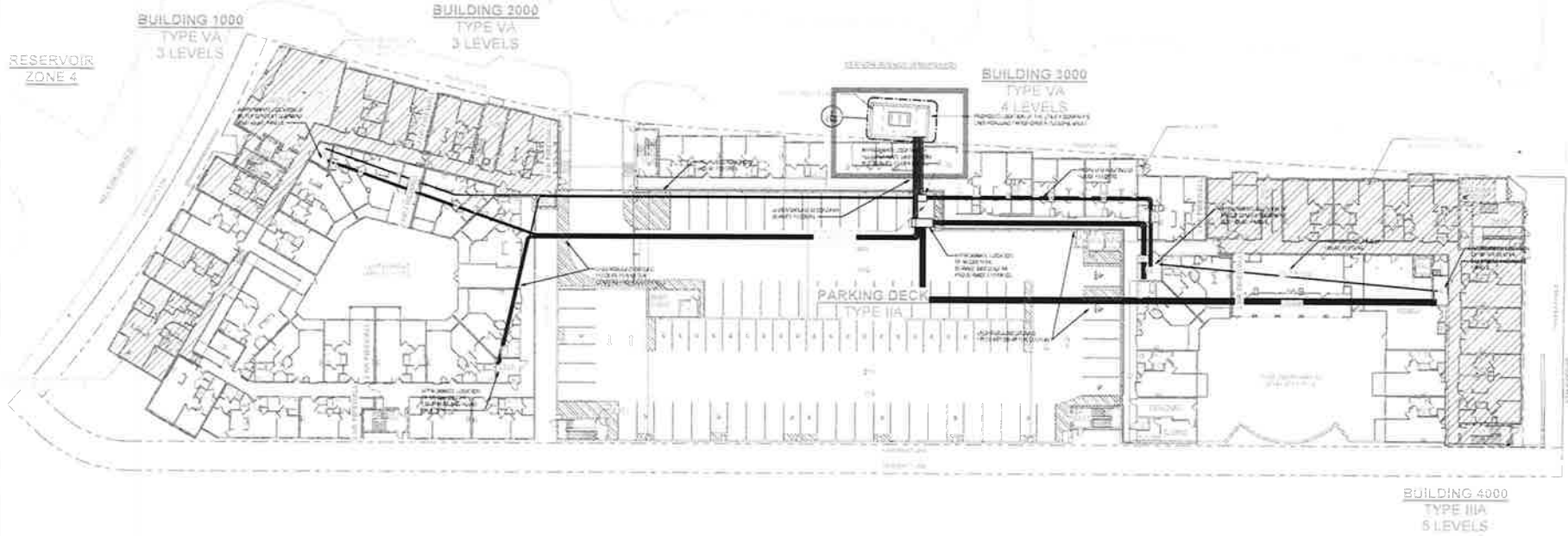
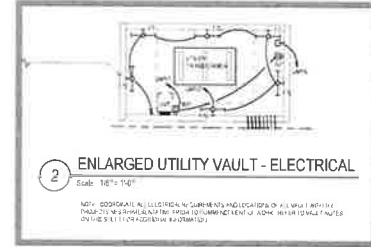


NOTES:

1. THE UTILITIES SHALL BE THE RESPONSIBILITY OF THE CLIENT. APPROXIMATE LOCATIONS OF UTILITIES SHALL BE INDICATED ON THIS PLAN BY DASHED LINES. THE EXACT LOCATIONS SHALL BE DETERMINED BY FIELD SURVEY PRIOR TO CONSTRUCTION.
2. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
3. THE LOCATION AND DEPTH OF UTILITIES SHALL BE DETERMINED BY FIELD SURVEY PRIOR TO CONSTRUCTION. THE EXACT LOCATIONS SHALL BE DETERMINED BY FIELD SURVEY PRIOR TO CONSTRUCTION.
4. UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
5. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
6. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
7. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
8. IF ANY UTILITIES ARE FOUND TO BE IN CONFLICT WITH THE UTILITIES SHOWN ON THIS PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESOLVING THE CONFLICT.
9. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
10. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).

