

# 206 N 1ST ST HOTEL

206 N 1ST STREET  
NASHVILLE, TN 37213

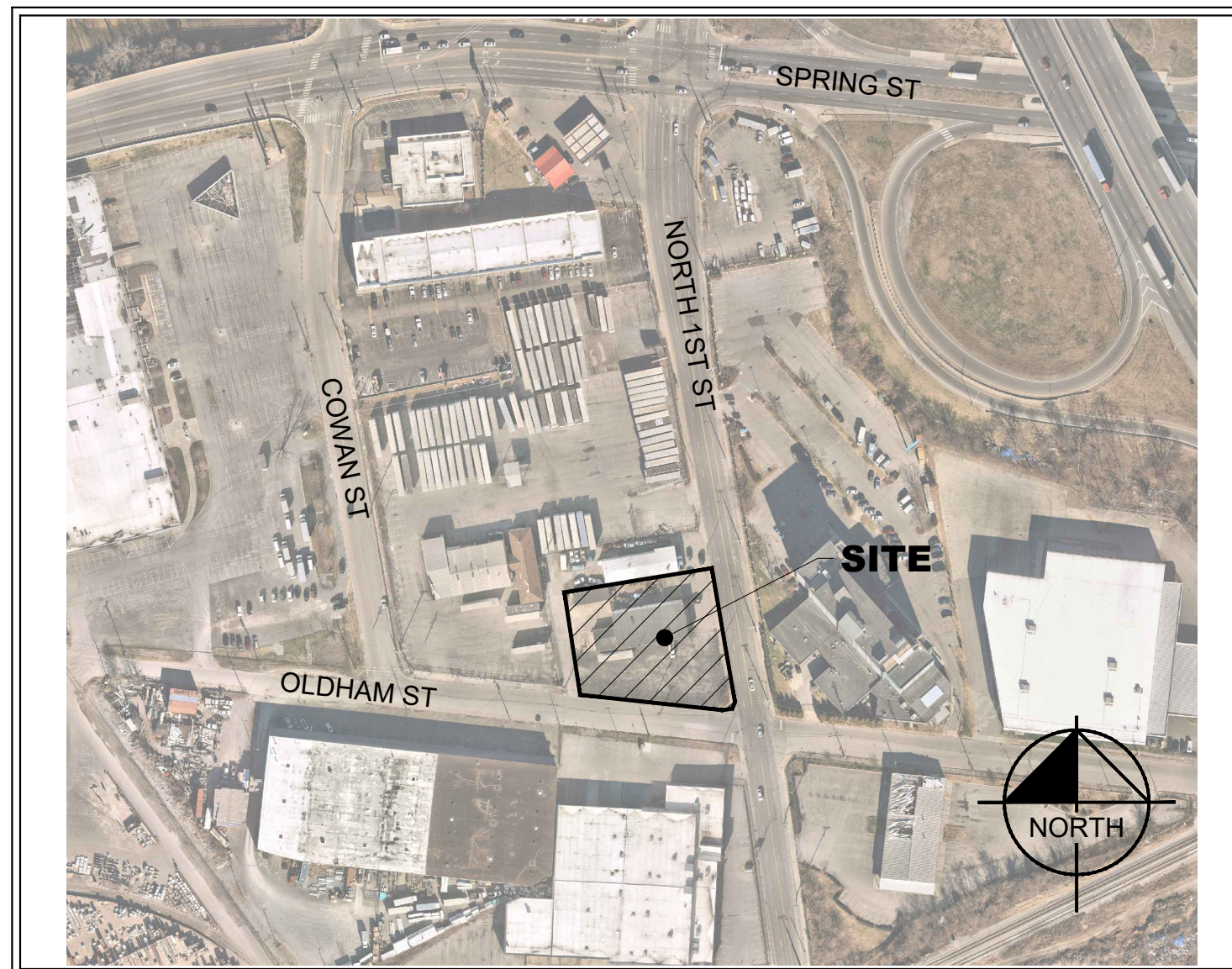
PRELIMINARY SP: 6/14/2023  
PRELIMINARY SP RESUBMITTAL: 7/5/2023  
PRELIMINARY SP RESUBMITTAL: 8/31/2023  
PRELIMINARY SP REVISION: 9/15/2023  
PRELIMINARY SP REVISION: 10/12/2023

SITE DATA TABLE		
SITE ADDRESS	206 N 1ST STREET NASHVILLE, TN, 37213	
TAX MAP	MAP 082 PARCEL 04600	
OVERALL AREA	EXISTING	PROPOSED
SITE AREA	0.82 AC	0.76 AC
DISTURBED AREA	N/A	0.82 AC
DEDICATED R.O.W. AREA	N/A	0.06 AC
IMPERVIOUS AREA	.81 AC	0.76 AC
PERVIOUS AREA	0.01 AC	0.00 AC
ISR	N/A	1.00
BUILDING DATA	PROPOSED	
DIMENSIONS	195' x 155'	
HEIGHT	175 FT	
STORIES	14	
TOTAL AREA	291,937 SF	
RETAIL	8,000 SF	
F.A.R.	4.44	
TOTAL KEYS	235	
BUILD-TO ZONES	PROPOSED	
OLDHAM ST (SOUTH)	0-25 FT	
N 1ST ST (EAST)	0-15 FT	
MAX HEIGHT AT BUILD-TO ZONE	75 FT	
BUILDING STEPBACKS (LEVEL 5)	PROPOSED	
OLDHAM ST (SOUTH)	VARIES: 5 FT (MIN.) TO 30 FT	
N 1ST ST (EAST)	VARIES: 9 FT (MIN.) TO 18 FT	
PARKING	MAX	PROVIDED
PARKING SPACES	245	144

EXISTING PROPERTY SUMMARY	
PROPERTY ADDRESS:	206 N 1ST STREET NASHVILLE, TN 37213
MAP AND PARCEL ID:	MAP 082, PARCEL 04600
U.S. FEMA FIRM PANEL:	47037C0242H DATED 4/5/2017
EXISTING ZONING:	MUG, OV-UZO, OV-FLD
EXISTING LAND USE:	VACANT

METRO PERMITTING REFERENCE	
SP CASE NO.:	<b>2023SP-070-001</b>
BUILDING PERMIT:	<b>TBD</b>
GRADING PERMIT:	<b>SWGR TBD</b>
WATER PERMIT:	<b>TBD</b>
SEWER PERMIT:	<b>TBD</b>
WATER CAP:	<b>T2023038880</b>
SEWER CAP:	<b>T2023038894</b>

GENERAL DEVELOPMENT NOTES	
1.	THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" (AREAS OF 0.2% ANNUAL CHANCE FLOODPLAIN) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0242H.
2.	ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78940 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
3.	METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.



VICINITY MAP  
NOT TO SCALE

**COUNCIL DISTRICT 19  
COUNCIL MEMBER JACOB KUPIN  
CITY OF NASHVILLE  
DAVIDSON COUNTY, TENNESSEE**

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0-00	COVER
C0-02	ZONING & POLICY NOTES
SURVEY	BY OTHERS
C1-10	EXISTING CONDITIONS
C2-00	SITE LAYOUT
C2-50	ACCESS PLAN
C4-00	GRADING AND DRAINAGE PLAN
C6-00	UTILITY PLAN
L1-00	LANDSCAPE PLAN
L1-50	LANDSCAPE DETAILS
A1-01	OVERALL PLAN - LEVEL 01
A1-02	OVERALL PLAN - LEVEL 02-04
A1-03	OVERALL PLAN - LEVEL 05
A1-04	OVERALL PLAN - LEVEL 06-13
A1-05	OVERALL PLAN - LEVEL 14
A2-01	BUILDING ELEVATIONS
A2-02	BUILDING ELEVATIONS
A2-03	BUILDING ELEVATIONS
A2-04	BUILDING ELEVATIONS
A2-05	RENDERING

SP PURPOSE	
THE PURPOSE OF THIS PLAN IS TO REZONE TO PRELIMINARY SPECIFIC PLAN ZONING TO PERMIT UP TO 235 HOTEL ROOMS, ANCILLARY USES, AND 8,000 SF OF USES PER THE MUG-A ZONING DISTRICTS WITH THE EXCEPTIONS OF THOSE IDENTIFIED AS PROHIBITED USES IN THE SP.	

### PROJECT DESIGN TEAM

**ARCHITECT**  
ELEVATE ARCHITECTURE STUDIO  
1775 THE EXCHANGE SE, STE 530  
ATLANTA, GA 30339  
PHONE: (828) 508-1886  
CONTACT: NITIN PATEL, PRINCIPAL

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
10 LEA AVENUE, SUITE 400  
NASHVILLE, TENNESSEE 37210  
PHONE: (615) 564-2701  
CONTACT: MATT SCHLUCKER, PE

**SURVEY**  
YOUNG HOBBS AND ASSOCIATES  
1202 CROSSLAND AVE.  
CLARKSVILLE, TN 37040  
PHONE: (931) 645-2524  
CONTACT: DAVE HOBBS, PE, PLS

**GEOTECH / ENVIRONMENTAL**  
UNITED CONSULTING  
625 HOLCOMB BRIDGE ROAD  
NORCROSS, GEORGIA 30071  
PHONE: (770) 209-2900  
CONTACT: CHRIS L. ROBERTS, P.G.  
AARON C. EPSTEIN, P.E.

### PERMITTING / UTILITY CONTACTS

**BUILDING CODES**  
METRO NASHVILLE CODES  
BRADY RICH  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6520

**STORMWATER**  
METRO WATER SERVICES  
KAITLYN DEWALD  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 881-6808

**WATER**  
METRO WATER SERVICES  
EVAN LOW  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 881-6808

**SANITARY SEWER**  
METRO WATER SERVICES  
EVAN LOW  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 881-6808

**PLANNING**  
METRO NASHVILLE PLANNING DEPARTMENT  
DUSTIN SHANE  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6608

**FIRE MARSHAL**  
JOSEPH ALMON  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6242

**URBAN FORESTER**  
METRO NASHVILLE  
STEPHAN KIVETT  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6488

**ELECTRIC**  
NASHVILLE ELECTRIC SERVICE  
JOSHUA PIKE  
1214 CHURCH STREET  
NASHVILLE, TN 37246  
PHONE: (615) 747-3688

### OWNER / DEVELOPER

PBS EB NASHVILLE, LLC  
2895 CREEKSIDE DR NW  
CLEVELAND TN, 37213  
PHONE: (423) 715-6111  
CONTACT: SAM PATEL

### PLANS PREPARED BY

**Kimley»Horn**

10 Lea Avenue, Suite 400, Nashville, TN 37210  
Main: 615.564.2701 | www.kimley-horn.com  
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PLAN REVISIONS		
REVISION NO.	DATE	REMARKS
1	07/05/2023	PRELIMINARY SP RESUBMITTAL
2	08/31/2023	PRELIMINARY SP RESUBMITTAL
3	09/15/2023	PRELIMINARY SP REVISION
4	10/12/2023	PRELIMINARY SP REVISION
FILE NUMBER	SHEET NUMBER	TOTAL SHEETS
<b>018717002</b>	<b>C0-00</b>	<b>20</b>

