

CLARKSVILLE PIKE

PRELIMINARY SPECIFIC PLAN DOCUMENT

Modified : 05/14/2024

2019SP-066-005

SUBMITTED 06/11/25
RESUBMITTED 07/01/25

Specific Plan Approval

☒ Preliminary ☐ Final ☐ Amendment

☐ Full ☒ Conditional See Letter of
08/16/2024

Council Bill No. BL2020-124

MPC Date 07/25/2024

Admin. Date 09/10/2024

By Dustin Shane, AICP

METROPOLITAN PLANNING COMMISSION

Corrected Copy

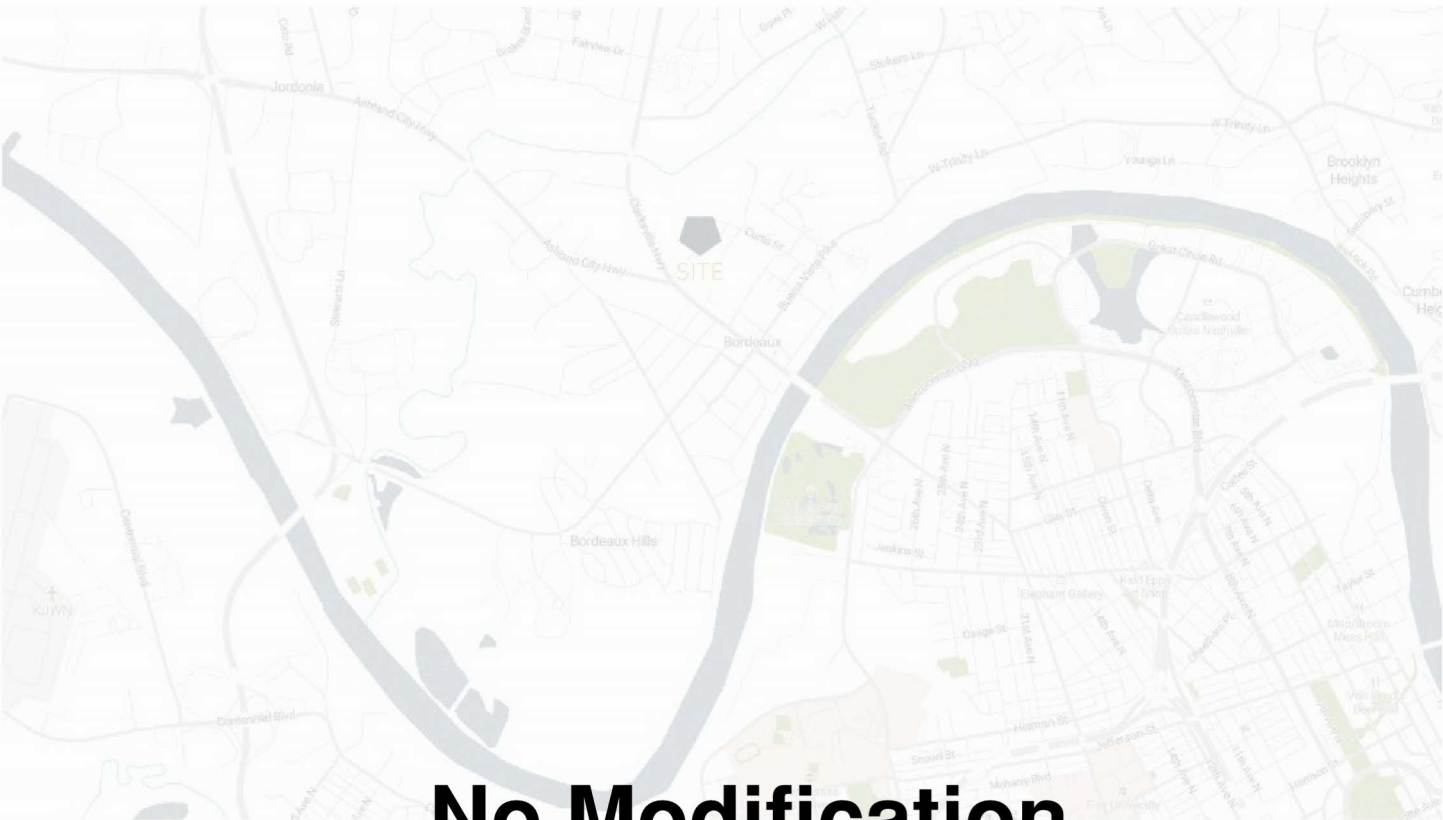


Kimley»Horn

Council Bill No. BL2020-124

PROJECT BACKGROUND

LOCATION



SITE INFO

Site is on +/- 11.49 Acres of land located at:
3800, 3730, 3726, 3724, 3720 Clarksville Pike
0 Bellefield Avenue
Nashville, Tennessee 37218
Council District #02: Kyonzté Toombs

Owner:
Jerry N. & Belinda C. Vanatta
3724 Clarksville Pike
Nashville, TN 37207

Owner's Representative:
Southern Athena
1220 Gallatin Ave
Nashville, TN 37204
ATTN: Elizabeth Gatlin
elizabeth@southernathena.com

