

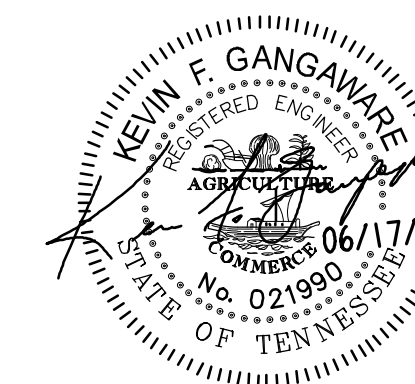


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Planning | Engineering  
Landscape Architecture

2305 Kline Ave, Ste 300  
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SEAL



# PRELIMINARY SP BERKHAMSTED

7088 BURKITT ROAD  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
MAP 186 - PARCEL 6.00  
ZONED: AR2A  
COUNCIL DISTRICT 31 - JOHN RUTHERFORD  
METRO SP CASE NO. 2022SP-021-001

## PROJECT CONTACTS

### OWNER | DEVELOPER CAMBRIDGE COMMUNITIES OF TN

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### PLANNER | ENGINEER CSDG

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**BERKHAMSTED**  
**PRELIMINARY SP**  
7088 Burkitt Road  
Nashville, Davidson County, Tennessee  
Map 186 - Parcel 6.00

ISSUE SET:

Preliminary SP

ISSUE DATE: 07.26.2023

REVISION HISTORY:

Rev.	Description	Date
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CHECKED BY:

COVER SHEET

**C0.00**

PROJECT NO.: 21-137-01



## SPECIFIC PLAN NOTES

### PURPOSE & INTENT

- The purpose of this specific plan is to permit the development of a maximum of 119 residential homes.
- For development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RM15 zoning district as of the date of the application.

### GENERAL PLAN CONSISTENCY

- This specific plan proposal herein is located within the Southeast Community Plan. The specified land use is Neighborhood Evolving, Tract 3 or T3 NE.
- This plan is consistent with the goals established throughout the policy and is consistent with several critical planning and community goals. This plan provides a diverse housing choice for the area and a high level of connectivity opportunities to neighboring properties. This plan provides a walkable/bikeable neighborhood with usable formal and informal open spaces.
- If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations of the base zoning district (RM15) as of the date of the applicable request or application. Uses are limited as described in the Council Ordinance.

### ARCHITECTURAL STANDARDS

- A minimum of 15% window glazing for the building facades that face the proposed public roads shown on the Preliminary Development Plan (sheet C2.00).
- Windows shall be vertically oriented at a ratio of 2:1 or greater except for dormers.
- Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.
- All homes will be constructed using the latest Energy Efficiency standards set forth by Metro Codes Department.
- Roof material will be limited to 30-year dimensional shingles and/or metal standing seam for entry porches.
- Covered entries and side unit porches with expressed beams and square columns.
- 20% glazing shall be provided on the building facades that face Burkitt Road.

### DESIGN PLAN

Through this Specific Plan, the community will be ensured a level of quality and a sense of community. The intent of the Berkhamsted SP is to provide a safe residential community with the emphasis on pedestrian-oriented streetscapes, a diverse housing choice, adequate open space, amenities and quality architecture. More specifically, this SP and supporting Design Guidelines are intended to:

- To acknowledge the Cane Ridge Community Resource Declaration/Southeast Community Character Manual and incorporating applicable principles as noted in this Specific Plan/Notes.
- Maintain a scale and form of development that emphasizes sensitivity to the pedestrian environment.
- Achieve "traffic calming" through a curvilinear street network.
- Provide road connectivity to adjoining properties for future connections.
- The main north-south road which will transverse the property from Burkitt Road to the northern most property line will be designated as a local road with a 50' Right of Way.
- All public roads will be designed with a 4' planting strip and 5' sidewalks.
- All surface parking areas must meet the "parking area screening and landscaping" requirements specified in the Metro Zoning Code.
- All public road signage shall meet metro standards. All signs shall be mounted on black decorative post. Entrance monument will be a single stone column with sculpted wood depicting community name.
- Provide for a variety of strategically located and carefully designed public and/or common spaces, including streets, greens and formal open space.
- All development within the boundary of this plan shall comply with the American with Disabilities Act and Fair Housing Act.
- Minimum distance between buildings shall 15 feet.
- All public utilities and services shall be located underground.
- All dumpsters shall comply with 17.24.060 of the Metro Zoning Code.

### TREE CONSERVATION/BUFFER

- Where possible, large canopy trees of good health and established tree groves will be preserved. A 20-foot minimum open space buffer shall be provided around the edges of the property. This development shall comply with and meet the requirements of the metro zoning code 17.24 tree protection. This area will be planted with additional trees and shrubs.
- Buffer shall not be disturbed except for minor grading and clearing of underbrush during installation of irrigation and landscaping.

### LANDSCAPING STANDARDS

- This development shall comply with the requirements of the SP.
- Landscaping shall be per Metro Zoning Code unless specifically modified through the SP zoning.
- A landscaping ordinance plan shall be submitted with the final SP
- Native species street trees shall be provided along all public street frontages at a minimum spacing of 40 foot on center.
- All landscaping shall be irrigated, if drought resistant plant material is used irrigation shall not be required.
- Where trees are planted in rows they shall be of uniform in shape and size.
- All plant material shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and shall good root ball.

### WATER QUALITY

- Berkhamsted will meet or exceed the Metro Nashville Water Quality Standards.
- The stormwater plan will seek to decentralize runoff and utilize various Low Impact Development Techniques to infiltrate run off into the ground near its source.
- These techniques will include but not limited to Bio-Ponds, Water Quality Swales, Grass Channels and Overland Flow through vegetated areas.

### LIGHTING

- We will comply or exceed the following Lighting standards in private parking areas.
- Article 410.10 of the 2017 Edition of the National Electrical Code is amended by adding the following Section G in the Metro Zoning Code.
- Parking Lots - Open parking lots shall use luminaires with a "U" BUG rating (Backlight Up lighting Glare) of 0 without external shields. Luminaires shall have a Correlated Color Temperature (CCT) of 3000 Kelvin or below. Principal walkways and parking shall have a maintained minimum illumination of 0.2 foot-candles at grade. The average light level is not to exceed the average lighting level of 1.5 foot-candles, as related to the Transect Category for the site as designated in the Community Plans of Nashville Next. Spill light at the property line shall not exceed 0.5 foot-candles measured at 3' above grade. Exception may be given for calculation points on the drive between the parking lot and roadway only. Occupancy sensors or timers may turn lights off or dim by at least 30% during periods of no occupancy. Prior to installation, a photometric plan shall be reviewed by a certifying engineer with calculation points on a 10' x 10' grid.
- We will be utilizing a Autobahn ATBO & ATBE Amber LED light on a 25 foot black aluminum post in all parking areas.
- All streetlights in public Rights of Way shall comply with the standards set forth by Nashville Electric Service Street Light Standards. It is our intent to utilize a Holophane Octagonal Lantern NES Stock Code: 303 295 010 high pressure sodium light on a 12 foot decorative post.

### AMENITIES

- A 6' wide paved pedestrian and bike path shall be constructed from Burkitt Road to the rear property line and will provide a connection to The Village United Methodist Church property. A pedestrian access easement shall be provided along the proposed path.
- Bike parking shall be provided consistent with Metro code requirements.
- Sidewalks along both side of all public roads.
- Sidewalk paralleling Burkitt Road.
- Covered pavilion with formal green space for Berkhamsted Residents gatherings.
- 50 to 55 percent of the site area excluding right-of-way shall be set aside as open space.

### OFF SITE INFRASTRUCTURE

- Upon completion of a traffic impact study, Metro will determine what traffic mitigations will be required and which phase these mitigations will be required in.
- Metro Water Service (MWS) has established a Development Area Participation Agreement Recovery Charge (DAPARC) for the Southeast Development Area. Funds generated through charge will be used exclusively by MWS for the recuperation of MWS expenditures for constructing water system improvements in the water service area. Berkhamsted agrees to reimburse MWS for its pro-rated share which is estimated to be \$1000 per home or until program is inactive.

### PHASING

- Berkhamsted will be constructed in two phases.
- Development of Phase 1 will begin upon receiving all Metro Nashville and state approvals
- Phase 2 development is anticipated to begin when 50% of Phase1 units are under contractor and/or 25% of Phase 1 homes have been closed.

## METRO WATER & SEWER NOTES

All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.

- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable Mylar in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.
- The contractor shall provide the record drawing information noted above to the engineer.
- Double detector check valves shall be located within a conditioned fire room with exterior entrance.
- Townhomes shall be able to utilize 1 to 6 inch sewer service per two units.

## MWS STANDARD PRIVATE UTILITY NOTES

- All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
- All connection to existing manholes shall be by coring and resilient connector method.
- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
- All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24"x36", and shall show contours around meter boxes.

## PUBLIC WORKS CONSTRUCTION NOTES

- Proof rolling of all public street sub-grades is required in the presence of the Public Works' inspector. This request is to be made 24 hours in advance.
- Stop signs to be 30 inch x 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade.
- All signs to have 3M reflective coating.
- All utility boxes located in the right of way or in the sidewalk shall be approved by the MPW inspector prior to installation.
- All of the public sidewalk along the roadway shall follow the grade of the roadway and shall not be adjusted to meet private sidewalk connections. The adjustments shall be made out of the right of way.
- Drainage shall not flow over the sidewalk.
- Curb ramps shall have detectable warning strips.
- Driveway width can be sight adjusted at the discretion of the MPW inspector.
- Elevation of the curb and gutter is the responsibility of the contractor but once in place shall function as designed.
- Curb and gutter installed may be tested to verify flow to the storm drain system. Drainage shall not pool in roadways.
- Replace stormwater grates within public right of way with bike friendly grates.
- Final plans and road grades shall comply with the design regulations established by the Department of Public Works. Slopes along roadways shall not exceed 3 to 1.

