

Water and Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the metro water services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices (rpbp) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the metro water services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services inspection section. All costs will be borne by the developer.
- Upon completion of construction of water and/or sewer, the engineer shall provide the Metro Water Services department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (*.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- All water mains must be located within the paved area including all blow-off assemblies.

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. no light poles to be located in tree islands. See lighting plan for proposed light locations.

Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.
- The Developer's final construction drawings shall comply with the regulations established by the Department of Public Works in effect at the time of the approval of the Preliminary Development Plan or Final Development Plan or Building Permit, as applicable. Final Design may vary based upon field conditions.
- Comply with the MPW Traffic Engineer upon the Final Plan to insure adequate sight distance is provided
- Driveways within the development are to be a minimum of 24 feet wide
- Final construction plans shall comply with the design regulations established by the Department of Public Works. Final design and improvements may vary based on actual field conditions.
- All sidewalks required per the MCSP shall meet MPW standards and are to be within dedicated right of way
- At driveway access points install ground mounted signs, "Now Entering Private Property"
- Private hauler will be required for waste/recycle disposal for site.

Phasing

Project to be completed in one phase.

Standard SP Notes

- The purpose of this SP is to receive preliminary approval for farm equipment sales and service.
- Farm Equipment Sales and Service is the retail or wholesale sale, rental, maintenance and repair of farm equipment including the sales of parts, incidental and related merchandise. The maximum weight of any farm equipment shall be no more than 25,000 pounds (lbs.)
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- This Property Does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Numbers 47037CO105H dated 4/5/2017.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" CMP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Landscaping and tree density requirements per SP 2020SP-045-001
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the MUN zoning district as of the date of the applicable request or application. Uses are limited as described in the Council approved plan.
- The final unit count and details of the plan shall be governed by the appropriate regulations at the time of final application.
- The final site plan / building permit site plan shall depict required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to issuance of use and occupancy permits, existing vertical obstructions shall be located outside of the required sidewalks. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- All development within the boundaries of this plan meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.
- An access easement shall be provided along the private commercial drive from Whites Creek Pike to the stream buffer. The easement shall allow access to Whites Creek Pike for any future development north of the drive.

Whites Creek Improvement Requirements

This development is required to provide roadway improvements per the MCSP Designation: T2-M-AB2S
 Standard Right-of-Way: 64
 Half of Standard Right-of-Way: 32.00
 Bikeway Width: 6.00
 Planting Strip Width: 4.00
 Sidewalk Width: 8.00
 If additional right of way is required, this development will dedicate additional right of way to meet the half right of way standard of 32 feet.
 Roadway improvements will be designed and constructed per the requirements of the Metro Nashville Department of Public Works

Landscape Buffering Requirements

Existing vegetation will be maintained along the perimeter of the property. Where the property abuts the existing residential and SP Zoning, the existing perimeter vegetation will be supplemented in order to establish a Class "C" Buffer of 30 Ft Minimum Width