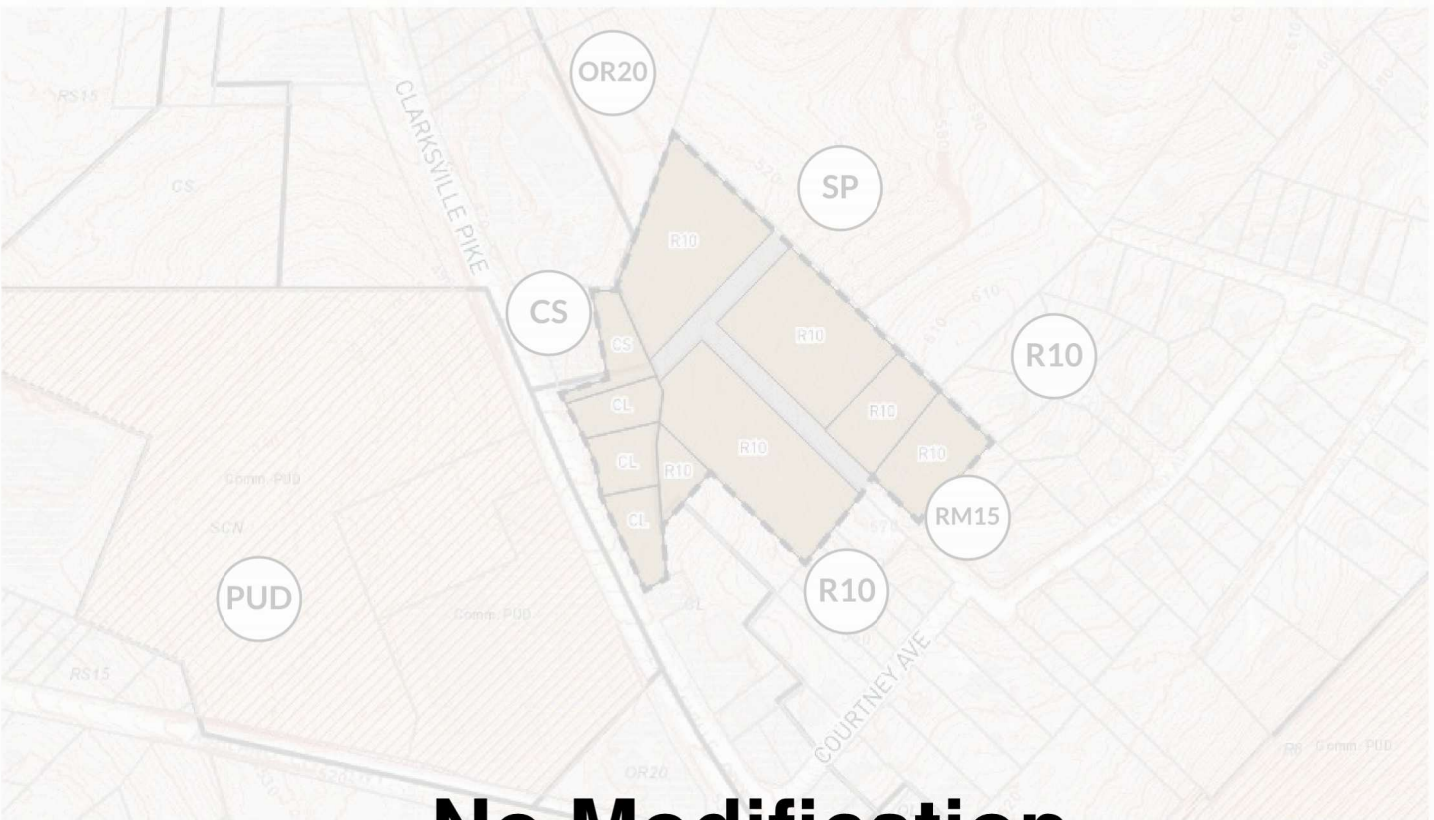
2024 Modification:

OWNER OF RECORD: CLARKSVILLE PIKE, LLC
300 TICE BLVD STE 165
WOODCLIFF LAKE, NJ 07677

Applicant/Land Planner:
Kimley-Horn
214 Oceanside Drive
Nashville, TN 37204
ATTN: Ben Miskelly, AICP
ben.miskelly@kimley-horn.com

Architect:
Southern Athena
1220 Gallatin Ave
Nashville, TN 37204
ATTN: Elizabeth Gatlin
elizabeth@southernathena.com

ZONING AND LAND USE POLICY



LAND USE POLICY:

PARCEL	ADDRESS	EXISTING POLICY	PROPOSED POLICY	OWNER
06912002400*	0 BELLEFIELD AVE	T3 NE	T3 CM	VANATTA, JERRY N. & BELINDA C., TRS.
06912004400	0 BELLEFIELD AVE	T3 NE	T3 CM	VANATTA, JERRY N. & BELINDA C., TRS.
06912002800	3724 CLARKSVILLE PIKE	T3 NE	T3 CM	VANATTA, JERRY N. & BELINDA C., TRS.
06912004500	0 BELLEFIELD AVE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.
06912004600	0 BELLEFIELD AVE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.
06912004700	0 BELLEFIELD AVE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.
06912008200	3800 CLARKSVILLE PIKE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.
06912002600	3730 CLARKSVILLE PIKE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.
06912002700	3726 CLARKSVILLE PIKE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.
06912002900	3720 CLARKSVILLE PIKE	T3 NE	T3 NE	VANATTA, JERRY N. & BELINDA C., TRS.

*Part of Parcel
All portions of properties highlighted are within the T3 Urban Neighborhood Evolving Policy and are seeking change to T3 Urban Mixed-Use Corridor.

NOTE:
FULL SCALE SURVEY
INCLUDED WITH
ATTACHMENTS TO THIS
SP BOOKLET





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T3NE Intent: Create and enhance suburban neighborhoods with the best qualities of classic suburban neighborhoods - greater housing choice, improved connectivity, and more creative, innovative, and environmentally sensitive development techniques.

Appropriate Zoning Districts:

- RS7.5, RS7.5-A
- R8, R8-A
- R10, RS10
- R15, RS 15
- RM9-A
- RM15-A
- RM20-A
- Design-based zoning

T3CM Intent: Enhance suburban mixed use corridors by encouraging a greater mix of higher-density residential and mixed use development along the corridor, prioritizing higher intensity mixed use and commercial uses at intersections with preference given to residential uses between intersections; creating buildings that are compatible with the general character of suburban neighborhoods; and a street design that moves vehicular traffic efficiently while accommodating sidewalk., bikeways, and existing or planned mass transit.