## METRO STORMWATER NOTES

- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 and approved by The Metropolitan Department of Water Services.
- Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
- Size driveways culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15" RCP).
- The buffer along waterways will be an area where the surface is left in a natural state and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

## NES NOTES

- NES can meet with the developer upon request to determine service options.
- Construction plans shall show any existing utilities easements on the property, the utility poles on the property, and the poles along the right-of-way.
- NES will need any road improvement plans to Burkitt Road.
- Existing poles, anchors, and overhead conductors that need to be relocated due to improvements may come at an additional const to the developer.
- This development will be served with underground distribution and pad-mounted transformers.
- The riser pole should be placed on the development property.
- Additional underground infrastructure may be required in the form of switching cabinets, termination cabinets, and additional conduit in the event that the property is acquired in the future and for reliability.
- Final quantity and location of NES equipment to be determined by the NES Engineer after receiving final plans and electrical load information. An Exhibit 'B' design will be sent to the developer or representatives of the development for review. Suggestions or requests to the design should be made during the review process. Any changes requiring re-design, after this document has been signed, will be at the developer's cost.
- Multi-family portions of the development will be served with meter centers.
- The developer's vegetation desing shall meet both Metro requirements and NES vegetation management requirements and clearances.
- NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bio swales and the like. The includes primary duct between pad-mounted equipment, as well as service ducts to a meter or meter center.

## GENERAL LINETYPES

[EX. = EXISTING]

EX. FORCEMAIN	---	FM	---
EX. GAS	---	G	---
EX. OVERHEAD ELECTRIC	---	OHE	---
EX. UNERGROUND ELECTRIC	---	UGE	---
EX. SANITARY SEWER	---	SA	---
EX. STORM SEWER	---	ST	---
EX. FIRE	---	F	---
EX. WATER	---	W	---
BOUNDARY	---		---
LOT	---		---
EASEMENT	---		---
DITCH	---		---
FENCE	---		---
ROAD CENTERLINE	---		---
WATER FEATURES	---		---
FORCEMAIN	---	FM	---
GAS	---	G	---
OVERHEAD ELECTRIC	---	OHE	---
UNERGROUND ELECTRIC	---	UGE	---
SANITARY SEWER	---	SA	---
STORM SEWER	---	ST	---
FIRE LINE	---	F	---
WATER	---	W	---

## GENERAL SYMBOLS

CLEANOUT (TYP.)	⊠
END OF SERVICE (TYP.)	⌋
FIRE HYDRANT	⊗
HANDICAP SPACE	♿
LOT NUMBER	⊝
POWER POLE	⊙
RETAINING WALL	▨
SANITARY MANHOLE	⊕
SIGN (TYP.)	⊣
STORM MANHOLE	⊕
STORM AREA DRAIN	▨
STORM CURB INLET	▨

## GENERAL PATTERNS

EXISTING BUILDING	▭
PROPOSED BUILDING	▭
HEAVY DUTY CONCRETE	▭
LIGHT DUTY CONCRETE	▭
HEAVY DUTY PAVEMENT	▭
LIGHT DUTY PAVEMENT	▭

## SHEET INDEX

C0.01	COVER SHEET
C1.00	GENERAL NOTES AND INDEX
C2.00	EXISTING CONDITIONS
C3.00	PRELIMINARY DEVELOPMENT PLAN
C5.00	GRADING AND DRAINAGE PLAN
C6.01	UTILITY PLAN
	CIVIL DETAILS

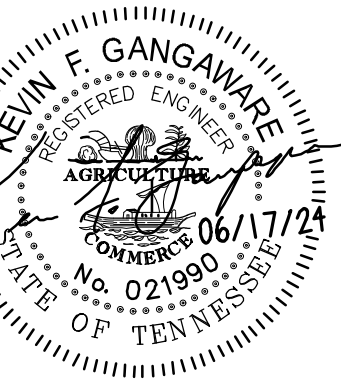


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SEAL



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**PRELIMINARY SP**  
7088 Burkitt Road  
Nashville, Davidson County, Tennessee  
Map 186 - Parcel 6.00

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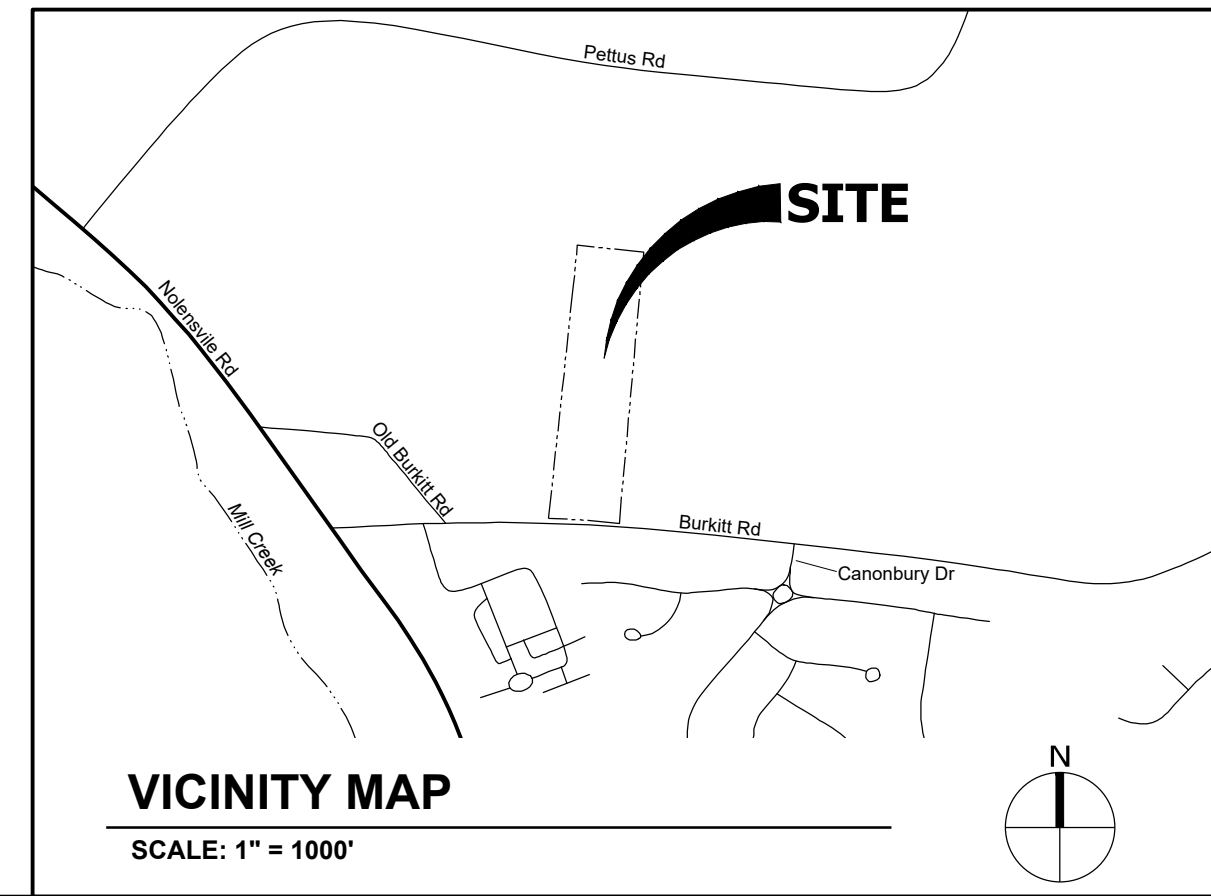
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GENERAL NOTES  
AND INDEX

**C0.01**

PROJECT NO.: 21-137-01













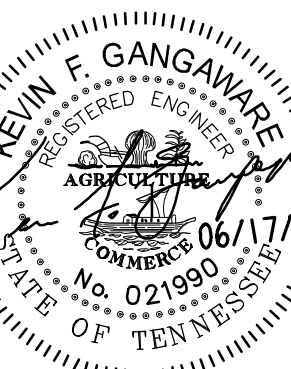


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SEAL



NOE RIVERA MOCTEZUMA  
AND JUANITA GONZALEZ  
PARCEL ID: 18100007100  
INSTRUMENT NO:  
DB-20180529-0050957  
(R.O.D.C., TN)

MATTHEW BEADNELL  
AND REBECCA BEADNELL  
PARCEL ID: 18600002200  
INSTRUMENT NO:  
DB-20120702-0057742  
(R.O.D.C., TN)

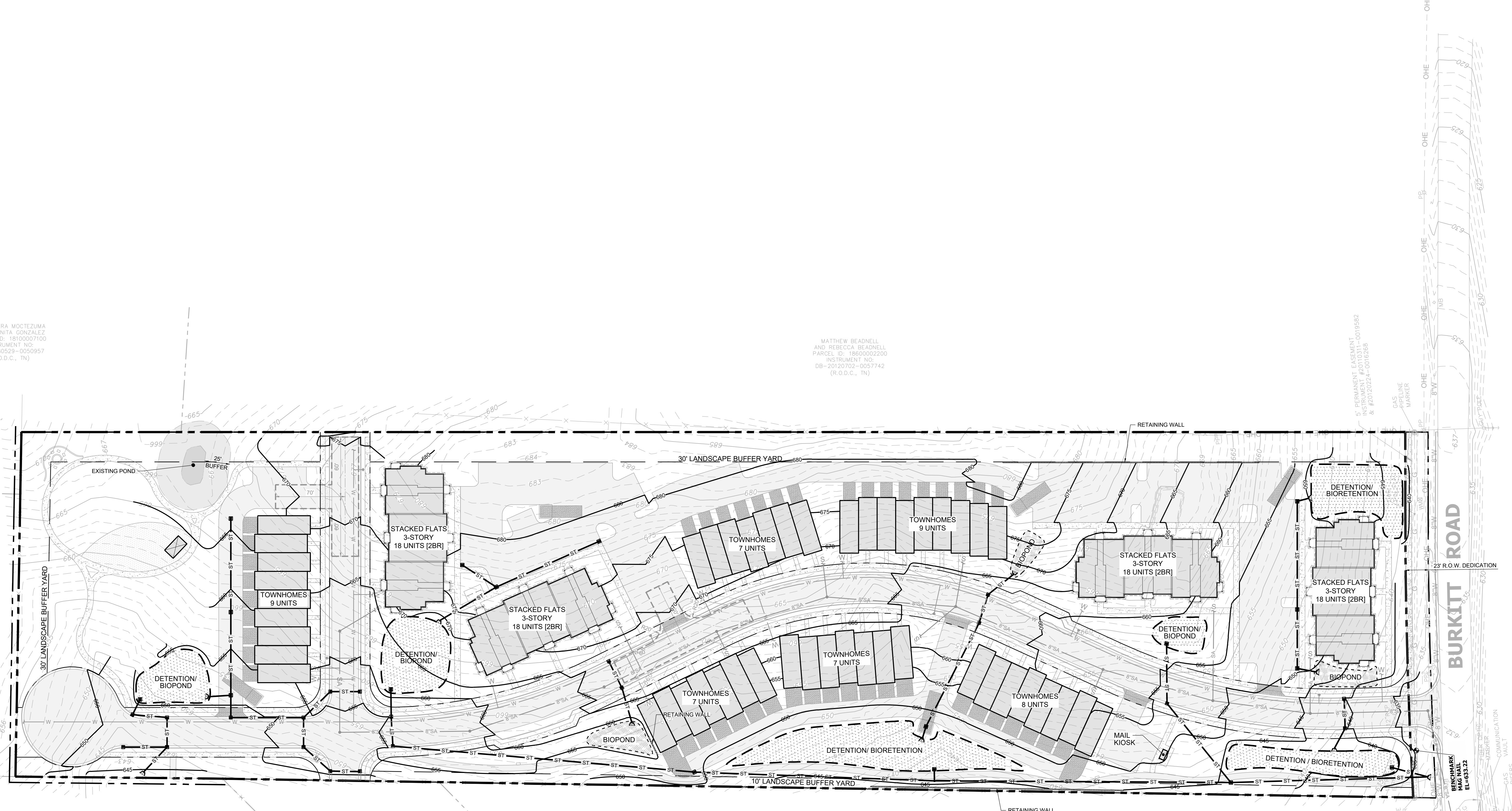
RYANT KNIGHT  
W. HURLEY  
TRUST  
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(TN)