Traffic Engineer

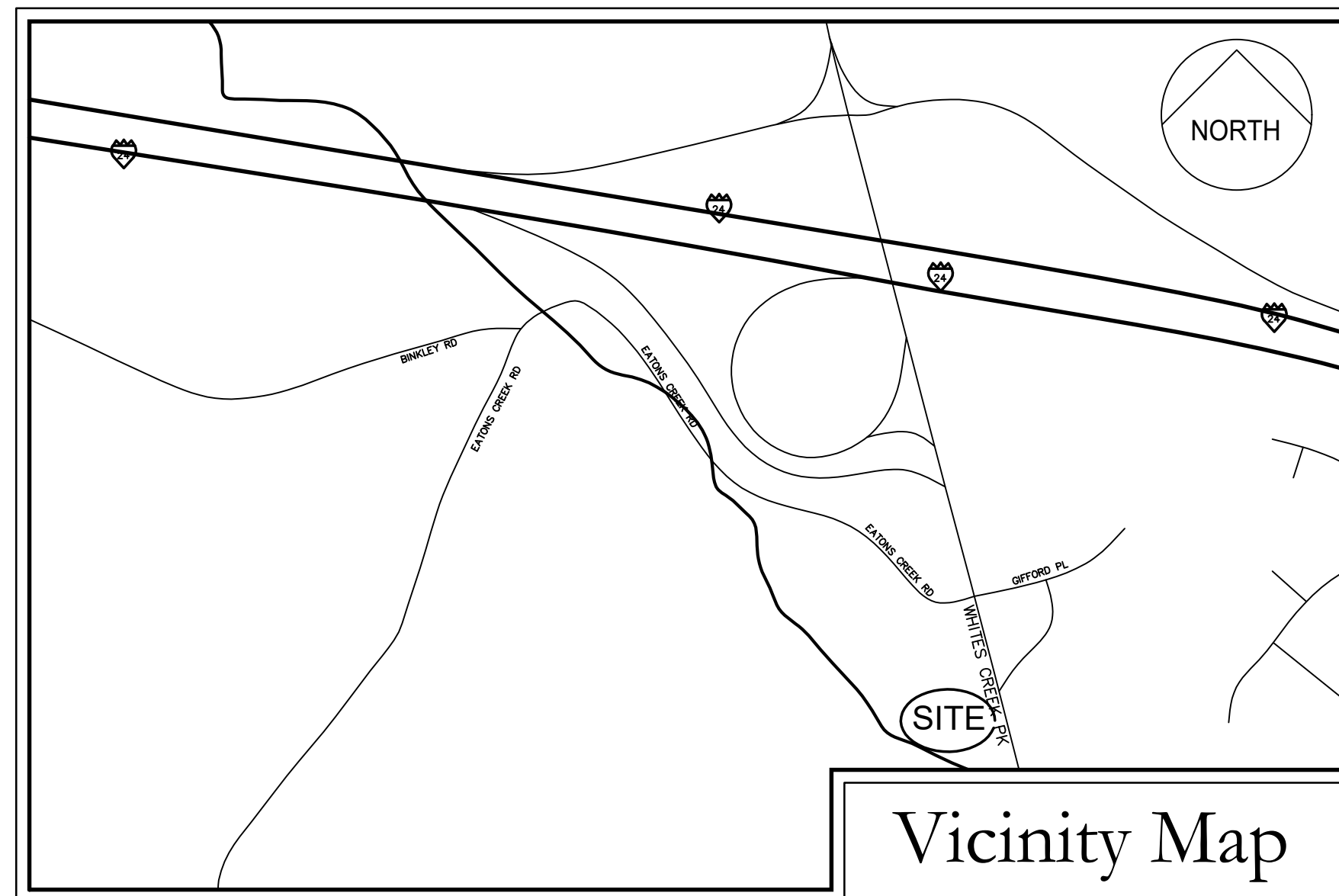
Prior to the submittal of any Final SP, A Traffic Access Study Shall Be Scoped By The Metro Traffic Engineer and a Resulting Traffic Access Study Shall Be Completed and Submitted to the Traffic Engineer For Review and Approval. All Traffic Improvements Warranted by Said Study Shall Be Designed and Submitted with the Application for The Final SP.

Metro Water Services

Private water and/or sanitary sewer site utility construction plans must be submitted and approved prior to Final SP approval. The approved site utility plans must match the Final Site Plan/SP plans. A Capacity Study has taken place and the required capacity must be reserved by confirmation of capacity fee payment prior to Final Site Plan/SP approval.

A Preliminary SP Kubota at Whites Creek Pike

Case No. 2020SP-045-001
 Being Parcels on Tax Map 22
 Nashville, Davidson County, Tennessee



GENERAL PLAN CONSISTENCY NOTE

The intent of the current Land Use Policy T2-NC (Transect 2 Rural Neighborhood Center) is to maintain, enhance, and create rural centers that provide services and a mixture of uses for surrounding rural areas. T2 Rural Neighborhood Centers are pedestrian-friendly areas generally located at defined intersections and contain commercial, mixed use, residential, institutional land uses. T2 Rural Neighborhood Centers serve rural neighborhoods within a ten-minute drive. T2 Rural Neighborhood Centers are generally small, not exceeding the four corners of an intersection of prominent rural roads and have access to sewer infrastructure. T2 Rural Neighborhood Center policy areas are generally surrounded by extensive areas of Conservation Policy. While the Conservation policy is applied to environmentally sensitive features such as floodplains and steep slopes, areas outside of these features still drain to streams, creeks, and rivers within watersheds. This Proposed SP is ideally located within the business center of Joelton and offers an opportunity for residents of Joelton for essential farm equipment sales and services for this rural community. The Conservation areas within these parcels are to be preserved and protected.