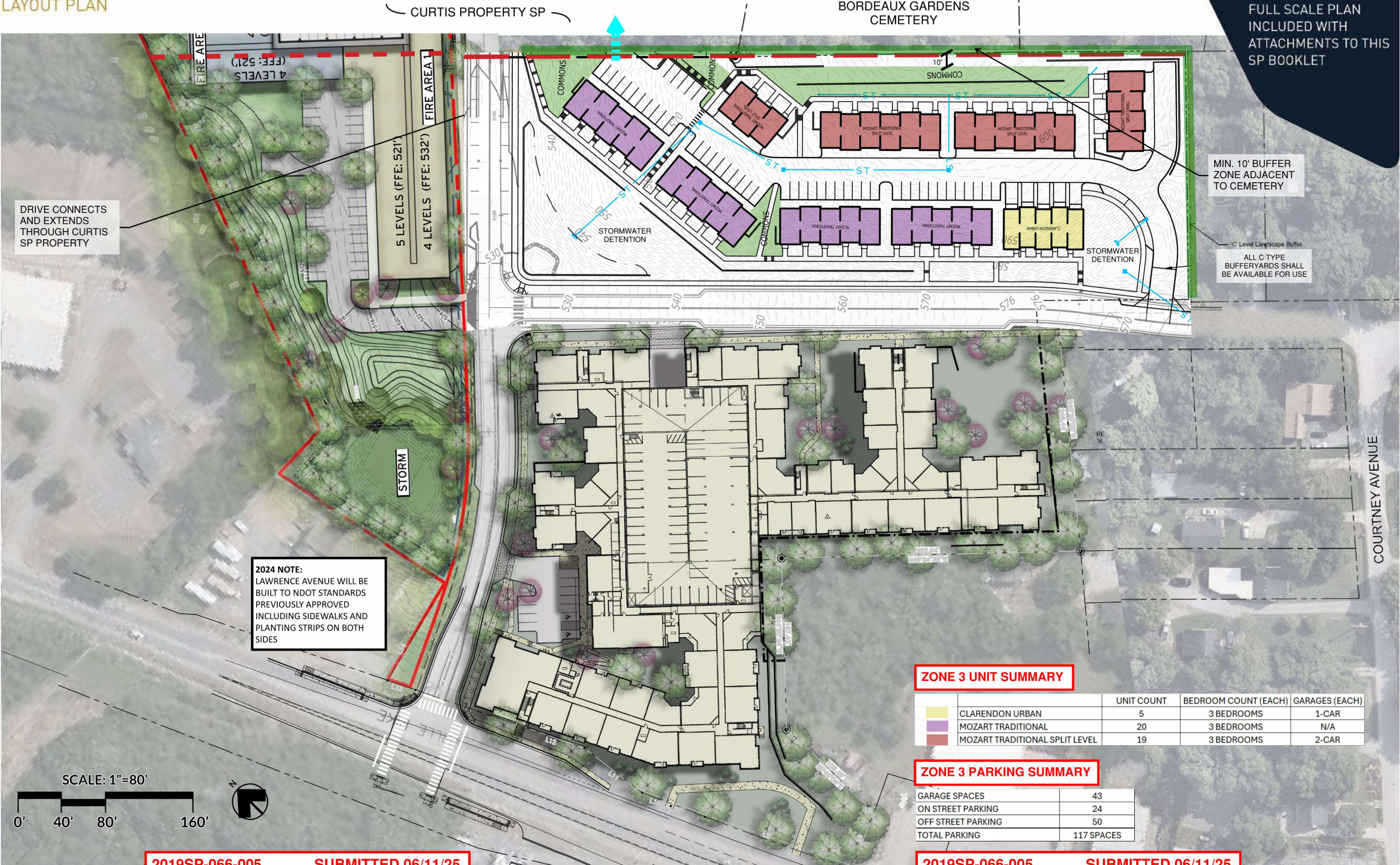
Appropriate Zoning Districts:

- RM9-A
- RM15-A
- RM20-A
- MUL-A
- OR20-A
- CS, CL
- Design-based zoning

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SITE DESIGN
LAYOUT PLAN

NOTE:
FULL SCALE PLAN
INCLUDED WITH
ATTACHMENTS TO THIS
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ZONE 3 UNIT SUMMARY

	UNIT COUNT	BEDROOM COUNT (EACH)	GARAGES (EACH)
CLARENDON URBAN	5	3 BEDROOMS	1-CAR
MOZART TRADITIONAL	20	3 BEDROOMS	N/A
MOZART TRADITIONAL SPLIT LEVEL	19	3 BEDROOMS	2-CAR

ZONE 3 PARKING SUMMARY

GARAGE SPACES	43
ON STREET PARKING	24
OFF STREET PARKING	50
TOTAL PARKING	117 SPACES

SITE BULK STANDARDS AND REGULATIONS

Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The Planning Department may allow necessary adjustments to the build-to zone when existing utilities or utility easements are within the build-to zone and unusual circumstances require that the utilities cannot be relocated or easements reduced. The Planning Department may allow necessary adjustments to the build-to zone based on the nature of the existing and future land uses and site conditions in the general vicinity.

SITE WIDE BULK STANDARDS

Zoning and Uses: RM20-A (T3NE)

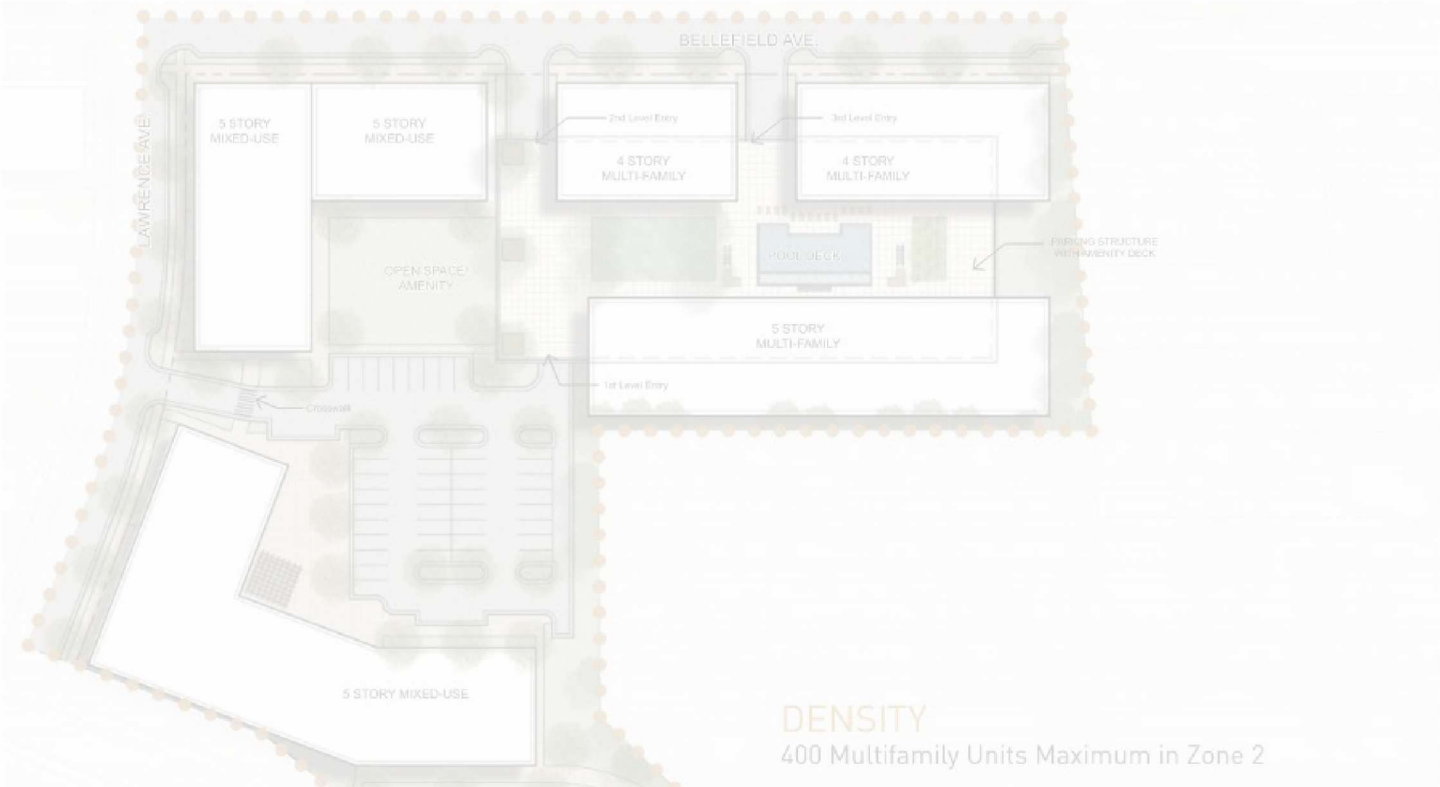
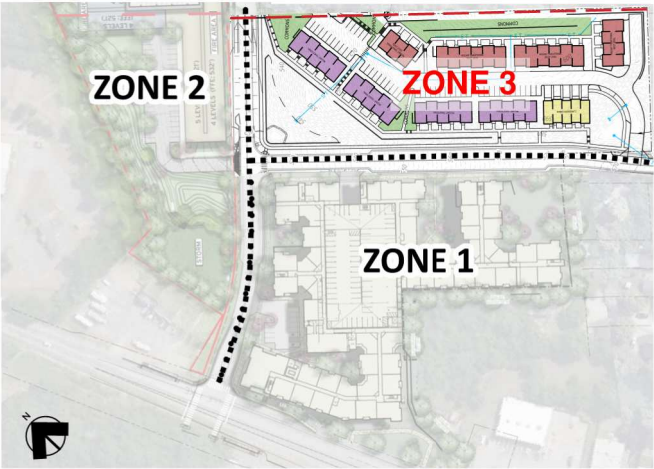
Fall Back Zoning: MUL-A (T3CM)

