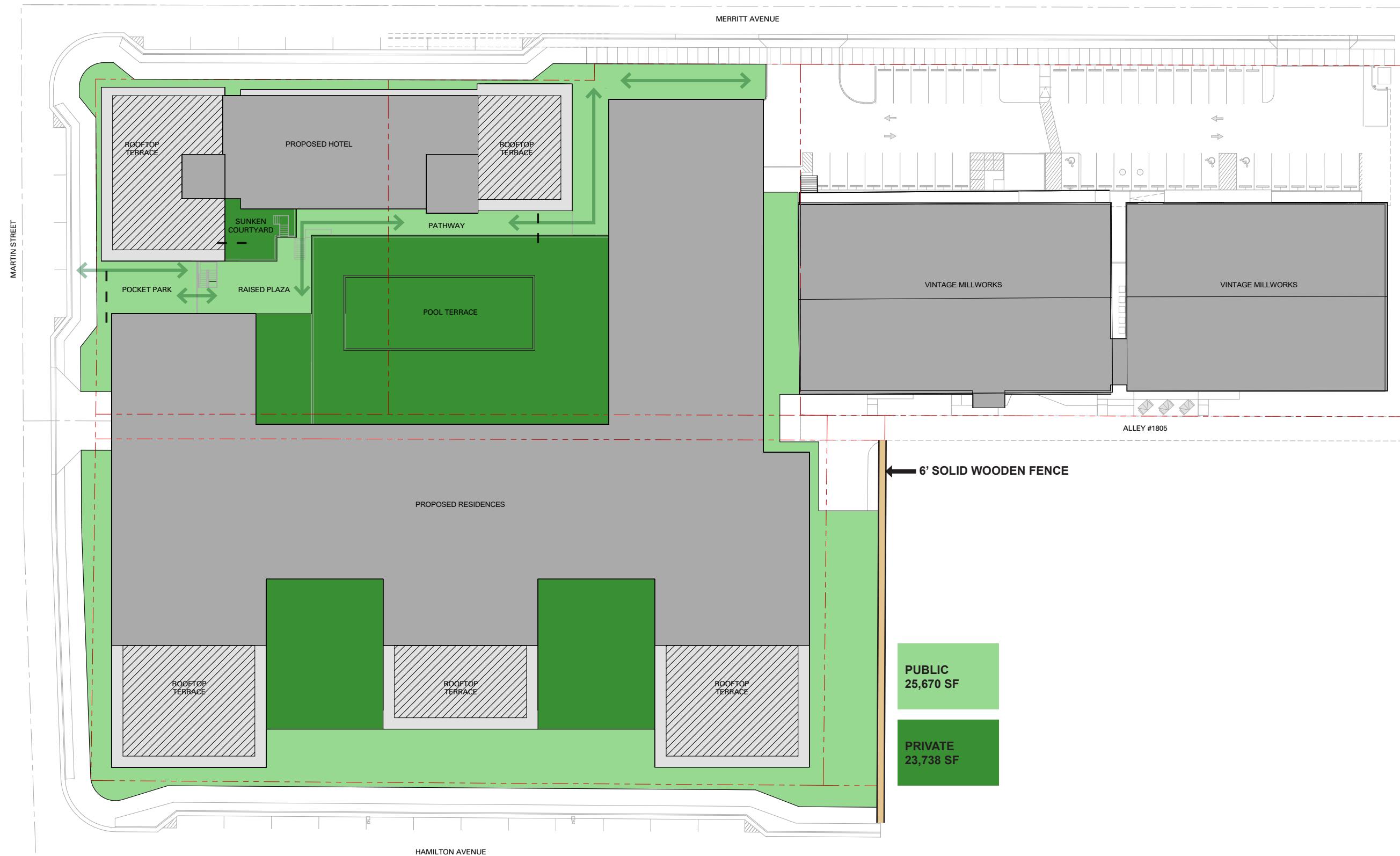
* POOL DECKS WILL NOT BE LIT AND WILL ONLY BE OPERATIONAL DURING DAYLIGHT HOURS.

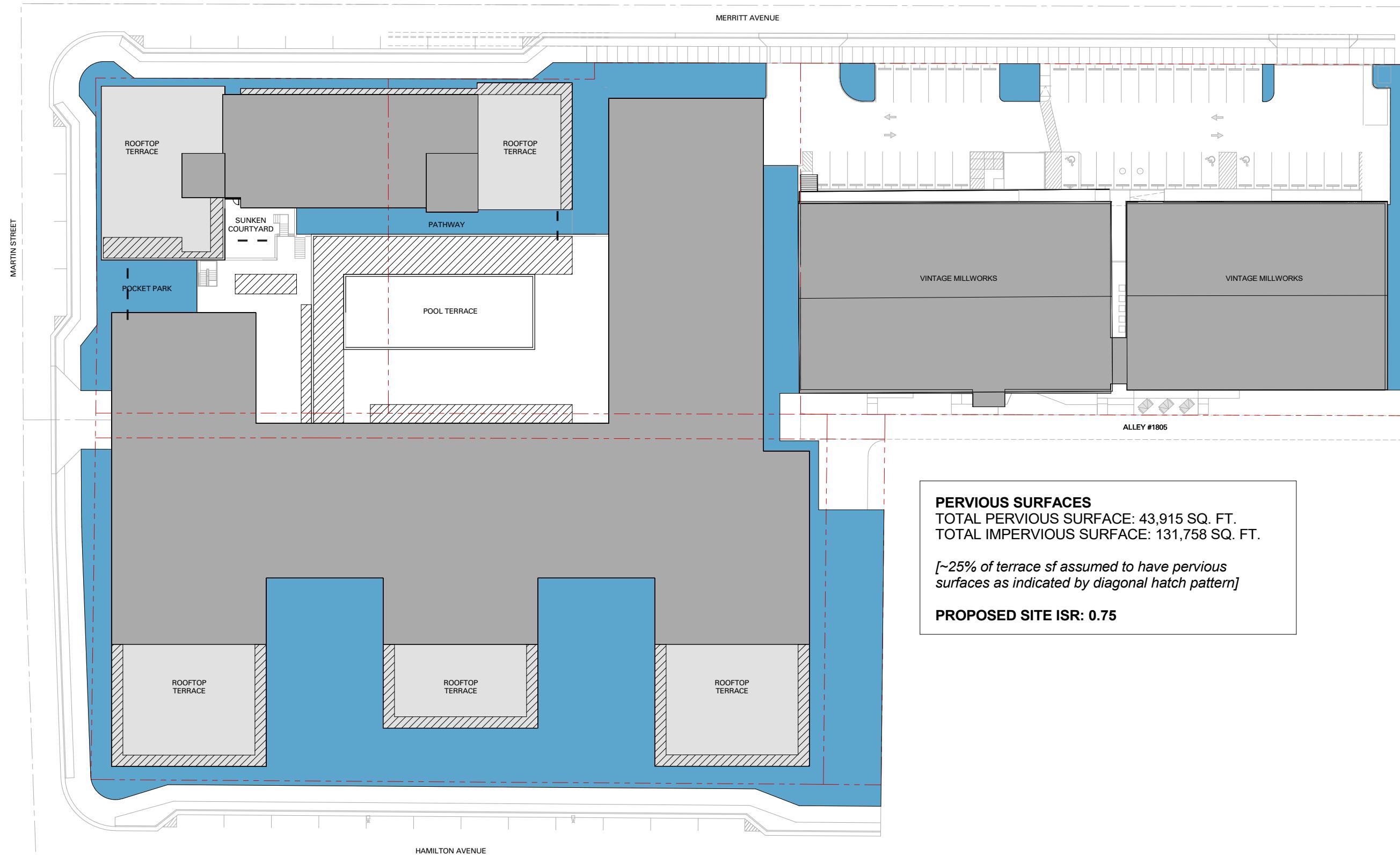
THE ROOFTOP POOL + BAR SHALL BE OPERATED BY THE HOTEL OPERATOR AND SHALL BE AN ANCILLARY/AMENITY USE FOR THE HOTEL. THE POOL SHALL NOT BE PERMITTED TO BE OPEN AFTER SUNDOWN AND THE ROOFTOP FACILITIES SHALL COMPLY WITH ALL APPLICABLE NOISE ORDINANCES INCLUDING TITLE 9 OF THE METRO NASHVILLE CODE IN CONNECTION WITH AMPLIFIED NOISE.