BRENTWOOD UNITED  
METHODIST CHURCH  
PARCEL ID: 18600000400  
INSTRUMENT NO:  
DB-20180212-0014019  
(R.O.D.C., TN)

MARTIN LUTHER CLIFTON  
AND PEGGYCOBLE CLIFTON  
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(R.O.D.C., TN)

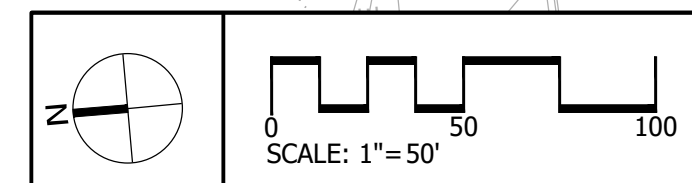
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(R.O.D.C., TN)

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**LEGEND**

- STORM PIPE
- ROOF DRAIN PIPE
- CLEANOUT
- DRAIN BASIN
- CURB INLET
- CATCH BASIN
- HEADWALL
- RETAINING WALL



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CHECKED BY:

**GRADING AND  
DRAINAGE PLAN**

**C3.00**  
PROJECT NO.: 21-137-01





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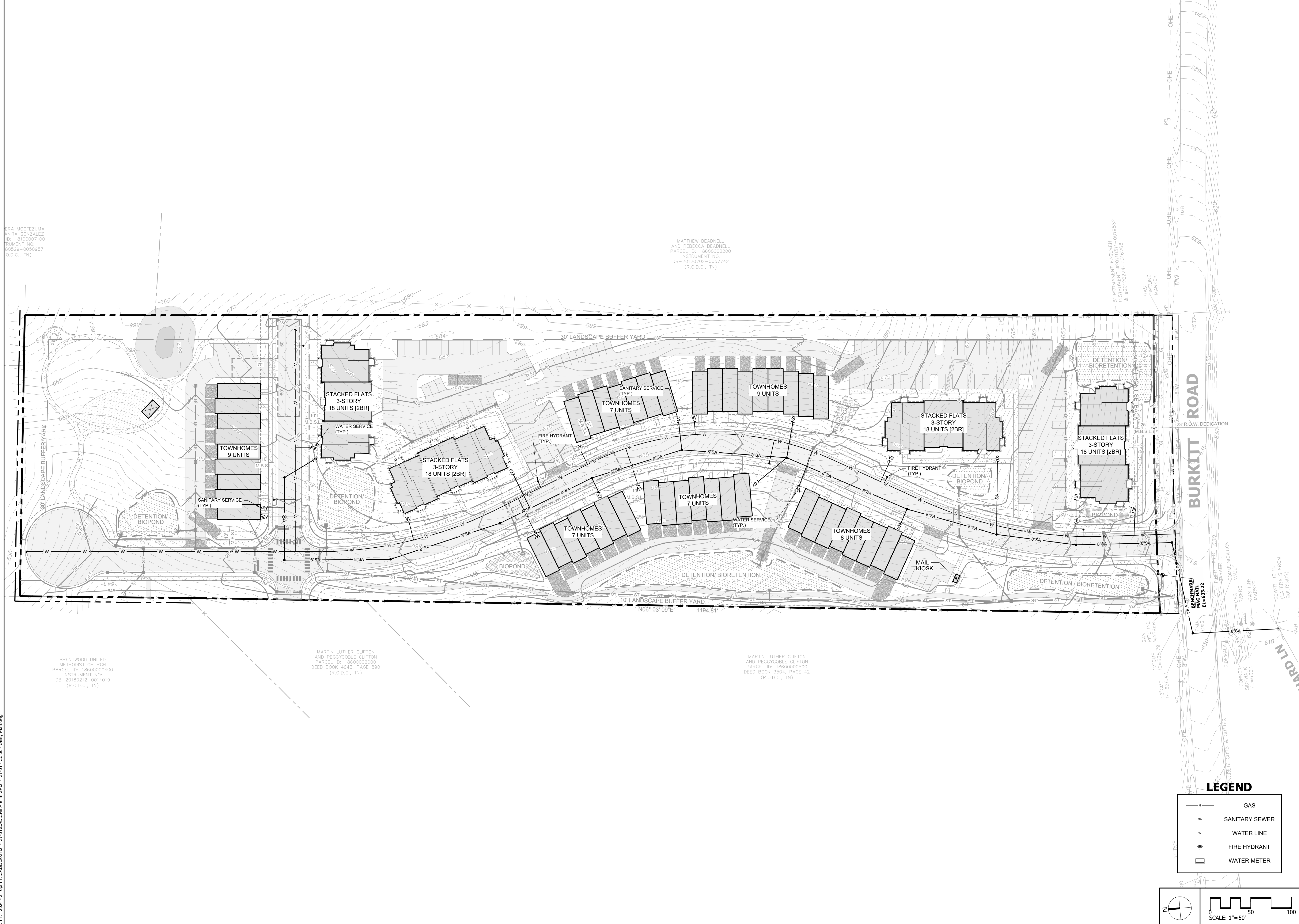
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NITA GONZALEZ  
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R0529-0059257  
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DEED BOOK 3504, PAGE 42  
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**LEGEND**

	GAS
	SANITARY SEWER
	WATER LINE
	FIRE HYDRANT
	WATER METER

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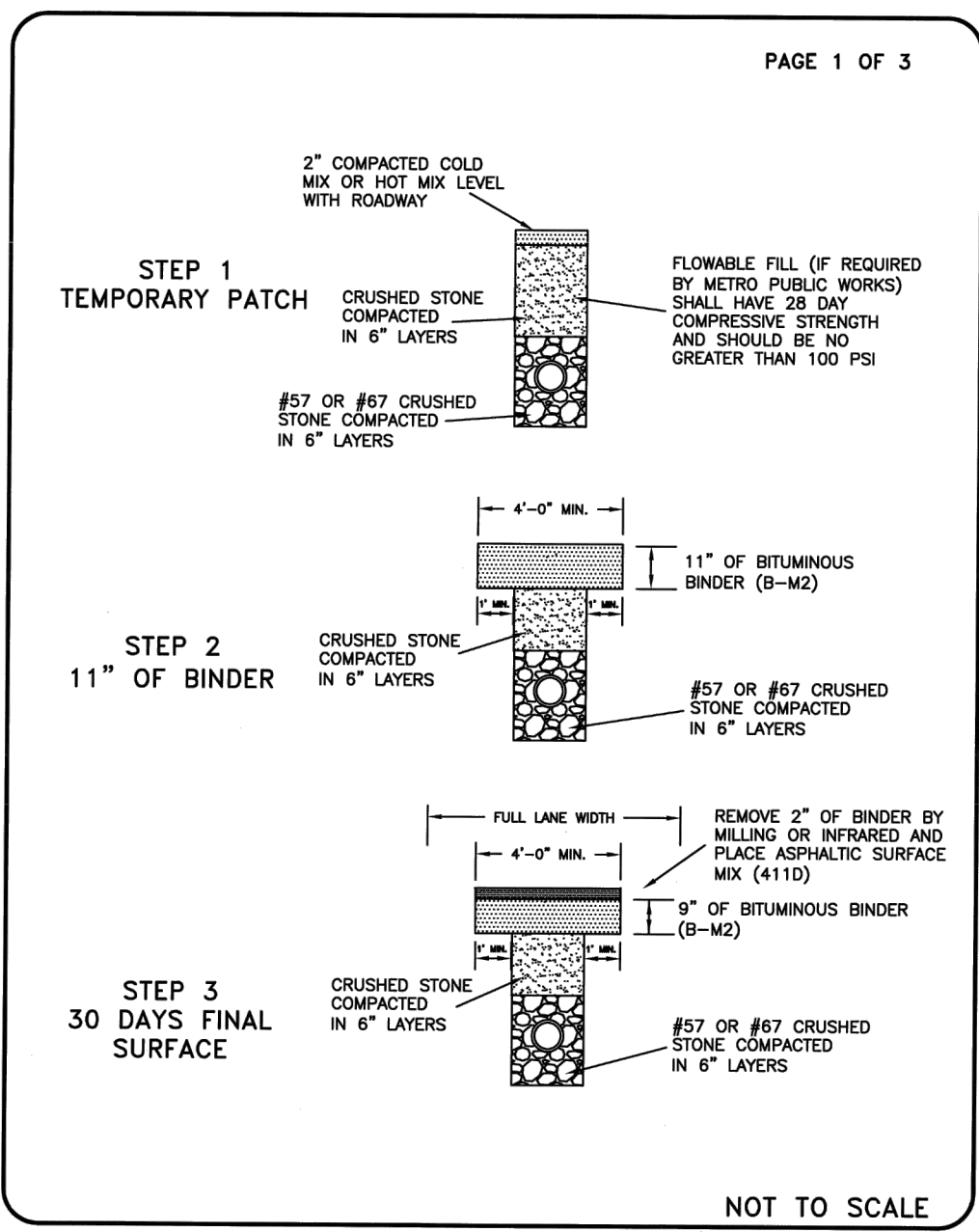
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**UTILITY PLAN**