2025 Modification: This SP shall allow the construction of a total of 469 residential units

2024 Modification:
Revision Purpose Note: This revision is to modify Zone 2 into a more constructible form addressing the topography, and market conditions of the site.

The purpose of this SP is to receive preliminary approval to permit the development of a 11.49 acre mixed-use development as shown.

For any development standards, regulations and requirements not specifically shown on the SP plan and /or included as a condition of Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning.



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is to provide a mixture of 4 and 5 story mixed-use structures containing ground floor commercial with units above.

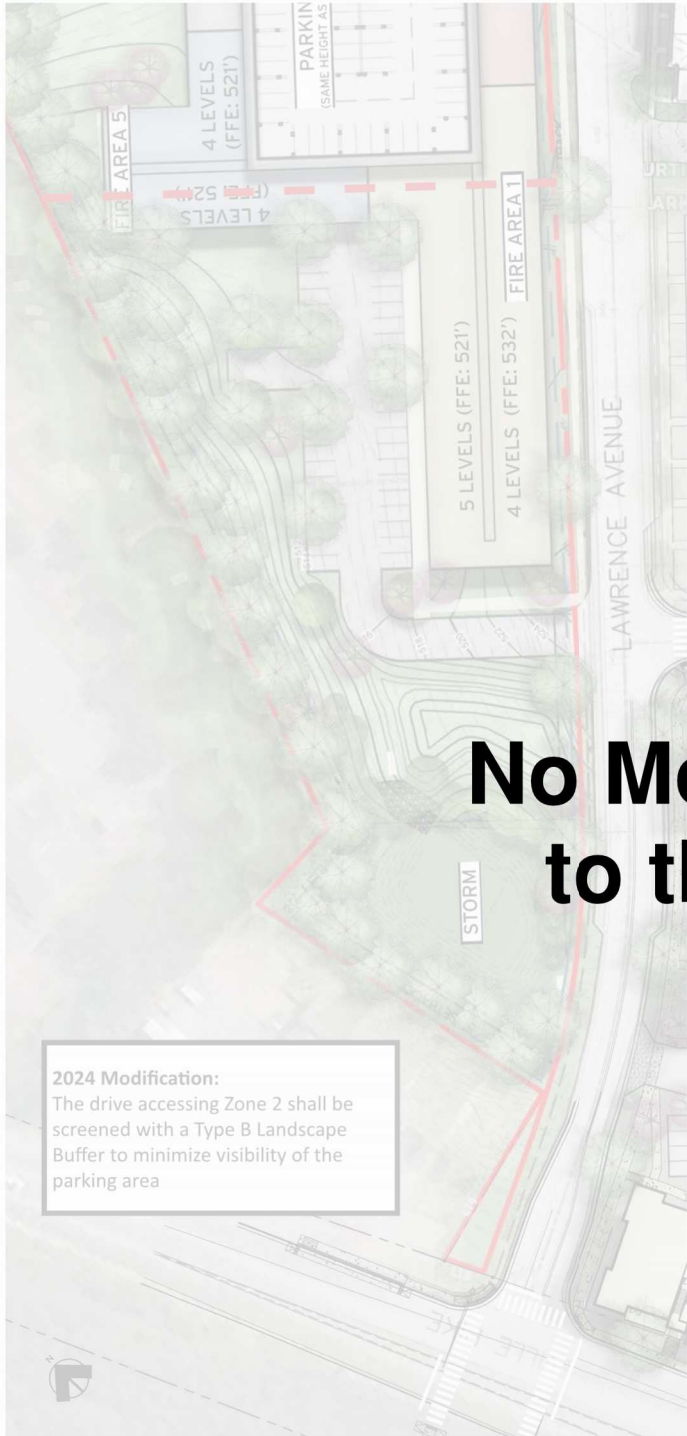
BULK STANDARD	ZONE 1	ZONE 2	ZONE 3
Height			
Primary District Height ⁽¹⁾	95'	95'	50'
Residential Raised Foundation ⁽²⁾	18" - 5'	18" - 5'	18" - 5'
Commercial Raised Foundation ⁽²⁾	0' - 5'	0' - 5'	N/A
Developable Area			
Floor Area Ratio (FAR)	4.0	2.0	3.0
Impervious Surface Ratio (ISR)			.8
Front Build-To	0' - 15' Build-To	0 - 15' Build-To	5' - 25' Build-To
Rear Setback	5'	5'	10'
Side Setback	5'	5'	5'
Minimum Building Separation	10'	10'	5'
Glazing (min.)			
Ground Floor (Commercial)	30%	30%	N/A
Ground Floor (Residential)	20%	20%	20%
Upper Stories	15%	15%	20%

2024 Modification: Height Standards: See Page 18

2. 5' permitted with additional landscape and screening standards where topography challenges exist, see Landscape and Open Space Standards- Foundation Screening for detail.