Stormwater Notes

- This site is responsible for water quality and water quantity.
- Design of stormwater features will be provided during the final SP process.
- Storm sewer system on this plan is shown schematically. Final design will be provided during the final SP process and will meet the requirements of the stormwater management manual.
- This project will disturb more than 1 acre, therefore, a NOI will be submitted to TDEC during final SP process.
- This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.
- (Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78/840 and approved by The Metropolitan Department of Water Services.)
- (The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.)
- (Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.)
- (Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (Minimum driveway culvert in Metro ROW is 15" CMP).

NES Notes

- NES can meet with developer upon request to determine service options.
- NES shall be placed in 20" PUE" along the front of each property.
- This phase will need to have underground power that will be connected to stubouts from phase 1 and phase 1B.
- NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules (see NES Construction Guidelines under "Builders and Contractors" tab @ www.nespower.com).
- Final quantity and location of NES equipment to be determined by the NES Engineer after receiving final plans and electrical load information. A preliminary Exhibit 'B' design will be sent to the developer or representatives of the developer for review. Suggestions or requests to the design should be made during this review process. Any changes requiring re-design, after this document has been signed, will be at the developer's expense.
- Developer's vegetation design shall meet both Metro requirements and NES Vegetation Management requirements/clearances.
- NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bio swales and the like. This includes primary duct between pad-mounted equipment, as well as service duct to a meter or meter center.
- NES needs electrical load information including any house, irrigation, pump, or compactor services.
- Postal plan is required before NES's final construction drawings can be approved.
- Limited building detail, and/or building construction information provided. Any additional fire code or access issues will be addressed during the construction permitting process. Future development or construction may require changes to meet adopted fire and building codes.
- TO APPLY FOR SERVICE:

DIGITAL COPY: Provide copy of civil site plan on a CD (no pdfs; no x-ref's in .dwg file) registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83) with NO Datum Adjustment applied. Put data in separate layers and label them for easy identification.

Developer/Engineer will provide one complete set of approved plans by Metro Planning w/ all changes from other departments (fire, storm water, public works, etc...) to NES.

Developer/Engineer to provide a proposed easement drawing for the electric, phone and CATV. .

Go to www.nespower.com click on the "BUILDERS & CONTRACTORS" tab. Next click on the "Apply for Residential Subdivision" fill out the form. Then follow the direction for sending the digital drawing and the forms.

Development Summary		
Property Information Map 22 Parcels 242 and part of 13 and 14 7395 Old Hickory Blvd Nashville, TN 37189 Zoned: R40 and CL Site Area: 7.66 Ac	Civil Engineer and Surveyor Dale & Associates (Roy Dale, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166	Electric Service Nashville Electric Service (NES) 1214 Church Street Nashville, Tennessee 37246 615.747.6807
Council District 1 - Jonathan Hall	Floodnote This Property Does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47037CO105H dated 4/5/2017.	Gas Service Nashville Gas (Piedmont) 615.734.0734
Owners of Record Ronald Waller P.O. Box 248 Joelton, TN 37080	Developer Robert Coleman 550 Alfred Thun Road Clarksville, TN 37040 Phone: 731-363-9820 Email: scoleman@colemantractor.com	Water and Sewer Service Metro Water Service 1600 2nd Avenue North Nashville, TN 37208 615.862.4598
		Telephone Service Bellsouth 866.620.6000
		Utility Location Tennessee One-Call 800.351.1111