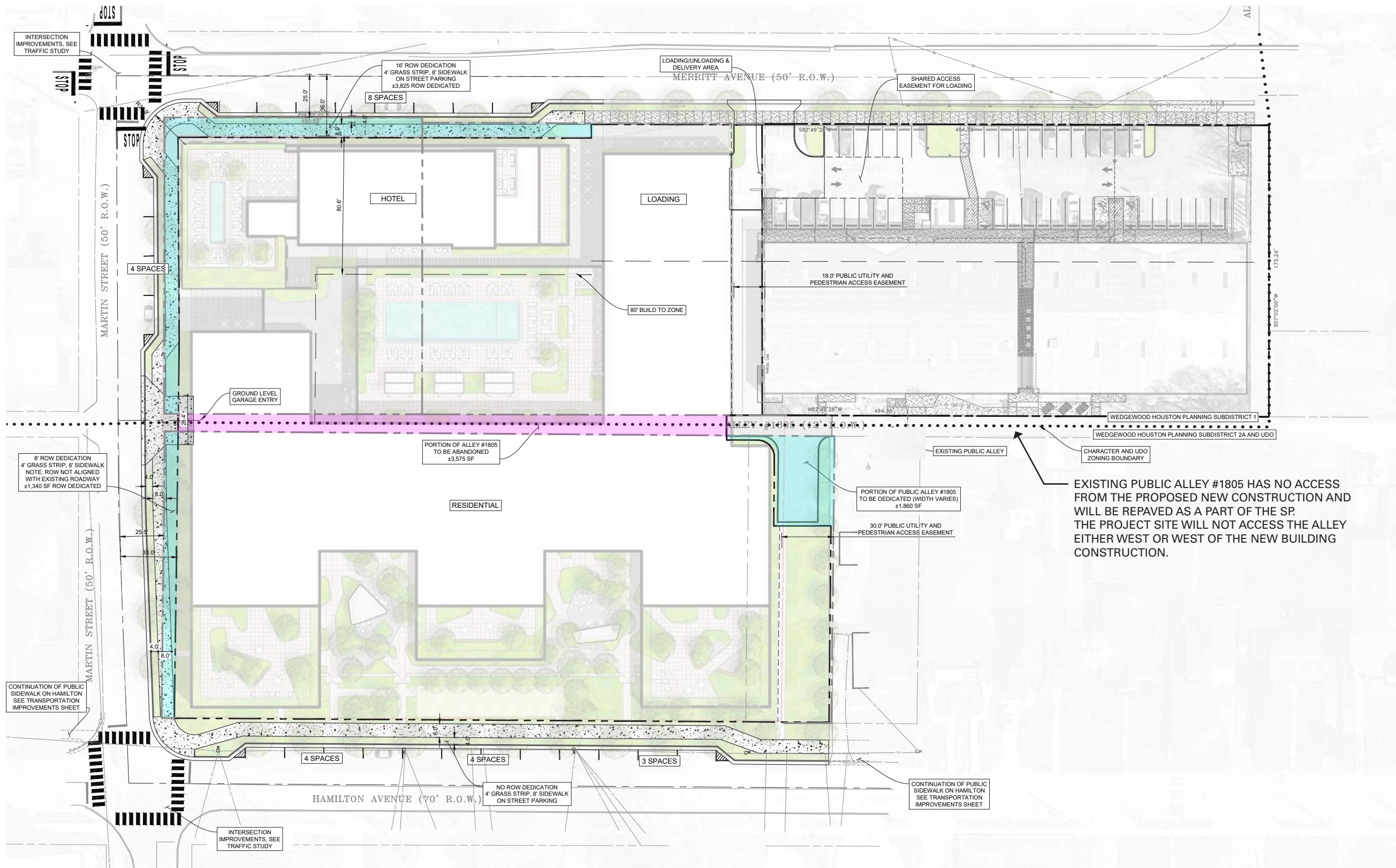
pool
rooftop
operations
added

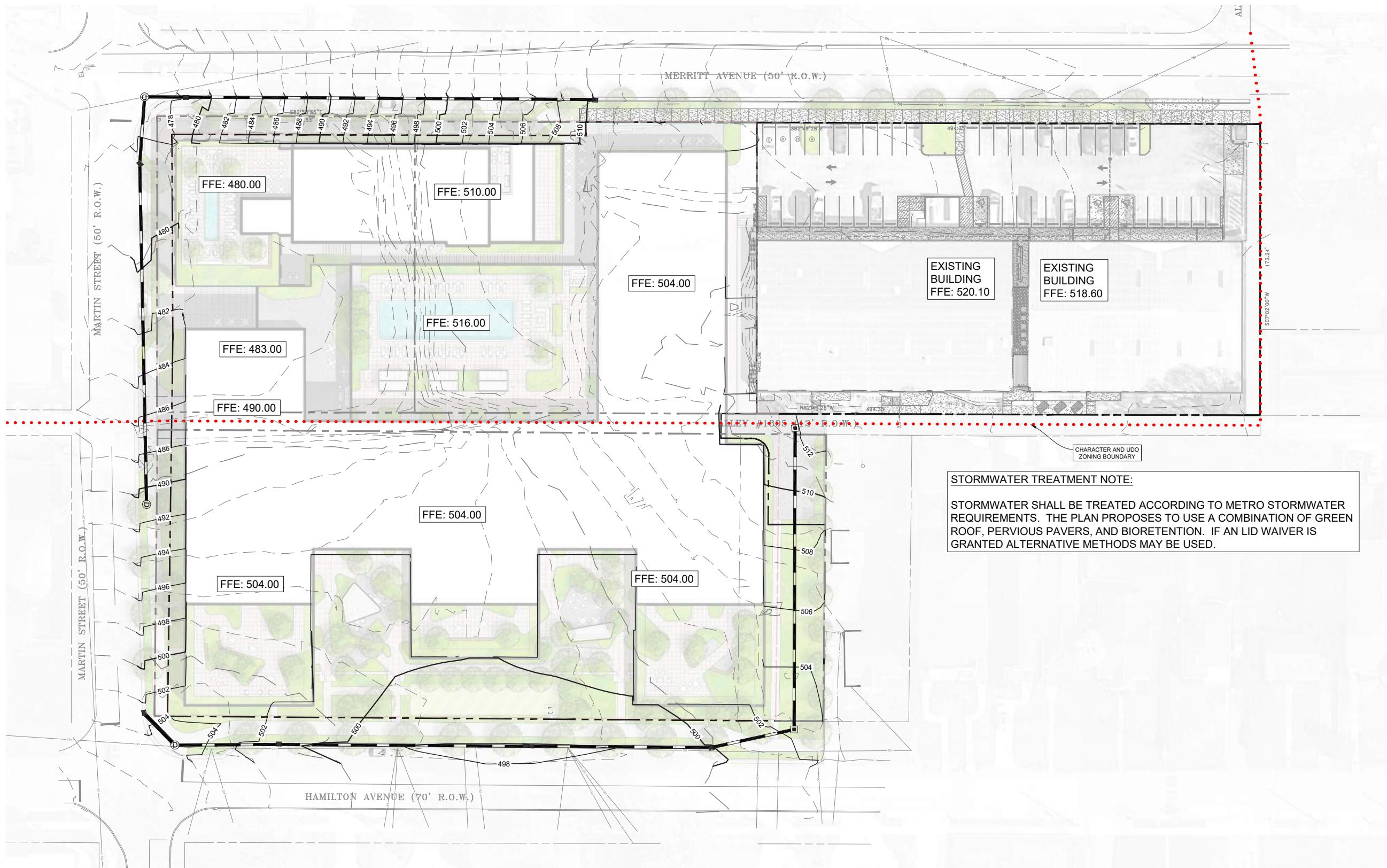


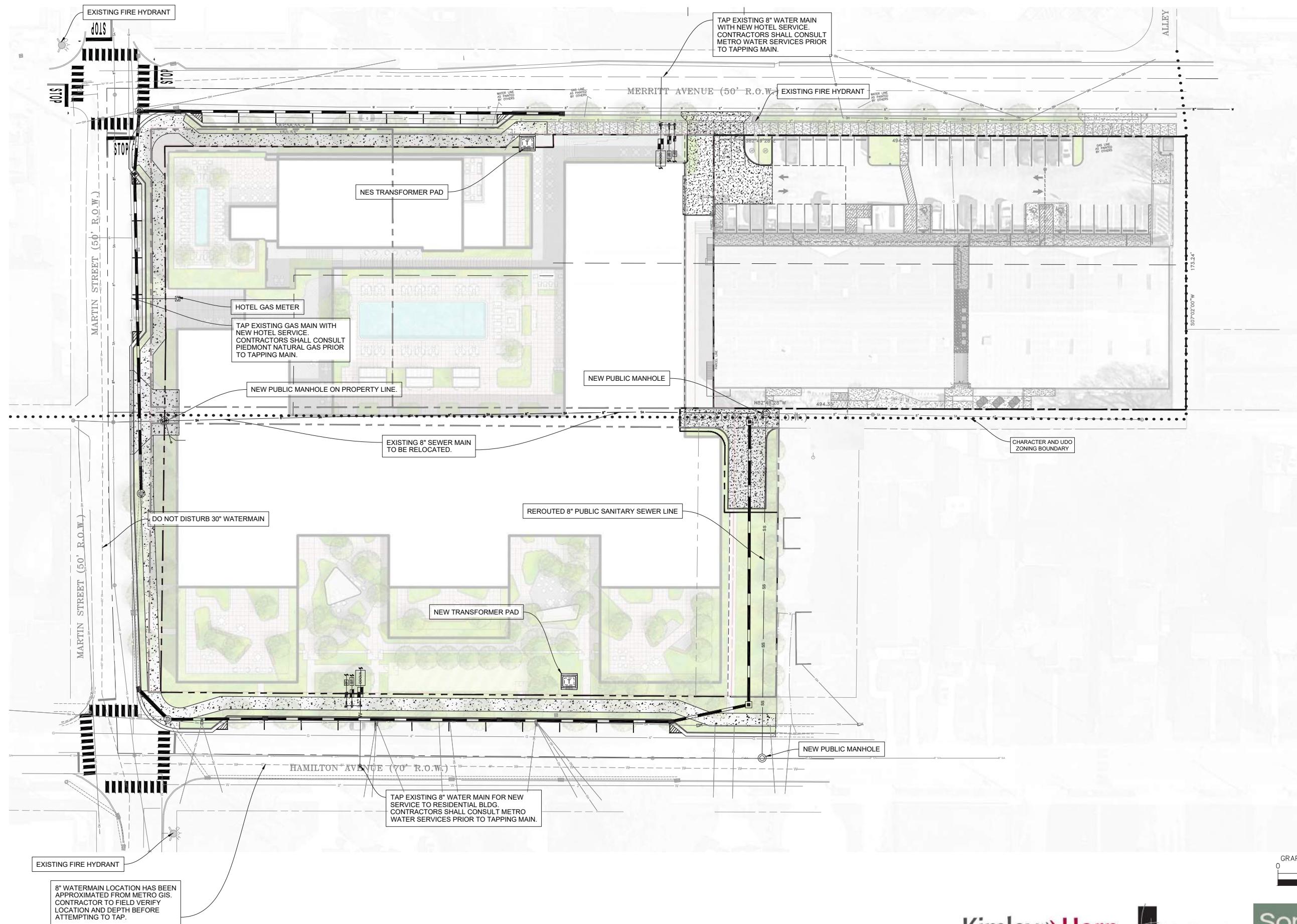


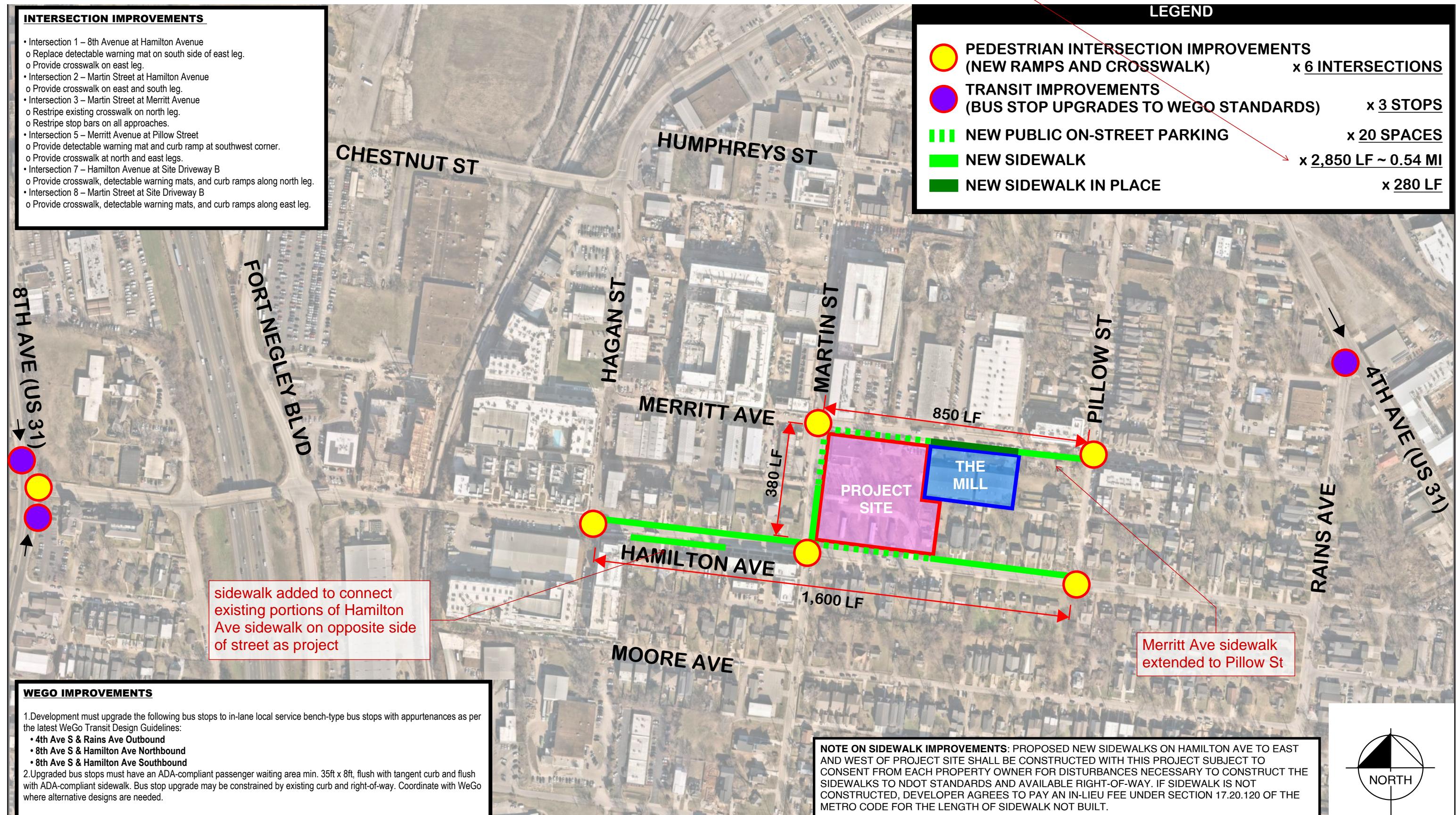