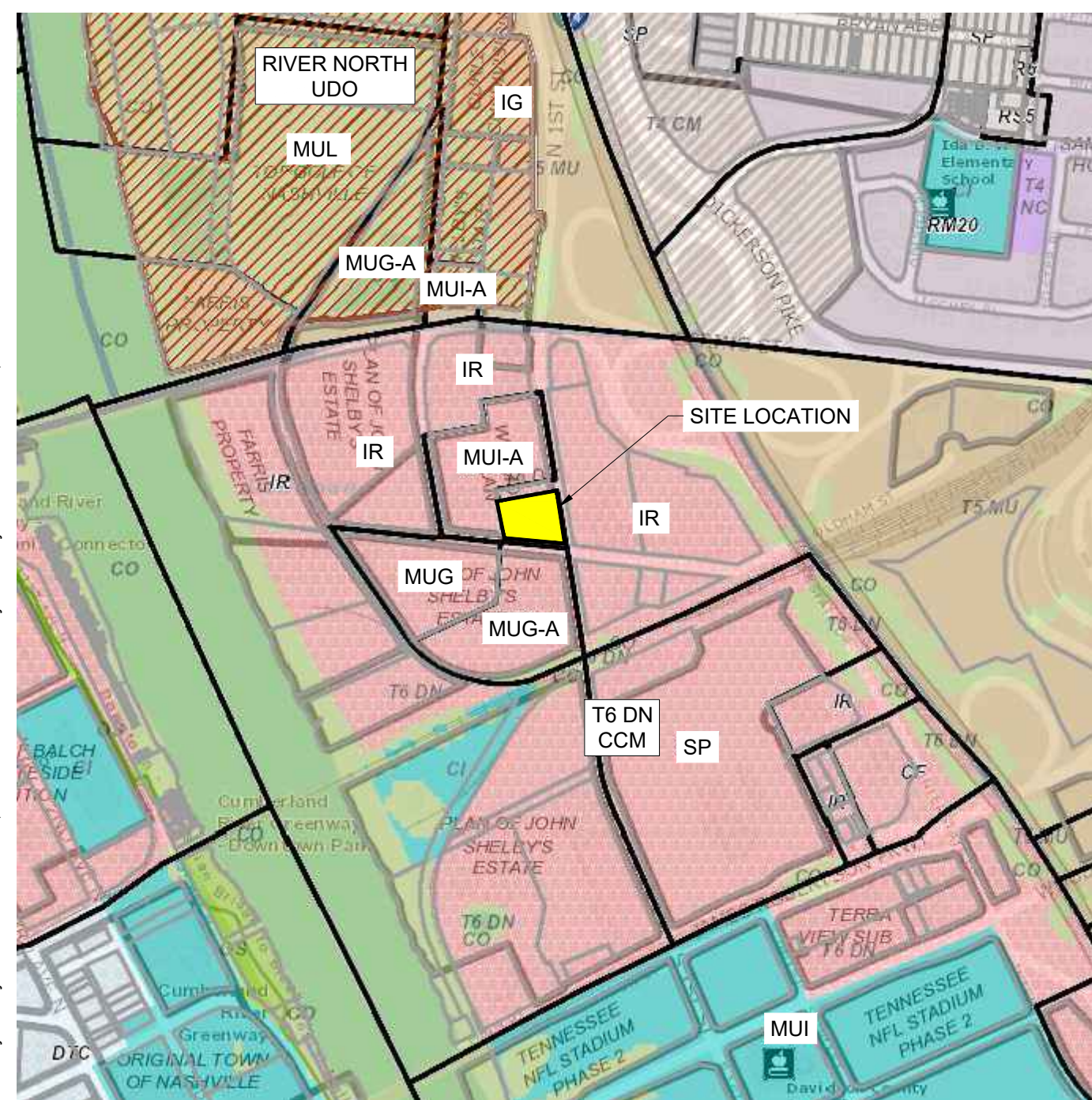
ENGINEER'S SEAL



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**CURRENT ZONING:** MUG

**CURRENT LAND USE POLICY:** THE PROPERTY IS LOCATED IN THE JEFFERSON-SPRING NEIGHBORHOOD OF THE EAST BANK DEVELOPMENT AREA, AND THE CURRENT LAND USE POLICY FOR THE PROPERTY IS T6 DOWNTOWN NEIGHBORHOOD (T6-DN).



**EAST BANK VISION PLAN: JEFFERSON-SPRING NEIGHBORHOOD**

JEFFERSON-SPRING'S LOCATION ALLOWS IT TO ACT AS A TRANSITION BETWEEN THE EAST BANK AND RIVER NORTH. THE INTERSECTION OF JEFFERSON STREET AND THE NEW EAST BANK BOULEVARD WILL BECOME A KEY INTERSECTION THAT CONNECTS THE EAST BANK TO RIVER NORTH. FUTURE WORK SHOULD EXPLORE A PROMINENT GATEWAY TO JEFFERSON STREET IN THIS AREA. THE NEW EAST BANK BOULEVARD WILL EXTEND INTO RIVER NORTH VIA COWAN STREET.

**BUILDINGS:**  
**VISION PLAN:** SUCCESSFUL BUILDINGS ENHANCE LIVABILITY AND SENSE OF PLACE BY FITTING INTO THE EXISTING OR PLANNED CONTEXT, CONTRIBUTING POSITIVELY TO THE PUBLIC REALM AND URBAN FABRIC, AND ACTING AS "GOOD NEIGHBORS." THEY SHOULD PROMOTE AND CONTRIBUTE TO THE EXPERIENCE OF COMFORT, VIBRANCY, DIVERSITY, SAFETY, AND BEAUTY WITHIN A NEIGHBORHOOD.

**BUILT FORM:**  
**VISION PLAN:** THE EAST BANK'S BUILT FORM WILL BE DIVERSE AND VARY STREET BY STREET, BLOCK-BY-BLOCK, AND NEIGHBORHOOD-BY-NEIGHBORHOOD. BUILDINGS SHOULD BE APPROPRIATELY SITED, ORIENTED, MASSES, DESIGNED, AND PROGRAMMED TO MAKE A POSITIVE CONTRIBUTION TO THE BUILT ENVIRONMENT.

*THE 15-FLOOR HOTEL BUILDING WILL INCORPORATE JUMP LOBBY ON A HIGHER LEVEL IN ORDER TO COMMIT THE GROUND FLOOR AREA TO PUBLIC RETAIL SPACE THAT WILL FACE THE IMPROVED ROW SECTIONS. THE ADDITIONAL BUILDING SETBACK ALONG OLDHAM THAT WAS CREATED TO AVOID SIGNIFICANT IMPACTS TO NES INFRASTRUCTURE IS BEING UTILIZED FOR ACTIVE OUTDOOR PATIO SPACE AND URBAN BIORETENTION SPACE THAT WILL ENGAGE THE PUBLIC SPACE AND CREATE A LARGER PEDESTRIAN REALM AS YOU APPROACH THE MAJOR INTERSECTION WITH N 1ST ST.*

**DEVELOPMENTS ADJACENT TO OPEN SPACES**  
**VISION PLAN:** DEVELOPMENTS ADJACENT TO EITHER PUBLIC OR PRIVATE OPEN SPACES WILL PROVIDE INTERFACE, MAXIMIZE ACCESS AND VIEWS, AND PROVIDE ACTIVE USES AND SECURITY TO THESE OPEN SPACES.

*THE PROPOSED DEVELOPMENT IS NOT ADJACENT TO PROPOSED OPEN SPACES.*

**PARKING AND CURBSIDE MANAGEMENT:**  
**VISION PLAN:** THE EAST BANK'S PROPOSED MULTIMODAL TRANSPORTATION NETWORKS WILL IDEALLY LIMIT THE AMOUNT OF PARKING NECESSARY IN THE AREA. EFFORTS SHOULD BE MADE TO LIMIT IMPACTS OF PARKING AND CURBSIDE ACTIVITIES ON THE EAST BANK.

*PARKING PROVIDED IN THE STRUCTURE WILL BE LESS THAN THE ALLOWABLE MAXIMUM FOR A DEVELOPMENT OF THIS SIZE. GUEST PICK-UP/DROP-OFF SPACE WILL BE PROVIDED WITHIN THE GARAGE, REDUCING THE NEED FOR CURBSIDE SPACE. ROW IMPROVEMENTS HAVE BEEN INCORPORATED CONSISTENT WITH THE EAST BANK COMPLETE STREETS GUIDANCE. THIS WILL ENSURE THAT THE PUBLIC ROW IMPROVEMENTS WILL BE CONSISTENT WITH THE EAST BANK VISION PLAN*

**COMMUNITY CHARACTER POLICY: T6-DN, DOWNTOWN NEIGHBORHOOD**

MAINTAIN AND CREATE DOWNTOWN NEIGHBORHOODS, WITH DIVERSE DEVELOPMENT CHARACTERISTICS, THAT CONTAIN A MIX OF USES, INCLUDING HIGH DENSITY RESIDENTIAL. FOSTER APPROPRIATE TRANSITIONS FROM LESS INTENSE AREAS OF T6 DOWNTOWN NEIGHBORHOODS (T6-DN) POLICY AREAS TO THE MORE INTENSE T6 DOWNTOWN CORE POLICY AREA. NEIGHBORHOODS HAVE HIGH LEVELS OF CONNECTIVITY AND COMPLETE STREET NETWORKS WITH SIDEWALKS, BIKEWAYS, AND TRANSIT.

**BUILDING FORM AND SITE DESIGN**  
 BUILDING HEIGHT, FORM, AND ORIENTATION FIT IN WITH THE URBAN CHARACTER AND DEVELOPMENT PATTERN OF DOWNTOWN NEIGHBORHOODS TO WHICH THE T6-DN POLICY HAS BEEN APPLIED. THE APPROPRIATE FORM AND DESIGN ARE CRITICAL TO ENSURE THAT DENSE AND INTENSE DEVELOPMENT DOES NOT OVERWHELM THE STREETScape, DAMAGING THE LIVELINESS AND ATTRACTIVENESS OF DOWNTOWN.

**MASSING:**  
**CCM:** MASSING OF BUILDINGS RESULTS IN FOOTPRINTS WITH INTENSE LOT COVERAGE. WHEN NEW DEVELOPMENT IS ADJACENT TO HISTORIC BUILDINGS, CARE SHOULD BE TAKEN TO ENSURE THAT THE SCALE AND MASSING OF THE NEW BUILDING ENHANCE AND DO NOT DETRACT FROM THE HISTORIC BUILDING.

*THE BUILDING FORM CONFORMS TO LINEAR SITE DIMENSIONS AND PROPOSES A FOOTPRINT WITH HIGH LOT COVERAGE. THE DEVELOPMENT IS NOT ADJACENT TO ANY HISTORIC BUILDINGS.*

**ORIENTATION:**  
**CCM:** BUILDINGS ARE ORIENTED TO THE STREET OR AN OPEN SPACE.

*THE BUILDING IS ORIENTED TO FRONTAGE ALONG BOTH 1ST ST AND OLDHAM ST.*

**BUILD-TO ZONES:**  
**CCM:** WHEN FRONTING ON A STREET, THE BUILDING'S FRONT BUILDING FAÇADE IS GENERALLY BUILT TO THE BACK EDGE OF THE SIDEWALK SO THAT IT ENGAGES THE PUBLIC REALM AND CREATES A PEDESTRIAN-FRIENDLY ENVIRONMENT.

*THE PROPOSED DEVELOPMENT WILL BE BUILT TO THE BACK EDGE OF THE SIDEWALK ALONG 1ST ST TO ENGAGE THE PUBLIC REALM. EXCEPTION IS BEING MADE ON THE OLDHAM FRONTAGE DUE TO THE RECENT INSTALLATION OF LARGE, STEEL NES POLES ALONG THE OLDHAM ST. THESE POLES AND OVERHEAD LINES ONLY PERMIT THE BUILDING FRONTAGE TO BE APPROXIMATELY 20' FROM THE BACK OF SIDEWALK. ACTIVE OUTDOOR PATIO SPACE WILL BE CONSTRUCTED IN THIS SETBACK AREA IN ORDER TO CREATE A COMFORTABLE MICROCLIMATIC CONDITION FOR PEDESTRIANS ALONG OLDHAM ST.*

**BUILDING HEIGHT:**  
**CCM:** THE HEIGHT IS BASED ON THE LOCATION WITHIN THE T6-DN AREA, ARCHITECTURAL ELEMENTS, AND THE SURROUNDING CONTEXT.

*THE PROPOSED DEVELOPMENT IS 15 STORIES. N 1ST ST IS A PROMINENT ROADWAY FOR THE EAST BANK DEVELOPMENT, AND PENDING THE COWAN REALIGNMENT, THIS WILL BE A MAJOR INTERSECTION IN THE NEIGHBORHOOD, WHICH ACCOMMODATES GREATER BUILDING HEIGHT.*

**PARKING:**  
**CCM:** PARKING IS IDEALLY PROVIDED IN STRUCTURES, WHICH ARE LOCATED BEHIND, BESIDE, OR BENEATH THE PRIMARY BUILDING AND WHICH USE A LINER TO AVOID HAVING PARKING STRUCTURES ON PUBLIC STREETS. IF A LINER IS NOT FEASIBLE, PARKING STRUCTURES HAVE ARCHITECTURAL CLADDING AND OTHER FAÇADE TREATMENTS ON WALLS FACING PUBLIC STREETS SO AS TO RESEMBLE OTHER BUILDINGS WITH OTHER TYPES OF USES.

*THE PROPOSED ABOVE-GROUND PARKING STRUCTURE WILL HAVE A SINGLE GROUND-FLOOR GARAGE ENTRANCE FROM THE PUBLIC FRONTAGE (OLDHAM ST). THE PARKING AREA WILL BEGIN ON THE SECOND FLOOR AS TO NOT OCCUPY GROUND-LEVEL PUBLIC ROADWAY FRONTAGE, AND WILL INCORPORATE ACTIVE USE LINER FOR PUBLIC FRONTAGES.*

**ACCESS:**  
**CCM:** ACCESS TO LOTS IS PROVIDED PRIMARILY BY ALLEYS. WHEN ALLEY ACCESS IS UNAVAILABLE, SHARED ACCESS FROM SIDE STREETS OR LESS PROMINENT STREETS IS APPROPRIATE.