Specific Plan Development Summary	
Uses	Permitted Uses Limited to Farm Equipment Sale and Services.
The retail or wholesale sale, rental, maintenance and repair of farm equipment and yard equipment including sales of parts, incidental and related merchandise. The maximum weight of any farm or yard equipment shall be no more than 25,000 pounds (lbs.).	
Project Area	7.66 Acres
Property zoning: R40 and CL	Surrounding Zoning: CL and SP
Fall Back Zoning	MUN
Minimum lot size	N/A
FAR	0.60
ISR	0.90
Street Setbacks	30' measured from exist R.O.W.
Side yard	10'
Rear yard	20'
Height standards	One Story in 30 feet
Parking and Access	
Proposed Ramp Location and Number	One Whites Creek Pike
Distance to intersection	300 ft Gifford Pl
Parking	Per Metro Zoning Code

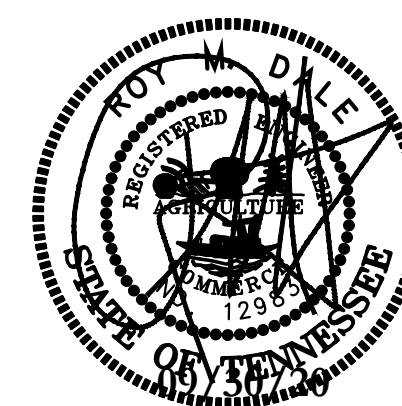
Sheet Schedule

C1.0 Notes & Project Standards

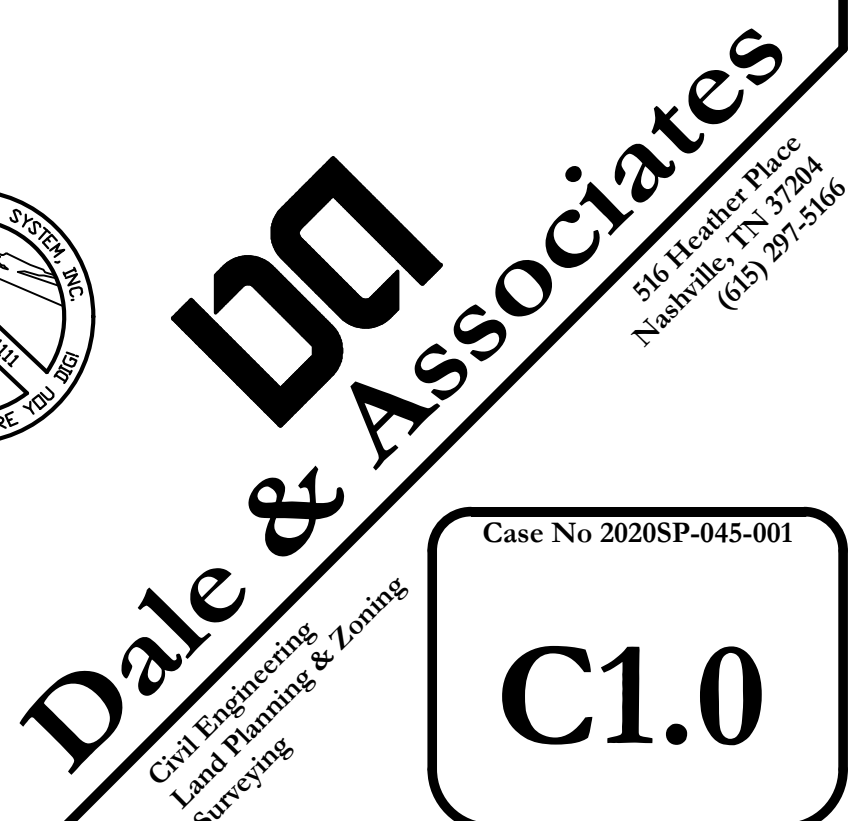
C2.0 Existing Conditions

C3.0 Proposed Overall SP Layout Without Contours

C4.0 Proposed Overall SP Layout With Contours



REV 10/22/20
 REV 10/31/20
 REV 12/12/20



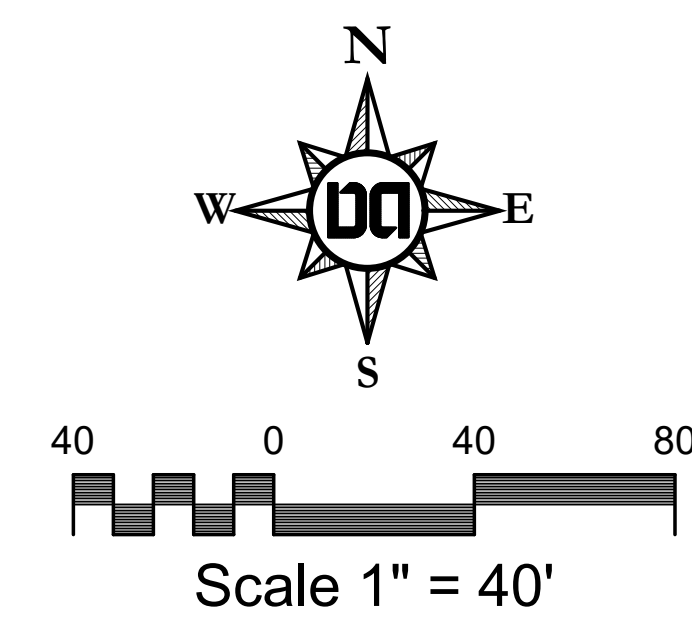