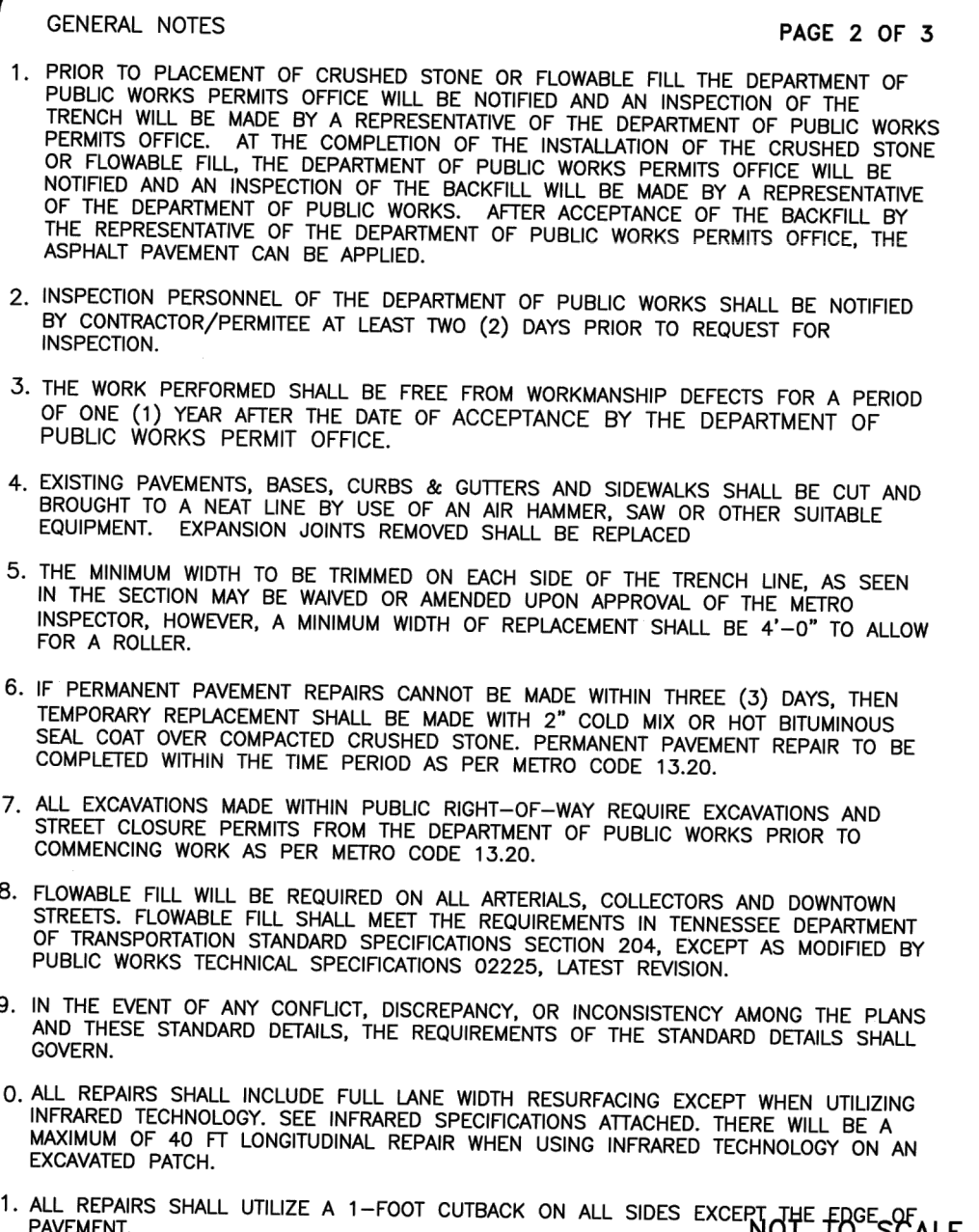
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PROJECT NO.: 21-137-01

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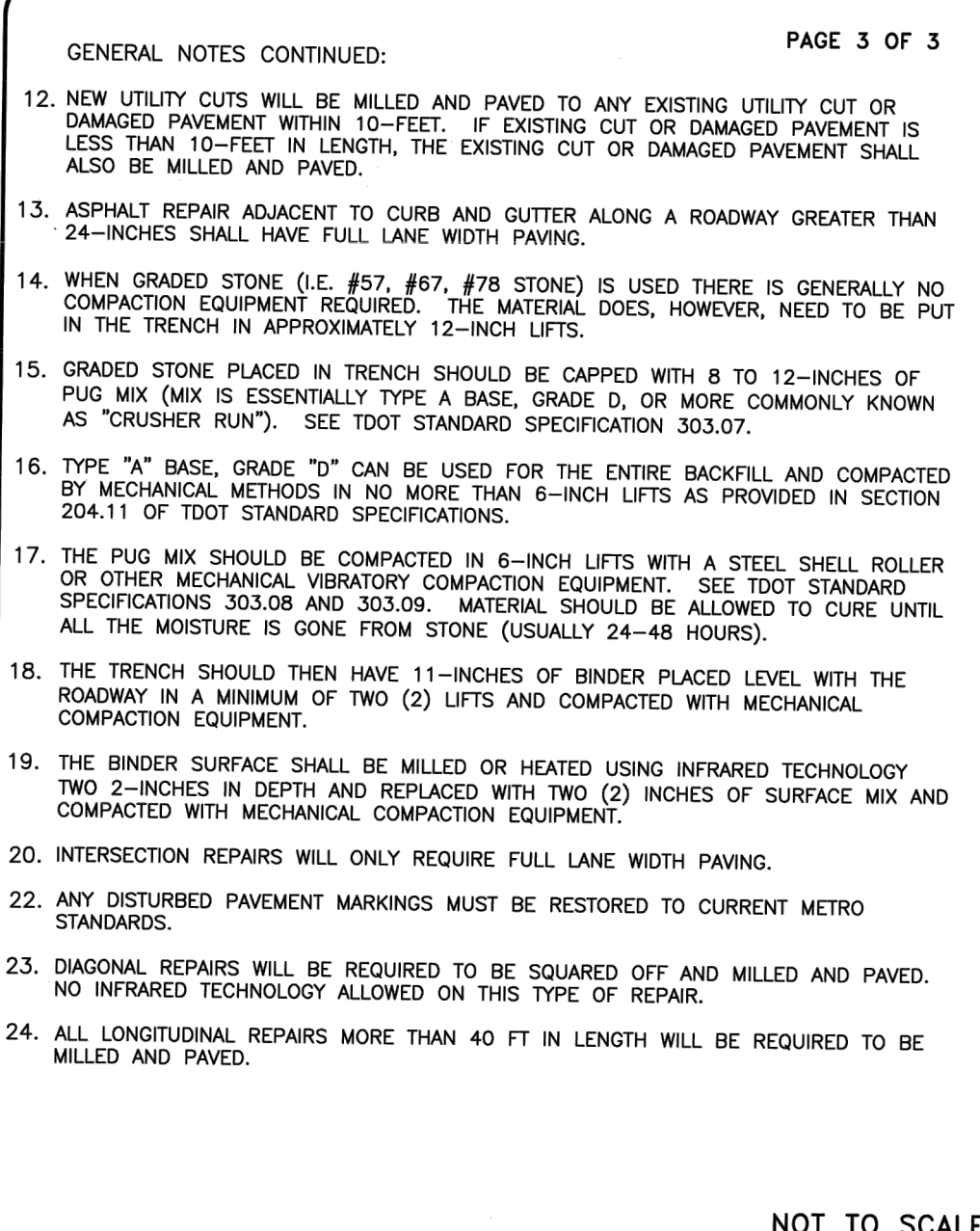




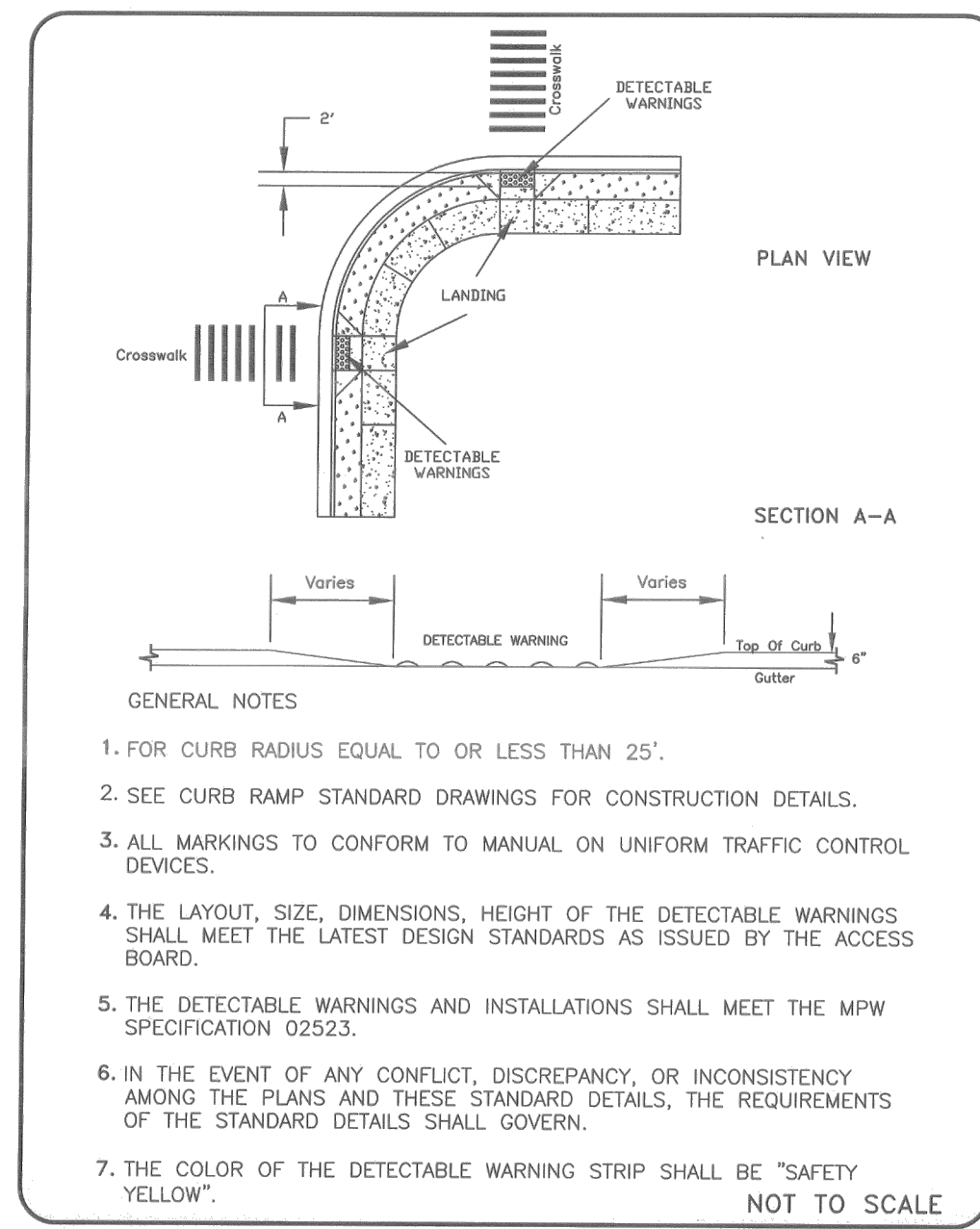
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DIR. OF ENG.: <i>Mark May</i>	DATE: 1/13/03	REVISED: 01/06/06 REVISED: 04/01/08 REVISED: 11/17/08