GENERAL NOTES:

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
2. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
3. THE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).



dwell design studio

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RESERVOIR - ZONE 3

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ATLANTA, GA 30328
PHONE: 770.844.1055
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REGENT PARTNERS

NO.	DATE	DESCRIPTION
1	10/15/2024	ISSUED FOR PERMIT

NO.	DATE	DESCRIPTION
1	10/15/2024	ISSUED FOR PERMIT



ELECTRICAL SITE PLAN

DESIGN DEVELOPMENT

JOB NUMBER: JSE024

DRAWN BY: Auto
CHECKED BY: JSE

E1-00

ISSUE FOR CONSTRUCTION

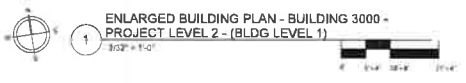
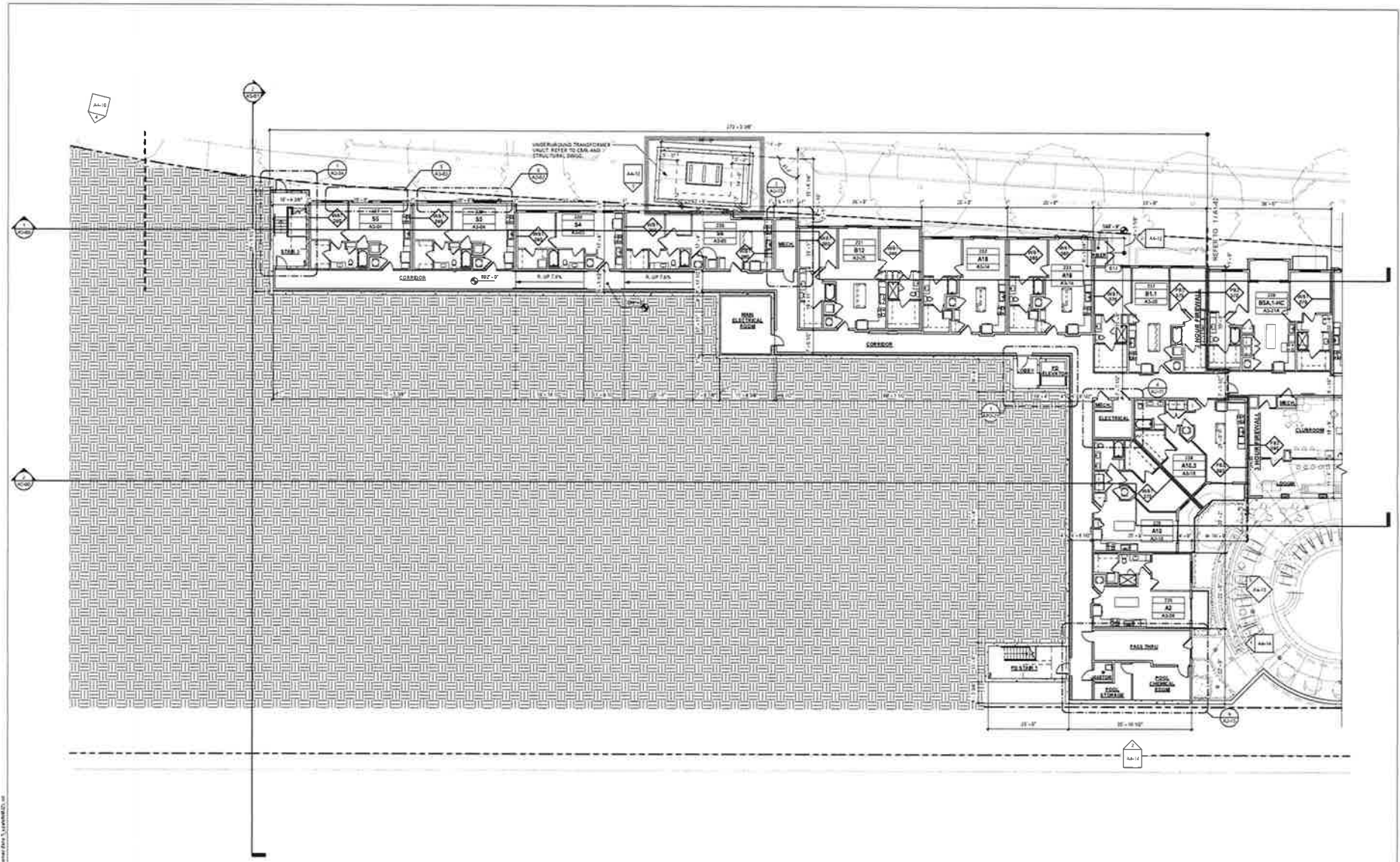
JSE Jordan & Skala Engineers