*THE ALLEY INTERSECTING OLDHAM ST HAS BEEN ABANDONED, SO SITE ACCESS VIA OLDHAM ST (LESS PROMINENT THAN N 1ST ST) WILL BE UTILIZED.*

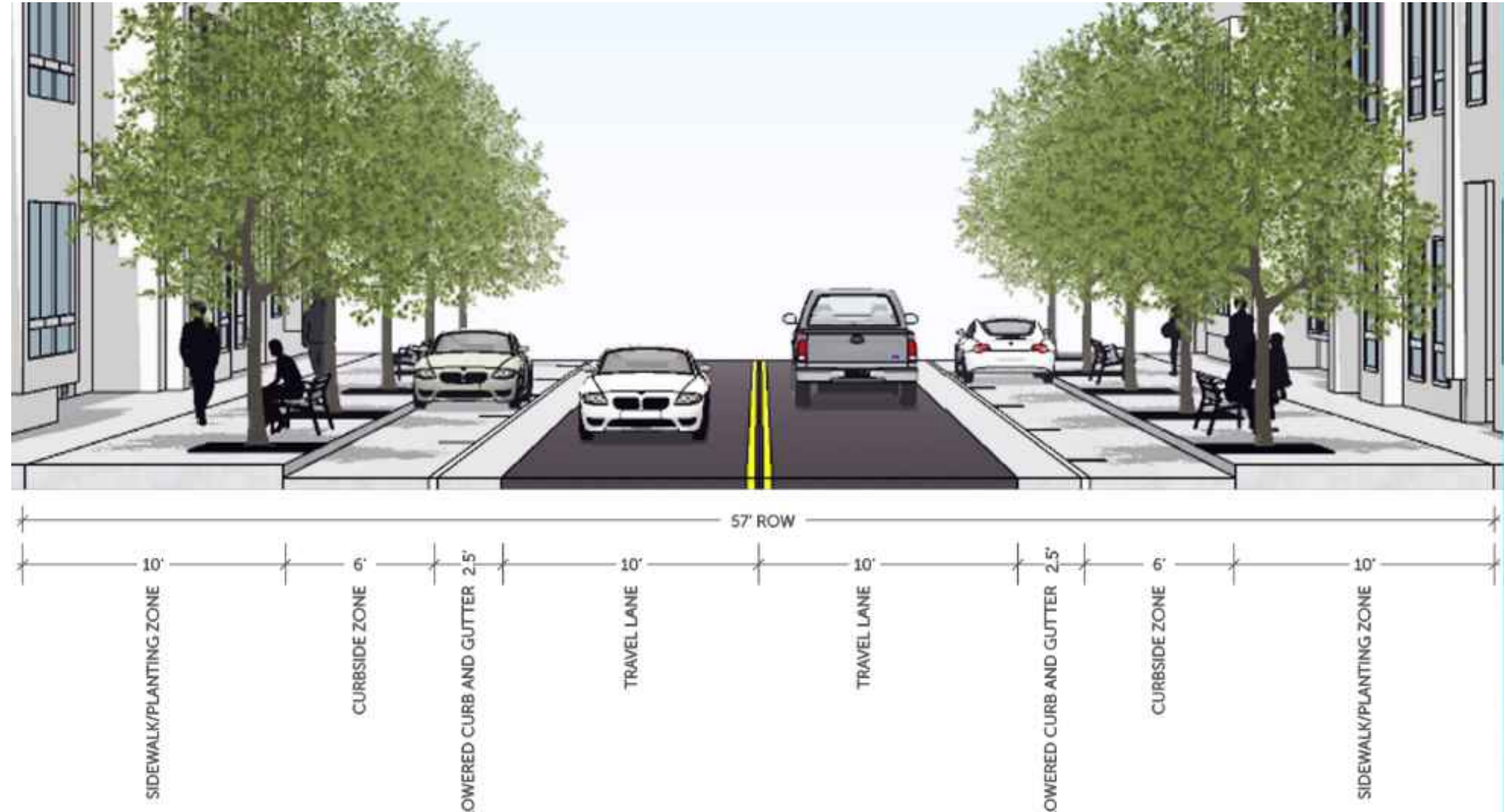
**PROPOSED ROW SECTION IMPROVEMENTS**

PROPOSED ROW IMPROVEMENTS ALONG N 1ST ST AND OLDHAM ST ARE CONSISTENT WITH THOSE OUTLINED IN THE EAST BANK COMPLETE STREETS GUIDE, AND WILL HELP DEVELOP AN IMPROVED PUBLIC REALM ALONG THESE PUBLIC ROADWAYS. DUE TO CONCERNS WITH STREET SECTION TRANSITIONING, THE N 1ST ST SECTION AS SHOWN BELOW WILL NOT YET BE IMPLEMENTED. PROPER ROW WIDTH WILL BE DEDICATED TO MEET THE VISION PLAN REQUIRED HALF-ROW, BUT STREET SECTION BUILDOUT WILL NOT BE COMPLETED AT THIS TIME PER. SEE SHEET C2-00 FOR ADDITIONAL DETAIL ON PROPOSED SECTIONS.

**N 1ST ST CROSS SECTION FROM VISION PLAN**



**OLDHAM ST CROSS SECTION**



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**EAST BANK HOTEL  
 REVPAR DEVELOPMENT**  
 NASHVILLE, TN

No.	REVISIONS	DATE	BY
1	PRELIMINARY SP RESUBMITTAL	07/05/2023	JFZ
2	PRELIMINARY SP RESUBMITTAL	08/15/2023	JFZ
3	PRELIMINARY SP REVISION	09/15/2023	JFZ
4	PRELIMINARY SP REVISION	10/12/2023	JFZ
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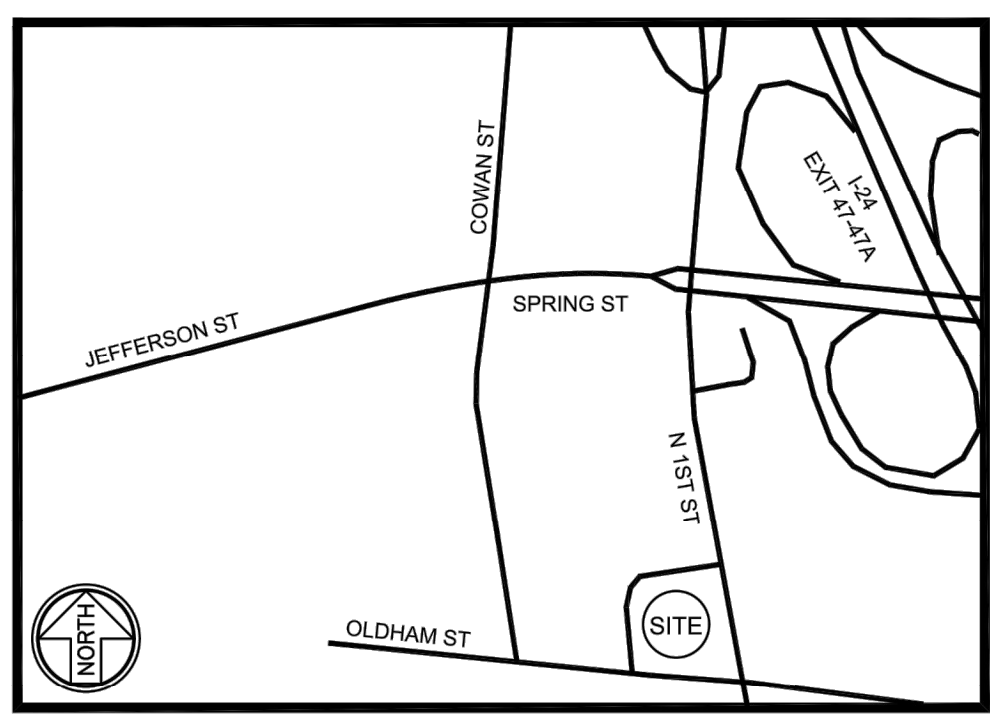
DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 10/12/2023  
 KIMLEY-HORN PROJECT NO. 018717002

ZONING & POLICY NOTES

SHEET NUMBER  
**C0-02**



**LOCATION MAP NTS**



**FORCE MAIN NOTE:**

A 60" FORCE MAIN WAS ORIGINALLY MARKED IN PAINT AS CROSSING OUR SITE IN THE AREA OF THE HYDROVAC BORE SHOWN HEREON. AFTER DISCUSSION AND ONSITE CONSULTATION WITH METRO WATER SERVICES THEY DETERMINED THAT THE ORIGINAL FORCE MAIN LOCATION WAS IN ERROR. THIS DETERMINATION WAS CONFIRMED IN AN EMAIL FROM JAMES MOSHER OF MWS, DATED 10/18/21. THE FORCE MAIN WAS RELOCATED WITH PAINT IN THE AREA SHOWN HEREON. TO CONFIRM THIS A HYDROVAC BORE HOLE TEST WAS CONDUCTED IN THE AREA SHOWN HEREON. THIS BORE HOLE LOCATION WAS DIRECTLY IN THE CENTER OF THE ORIGINAL PAINTED FORCE MAIN LOCATION. THE HOLE WAS BORED TO A DEPTH OF 17 FEET AND NO PIPE WAS ENCOUNTERED.



Know what's below.  
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**LEGEND**

- IRON PIN SET (IPS)
- IRON PIN FOUND, AS NOTED
- P. K. NAIL SET (PKS)
- P. K. NAIL FOUND (PKF), AS NOTED
- BENCHMARK, AS NOTED
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- UTILITY POLE
- GUY WIRE
- ELECTRIC METER
- BOLLARD
- SIGN, AS NOTED
- ROOF DRAIN
- GAS METER
- GAS VALVE
- TELEPHONE MANHOLE
- TELEPHONE BOX
- SEWER CLEAN OUT
- SEWER MANHOLE
- CURB INLET
- GRATE INLET
- STORM MANHOLE
- LIGHT POLE
- PROPERTY LINE
- EASEMENT LINE
- OVERHEAD WIRE
- FENCE LINE
- GAS LINE, AS NOTED
- WATER LINE, AS NOTED
- SS SANITARY SEWER, AS NOTED
- SS UNDERGROUND TELEPHONE
- ST STORM SEWER PIPE, AS NOTED

**SURVEY NOTES:**

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (IN ONE CALL SYSTEM, INC. 1-800-351-1111 OR 811).

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY.

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES, FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION. ANY UTILITY NOT WITHIN AN EXISTING EASEMENT IS SUBJECT TO AN EASEMENT BY THE UTILITY PROVIDER.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

LIST OF ENCROACHMENTS: NONE.

A TITLE REPORT WAS PROVIDED TO THE SURVEYOR.

THE SITE HAS DIRECT ACCESS TO NORTH 1ST STREET AND OLDHAM STREET, AS SHOWN HEREON.

THE PROPERTY DESCRIBED IN THE TITLE COMMITMENT IS THE SAME PROPERTY AS DEPICTED ON THE SURVEY, AND THERE ARE NO GAPS OR GORES OR OVERLAPS OR STRIPS BETWEEN THE SUBJECT PROPERTY AND ADJOINERS.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDED INFORMATION SHOWN, AND THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED TRAVERSE IS BETTER THAN 1:10,000 AS SHOWN HEREON.

THERE WAS NO EVIDENCE OF THIS PROPERTY BEING USED AS A LANDFILL.

THERE WAS NO EVIDENCE OF THIS PROPERTY BEING USED AS A CEMETERY.

**NOTES CORRESPONDING TO SCHEDULE B-II:**

FIDELITY NATIONAL TITLE INSURANCE COMPANY

EFFECTIVE DATE: AUGUST 19, AT 8:00 A.M.

COMMITMENT NO.: 20211362CTN

ITEMS 1-8 ARE STANDARD EXCEPTIONS AND/OR NOT SURVEYING RELATED AND ARE SUBJECT TO THESE EXCEPTIONS.

9. Subject to all matters shown on the Plan of record in Plat Book 11, Page 295, Register's Office for Davidson County, Tennessee. AFFECTS, NO EASEMENTS SHOWN.

10. Covenants and Restrictions as set forth in Warranty Deed of record in Book 4613, Page 119, also referenced is Covenants and Restrictions of record at Book 3368, page 23, in the Register's Office for Davidson County, Tennessee. AFFECTS, NO PLOTTABLE EASEMENTS.

**LAND DESCRIPTION: (PER TITLE COMMITMENT)**

TRACT No. 1

LAND in Davidson County, Tennessee, being part of Lot No. 1 on the Plan of Wetmore's Second Addition to Edgefield, as of record in Book 11, Page 295, Register's Office for said County, more particularly described according to a survey made by Barge, Waggoner and Sumner, Engineers, on August 6, 1971, as follows:

BEGINNING at an iron pin in the west margin of North First Street, said pin being located 20 feet north from the northwest intersection of North First Street and Oldham Street; thence North 83 deg. 21' West, 218.70 feet to an iron pin in the east margin of Alley No. 314; thence with the margin of said alley, North 9 deg. 33' West, 35.20 feet to another pin; thence North 80 deg. 45' East 210 feet to an iron pin in the west margin of North First Street; thence with the margin of same, South 9 deg. 33' East, 95.10 feet to the beginning.

TRACT No. 2

LAND in Davidson County, Tennessee, being Lot No. 2 on the Plan of Wetmore's Second Addition to Edgefield, now East Nashville, as of record in Book 11, Page 295, Register's Office for said County.