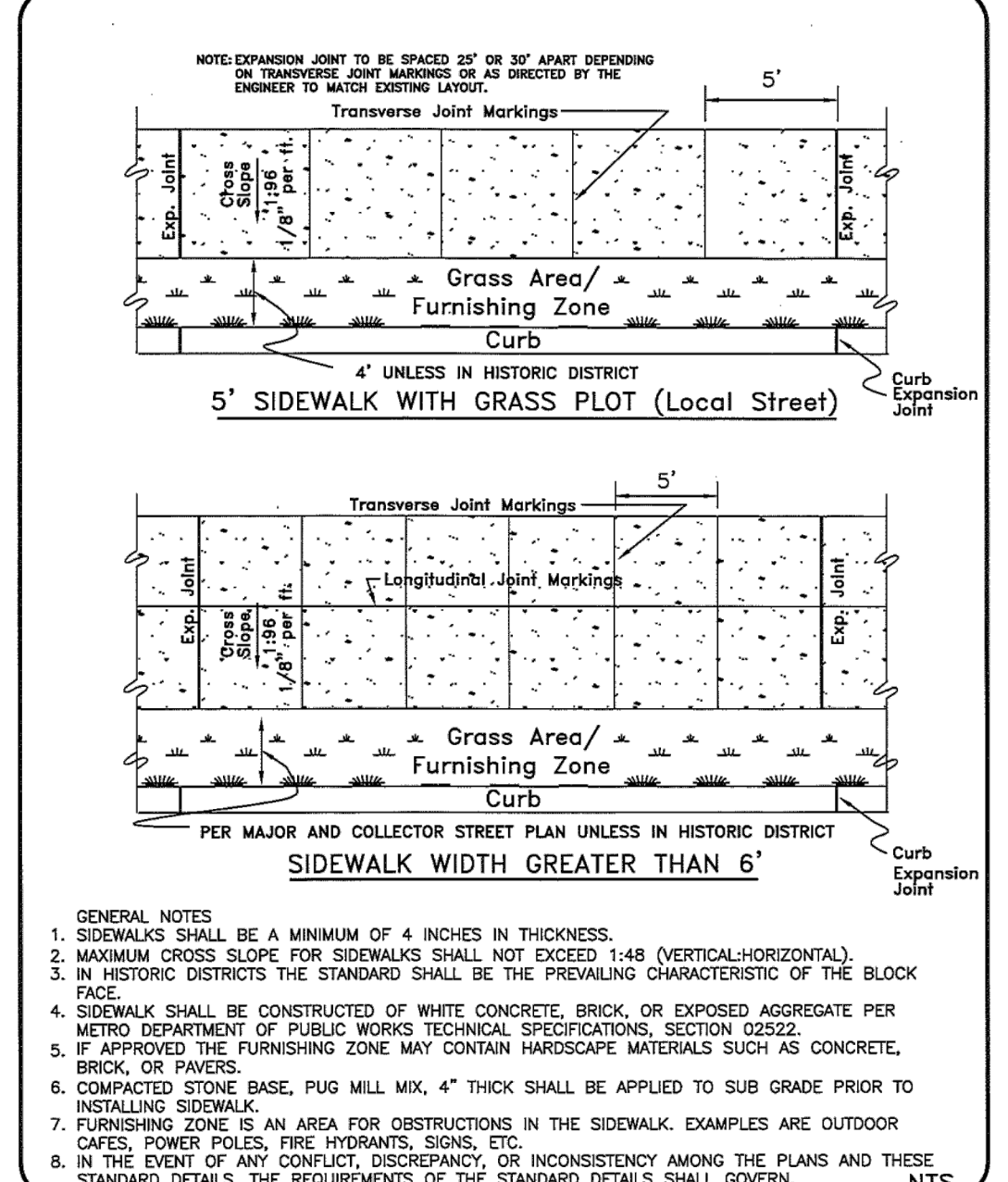
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DIR. OF ENG.: <i>Mark May</i>	DATE: 12/18/02	REVISED: 07/31/02 REVISED: 09/10/04 REVISED: 11/17/08



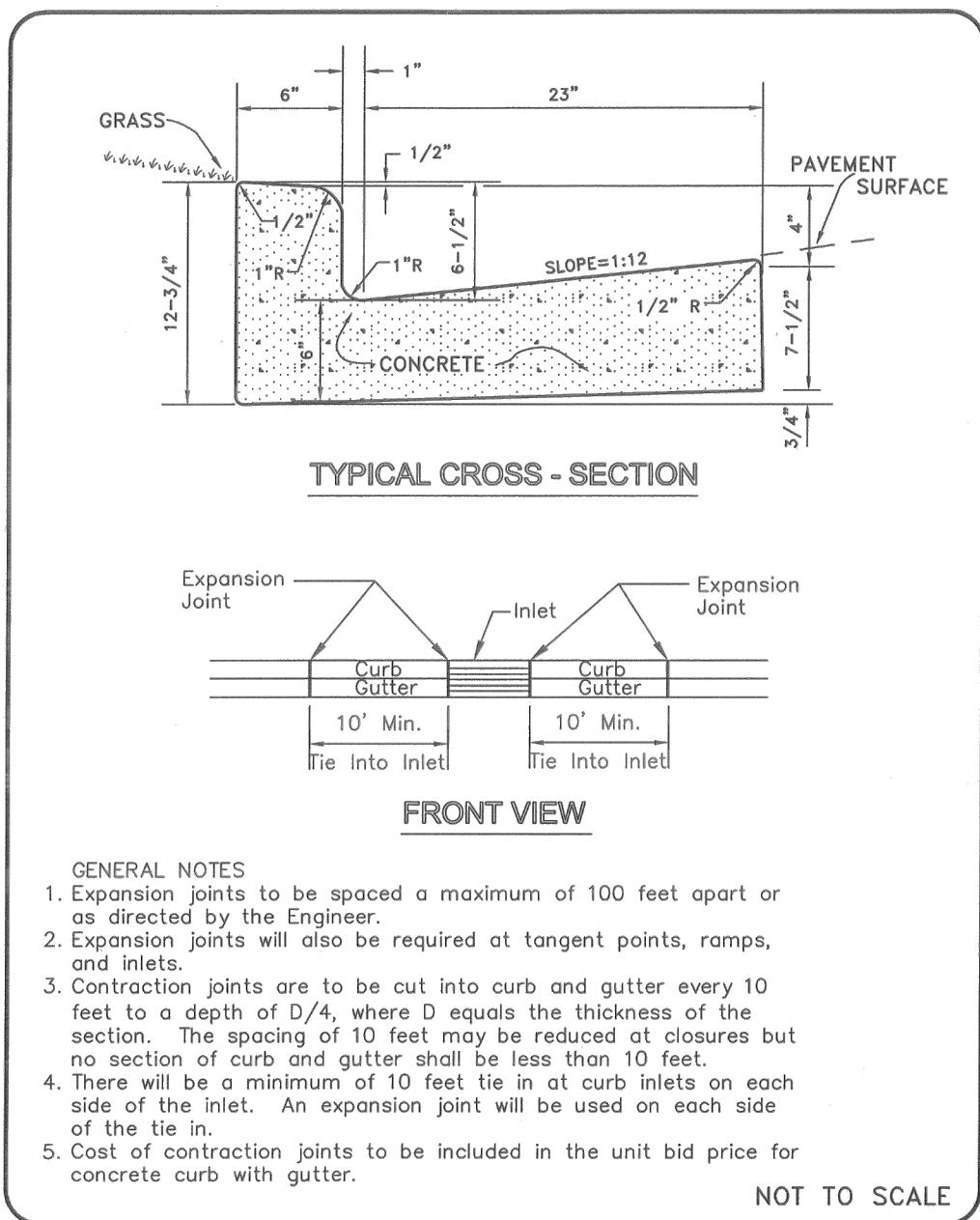
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	FLUSH TRENCH REPAIR NOTES	DWG. NO. ST-270b
DIR. OF ENG.: <i>Mark May</i>	DATE: 12/18/02	REVISED: 03/31/06 REVISED: 11/17/08