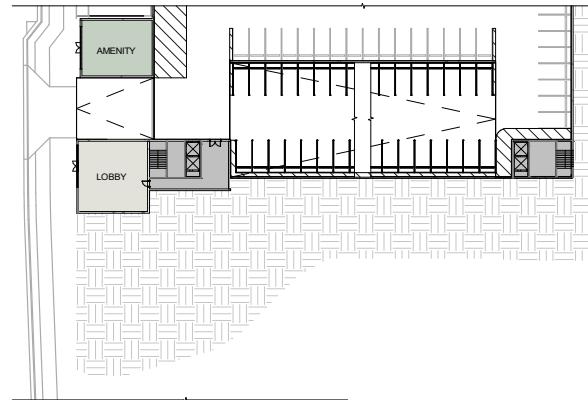












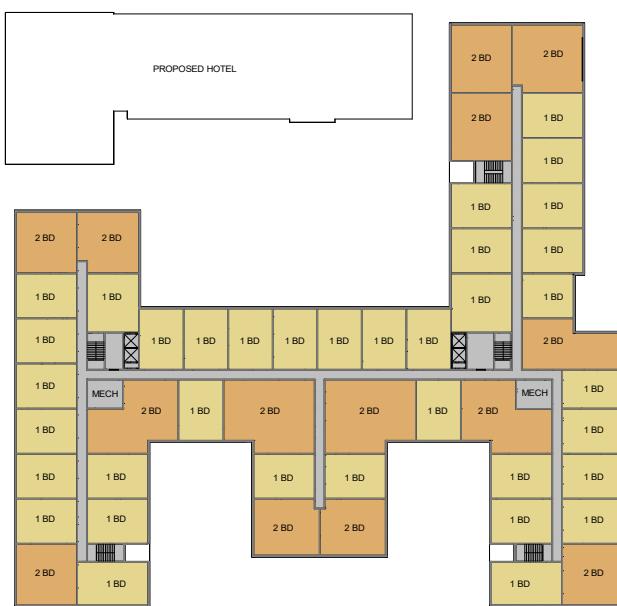
MULTIFAMILY - GROUND LEVEL



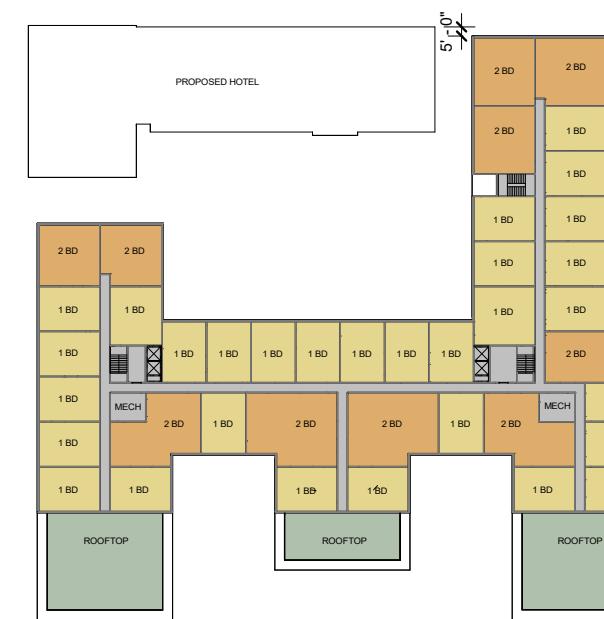
MULTIFAMILY - LEVEL 1



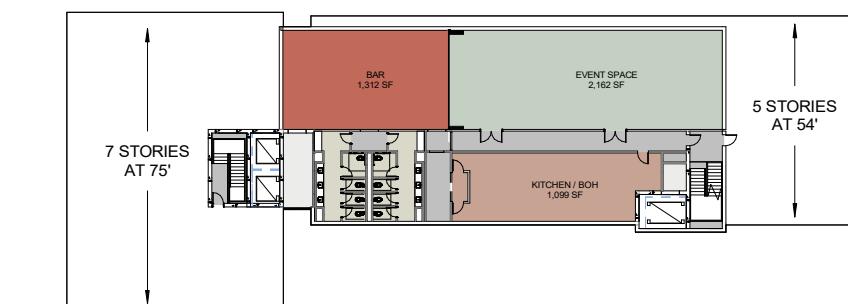