BULK STANDARD	ZONE 1
Height	
Primary District Height	95'
Residential Raised Foundation	18" - 5'
Commercial Raised Foundation	0' - 5'
Developable Area	
Floor Area Ratio (FAR)	4.0
Impervious Surface Ratio (ISR)	.90
Front Build-To	0' - 15' Build-To
Rear Setback	5'
Side Setback	5'
Minimum Building Separation	10'
Glazing (min.)	
Ground Floor (Commercial)	30%
Ground Floor (Residential)	20%
Upper Stories	15%





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2024 Modification:
The drive accessing Zone 2 shall be screened with a Type B Landscape Buffer to minimize visibility of the parking area

BULK STANDARD	ZONE 2
Height	
Primary District Height	95'
Residential Raised Foundation	18" - 5'
Commercial Raised Foundation	0' - 5'
Developable Area	
Floor Area Ratio (FAR)	2.0
Impervious Surface Ratio (ISR)	.90
Front Build-To	0 - 15' Build-To
Rear Setback	20'
Side Setback	5'
Minimum Building Separation	10'
Glazing (min.)	
Ground Floor (Commercial)	30%
Upper Stories	20%
	15%



DENSITY
200 Multifamily Units Maximum in Zone 2

INTENT
2024 Modification:
The intent of Zone 2 is to provide 4-5 story multi-family units. Buildings will be garage or surface parked.



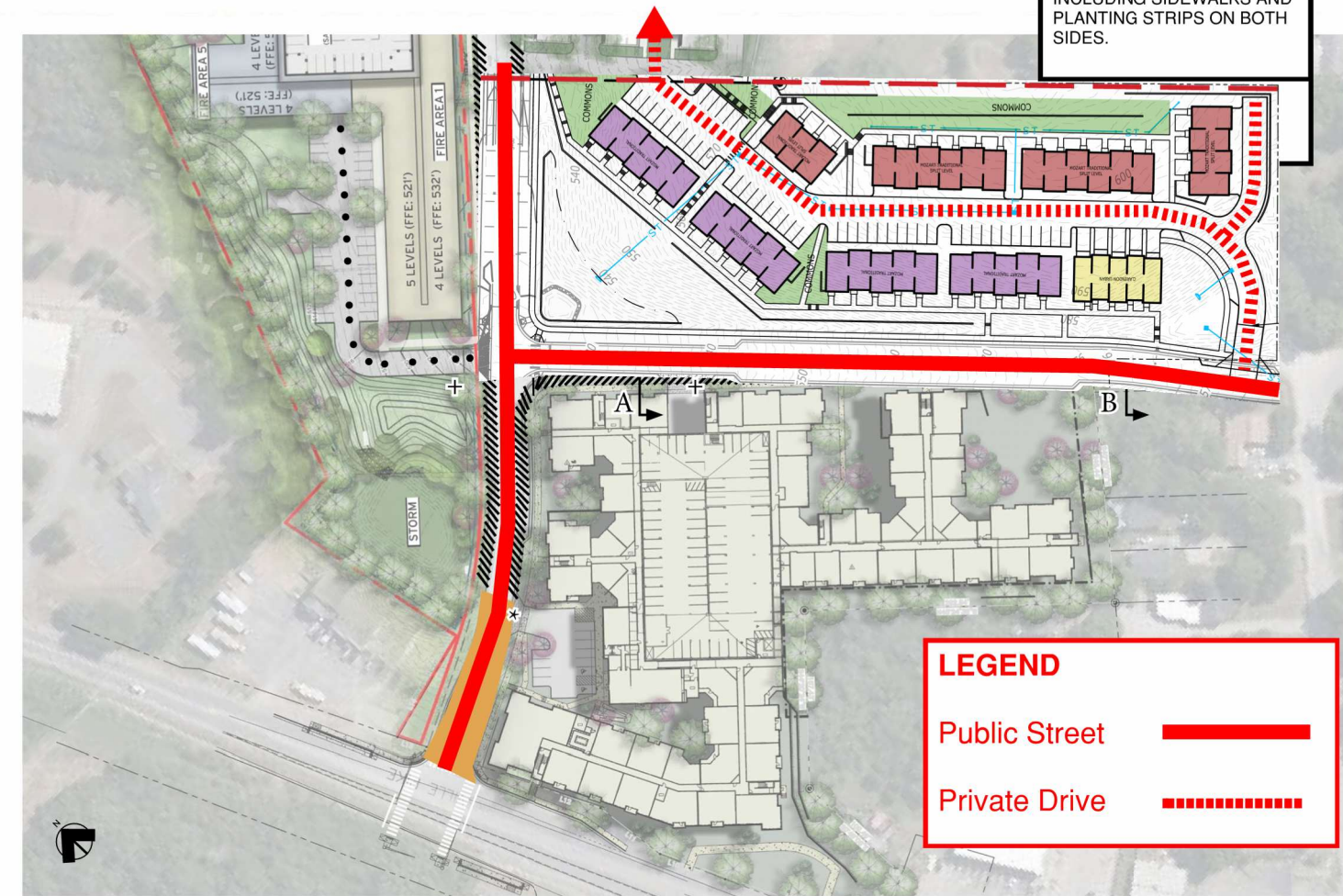
2025 Modification: 44 Townhome Units Maximum in Zone 3

BULK STANDARD	ZONE 3
Height	
Primary District Height	50'
Residential Raised Foundation	18" - 5'
Commercial Raised Foundation	N/A
Developable Area	
Floor Area Ratio (FAR)	3.0
Impervious Surface Ratio (ISR)	.8
Front Build-To	5' - 25' Build-To
Rear Setback	10'
Side Setback	5'
Minimum Building Separation	5'
Glazing (min.)	
Ground Floor (Commercial)	N/A
Ground Floor (Residential)	20%
Upper Stories	20%

INTENT
2025 Modification: The intent of Zone 3 is to provide attached townhomes that front either streets or greenspaces. Townhomes incorporate rear-loaded parking with private garages or street parking.



PUBLIC WORKS STANDARDS
ROW DEDICATION



GENERAL NOTES

- Any required right-of-way within the project site that is identified as necessary to meet the adopted roadway plans shall be dedicated.
- Loading areas and rideshare locations shall be limited to spaces interior to the structures or behind the structures off of public right-of-way.
- Developer will ensure bike lanes are continuous through intersections and that crosswalks are installed at public ROW intersections.
- All construction within public ROW shall comply w/ MPW standards and specs
- All ROW dedication will occur prior to the issuance of building permits.
- Signs denoting "Now Entering Private Drive" shall be installed at each intersection between public roadways and private drives.