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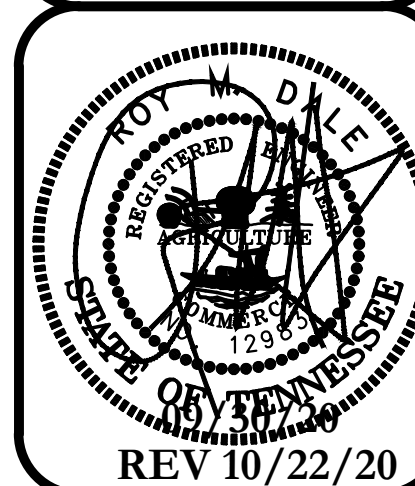
Notes and Project Standards

Drawing Date:

Revisions



Kubota at Whites Creek Pike
 Old Hickory Blvd North
 Davidson County, Tennessee



REV 10/22/20
 REV 10/31/20
 REV 11/18/20

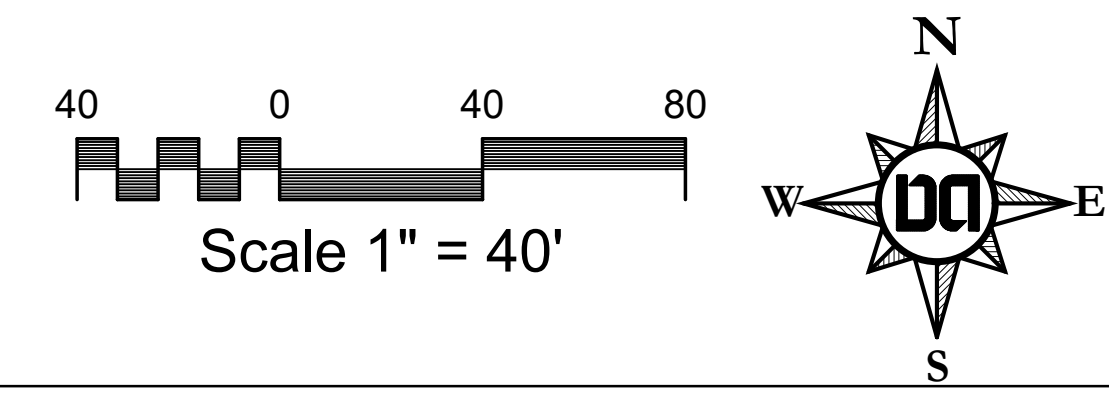


Dale & Associates
 Civil Engineering
 Land Planning & Zoning
 Surveying
 310 Heather Place
 Nashville, TN 37204
 (615) 975-5166

Case No 2020SP-045-001

C2.0

Existing Conditions



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Side yard	10'
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Height standards	One Story in 30 feet
Parking and Access	One Whites Creek Pike
Proposed Ramp Location and Number	300 ft Gifford Pl
Distance to intersection	Per Metro Zoning Code
Parking	Per Metro Zoning Code

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- An access easement shall be provided along the private commercial drive from Whites Creek Pike to the stream buffer. The easement shall allow access to Whites Creek Pike for any future development north of the drive.