Said Lot No. 2 fronts 50 feet on the westerly side of North First Street and runs back between parallel lines, 210 feet to an alley.

TRACT No. 3

LAND in Davidson County, Tennessee, being Lot No. 3 on the Plan of M. W. Wetmore's Addition to Edgefield, now East Nashville, as of record in Book 11, Page 295, Register's Office for said County.

Said Lot No. 3 fronts 50 feet on the westerly side of North First Street, formerly Whites Creek Pike, and runs back between parallel lines, 210 feet to an alley.

BEING the same property conveyed to Turner H. Todd and wife, Clara Jo Todd by Warranty Deed of record in Book 9886, page 684, Register's Office for Davidson County, Tennessee. Further being the same property conveyed to Tammy R. Todd Fish, Trustee under the Irrevocable Trust Agreement of Turner H. Todd and Clara J. Todd, dated November 1, 2013, by Quitclaim Deed of record in Instrument No. 20131121-0119854 Register's Office for Davidson County, Tennessee. See Abstract of Trust of record in Instrument No. 20131121-0119850, in the Register's Office for Davidson County, Tennessee.

**TABLE A NOTES:**

ITEM 2: 206 N. 1ST STREET, NASHVILLE, TN 37213, AS PER FIDELITY NATIONAL TITLE COMMITMENT NO. 20211362CTN.

ITEM 3: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF SHADED ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 47037C0242H, WITH AN MAP REVISED DATE OF APRIL 5, 2017, IN DAVIDSON COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

ITEM 5: CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 9/13/2021 (NAVDS8, GEOID18).

ITEM 6A: NO ZONING REPORT PROVIDED.

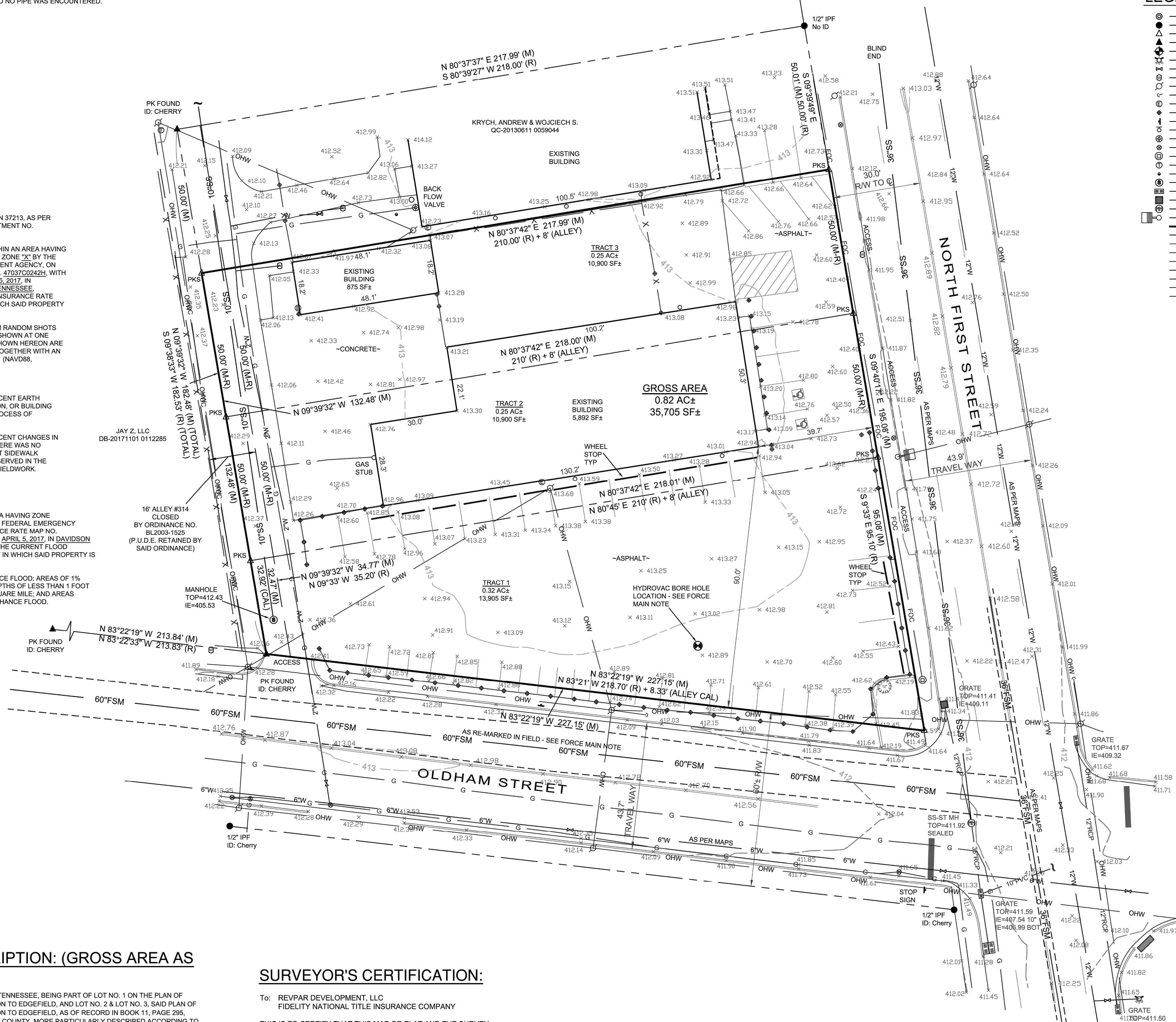
ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RECENT OR STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

**FLOOD NOTE:**

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF SHADED ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 47037C0242H, WITH A MAP REVISED DATE OF APRIL 5, 2017, IN DAVIDSON COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

SHADED ZONE "X" HAS A 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.



**SURVEYOR'S CERTIFICATION:**

To: REVPAR DEVELOPMENT, LLC  
FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 14, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 13, 2021.

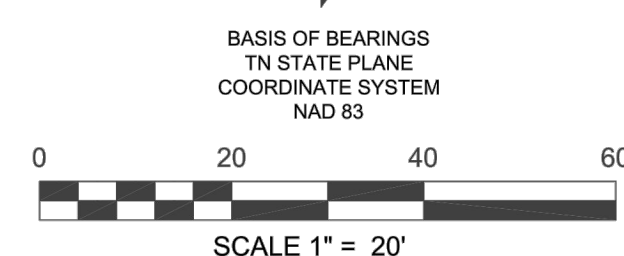
DATE OF PLAT OR MAP: SEPTEMBER 15, 2021.

*Kenneth A. Bau*  
KENNETH A. BAU, RLS 2019  
kenny@younghobbs.com  
11/2/21  
DATE

**LAND DESCRIPTION: (GROSS AREA AS SURVEYED)**

LAND in DAVIDSON COUNTY, TENNESSEE, BEING PART OF LOT NO. 1 ON THE PLAN OF WETMORE'S SECOND ADDITION TO EDGEFIELD, AND LOT NO. 2 & LOT NO. 3, SAID PLAN OF WETMORE'S SECOND ADDITION TO EDGEFIELD, AS OF RECORD IN BOOK 11, PAGE 295, REGISTER'S OFFICE FOR SAID COUNTY, MORE PARTICULARLY DESCRIBED ACCORDING TO A SURVEY MADE BY BARGE, WAGGONER AND SUMNER, ENGINEERS, ON AUGUST 6, 1971, ALSO THAT PART OF ALLEY #314 CLOSED BY ORDINANCE NO. BL2003-1525, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING at a PK NAIL SET IN AT THE RIGHT OF WAY LINE INTERSECTION OF OLDHAM STREET AND NORTH FIRST STREET, THENCE WITH THE NORTH RIGHT OF WAY LINE OF SAID OLDHAM STREET N 83°22'19" W A DISTANCE OF 227.15 FEET TO A PK NAIL FOUND (ID: CHERRY); LEAVING SAID RIGHT OF WAY LINE WITH THE CENTERLINE OF ALLEY #314 (CLOSED) N 09°39'32" W A DISTANCE OF 132.48 FEET TO A PK NAIL SET; THENCE WITH THE SOUTH LINE OF THE KRYCH PROPERTY, RECORDED IN QC-20130611 0059044 N 80°37'42" E A DISTANCE OF 217.89 FEET TO A PK NAIL SET IN THE WEST RIGHT OF WAY LINE OF SAID NORTH FIRST STREET; THENCE WITH SAID WEST RIGHT OF WAY LINE OF NORTH FIRST STREET S 09°40'17" E A DISTANCE OF 195.08 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 35,705 SQUARE FEET, 0.82 ACRES, MORE OR LESS.



**YOUNG - HOBBS AND ASSOCIATES**  
1202 CROSSLAND AVE.  
CLARKSVILLE, TN 37040  
PHONE 931-645-2524  
FAX 931-645-2768  
dave@younghobbs.com

KENNETH A. BAU  
REGISTERED LAND SURVEYOR  
AGRICULTURE  
TENNESSEE No. 2119  
KENNETH A. BAU, RLS 2019  
THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH CHAPTER 0620-3, STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS.

No.	Date	FORCE MAIN NOTE ADDED	Revision
1	11/2/21		

**CLIENT**  
RevPar Development LLC  
3217 Teton Drive  
Atlanta, GA 30339

**ALTA/NSPS LAND TITLE SURVEY**

**OWNER INFORMATION**  
Tammy R. Todd Fish, Trustee under the Irrevocable Trust Agreement of Turner H. Todd and Clara J. Todd  
Dated November 1, 2013  
QC-20131121 0119854  
PARCEL 08214004600  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

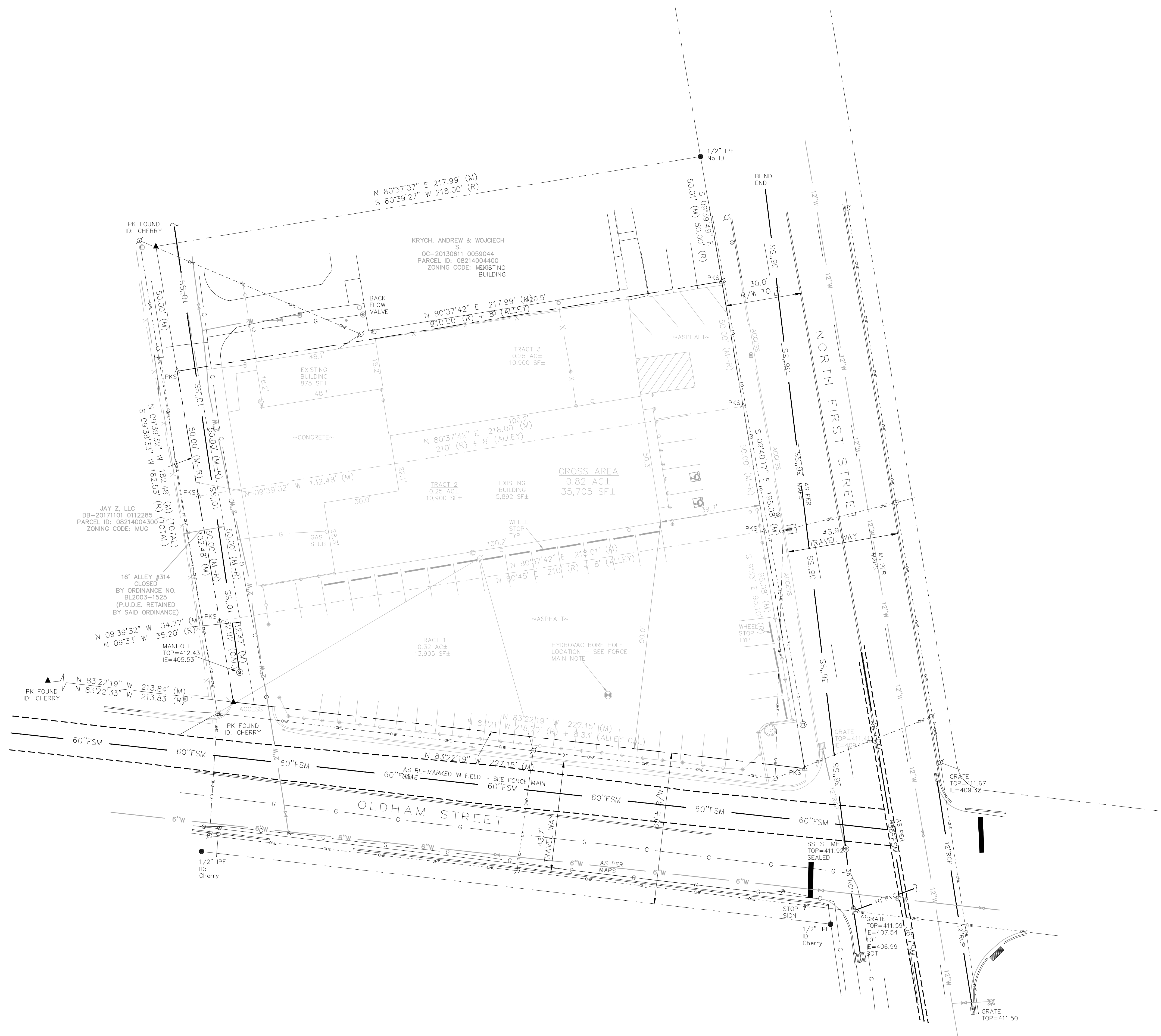
DRAWN BY: KAB-CLH  
APPROVED BY: KAB  
DATE: (FIELD) 9/13/2021  
DATE: (OFFICE) 9/15/2021  
YHA PRO. # 175-21



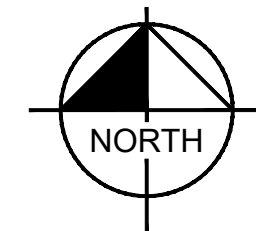
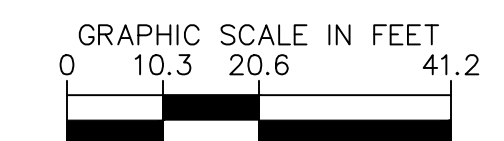
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Call before you dig.