PARKING STANDARDS

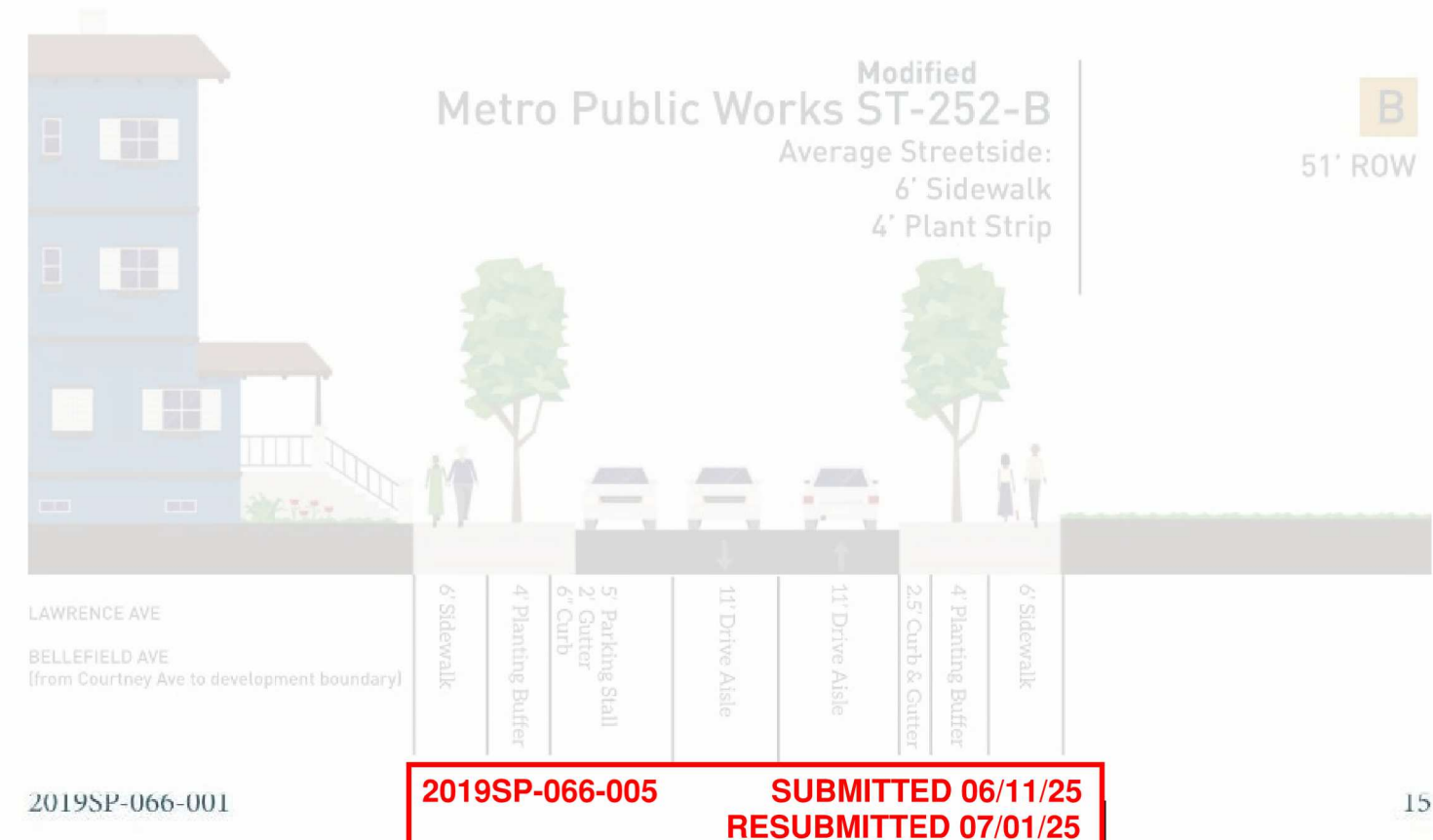
Parking shall be provided within public covered stalls, parking areas, and private garages internal to the development. Guest parking spaces shall be accounted for within development in the form of surface parking internal to the SP.

Bicycle parking shall be provided per Metro Standards

2024 Modification:
Affordable parking ratios are based on ITE Code 223 – Affordable Housing (Income Limits Subcategory)

	1 – BR	2 – BR	3 – BR
Affordable Residential Parking Minimums	0.55	1.10	1.65

STREET SECTIONS



LANDSCAPE AND OPEN SPACE STANDARDS

OVERALL STANDARDS

Areas reserved for stormwater greater than 0.5 acres will be designed to have either an active or passive park component that can be utilized outside of storm events. Detailed design to be provided at final SP stage of development.

All landscaping shall be properly irrigated and maintained; if drought resistant plant material is used, irrigation shall not be required.

Where irrigation systems are not utilized or specified, all planting masses or individual trees shall be within 100' from a functioning hose bid per Metro Urban Forestry requirements.

All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.

Groups of shrubs shall be in a continuous mulch bed with smooth continuous lines.

Trees located within four feet of shrub beds shall share same mulch bed.

Finished planting beds shall be graded so as to not impede drainage away from buildings.

Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. If significant relocations are required, contractor shall contact landscape architect for approval. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials.

Trees must remain vertical and upright for the duration of the guarantee period with guys and strapping shall be removed after one growing season.

The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.

The development of this project shall comply with the street tree, tree density, and tree replacement requirements of Metro Nashville. Landscape plan to be submitted in Final SP Submittal.

Street trees shall be provided along all street frontages at an average of forty-five (45) linear feet on center and be 3.5" caliper minimum.

All landscaping shall be properly irrigated and maintained.

Where trees are planted in rows, they shall be uniform in size and shape.

Reference Metro L.I.D. Manual for design and planting materials for LID measures.

Ornamental trees may be used as street trees where existing conflicts with overhead utilities occur.

Metro tree density and tree replacement worksheets shall be utilized to calculate required planting.

TDU ZONE

As development continues in the area, it may become unrealistic to put required units from the tree replacement worksheet on the developing site. If determined infeasible for the health of the tree or density of the site by the Metro Urban Forester, up to 160 total units may be placed in the designated TDU zone. Up to 20 TDU's per development may be logged for placement within the zone. The TDU zone may only be planted once development of that area is complete. The Metro Urban Forester and applicant shall be responsible for logging TDU's to be placed in that zone and ensuring planting once complete.

ADDITIONAL TDU PLANTING

Once the designated TDU zone has reached capacity for each development, the Metro Urban Forester and applicant shall decide locations for the remainder of the TDU's to be planted. In order of priority below, locations for plantings should be:

- 1. Additional property owned by applicant that has been developed or has no plans for redevelopment.
- 2. Highland Heights
- 3. Metropolitan Nashville

PLANTING STRIPS

Sidewalk on Clarksville Pike shall be separated from edge of street with a 6' planting strip

Sidewalks on Bellefield Avenue and Lawrence Avenue shall be separated from edge of street by a 4' planting strip or tree well area.