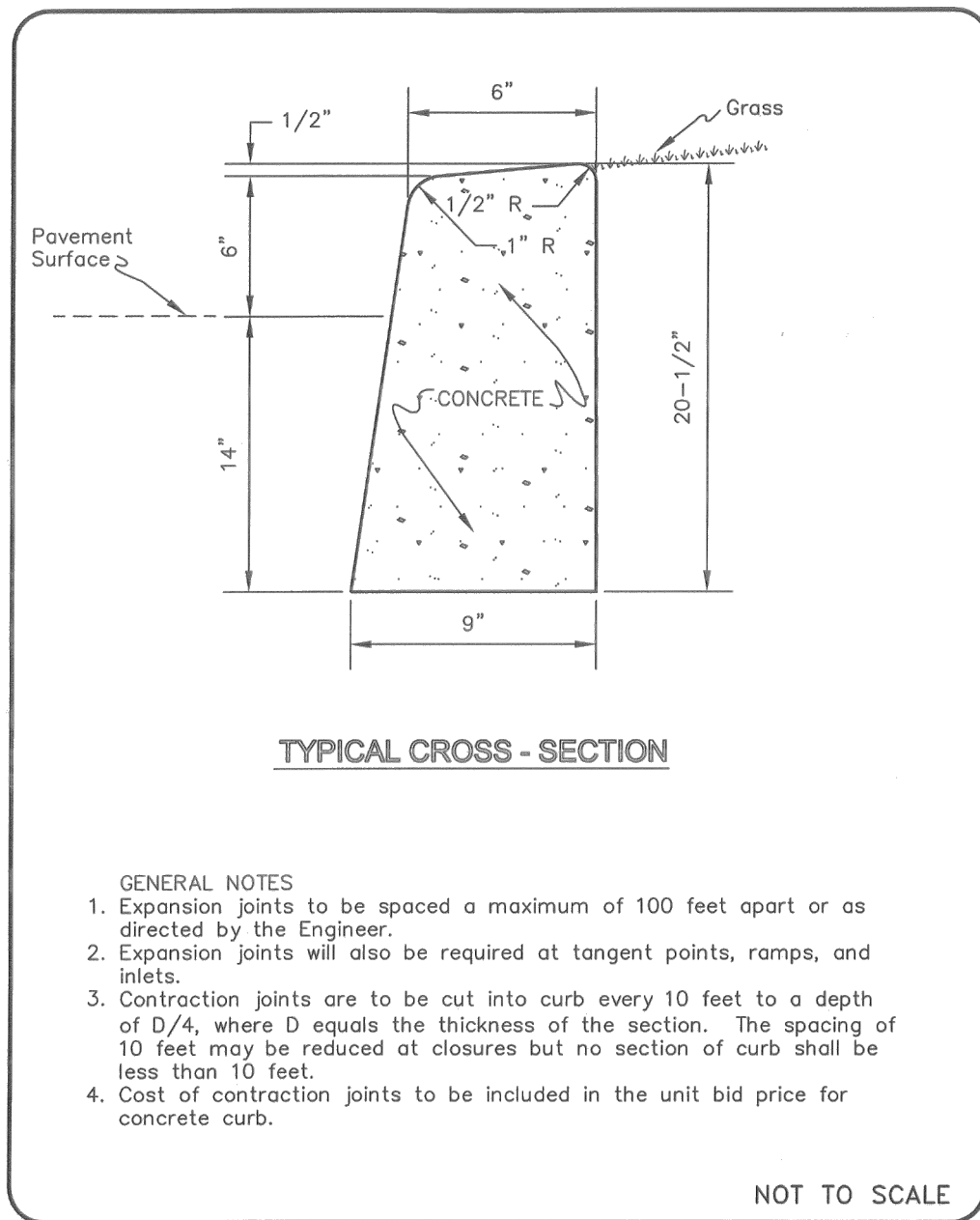
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	DETECTABLE WARNINGS AT CURB RETURNS WITH RADIUS 25' OR LESS	DWG. NO. ST-329
DIR. OF ENG.: <i>Mark May</i>	DATE: 6/17/05	REVISED: 06/17/05 REVISED: 08/13/04



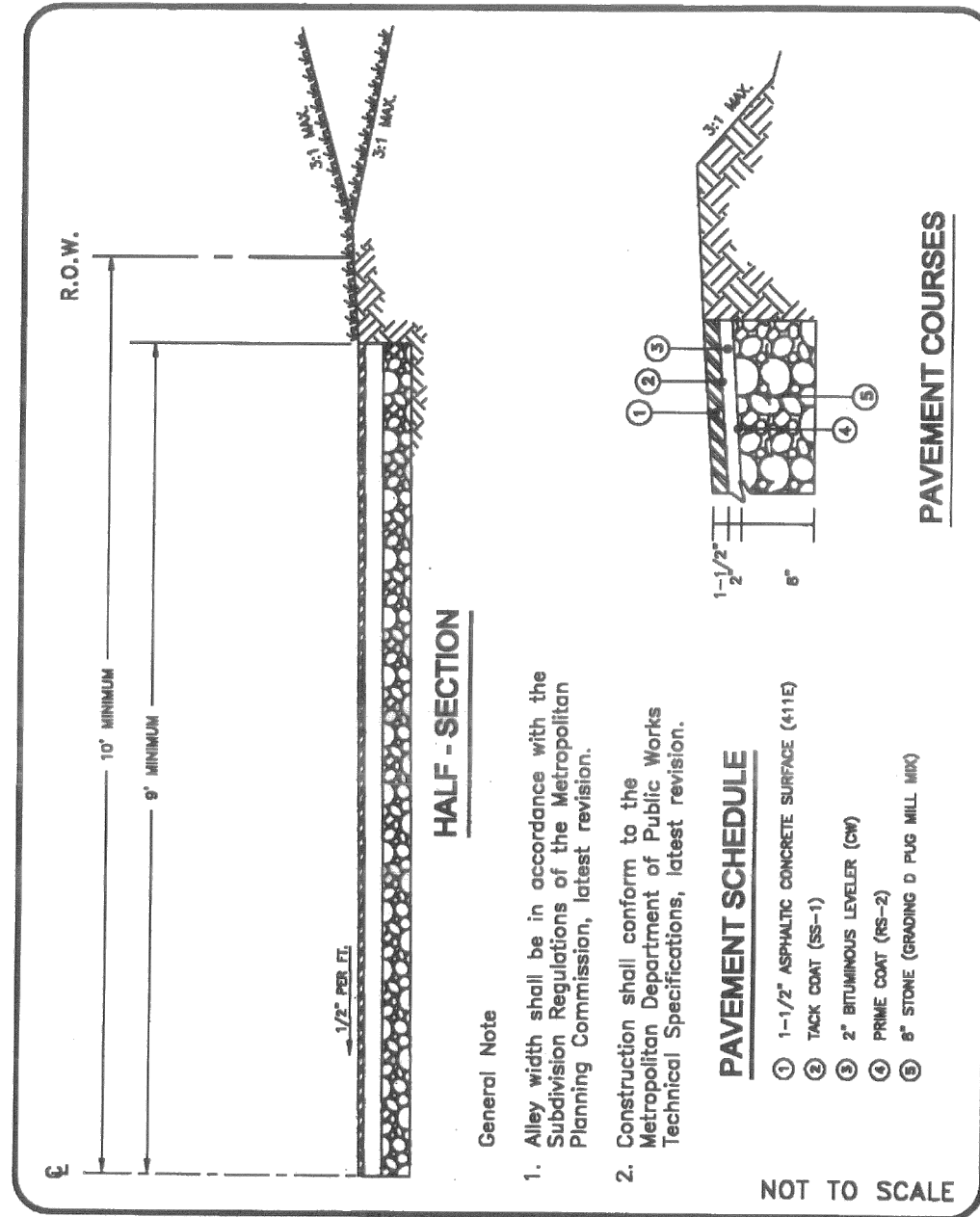
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SIDEWALK CONSTRUCTION	DWG. NO. ST-210
DIR. OF ENG.: <i>Mark May</i>	DATE: 3/12/17	REVISED: 05/02/03 REVISED: 11/24/03 REVISED: 08/23/04 REVISED: 09/11/17



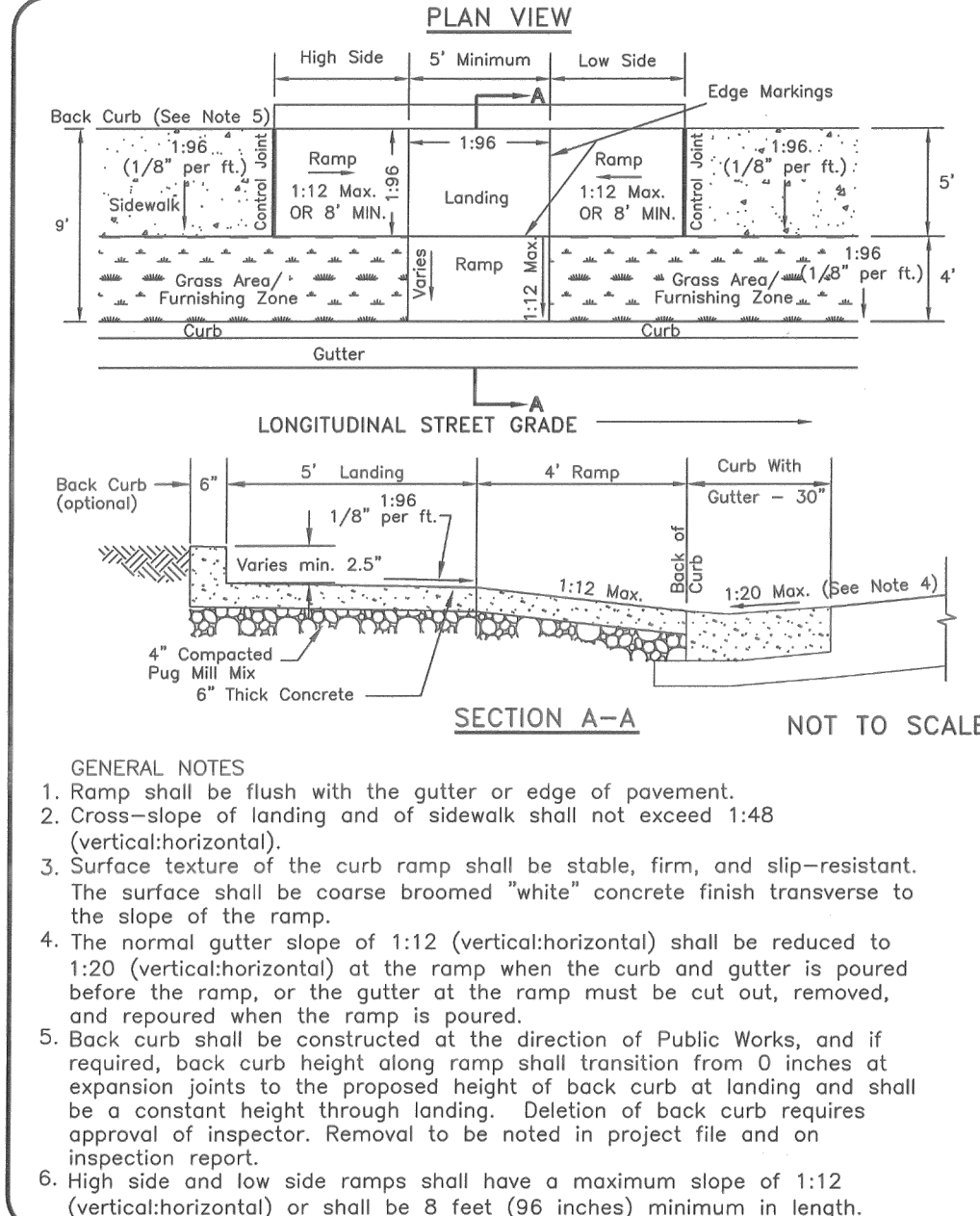
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB WITH GUTTER	DWG. NO. ST-200
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/10/03	REVISED: 07/21/00 REVISED: 05/02/03