100 DOWNTOWN SQUARE, SUITE 2000, NASHVILLE, TN 37203
PH: 615.259.1234 | FAX: 615.259.1235 | www.jordan-skala.com

10/15/2024 10:30 AM - ALL RIGHTS RESERVED.

RESERVOIR - ZONE 3
 3300 HUNTERS AVENUE
 MARIETTA, GEORGIA 30067

REGENT PARTNERS



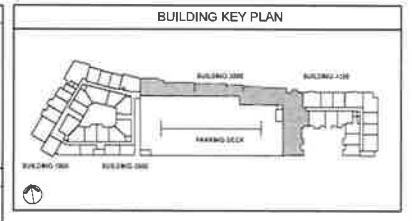
ENLARGED BUILDING PLAN - BUILDING 3000 - PROJECT LEVEL 2 - (BLDG LEVEL 1)
 1/32" = 1'-0"

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- REFER TO SHEET COUNTRYSIDE FOR PAINTWORK DETAILS, FLOOR / CEILING & ROOF CEILING ASSEMBLY DETAILS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR LOAD BEARING WALLS. EXTERIOR LOAD BEARING WALLS ARE TO BE CONSTRUCTED PER ULSUM AND NON-LOAD BEARING WALLS CLF 1.1.55.
- ALL TENANT SEPARATION WALLS ARE 5/8" RATES PER ULSUM.
- ALL CORRIDOR WALLS ARE 5/8" RATES PER ULSUM.
- SEE UNIT PLANS (A2 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR THICK.
- REFER TO SHEET FOR ADDRESSING PLAN.