2024 Modification:
Bufferyards and associated setbacks between the Clarksville Pike SP (2019SP-066-001) and the Curtis Property SP (2021SP-041-001) may be removed if adjacent sites are developed together as one development.

2025 Modification: A 10 ft buffer is to be provided along the property line adjacent to the Bordeaux Gardens Cemetery (parcel 06900004700).

ANTICIPATED STREET TREES

The following trees shall be permitted as street trees within the R.O.W within this development. Variations to this list shall be approved by the Metro Nashville Forester prior to approval.



Green Vase Zelkova



Frontier Elm



Greenspire Little Leaf Linden



London Planetree



Sunburst Thornless Honeylocust



Flame Amur Maple
NES Approved



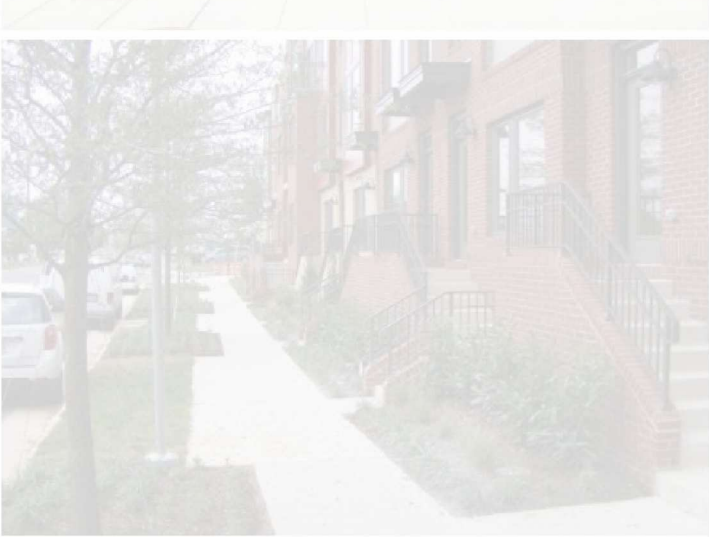
Lacebark Elm



Ginkgo

FOUNDATION SCREENING

Along Meridian Street where 2' additional of raised foundation height is permitted landscape screening or architectural breaks similar to the examples below shall be included and approved per Metro Planning Staff review and approval at the Final SP Stage.



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NOTES AND STANDARDS

STANDARD SP NOTES

The final site plan / building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

Required parking consistent with the parking requirements of the Metro Zoning Code shall not be counted as floor area.

Permitted Uses : Permitted uses shall be the uses listed in the MUL-A zone. Uses shall be limited to 469 residential units (multi-family, two-family, and single-family) and 100,000 SF of general commercial.

ARCHITECTURAL STANDARDS:

Buildings shall avoid continuous uninterrupted blank facades and at a minimum, the facade plane shall be interrupted by one of the following for every thirty-five linear feet of street frontage:

- A change in building material
- A horizontal undulation in the building facade of three feet or greater
- A porch, stoop or balcony; porches shall be a minimum six feet in depth

Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination of fences, walls or landscaping.

HVAC units shall be located at the rear half of the side of unit, behind the unit, or on the roof of each building. HVAC units on roof must be screened from view along Primary and Secondary Frontages

Where feasible due to site elevations and conditions, ground floor residential units fronting a public street or green space may provide an active

entrance point from the public sidewalk in the form of a stoop.

All ground level porches accessed directly from a public sidewalk shall provide a minimum of six (6) feet of depth.

EIFS, vinyl siding and untreated wood shall be prohibited on facades (vinyl soffits shall be permitted).

Building facades fronting a street shall provide a minimum of one principle entrance (doorway).

Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers.

All internal sidewalks must be a minimum of five (5) feet wide.

2024 Modification:
One (1) Additional story may be permitted in the form of a basement level so long as the units are not visable from the Public ROW

2024 Modification:
Height Standards: Height shall be measured from the average elevation (average of 4 most exterior corners) at the finished grade (final ground elevation) to the midpoint of the primary roof pitch (the vertical distance from eave to midpoint) or to the top of the parapet for a flat roof.

NES NOTES

Where feasible, this development will be served with underground power, pad-mounted transformers.

NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bioswales and the like. This includes primary duct between padmounted equipment, as well as service duct to a meter.

FEDERAL COMPLIANCE

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.

STORMWATER NOTES

Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any storm water facilities within the development.

Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance NO.78-840 and approved by the Metropolitan Department of Water Service.

Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15' CMP)

Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

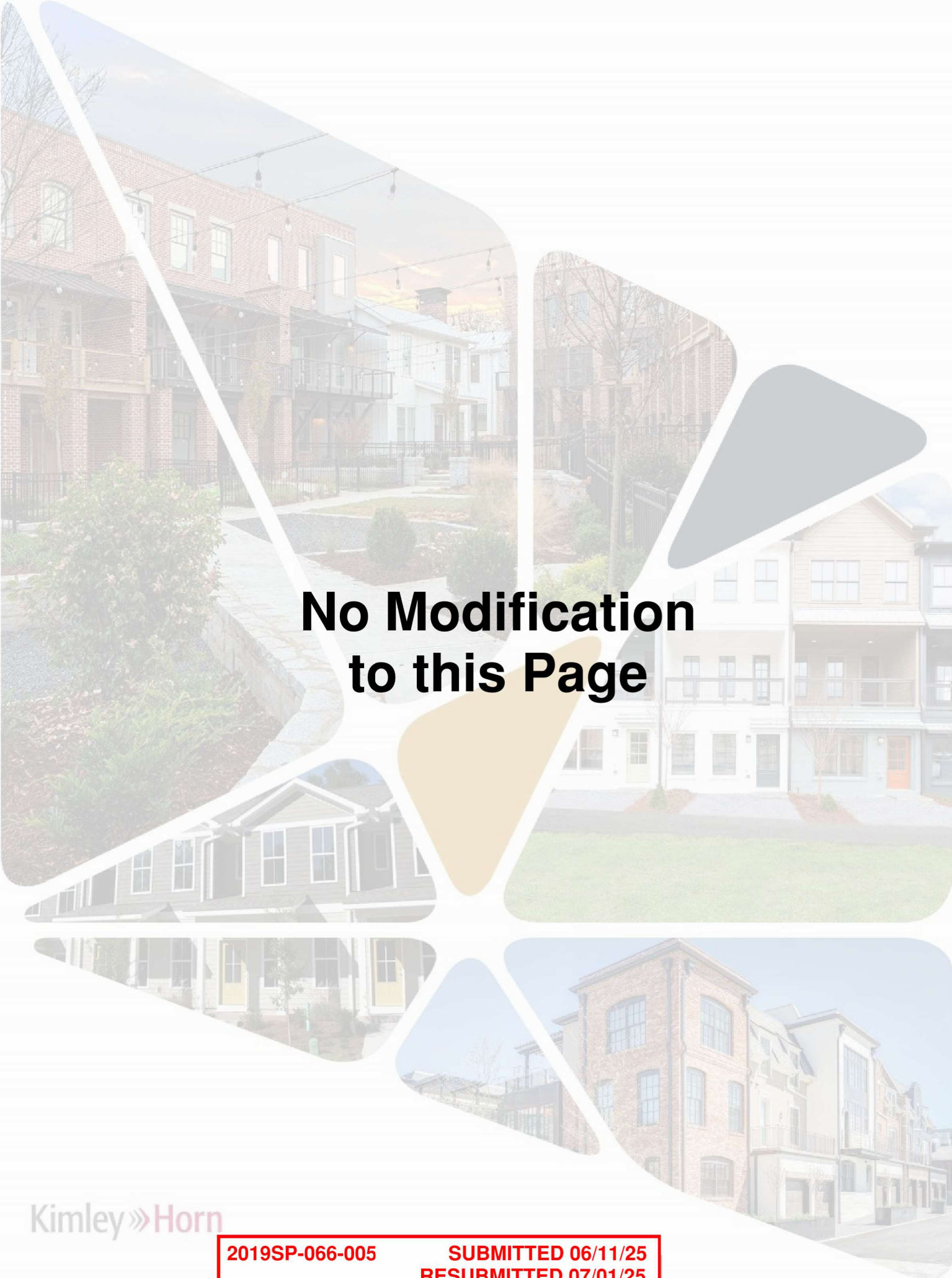
The site is within the combined sewer. Additional requirements will be required and that it is advised to contact MWS staff.

Properties contain no FEMA designated floodplain per map 47037C0229H dated 04/05/2017.

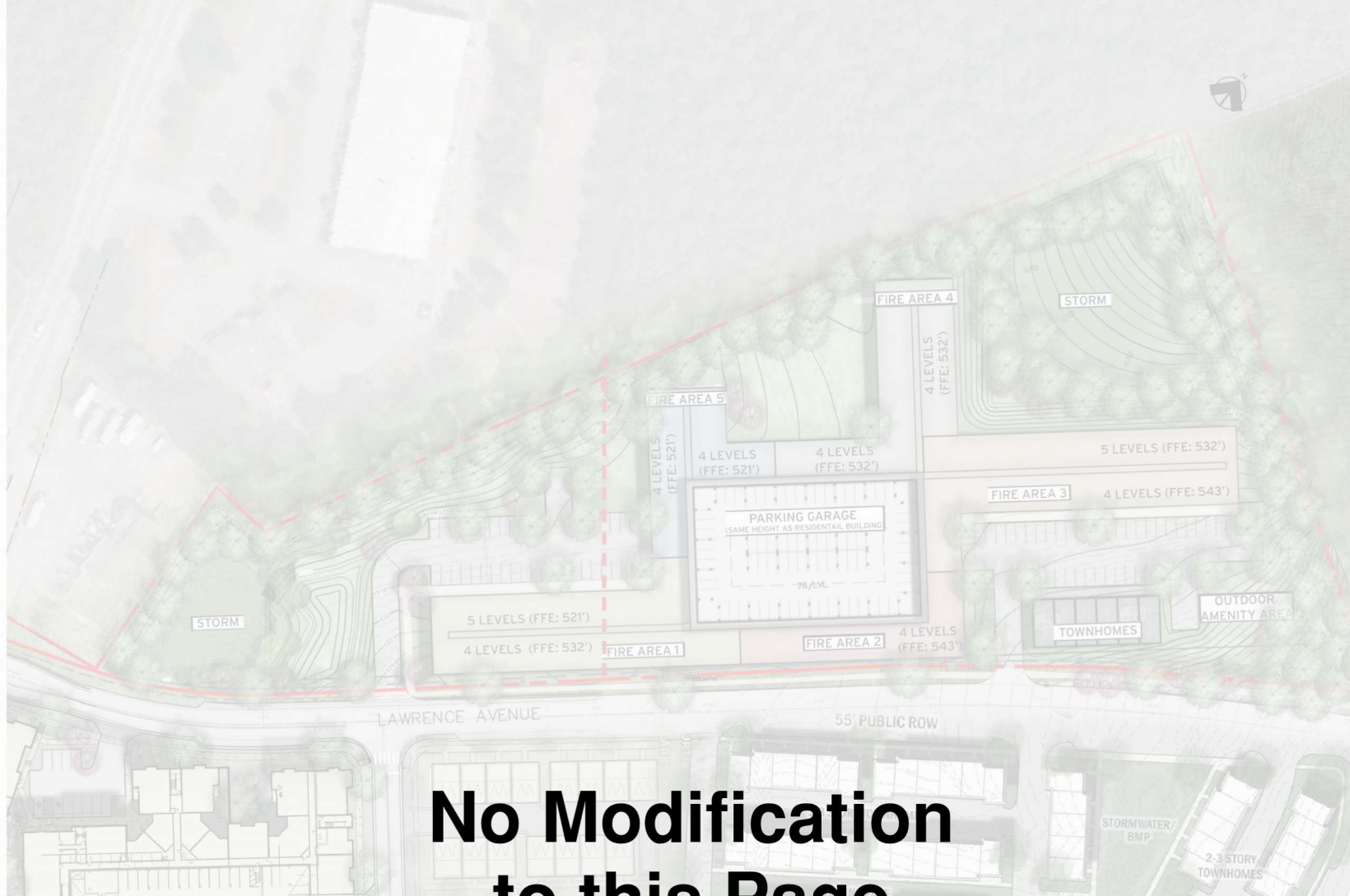
SCHEDULE AND PHASING

The project will be completed in multiple phases and is anticipated to start in fall of 2020.

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ADDITIONAL SPECIFIC PLAN NOTES

It is intended for Zone 1 of the Curtis Property SP (2021SP-041-002) and Zone 2 of this SP (2019-066-003) to be developed together. These properties shall not have any related setbacks along shared property lines.

Buildings found crossing the property line between the SPs shall count density and units in the SP that contains majority of the unit square footage.

Buildings shared between SPs shall follow the SP guidance and setbacks for the portion of the building in both SPs.

The development in these two zones shall be reviewed as one final site plan.