Whites Creek Improvement Requirements

This development is required to provide roadway improvements per the MCSP Designation: T2-M-AB2-S
 Standard Right-of-Way: 64
 Half of Standard Right-of-Way: 32.00
 Bikeway Width: 6.00
 Planting Strip Width: 4.00
 Sidewalk Width: 8.00
 If additional right of way is required, this development will dedicate additional right of way to meet the half right of way standard of 32 feet.
 Roadway improvements will be designed and constructed per the requirements of the Metro Nashville Department of Public Works

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Existing vegetation will be maintained along the perimeter of the property. Where the property abuts the existing residential and SP Zoning, the existing perimeter vegetation will be supplemented in order to establish a Class "C" Buffer of 30 Ft Minimum Width

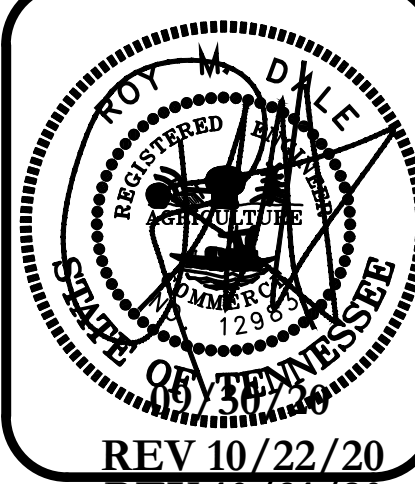
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Kubota at Whites Creek Pike
 Old Hickory Blvd North
 Davidson County, Tennessee