UNIT TYPE LEGEND

A1	A1A	A1B	A1C2
BASE UNIT	UNIT WITH VENTILATION	UNIT WITH VENTILATION	MOBILITY ACCESSIBLE UNIT



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REVISIONS

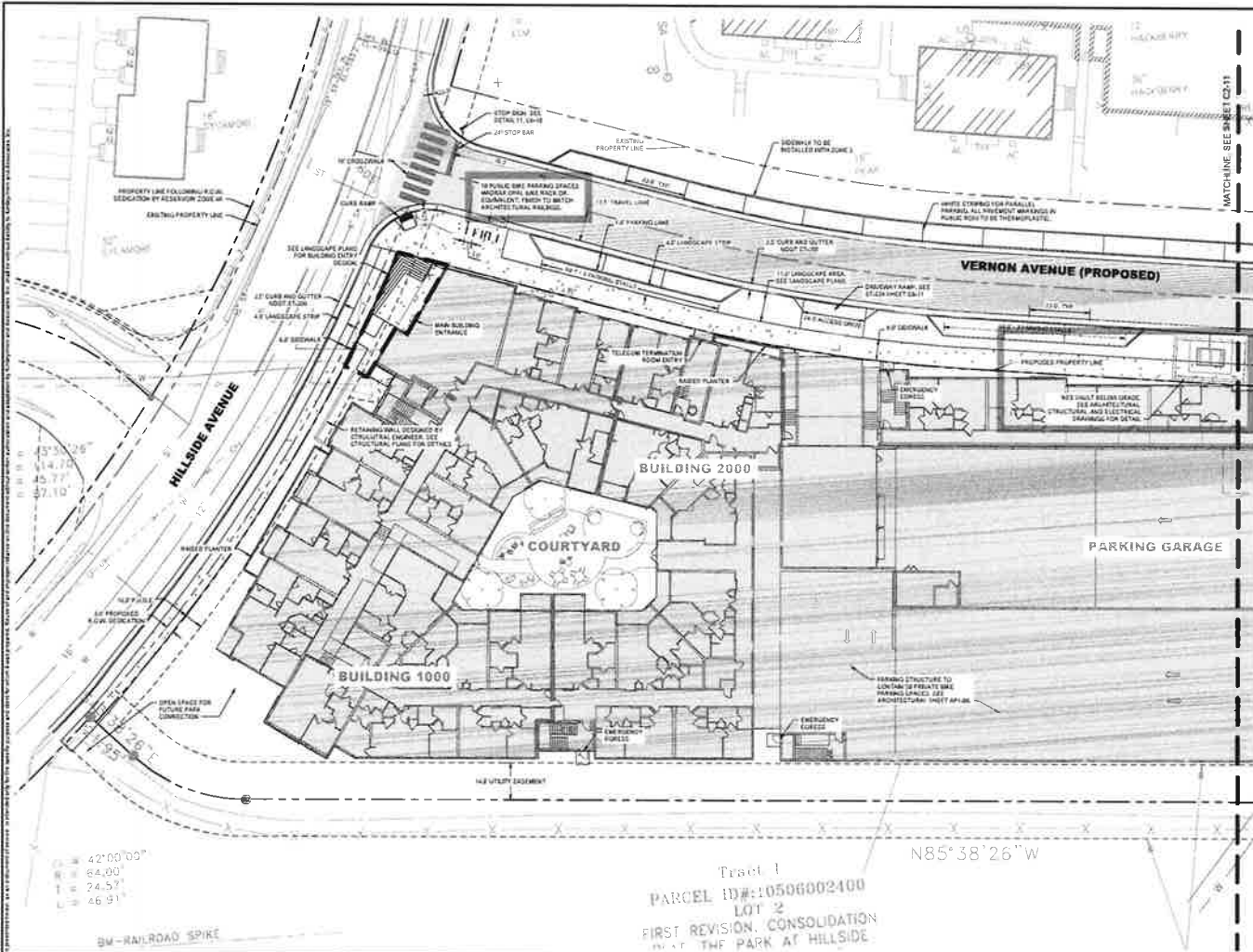
NO.	DATE	DESCRIPTION

ENLARGED BUILDING PLAN - BUILDING 3000 - PROJ. LEVEL 2

DATE	BY	CHECKED BY

DATE	BY	CHECKED BY

A1-31
 ISSUE FOR CONSTRUCTION



DATE	
REVISION	
NO.	
DESCRIPTION	
DATE	
BY	
CHECKED BY	
DATE	
APPROVAL PROJECT NO.	
TRACKING	
SITE LAYOUT - ENLARGEMENT	
SHEET NUMBER	
C2-10	

Tract 1
 PARCEL ID#: 10506002400
 LOT 2
 FIRST REVISION, CONSOLIDATION
 OF THE PARK AT HILLSIDE

N85°38'26"W

- SITE LAYOUT NOTES**
- INSTALL CONCRETE JOISTS WHERE SHOWN ON PLANS AND DETAILS. ALLOW ON WALLS, BUILDINGS FROM SITE DRAINAGE BETWEEN ELEMENTS TO DRAIN. PROVIDE SPAN JOISTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
 - LAYERS ALL CURBS AND JOISTS MUST BE FINISHED TO TANGENT POINTS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO REVISION NOTES FOR
 - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGIND ANY CONSTRUCTION.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN OR SHOWN IN VARYING LOCATIONS AND CONSIDER SUCH WHEN EXCAVATING.
 - ALL LANDSCAPE ISLANDS SHALL BE MOUNTED WITH TOPSIL 1" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
 - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT MARKINGS AND STRIPES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 - ALL SIDEWALKS OTHER THAN CURBWAYS SHALL BE CONSTRUCTED PER MVA STANDARD ON-100-2710.
 - GRADE OF LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 1" FROM THE EXISTING EDGE OF PAVEMENT.
 - REFER TO ARCHITECTURAL PLAN FOR STRAPPING WITHIN THE BUILDING.
 - ALL TREE GRATES SHALL BE ADA COMPLIANT AND FOR TRAFFIC LOT 2.
 - REFER TO SITE LANDSCAPE PLANS BY LANDSCAPE ARCHITECT FOR STREETSCAPE DETAILS.
- OFF SITE IMPROVEMENTS**
- ORANALYTICAL OF HILLSIDE AVENUE AND WOODSGLADE, REFERENCE TRAFFIC PLANS T-101.
 - REVIEW OF ON-THE-GOING APPROXIMATE WOODSGLADE AND HILLSIDE AVE, REFERENCE TRAFFIC PLANS T-102.