**SEE DEMOLITION NOTES,  
SHEET C0-01.**



NO.	REVISIONS	DATE	BY
1	PRELIMINARY SP RESUBMITTAL	07/05/2023	JFZ
2	PRELIMINARY SP RESUBMITTAL	08/15/2023	JFZ
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4	PRELIMINARY SP REVISION	10/12/2023	JFZ
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DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 10/12/2023  
 KIMLEY-HORN PROJECT NO.  
 018717002

EXISTING CONDITIONS

SHEET NUMBER  
**C1-10**



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 Main: 615.564.2701 | www.kimley-horn.com  
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**EAST BANK HOTEL  
 REVPAR DEVELOPMENT**  
 NASHVILLE, TN



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- ### 206 N 1ST STREET SP DEVELOPMENT STANDARDS
- SPECIFIC PLAN ZONING TO PERMIT UP TO 235 HOTEL ROOMS, ANCILLARY USES, AND 8,000 SF OF USES PER THE MUG-A ZONING DISTRICTS WITH THE EXCEPTIONS OF THOSE IDENTIFIED AS PROHIBITED USES IN THE SP.
  - THE PROPERTY LIES WITHIN THE JEFFERSON-SPRING NEIGHBORHOOD PLAN OF THE EAST BANK VISION PLAN, AND REGULATIONS WILL REMAIN CONSISTENT WITH THE EAST BANK VISION PLAN. THE SITE ALSO FALLS IN THE T6 DOWNTOWN NEIGHBORHOOD (T6-DN) POLICY AREA, AND REGULATIONS WILL REMAIN CONSISTENT ON THE PROPERTY AS DESCRIBED IN THE NASHVILLE NEXT COMMUNITY CHARACTER MANUAL.
  - ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  - THIS PROPERTY LIES WITHIN ZONE X, THE 0.2% ANNUAL CHANCE FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037CO242H, DATED 04/05/2017.
  - ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
  - THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" RCP).
  - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
  - MINOR MODIFICATIONS TO THE PRELIMINARY SP MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
  - FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUI-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OF APPLICATION.
  - STORMWATER FEATURES SHOWN ARE PRELIMINARY AND ILLUSTRATE THE PROPOSED STORMWATER MANAGEMENT APPROACH. THE FINAL DESIGN MUST MEET ALL APPLICABLE STORMWATER REGULATIONS AT THE TIME OF PERMITTING.
  - APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
  - ALL SURFACE PARKING AREAS MUST MEET THE "PARKING AREA SCREENING AND LANDSCAPING" REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE.
  - ACCORDING TO THE NRCS SOIL MAP, THE SOIL ON THE PROPERTY IS LINDELL-URBAN.
  - THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
  - SIGNAGE SHALL MEET METRO DESIGN STANDARDS AND BE REVIEWED WITH THE BUILDING PLANS.
  - ALL DEVELOPMENTS WITHIN THE BOUNDARIES OF THIS PLAN SHALL BE BASED ON THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT, AS APPLICABLE.
  - THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
  - ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
  - THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN PLACE.
  - BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION.
  - THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMIT, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

COMMERCIAL USES	UP TO 8,000 GSF MAX
HOTEL USES	235 UNITS MAX
MAXIMUM FAR	5.00
MAXIMUM ISR	1.0
MAXIMUM BUILDING HEIGHT AT BUILD-TO ZONE (N 1ST ST)	75 FT
BUILD-TO-ZONE (N 1ST ST)	0-15 FT
BUILD-TO-ZONE (OLDHAM ST)	0-25 FT
BUILDING STEPBACK (N 1ST ST)	VARIABLES: 9 FT (MIN.) TO 18 FT
BUILDING STEPBACK (OLDHAM ST)	VARIABLES: 5 FT (MIN.) TO 30 FT
MAX BUILDING HEIGHT	175 FT
PARKING SPACES	MAX PARKING PER UZO STANDARDS

- ### ROW NOTE
- 10' OF ROW TO BE DEDICATED ALONG N 1ST ST FRONTAGE IN ORDER TO REACH REQUIRED 40' HALF-ROW PER THE MCSP. PER NDOT'S DIRECTION, EXISTING CURB LOCATION ALONG N 1ST ST WILL BE RECONSTRUCTED AND STREET-FRONT ZONE WILL INCORPORATE STANDARD SIDEWALK AND FURNISHING ZONE
  - EXISTING ROW ALONG OLDHAM ST IS WIDER THAN REQUIRED BY MCSP. THE STANDARD HALF-SECTION FROM THE EAST BANK VISION PLAN CAN BE CONSTRUCTED WITH NO SIGNIFICANT IMPACT TO EXISTING TRAFFIC PATTERNS.

### METRO PERMITTING REFERENCE

SP CASE NO.:	2023SP-070-001
BUILDING PERMIT:	TBD
GRADING PERMIT:	SWGR TBD
WATER PERMIT:	TBD
SEWER PERMIT:	TBD

### PAVEMENT LEGEND

	HEAVY DUTY ASPHALT PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	MILLING AND REPAVING
	FURNISHING ZONE

### PROHIBITED USES

THE FOLLOWING USES ARE TO BE PROHIBITED FROM USE WITHIN THE SP:

ASSISTED CARE LIVING, HOSPICE, HOSPITAL, NURSING HOME, AUTOMOBILE CONVENIENCE, AUTOMOBILE SERVICE, AUTOMOBILE PARKING, FUNERAL HOME, MOBILE STORAGE UNIT, WAREHOUSE, BOAT DOCK (COMMERCIAL), PARK AND RIDE LOT, ALL UTILITY USES PERMITTED WITHIN MUG-A.

# EAST BANK HOTEL REVPAR DEVELOPMENT

NASHVILLE, TN

REV. NO.	DATE	BY	DESCRIPTION
1	07/05/2023	JFZ	PRELIMINARY SP RESUBMITTAL
2	08/15/2023	JFZ	PRELIMINARY SP RESUBMITTAL
3	09/15/2023	JFZ	PRELIMINARY SP REVISION
4	10/12/2023	JFZ	PRELIMINARY SP REVISION
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DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: 10/12/2023  
KIMLEY-HORN PROJECT NO. 018717002



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METRO PERMITTING REFERENCE	
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BUILDING PERMIT:	TBD
GRADING PERMIT:	SWGR TBD
WATER PERMIT:	TBD
SEWER PERMIT:	TBD

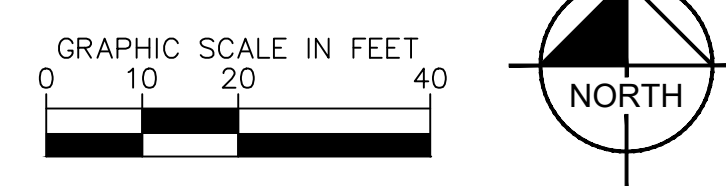
  

PAVEMENT LEGEND	
	HEAVY DUTY ASPHALT PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	MILLING AND REPAVING
	FURNISHING ZONE

**EAST BANK HOTEL  
 REVPAR DEVELOPMENT**  
 NASHVILLE, TN

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 DRAWN BY: \_\_\_\_\_  
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**STORMWATER DESIGN INTENT**

LID REQUIREMENTS TO BE MET PER METRO STORMWATER MANUAL USING COMBINATION OF GREEN ROOF AND URBAN BIORETENTION. RESULTING CURVE NUMBER REDUCTION FROM LID MEASURES WILL REDUCE POST-DEVELOPMENT PEAK FLOWS SUCH THAT DEDICATED STORMWATER DETENTION WILL NOT BE NECESSARY.

**FLOODPLAIN NOTE**

THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" (AREAS OF 0.2% ANNUAL CHANCE FLOODPLAIN) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0242H.

- BASE FLOOD ELEVATION = 415.00'
- MIN. AMENITY SPACE ELEVATION = 416.00'+

EXISTING SITE CONDITIONS TO BE ANALYZED FOR FLOODPLAIN STORAGE VOLUME. ANY PROPOSAL OF UNCOMPENSATED FILL IN THE FLOODPLAIN OR UNDERGROUND FLOODPLAIN STORAGE TO BE REVIEWED AND APPROVED BY METRO WATER SERVICES.



PROPOSED CONNECTION TO EXISTING STORM INLET AT THE INTERSECTION OF OLDHAM ST AND COWAN ST

PROPOSED URBAN BIORETENTION PLANTER PER MWS LID STANDARDS. SEE PRECEDENT IMAGES THIS SHEET

TIE IN TO INTERNAL PLUMBING LINES FROM ROOF DRAINS. GREEN ROOF TO BE LOCATED ON ROOFTOP AREAS



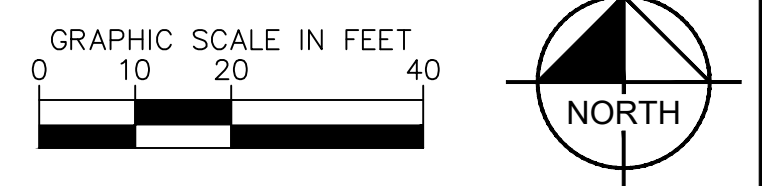
**URBAN BIORETENTION PLANTER PRECEDENT IMAGES**

**GRADING NOTES**

1. CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.14 OF THE TENNESSEE GENERAL NOTES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
3. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
4. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
5. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
6. THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
7. EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
8. SEDIMENTATION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE-HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
9. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
10. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
11. CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
12. SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOIL.
13. INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
14. TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
15. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
16. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-8007
17. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

**GRADING PLAN LEGEND**

	SPOT ELEVATION		LOW POINT
	HIGH POINT		BOTTOM OF CURB / GUTTER LINE
	TOP OF CURB		BOTTOM OF EXPOSED WALL
	EXISTING GRADE		TOP OF GRATE / COVER
	TOP OF EXPOSED WALL		
	INVERT		
	FINISH FLOOR ELEVATION		
	EXISTING CONTOUR		
	PROPOSED CONTOUR		