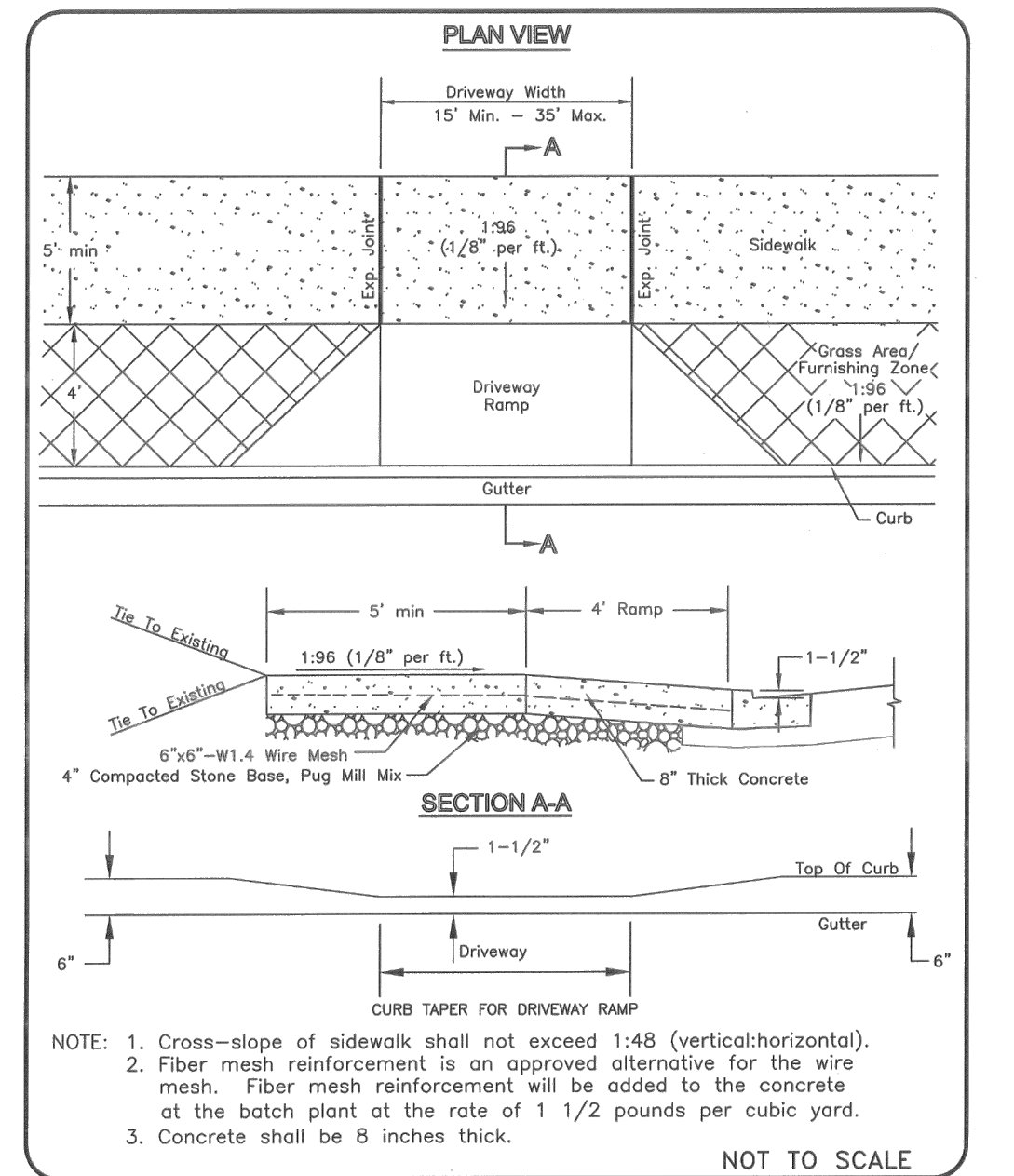
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	CONCRETE POST CURB	DWG. NO. ST-201
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/24/00 REVISED: 05/02/03