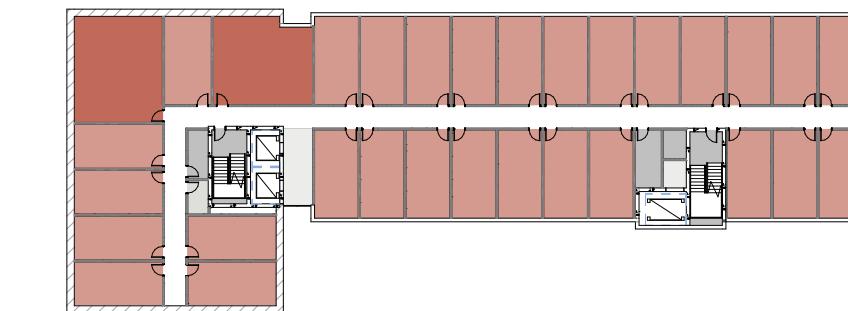
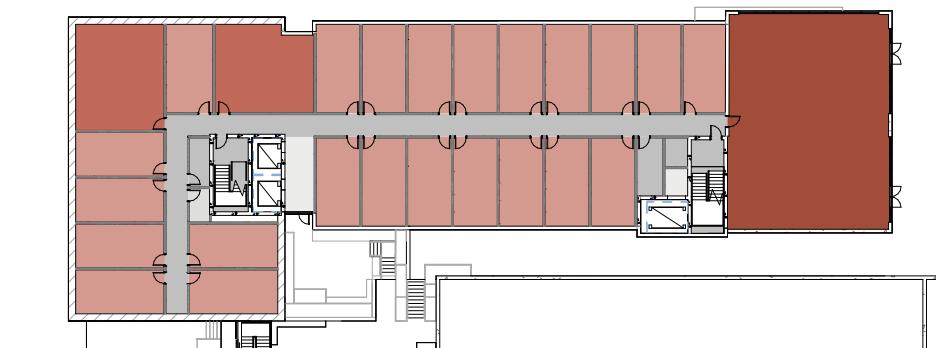
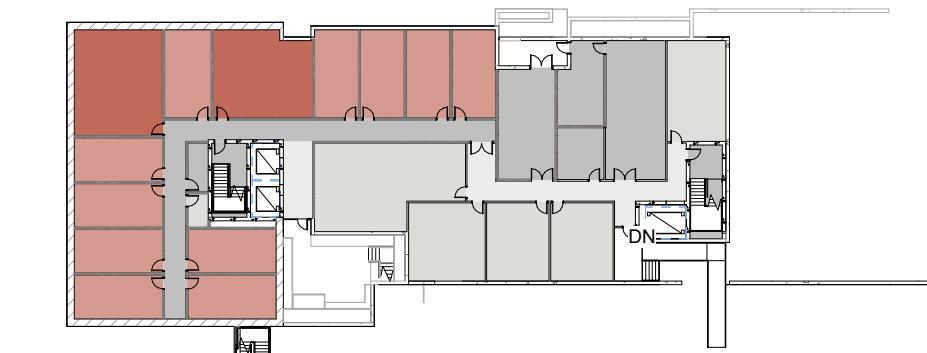
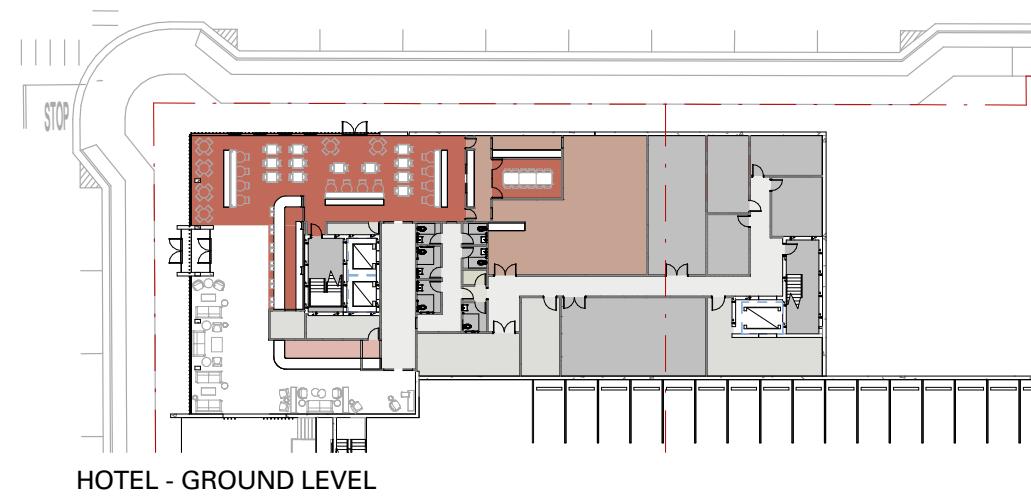
MULTIFAMILY - LEVEL 2