PAVEMENT LEGEND

	HEAVY DUTY ASPHALT HOOT 5% OIL, SEE DETAIL 4 05-40
	LIGHT DUTY CONCRETE SEE DETAIL 1 10-40
	HEAVY DUTY CONCRETE SEE DETAIL 1 0-10

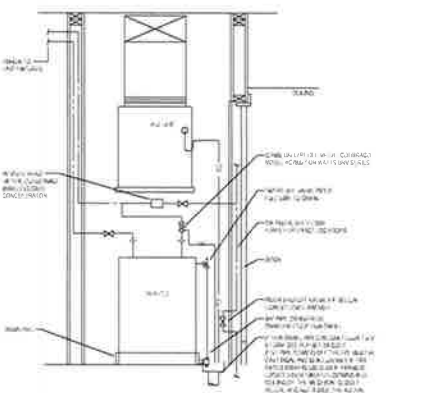
METRO PERMITTING REFERENCE

BUILDING PERMIT	TBD
GRADING PERMIT	579R T2022007002
PUBLIC WATER PERMIT	221W0025
SEWER PERMIT	TBD
FINAL SPECIFIC PLAN	P15P 202200106
FINAL SPEC CASE #	20165P-026-005

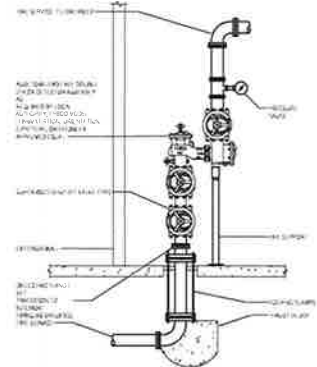
- PUBLIC WORKS NOTES**
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 - ALL WORK OPERATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BIDDING PERMITS.
 - ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN OCCUPATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
 - PROFESSIONAL OF ALL STREET SURBERGMENTS IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. REQUEST TO BE MADE 30 DAYS IN ADVANCE.
 - STOP SIGNS TO BE 30 INCH BY 30 INCH.
 - STREET SIGNS TO HAVE 30 INCH WHITE LETTERS ON A BARE BROWN GREEN ALUMINUM SHADE AND BE MOUNTED VERTICALLY.
 - ALL SIGNS TO HAVE 3M REFLECTIVE COATING.



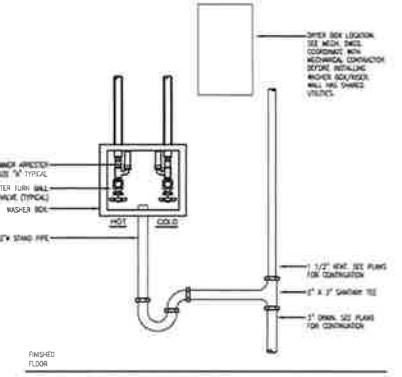
Working Name: 4 811_SiteV1111111111 - Reservoir Zone 3 - C2-10 - SITE LAYOUT - ENLARGEMENT.dwg DATE: SITE LAYOUT - ENLARGEMENT, 10/13/2022 1:08 PM, 10/13/2022



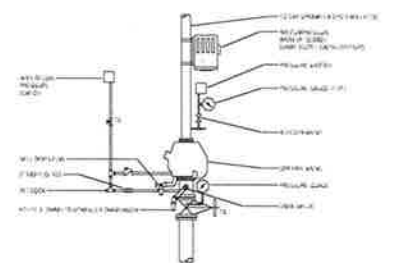
10 LOW-BOY STORAGE ELECTRIC WATER-HEATER COMBINED CLOSET
Scale: 1/2" = 1'-0"