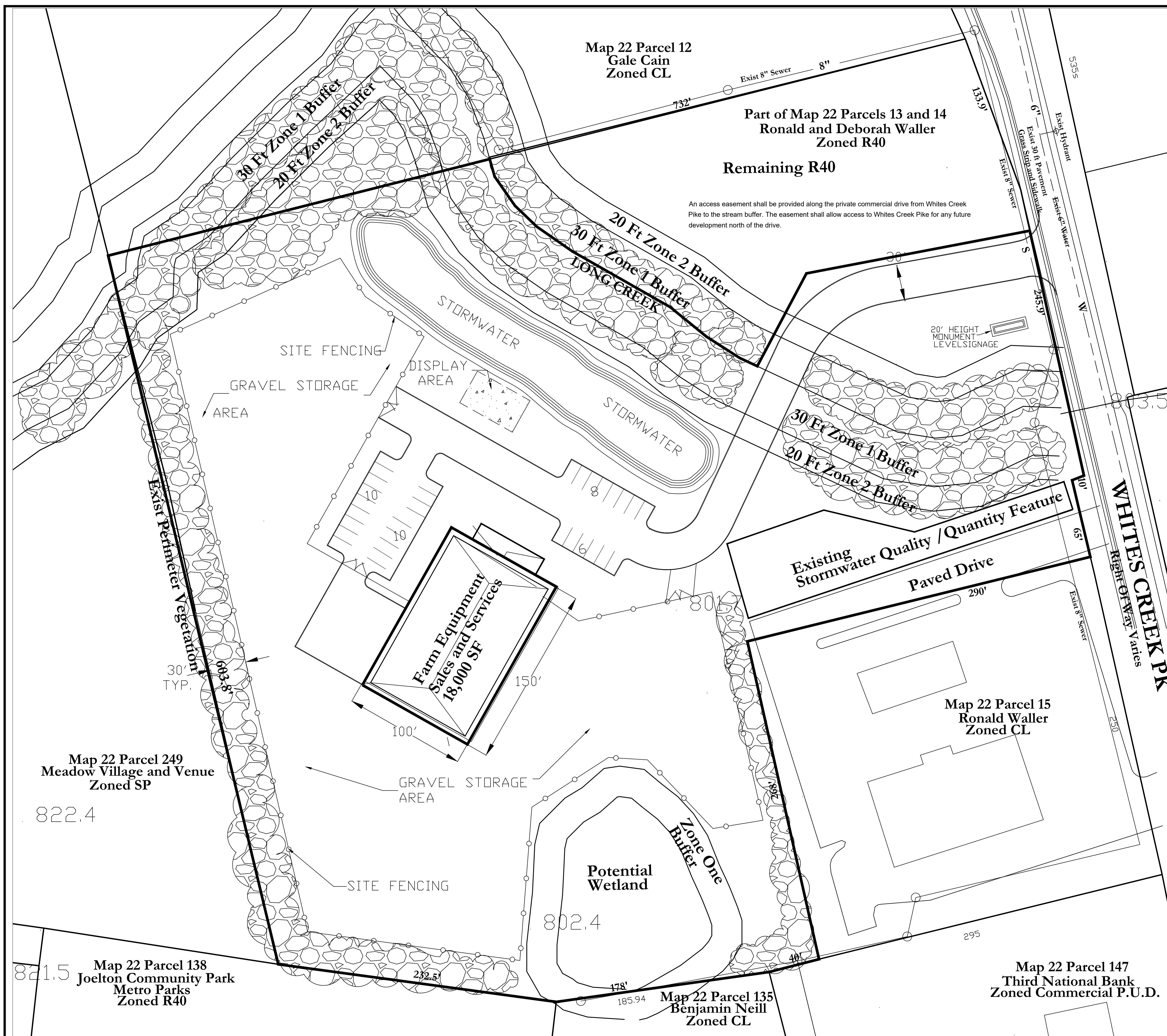


REV 10/22/20
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Dale & Associates
 Civil Engineering, Land Planning & Zoning
 516 Heather Place
 Nashville, TN 37204
 (615) 297-5106

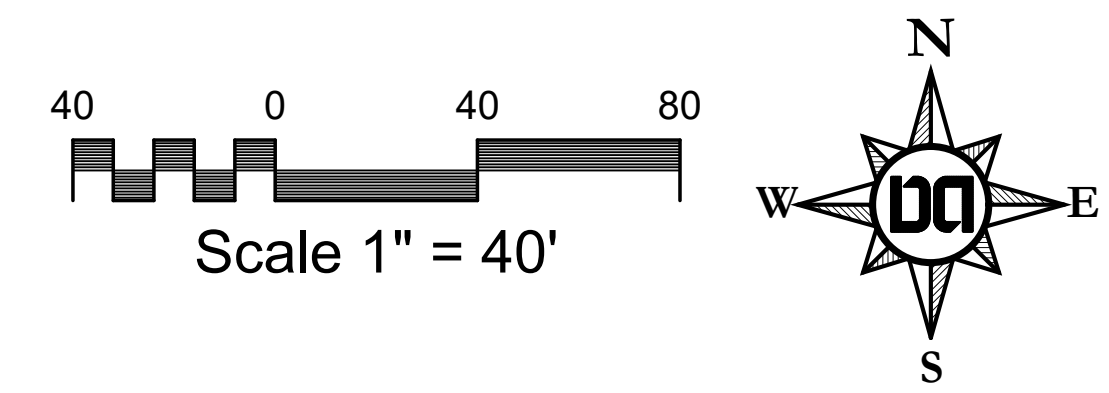
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C3.0