MULTIFAMILY - LEVEL 3



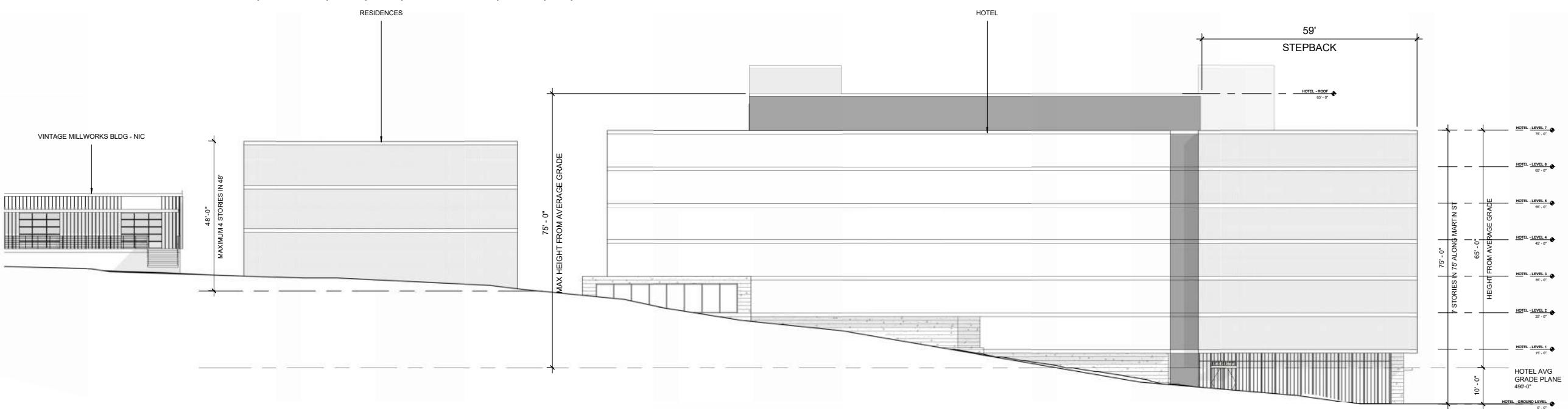
MULTIFAMILY - LEVEL 4



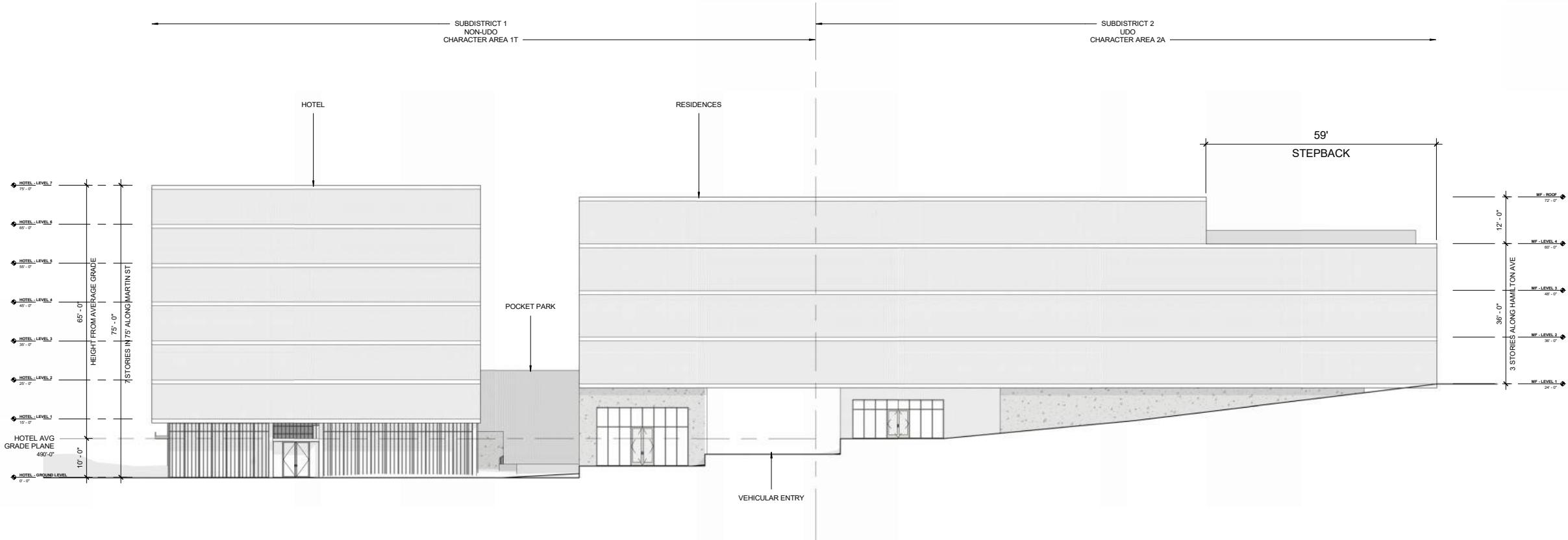
BUILDING HEIGHT STANDARD:

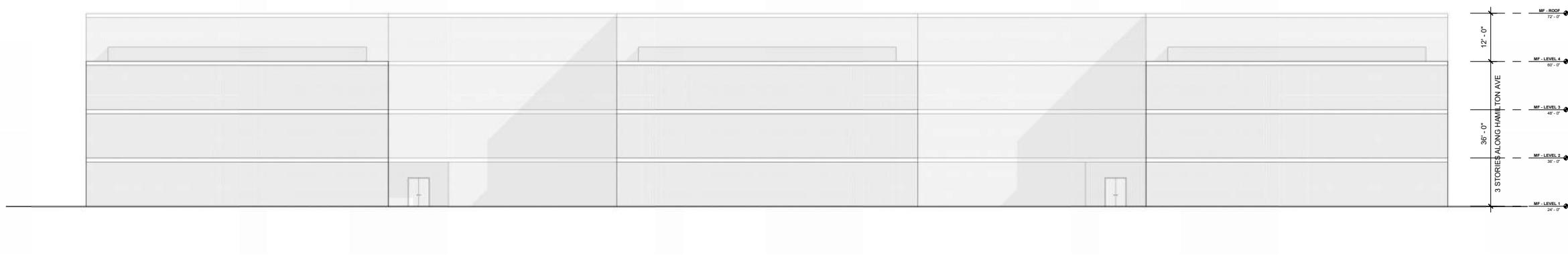
Height shall be measured from the average elevation (4 most exterior corners) to the midpoint of the primary roof pitch or to the top of the parapet for a flat roof

MERRITT STREET ELEVATION
1/32" = 1'-0"

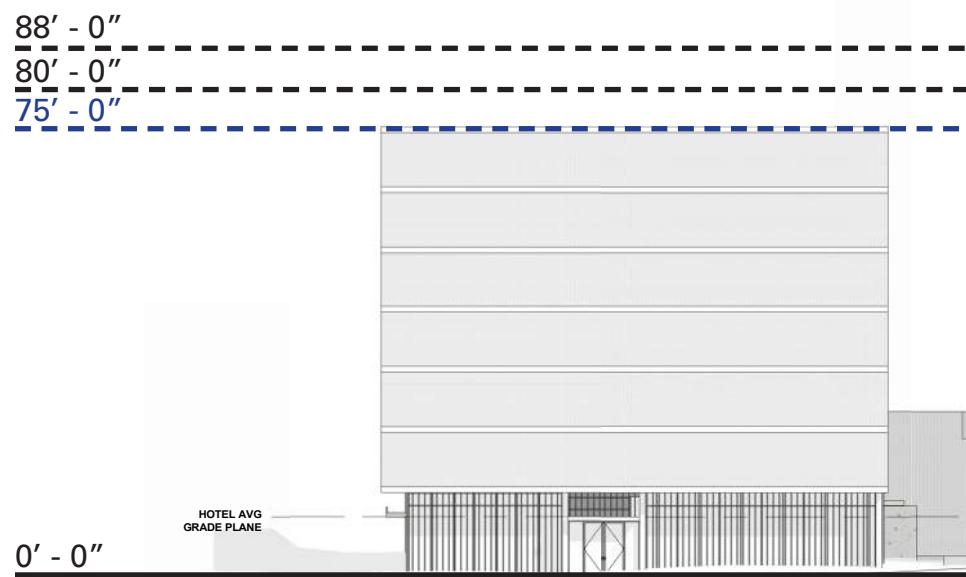


MARTIN STREET ELEVATION
1/32" = 1'-0"





HAMILTON STREET ELEVATION
1/32" = 1'-0"