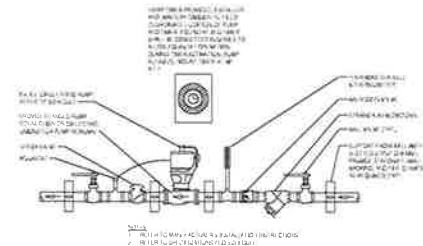
11 FIRE SERVICE ENTRANCE DOUBLE DETECTOR CHECK HORIZONTAL BACKFLOW DETAIL
Not to Scale



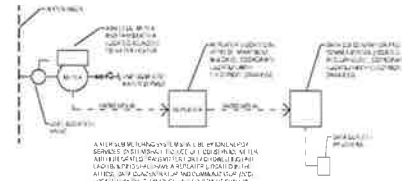
WASHER - DRYER WALL DETAIL
Scale: 1/2" = 1'-0"



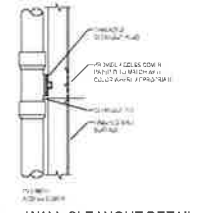
5 DRY PIPE VALVE RISER ASSEMBLY DETAIL
Not to Scale



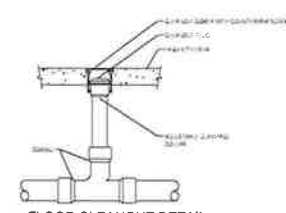
6 HOT WATER RECIRCULATION PUMP
Not to Scale



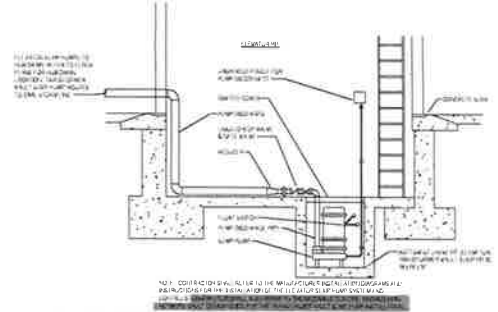
7 DOMESTIC WATER SUB-METER SCHEMATIC
Not to Scale



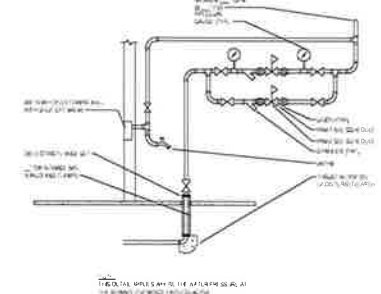
9 WALL CLEANOUT DETAIL
Not to Scale



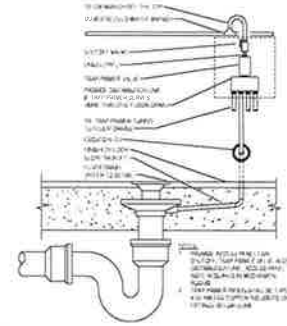
8 FLOOR CLEANOUT DETAIL
Not to Scale



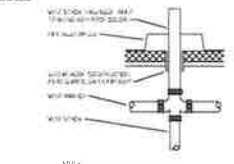
1 ELEVATOR SUMP PUMP DETAIL
Not to Scale



2 DOMESTIC WATER SERVICE WITH DUPLEX PRV STATION
Not to Scale



3 TRAP PRIMER DETAIL
Not to Scale



4 VENT THRU ROOF (VTR) DETAIL
Not to Scale



RESERVOIR - ZONE 3
HILLCREST AVENUE
MEMPHIS, TENNESSEE 38120

REGENT PARTNERS

NO.	DESCRIPTION	DATE	BY



DETAILS

DESIGN DEVELOPMENT

DESIGNED BY: JORDAN & SKALA ENGINEERS
CHECKED BY: [Signature]

P0-00.1
REVISED FOR SLD 10-10-12

JSE Jordan & Skala Engineers
MEMPHIS, TENNESSEE
1506 HIGHTOWER TRAIL, MEMPHIS, TN 38125
901.854.1033