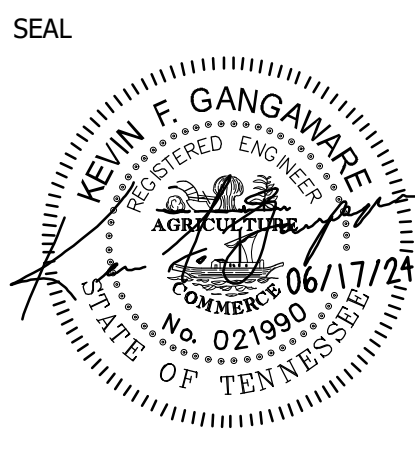
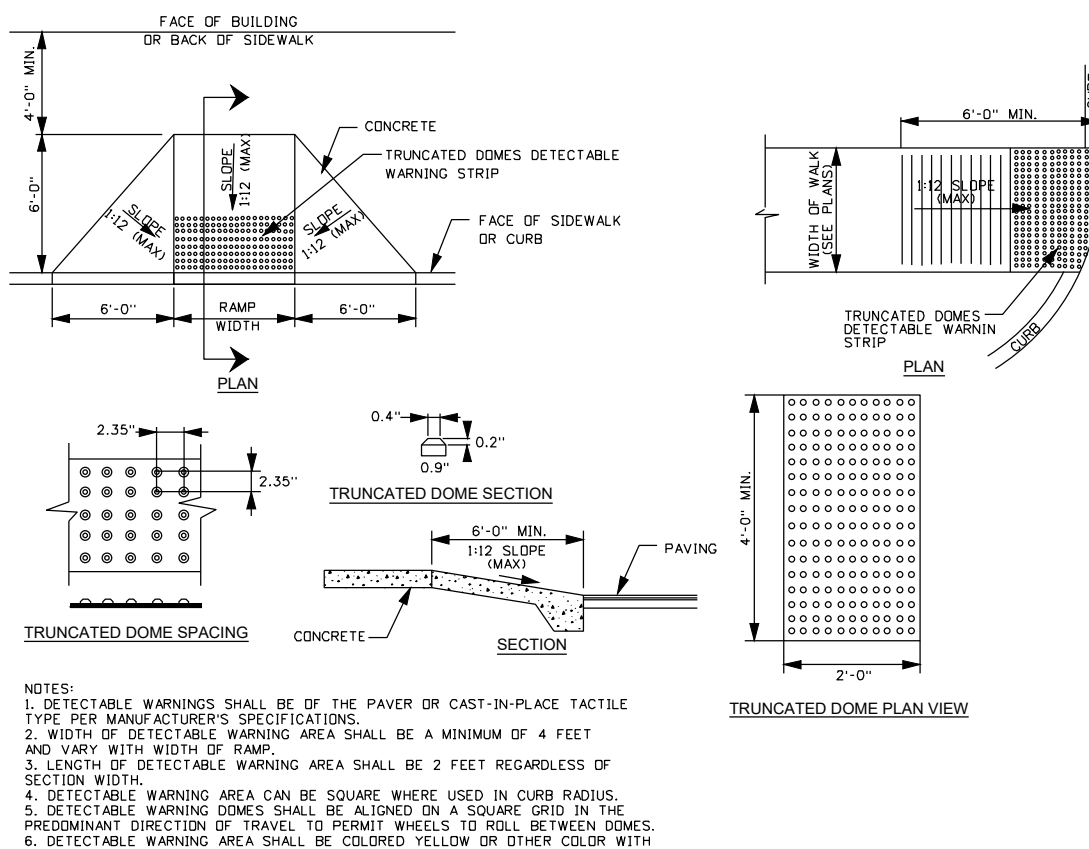
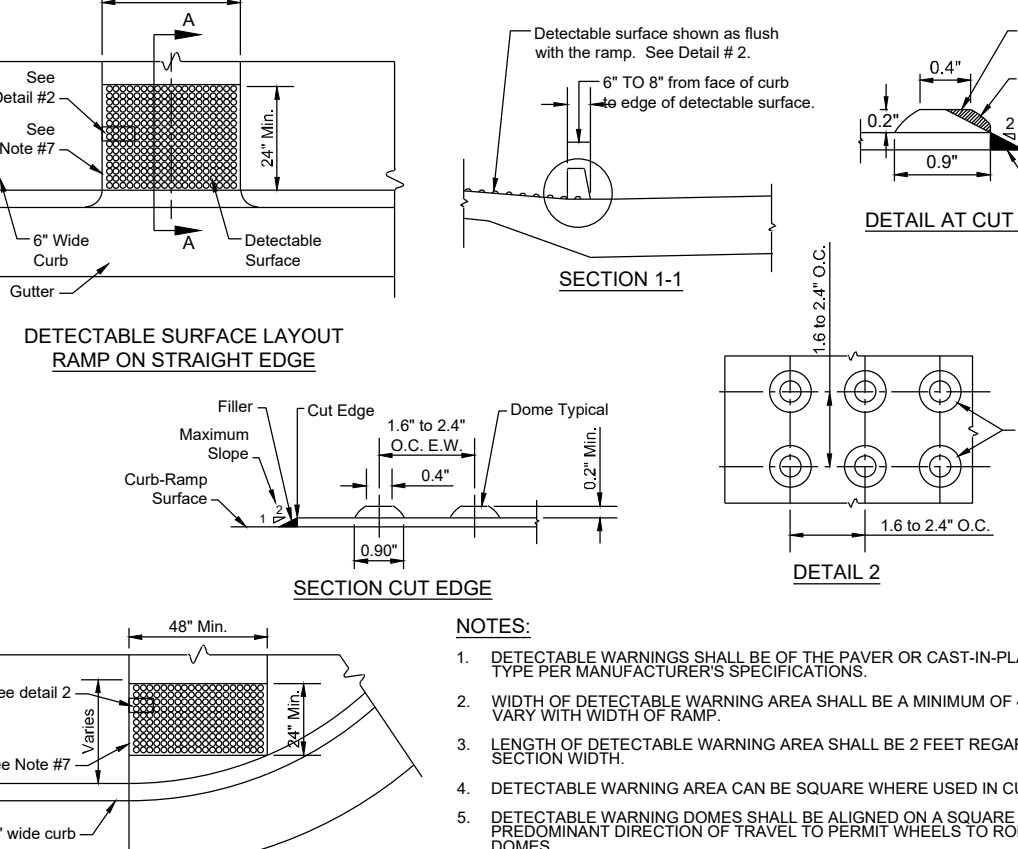
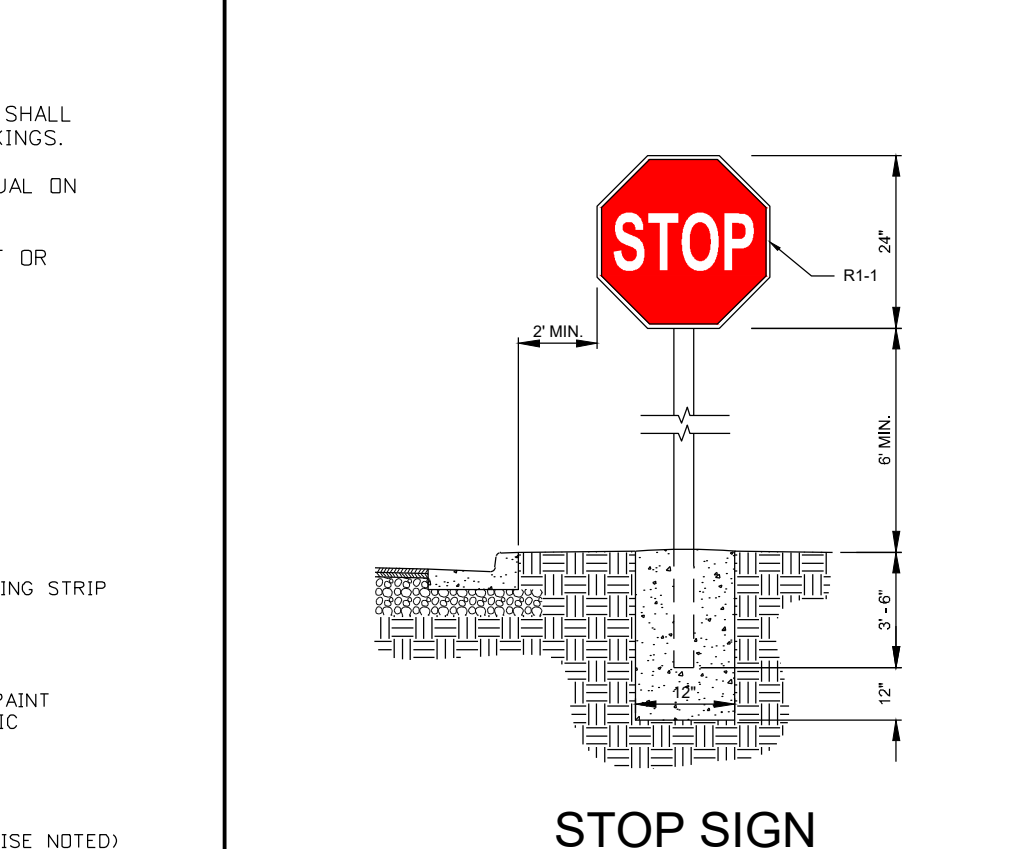
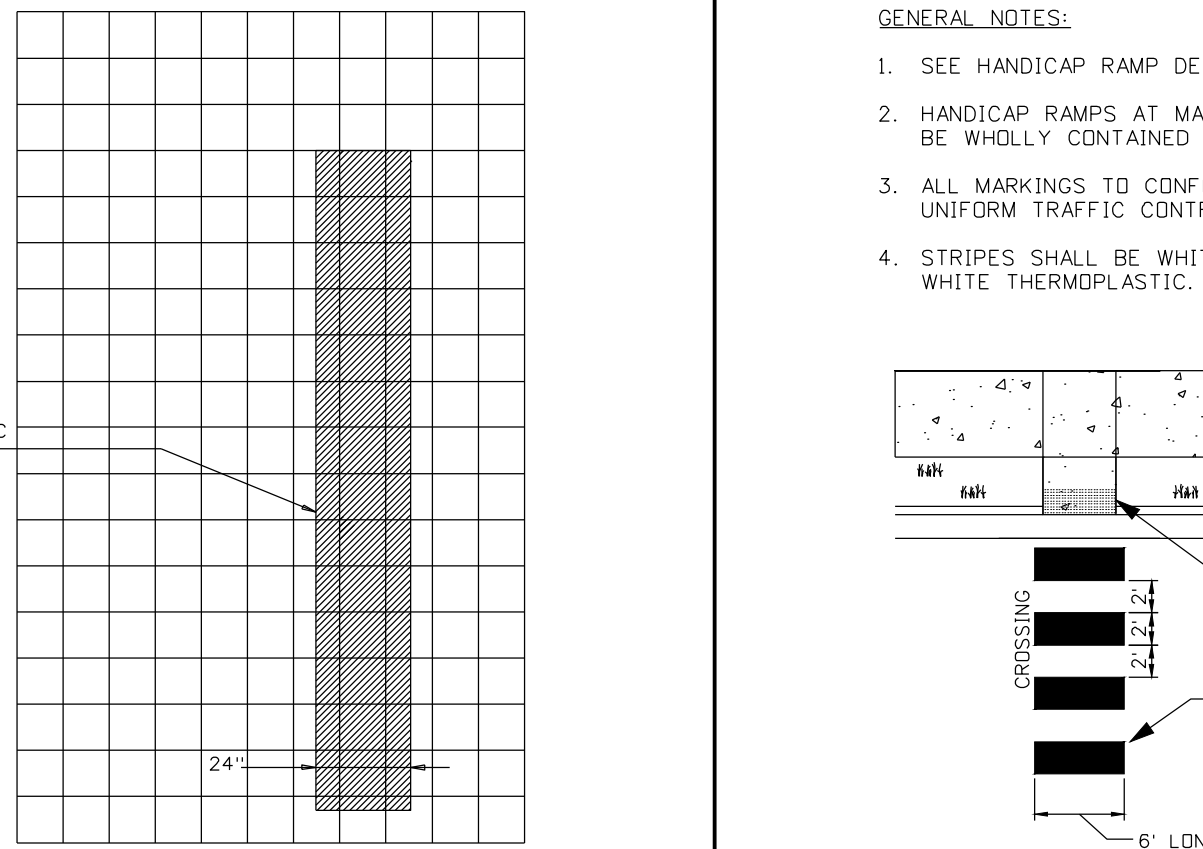
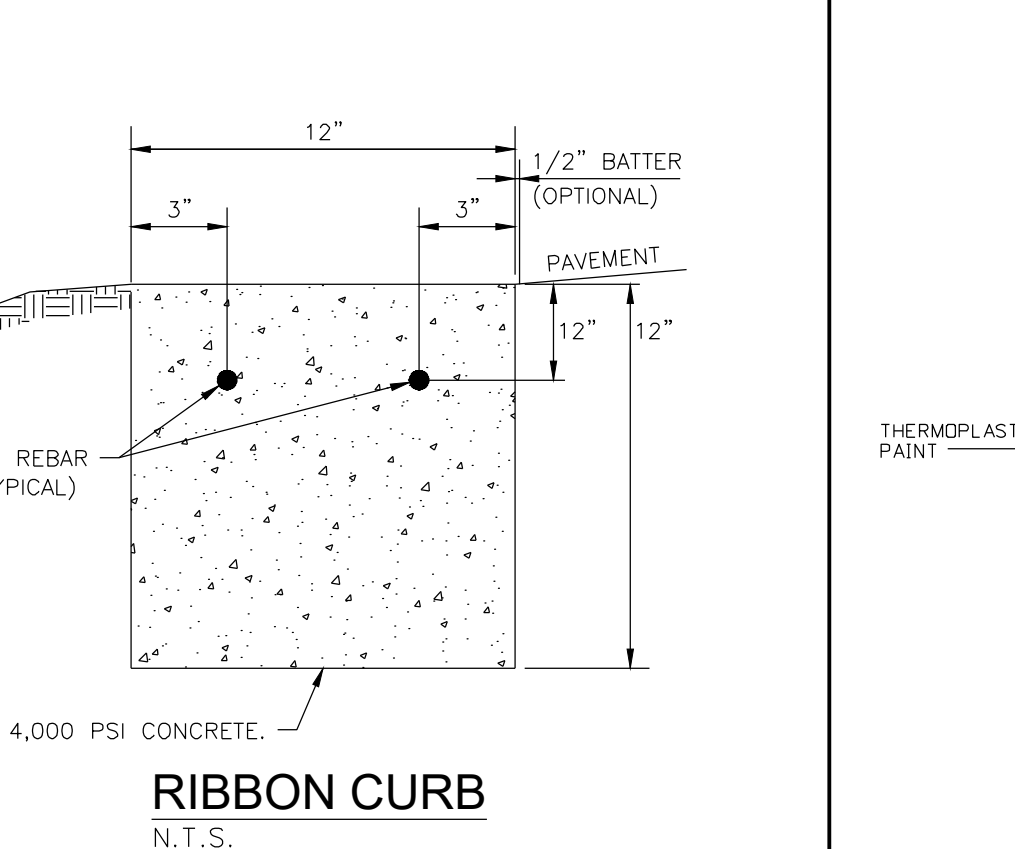
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD ALLEY SECTION	DWG. NO. ST-263
ASST. DIR. OF ENG.: <i>Mark May</i>	DATE: 1/25/00	REVISED: 08/25/00
DIRECTOR: <i>James L. Hill</i>	DATE: 8/25/00	



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION CURB RAMP	DWG. NO. ST-320
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/10/03	REVISED: 07/18/02 REVISED: 05/08/03



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/27/02 REVISED: 05/08/03



**BERKHAMSTED**  
PRELIMINARY SP  
7088 Burkitt Road  
Nashville, Davidson County, Tennessee  
Map 136 - Parcel 6.00

ISSUE SET:  
**Preliminary SP**

ISSUE DATE: 07.26.2023

**REVISION HISTORY:**

Rev.	Description	Date
1	Staff Comments	03/22/22
2	Staff Comments	05/04/22
3	Staff Comments	03/01/23
4	Owner Comments	04/05/23
5	Staff Comments	04/24/23
6	Staff Comments	05/12/23
7	Staff Comments	05/16/23
8	Preliminary SP Resubmittal	07/26/23
9	Added Amenities Layout	03/29/24
10	Planning Staff Comments	05/02/24
11	Community Comments	06/04/24
12	Additional Planning Comments	06/17/24

DRAWN BY:  
CHECKED BY:

CIVIL DETAILS

**C6.01**  
PROJECT NO.: 21-137-01