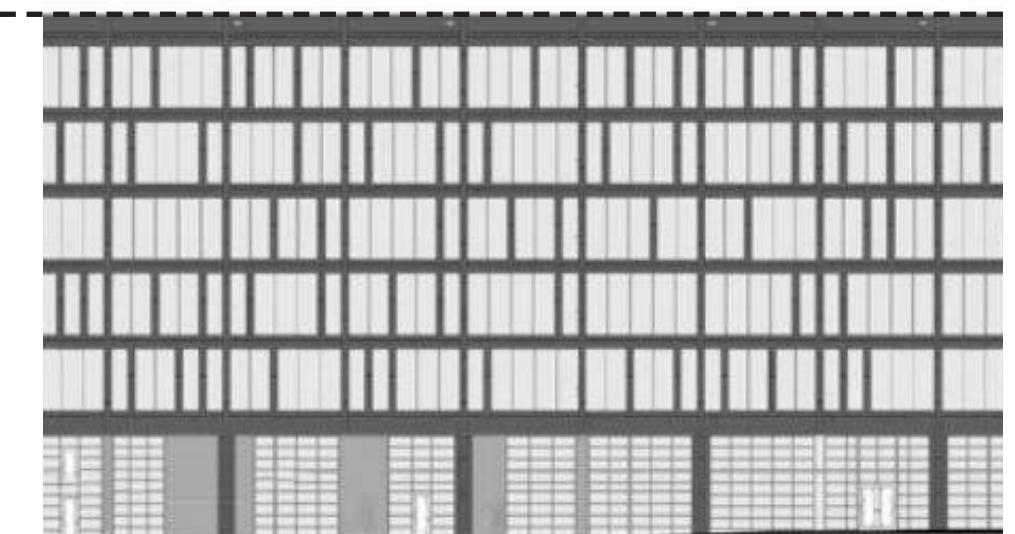
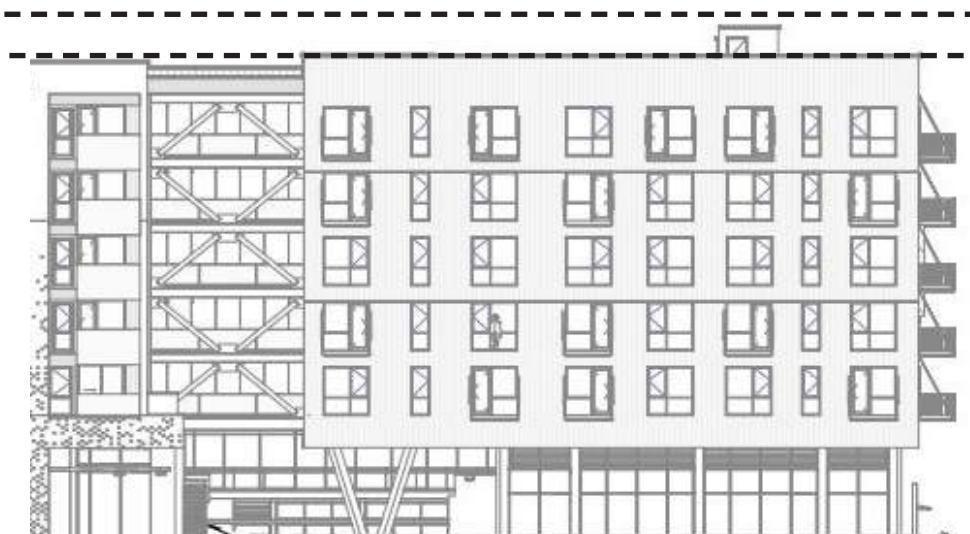


MARTIN & MERRITT

Martin St Elevation at Corner: 7 Levels in 75'-0" from Grade
Scale: 1/32" = 1'-0"