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**EAST BANK HOTEL  
REVPAR DEVELOPMENT**  
NASHVILLE, TN

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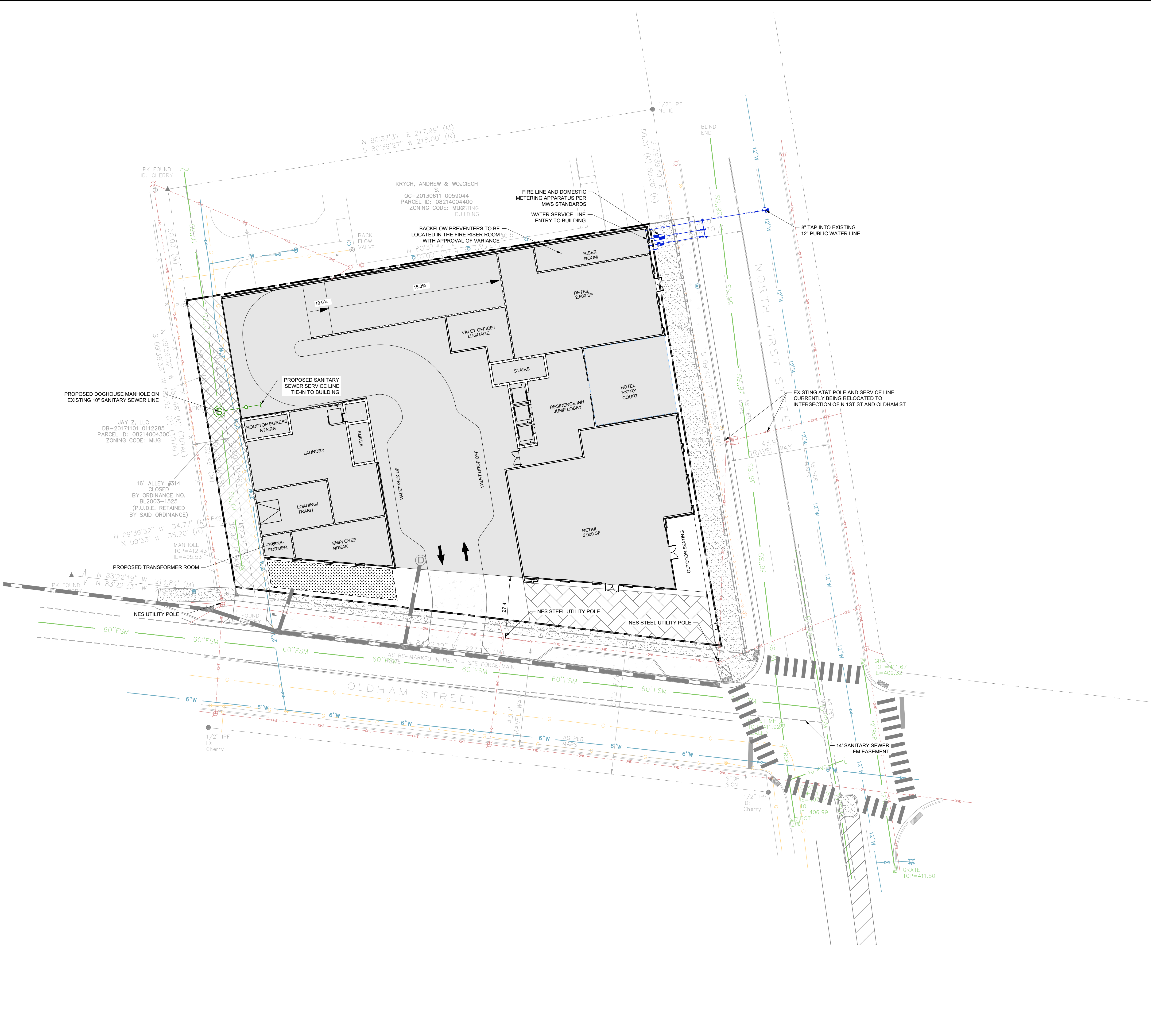
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DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: 10/12/2023  
KIMLEY-HORN PROJECT NO. 018717002

**GRADING AND DRAINAGE PLAN**

SHEET NUMBER  
**C4-00**



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**METRO NASHVILLE WATER SERVICES STANDARD NOTES**

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO NASHVILLE WATER SERVICES THE COST OF INSPECTION.
3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEOTAPING MUST BE COORDINATED WITH THE METRO NASHVILLE WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO NASHVILLE WATER SERVICES.
7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (.DWG) FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
12. ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO NASHVILLE WATER SERVICES.
13. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
14. IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
15. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
16. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEAN OUT ASSEMBLY, UNLESS OTHERWISE NOTED.
17. BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
18. PLAN SIZE SHALL BE 24" X 36", AND SHALL SHOW CONTOURS AROUND METER BOXES.

**UTILITY NOTES**

1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS.
4. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
5. REFER TO METRO NASHVILLE WATER SERVICES STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
6. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
7. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
8. CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER METRO WATER SERVICES STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.
9. SITE ELECTRICAL TO BE TAKEN UNDERGROUND WHERE FEASIBLE WITHIN THE PROJECT LIMITS.

**EXISTING UTILITIES NOTE**

CONTRACTOR SHALL VERIFY LOCATION, DEPTHS, AND SIZES OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.



**EAST BANK HOTEL  
REVPAR DEVELOPMENT**  
NASHVILLE, TN

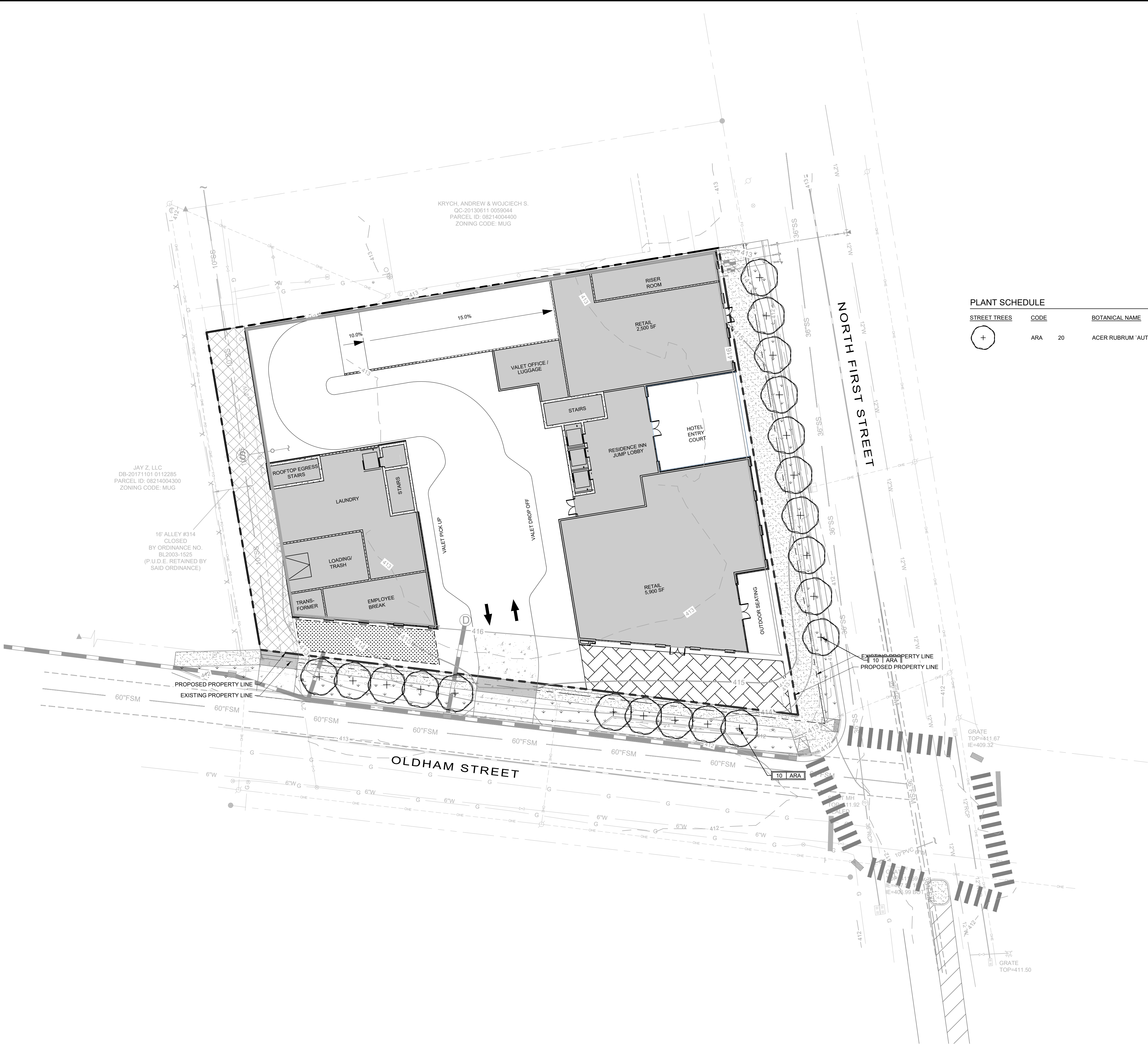
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DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	10/12/2023
KIMLEY-HORN PROJECT NO.	018717002

UTILITY PLAN  
SHEET NUMBER  
**C6-00**



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LANDSCAPE REQUIREMENTS	
<b>STREET TREES:</b> ONE CANOPY TREE PER EVERY 30 LF, OR ONE UNDERSTORY TREE PER EVERY 20 LF WHEN OVERHEAD POWERLINES ARE PRESENT.	
<b>NORTH FIRST STREET</b> REQUIRED: 9.75 UNDERSTORY TREES (195 LF / 20) PROVIDED: 10 UNDERSTORY TREES	
<b>OLDHAM STREET</b> REQUIRED: 9.35 UNDERSTORY TREES (187 LF / 20) PROVIDED: 10 UNDERSTORY TREES	
<b>INTERIOR PARKING AREAS:</b> INTERIOR PARKING AREAS LANDSCAPE IS NOT REQUIRED.	
<b>REQUIRED BUFFERS:</b> LANDSCAPE BUFFERS NOT REQUIRED.	
<b>PERIMETER PARKING SCREENING:</b> PERIMETER PARKING SCREENING IS NOT REQUIRED.	

**PLANT SCHEDULE**

STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
+	ARA 20	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	AS SHOWN	3" CAL.	B&B	FULL; MATCHED

**TREE DENSITY UNIT (TDU) WORKSHEET** (Ordinance 94-1104) REV Sept-2019

Date	6/14/2023
Map	082 Parcel 04600
Application Number	
Project Name	East Bank Hotel
Address	206 N 1st Street Nashville TN 37213

Acreage (area of parcel including building site)	0.82
Minus Building Coverage Area	(-) 0.6
Equals Adjusted Acreage	(=) 0.22
Multiply by Required Tree Density Unit per acre	(x) 22
Required TDU for Project	(=) 4.84

HERITAGE TREE(S) RETAINED			
DBH	# of Trees	Value	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
*Greater than 24" equals DBH x .5 per inch			
total			0
add total to line 6			

RETAINED TREE(S)			
DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
total			0
add total to line 6			

RETAINED TREE(S)			
DBH	# of Trees	Value	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
total			0
add total to line 6			

RETAINED TREE(S)			
DBH	# of Trees	Value	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
total			0
add total to line 6			

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES			
DBH	# of Trees	Value	TDU
2"		x .5	0
3"		x .6	0
4"		x .7	0
5"		x .9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
total			0
add total to line 7			

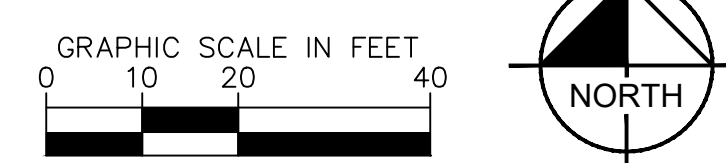
REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*			
DBH	# of Trees	Value	TDU
2"		x .25	0
3"	20	x .3	6
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
total			6
add total to line 7			

**EXAMPLES but not limited to:**  
Deciduous- Oak, Maple, Poplar, Planetree, Ginkgo  
Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar  
Mature height greater than 30'

**EXAMPLES but not limited to:**  
Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo  
Understory Deciduous-Deciduous- Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple  
Understory Evergreen- Dwarf Magnolia, Hybrid Holly, Cherry Laurel (tree form)  
Mature height avg. 30' or less.  
Small Understory Columnar varieties receive no TDU credit

Total TDU Retained on-site	0
Total TDU for Replacement Trees- On-site	(+) 6
Total Credits Paid to Tree Mitigation Bank*	(+) 6
Total Density Units Provided	(=) 6