Proposed Overall SP Layout
 Without Contours





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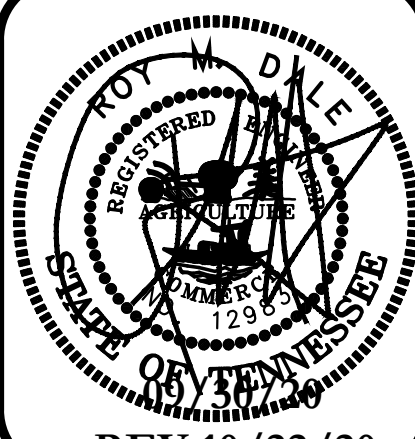
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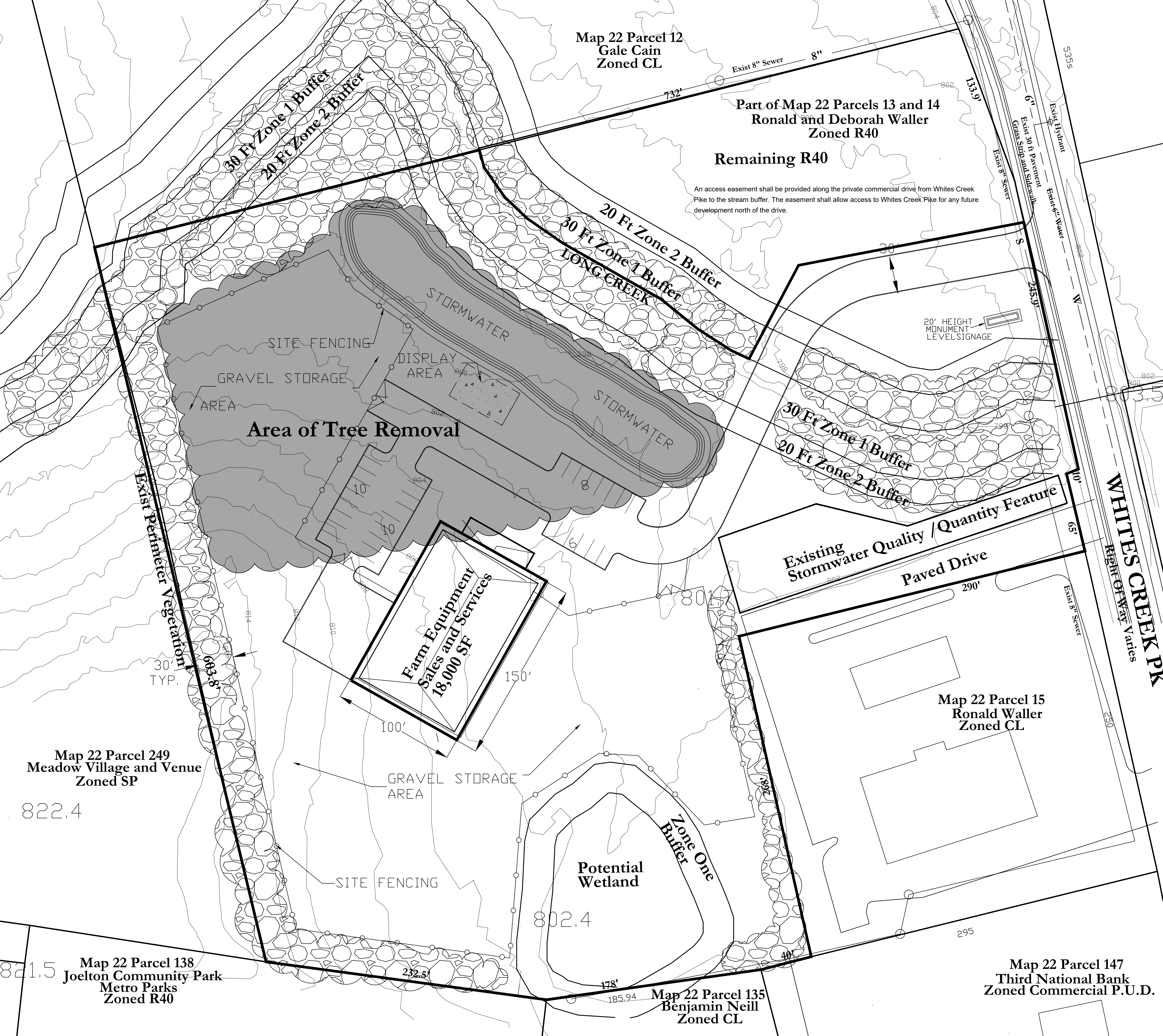
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REV 10/22/20
 REV 10/31/20
 REV 11/18/20
 REV 12/12/20

Dale & Associates
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 Land Planning & Zoning
 Surveying
 510 Heather Place
 Nashville, TN 37204
 (615) 297-5106

Case No 2020SP-045-001
C4.0



Note: Site Contains 186,000 SF of Forested Area of which 100,000 SF to be preserved

Proposed Overall SP Layout
 With Contours