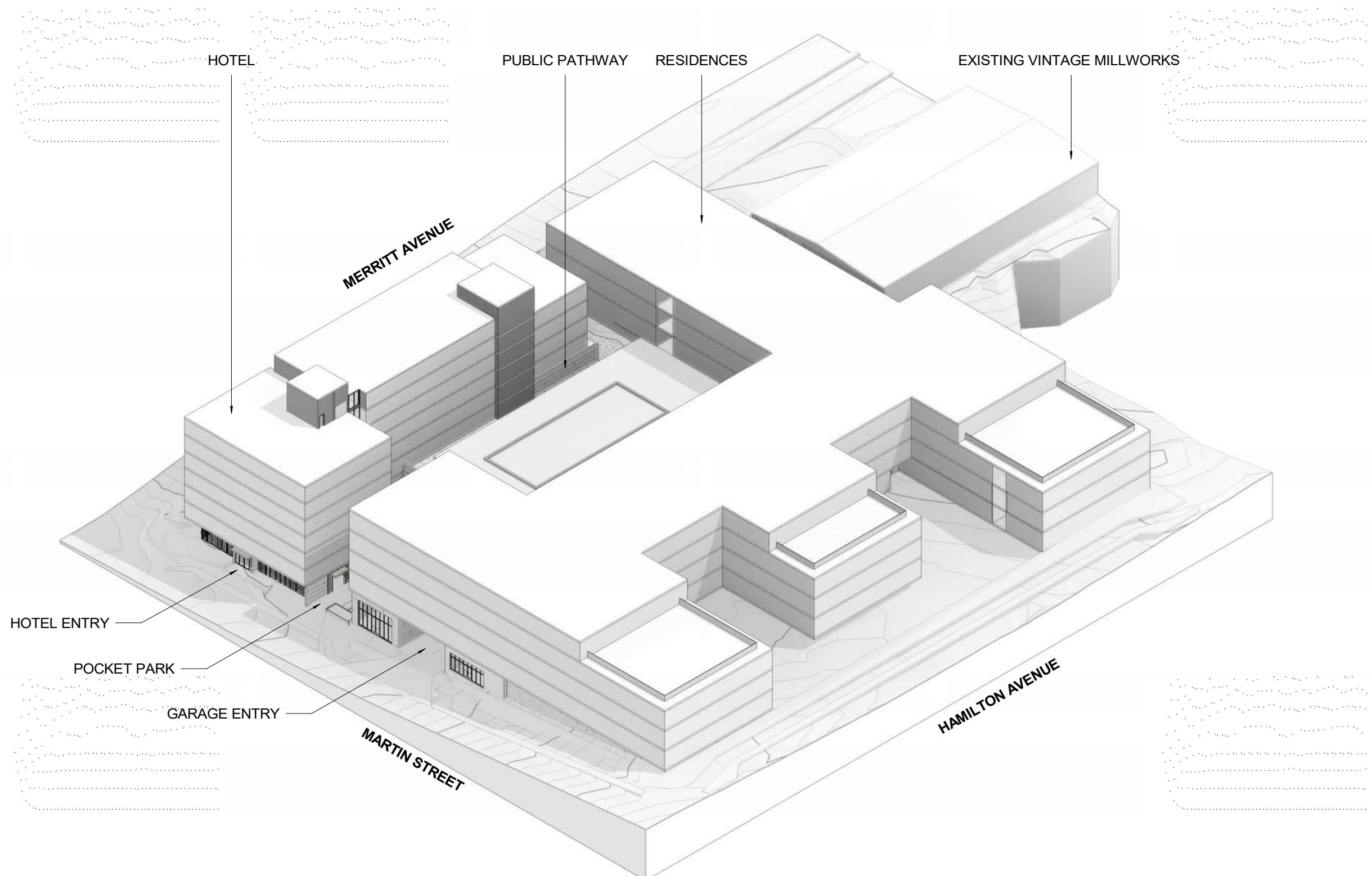
THE FINERY

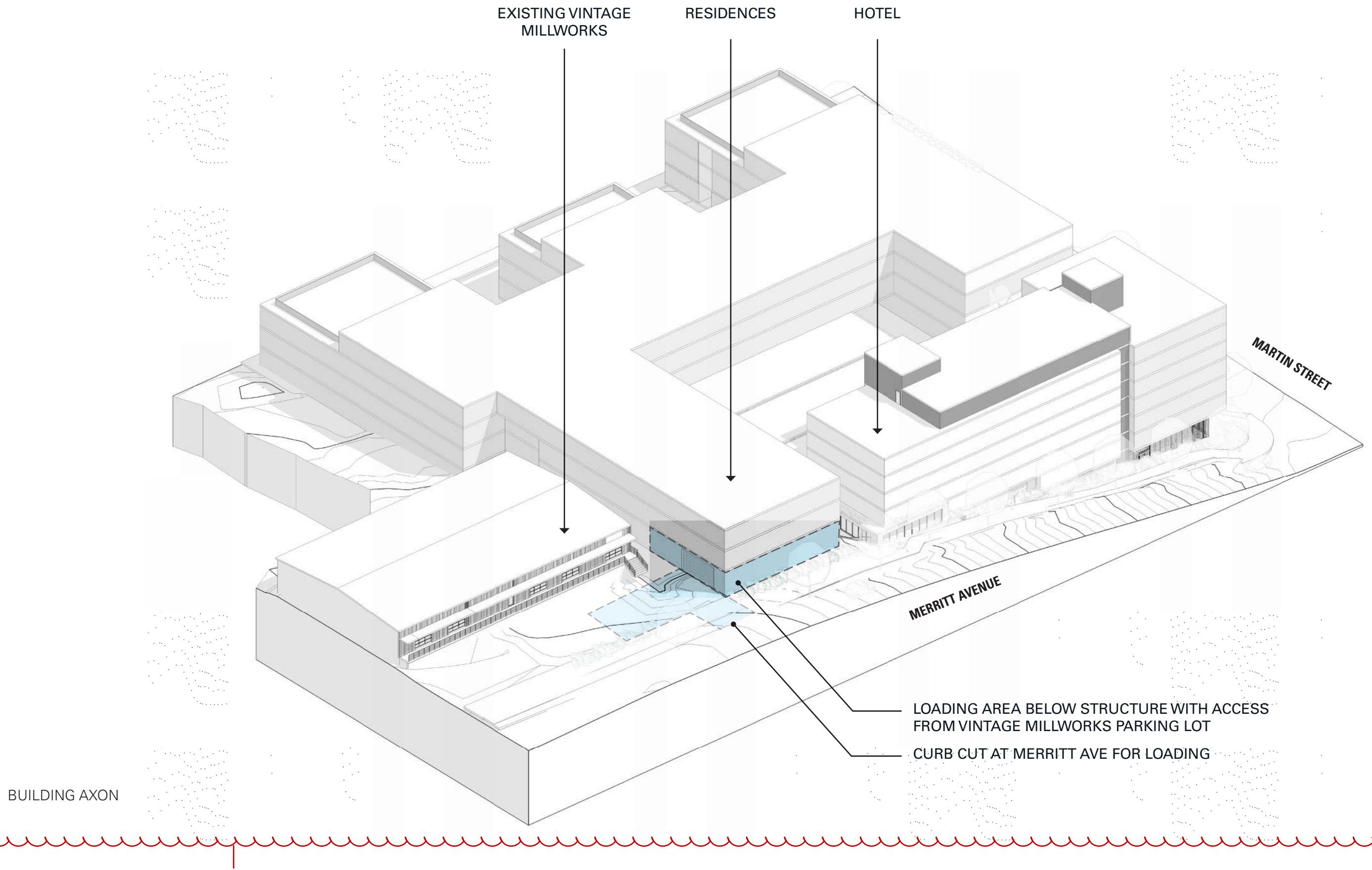
Merritt Ave Elevation: 6 Levels in 80'-0" from Street
Scale: 1/32" = 1'-0"



T3

Martin St Elevation: 7 Levels in 88'-0" from Street
Scale: 1/32" = 1'-0"





axon page added for clarification of loading dock access

1



2



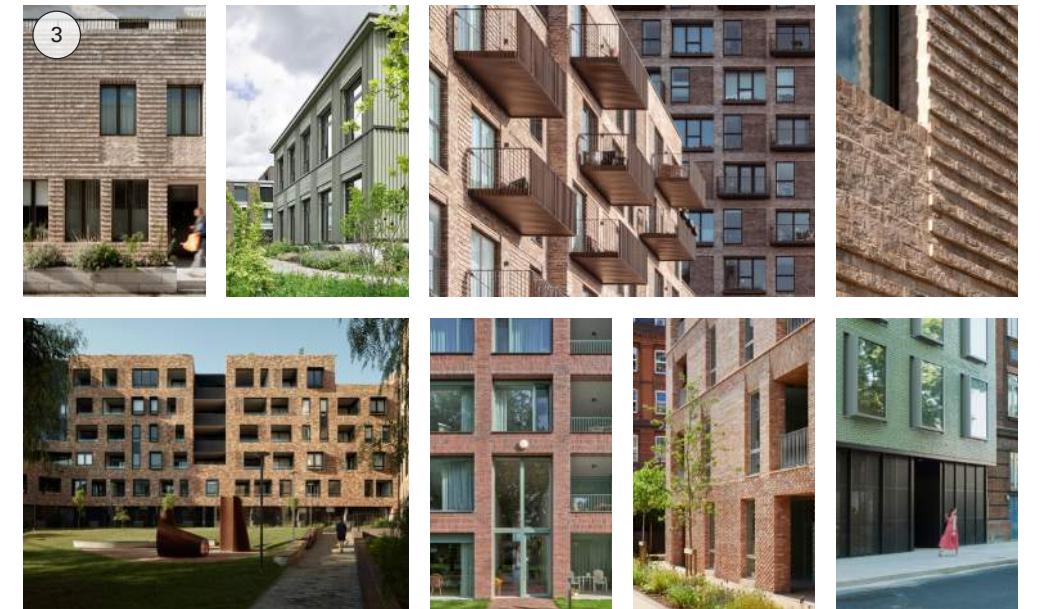
[1] CONCEPT ELEVATION SKETCH

[2] NEIGHBORHOOD TEXTURES

[3] PRECEDENT MATERIAL INSPIRATION

[4] PROJECT THESIS

3



4

Martin & Merritt aims to evoke the gravitas and rich materiality of the longstanding masonry structures in the Wedgewood-Houston neighborhood of Nashville, Tennessee.

Inspired by the patchwork of textures accumulated over time, the design combines a classic, contextual palette with a fresh, contemporary sensibility.

A cohesive block in a vibrant, evolving urban fabric, the project sits comfortably in conversation with the past, present and future.