1 Credit = 1 TDU = \$725.00
total must exceed lines 5



**EAST BANK HOTEL  
REVPAR DEVELOPMENT**  
NASHVILLE, TN

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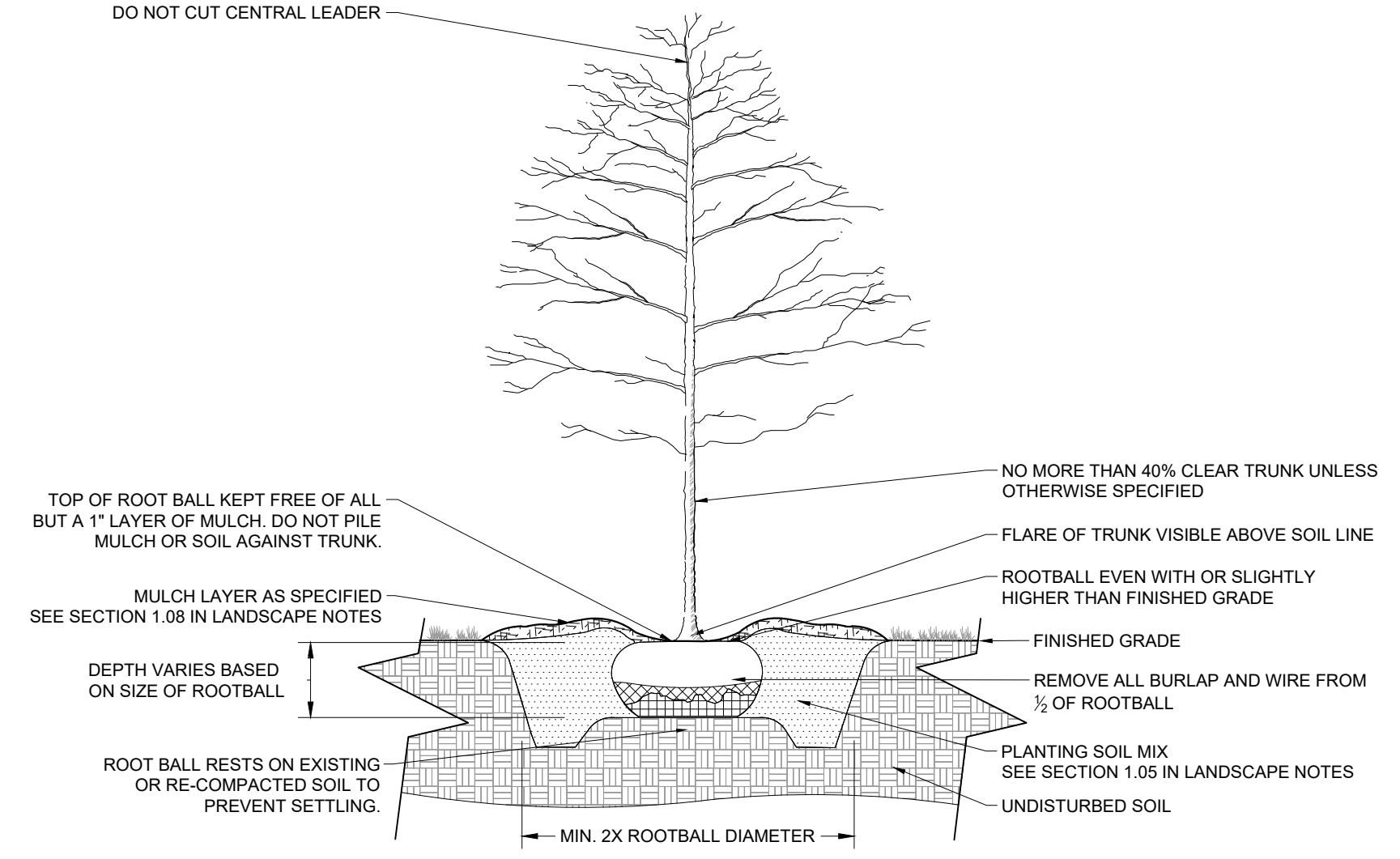
DESIGNED BY:	OAS
DRAWN BY:	OAS
CHECKED BY:	CJJ
DATE:	10/12/2023
KIMLEY-HORN PROJECT NO.	018717002



**GENERAL LANDSCAPE SPECIFICATIONS AND NOTES**

- 1.01 SCOPE OF WORK
A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
C. THE CONTRACTOR SHALL CONTACT THE OWNER AND TENNESSEE ONE CALL AT (615) 351-1111, TWO (2) FULL BUSINESS DAYS PRIOR TO THE BEGINNING OF WORK.
D. THE CITY MUST APPROVE ALL WORK HOURS AND LANE CLOSURE REQUESTS AT LEAST TWO (2) FULL WORKING DAYS IN ADVANCE OF THE START OF ANY SUCH WORK ON A LOCATION BY LOCATION BASIS. THE INDIVIDUALS INSTALLING THE MAINTENANCE OF TRAFFIC SETUP SHALL HAVE COMPLETED A TOOT APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE. DOCUMENTATION SHALL BE FURNISHED TO THE CITY AT THE PRE-CONSTRUCTION MEETING OR PRIOR TO START OF WORK.
E. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHEREBY TRAFFIC CONTROL SIGNAGE AND DEVICES ARE VISIBLE TO MOTORISTS AND PEDESTRIANS.
1.02 PROTECTION OF EXISTING STRUCTURES
A. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO TDO, COUNTY, OR CITY STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF COMPLIANCE WITH THIS SECTION WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
1.03 PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPIILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE, NO MATERIALS SHALL BE BURIED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MESSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS INKED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
1.04 MATERIALS
A. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE LANDSCAPE ARCHITECT. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.
MATERIAL SAMPLE SIZE
MULCH ONE (1) CUBIC FOOT
TOPSOIL MIX ONE (1) CUBIC FOOT
PLANTS ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
B. PLANT MATERIALS
1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS SET FORTH IN ANSI Z60.1-2014-AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
2. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE ROOTBALL OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
3. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE. AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
1.05 SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 3/4 LOOSE COMPOST (NO GREATER THAN 1" SIV), 1/4 PEAT AND 1/4 SAND, AS DESCRIBED BELOW.
B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0. SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR APPROVAL BY THE OWNER.
D. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL, ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
1.06 WATER
A. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
1.07 FERTILIZER
A. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
1.08 MULCH
A. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS UNLESS OTHERWISE NOTED. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE SHREDDED HARDWOOD.
1.09 DIGGING AND HANDLING
A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT.
B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
C. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. ALL TREES SHALL BE PLANTED AS INDICATED ON DRAWINGS, COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH OF PLANTING SOIL.
1.10 CONTAINER GROWN STOCK
A. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
B. ALL SHRUB SPECIES SHALL BE CONTAINER GROWN.
C. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TIPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
D. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
E. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
1.11 MATERIALS LIST
A. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
1.12 FINE GRADING
A. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
B. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEERS' PLANS FOR FINAL GRADES, IF APPLICABLE.

- 1.13 PLANTING PROCEDURES
A. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL, WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
B. SUBGRADE EXCAVATION: THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" AT TREES AND 18" AT SHRUBS AND PERENNIALS. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISH GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 96" AND DEEP EXCAVATION BY THE CONTRACTOR AND POSITIVE DRAINAGE CANNOT BE ACHIEVED, THE CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
C. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CONTACT TENNESSEE ONE CALL AT (615) 351-1111 TO LOCATE ALL UTILITIES.
D. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
E. GENERAL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
F. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
G. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 - AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
H. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
I. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 1.05 OF THESE SPECIFICATIONS.
J. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE, EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMING).
K. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12", REMOVE AND DISPOSE ALL DEBRIS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05, THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
L. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO HAVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
M. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
1.14 LAWN SODDING
A. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
B. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
C. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
D. SODDING
1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS NOT COVERED BY HARDSCAPE OR VEGETATIVE MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE.
2. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
3. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
E. LAWN MAINTENANCE
1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RE-GRADEING IF NECESSARY).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
1.15 CLEANUP
A. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
1.16 PLANT MATERIAL MAINTENANCE
A. ALL PLANTS AND PLANTINGS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
1.17 FINAL INSPECTION AND ACCEPTANCE OF WORK
A. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
1.18 WARRANTY
A. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
B. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION DURING THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS OF NOTICE, OR BETWEEN SEPTEMBER-NOVEMBER, MARCH-MAY. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
C. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.



**1 B&B TREE PLANTING**  
NOT TO SCALE

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**EAST BANK HOTEL  
REVPAR DEVELOPMENT**  
NASHVILLE, TN

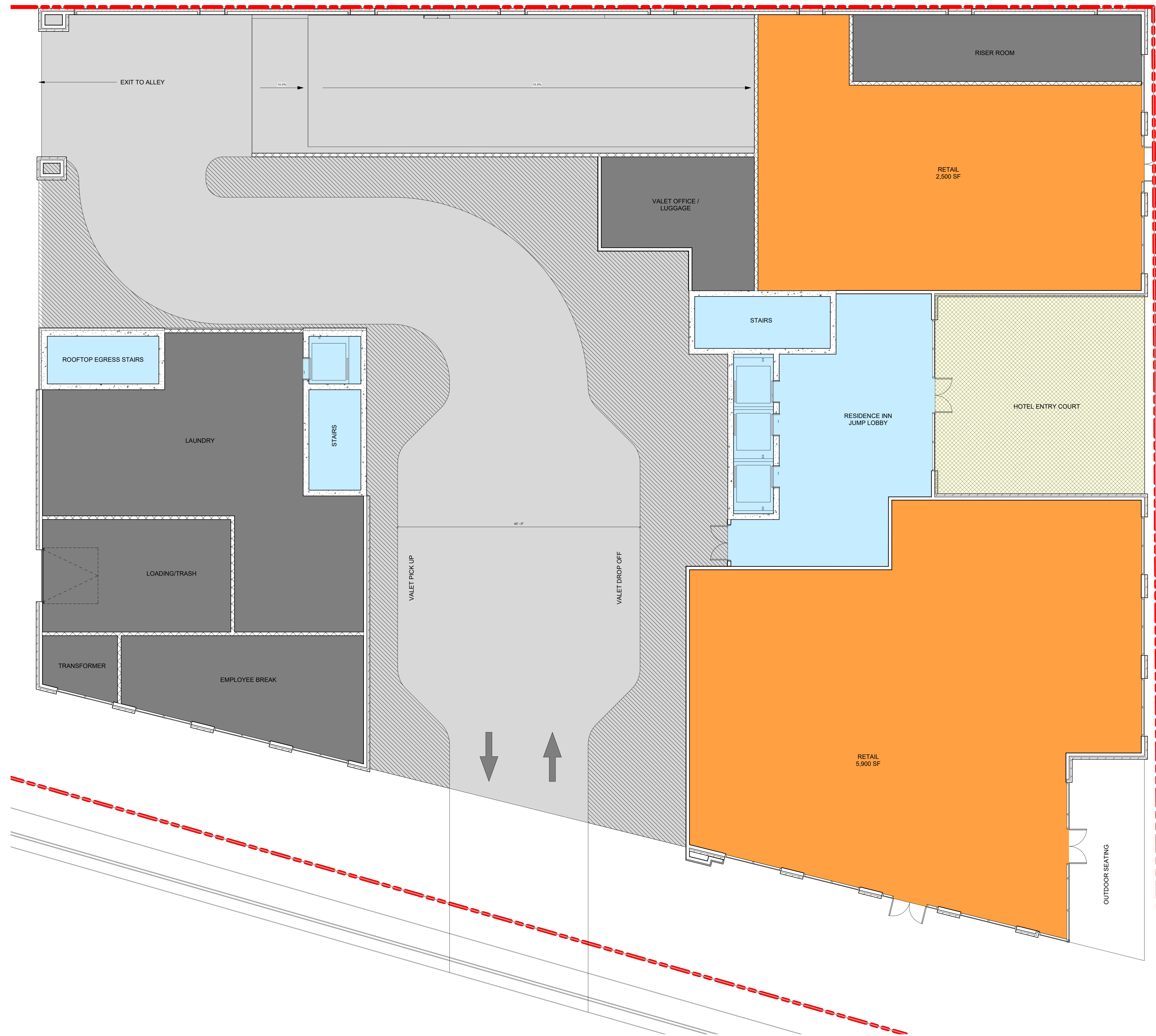
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PRELIMINARY SP RESUBMITTAL	JPZ	08/12/2023
PRELIMINARY SP REVISION	JPZ	09/15/2023
PRELIMINARY SP REVISION	JPZ	10/12/2023

No.	1	2	3	4	5	6	7	8	9	10
DESIGNED BY:										OAS
DRAWN BY:										OAS
CHECKED BY:										CJJ
DATE:										10/12/2023
KIMLEY-HORN PROJECT NO. 018717002										

LANDSCAPE DETAILS

SHEET NUMBER  
**L1-50**





**LEGEND**

- BOH
- CIRCULATION
- CORE
- OUTDOOR AMENITIES
- OUTDOOR SPACE
- PARKING
- PUBLIC/AMENITY SPACES
- RESIDENCE INN GUESTROOMS
- RETAIL
- TRIBUTE GUESTROOMS

**AREA SCHEDULE**

Name	Area
BOH	16,372 SF
CIRCULATION	39,361 SF
OUTDOOR AMENITIES	7,966 SF
PARKING	62,892 SF
PUBLIC/AMENITY SPACES	17,483 SF
RESIDENCE INN GUESTROOMS	122,204 SF
RETAIL	7,311 SF
<b>TOTAL</b>	<b>272,608 SF</b>

**1 LEVEL 01**  
SCALE: 1/8" = 1'-0"

SEAL:

ARCHITECT:

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DEVELOPMENT:

**Residence INN**  
BY MARRIOTT

206 NORTH 1ST STREET  
NASHVILLE, TN 37213

OWNER:

**RevPAR** COMPANIES

**EMERGE** HOSPITALITY GROUP

ATLANTA, GA

CONSULTANT:

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08/30/2023	PRELIM SP RESUBMITTAL	
10/12/2023	ELEVATION REVISIONS	

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SHEET TITLE:

**OVERALL PLAN - LEVEL 01**

SHEET NUMBER:

**A1-01**





LEGEND

- BOH
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SHEET TITLE:

OVERALL PLAN -  
LEVEL 02-04

SHEET NUMBER:

A1-02

1 LEVEL 02  
SCALE: 1/8" = 1'-0"









**LEGEND**

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08/30/2023	PRELIM SP RESUBMITTAL	
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ELEVATE PROJECT NUMBER: 23-04.02

SHEET TITLE:

**OVERALL PLAN - LEVEL 06-13**

SHEET NUMBER:

**A1-04**

**1 LEVEL 06**  
SCALE: 1/8" = 1'-0"

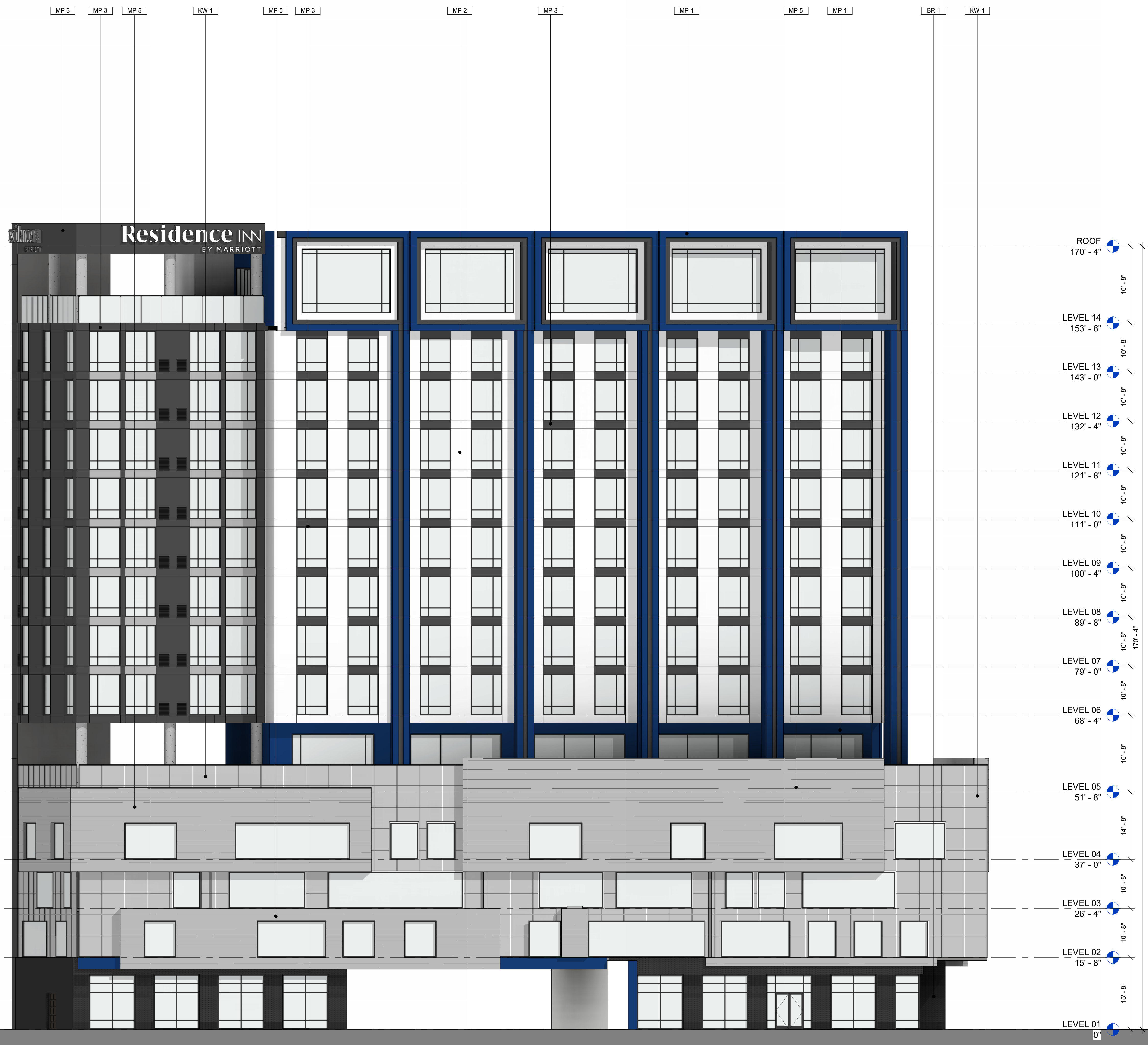






EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
DIVISION 04			
BR-1	BRICK VENEER	TBD	BLACK
DIVISION 05			
AS-1	ARCHITECTURAL SCREENING	TBD	TBD
MR-1	METAL RAILING	TBD	TBD
DIVISION 07			
CP-1	CEMENTITIOUS PANELING	TBD	WHITE
CP-2	CEMENTITIOUS PANELING	TBD	CHARCOAL
CP-3	CEMENTITIOUS PANELING	TBD	LIGHT GREY
MP-1	METAL PANEL	TBD	BLUE
MP-2	METAL PANEL	TBD	WHITE
MP-3	METAL PANEL	TBD	CHARCOAL
MP-4	METAL PANEL	TBD	SILVER
MP-5	METAL PANEL	TBD	MULTI-COLORED
DIVISION 08			
KW-1	TRANSLUCENT WALL PANEL	TBD	OPAQUE

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1 SOUTH ELEVATION (OLDHAM STREET)  
SCALE: 3/32" = 1'-0"

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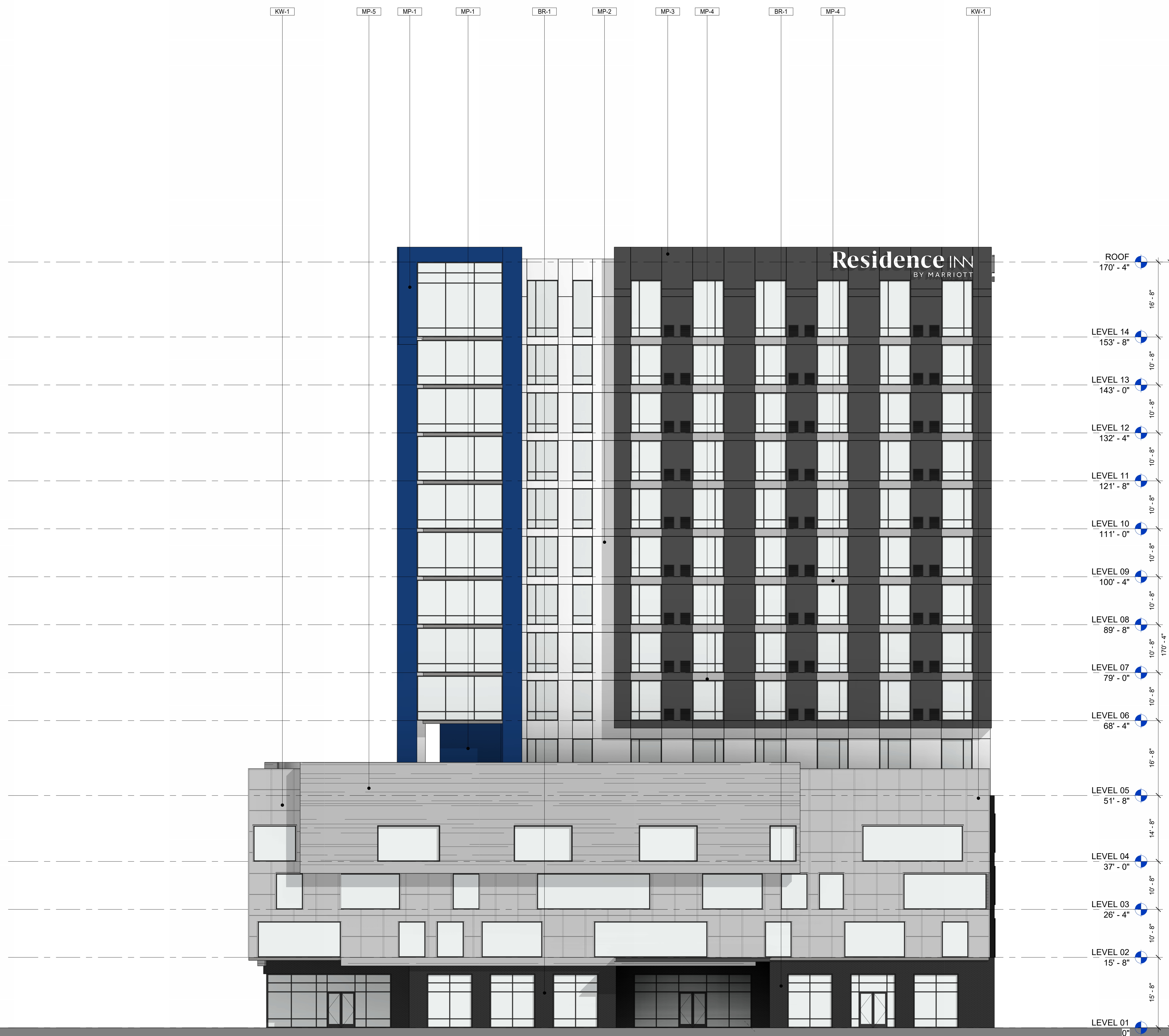
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**A2-01**



EXTERIOR FINISHES			
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DIVISION 05			
AS-1	ARCHITECTURAL SCREENING	TBD	TBD
MR-1	METAL RAILING	TBD	TBD
DIVISION 07			
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1 EAST ELEVATION (NORTH FIRST STREET)  
SCALE: 3/32" = 1'-0"

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**BUILDING ELEVATIONS**

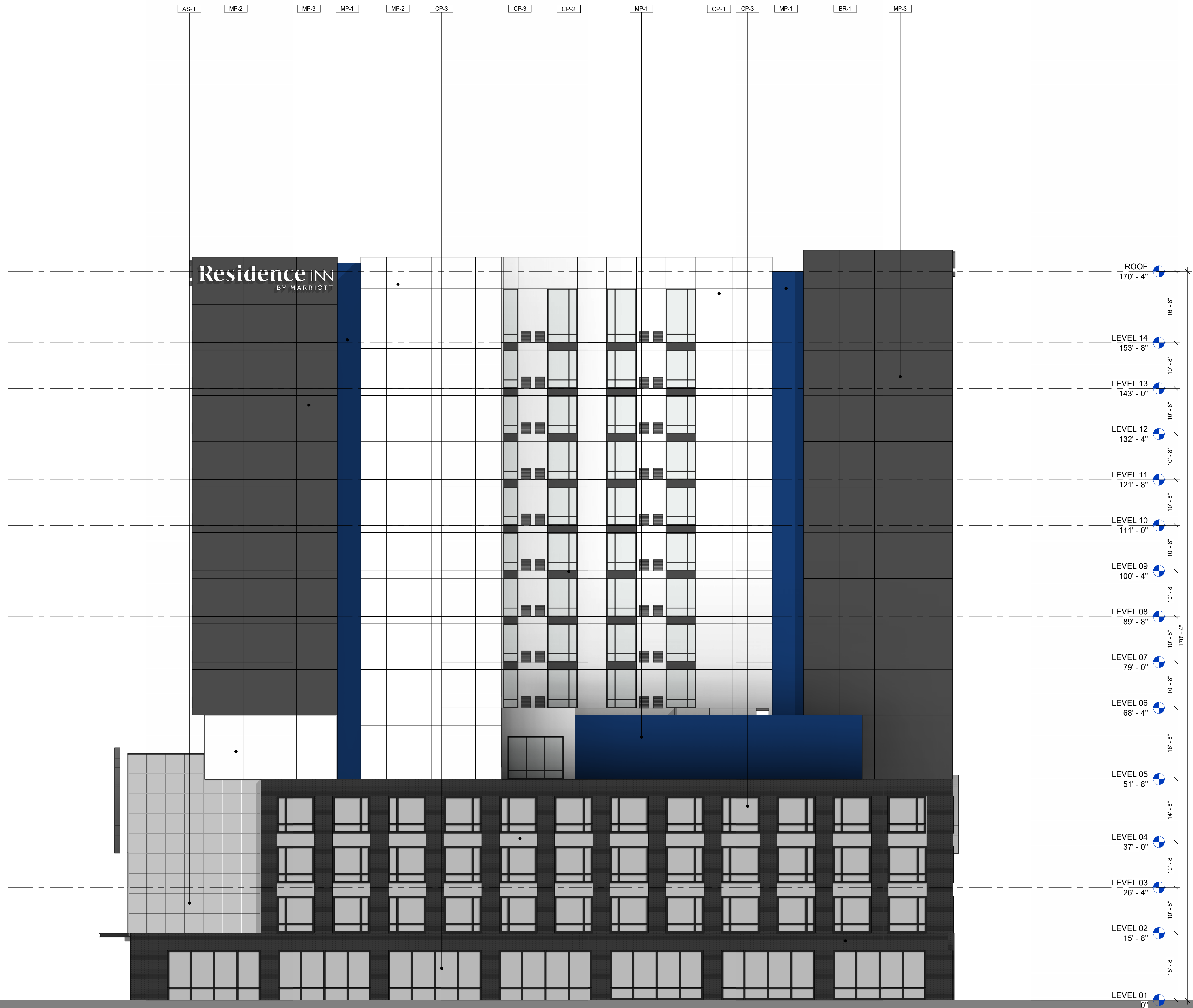
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**BUILDING ELEVATIONS**

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**A2-04**

**1** NORTH ELEVATION  
SCALE: 3/32" = 1'-0"