

10/30/2023

Dear Metro Planning Department,

I'd like to formally submit the attached Neighborhood Landmark Application (NLOD) for the church at 1085 Zophi Street in East Nashville.

Prior to this submittal I have:

- Met with, updated and received the full support of East Nashville's Councilmember Sean Parker.
- Gone through Metros pre-application process with Celina and Emily in the Metro planning department.
- Attended an East Hills Community meeting at the police precinct where Sean Parker introduced us and asked us to share our plan.
- Spent time, talked with and received support from many neighbors sharing a desire to not see the church torn down.

This church is recognized by many Nashvillian's. It is perched on a small hilltop behind Wendy's on Gallatin Pike near Trinity Lane. It was built in 1940 as the great depression was ending. The outside is very quaint and obviously a small church. But, as you step through the doors the true appreciation begins. It's 1940's heart pine floors and ceilings are very rare and beautiful. Please see the attached photos.

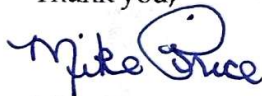
I and the community very much do not want to see this property torn down and more of the tall / skinny homes built.

The ability to gain Neighborhood Landmark approval will allow us to preserve a piece on Nashville history, allow a small church to hold weekly services and become financially sustainable by allowing individual recording artists to rent the space for their music and video recordings in an "Old Church" setting.

An important note to this submittal is that no current modifications are planned to the building, parking, or site layout at this time. All will remain unchanged as a part of this application.

Feel free to call me at any time for more discussion or suggestions on my cell phone at 615-414-7885

Thank you,



Mike Price



# SITE PLAN

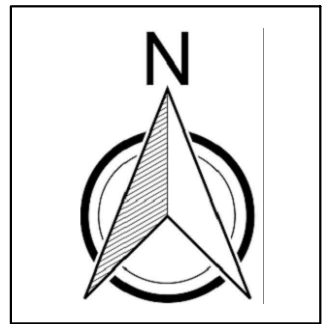
1085 Zophi St

Nashville, TN 37216

Parcel ID: 072-06-0-173-00

Lot area: 0.21 Acres

Paper Size: 11"x17"



scale 1"=20'

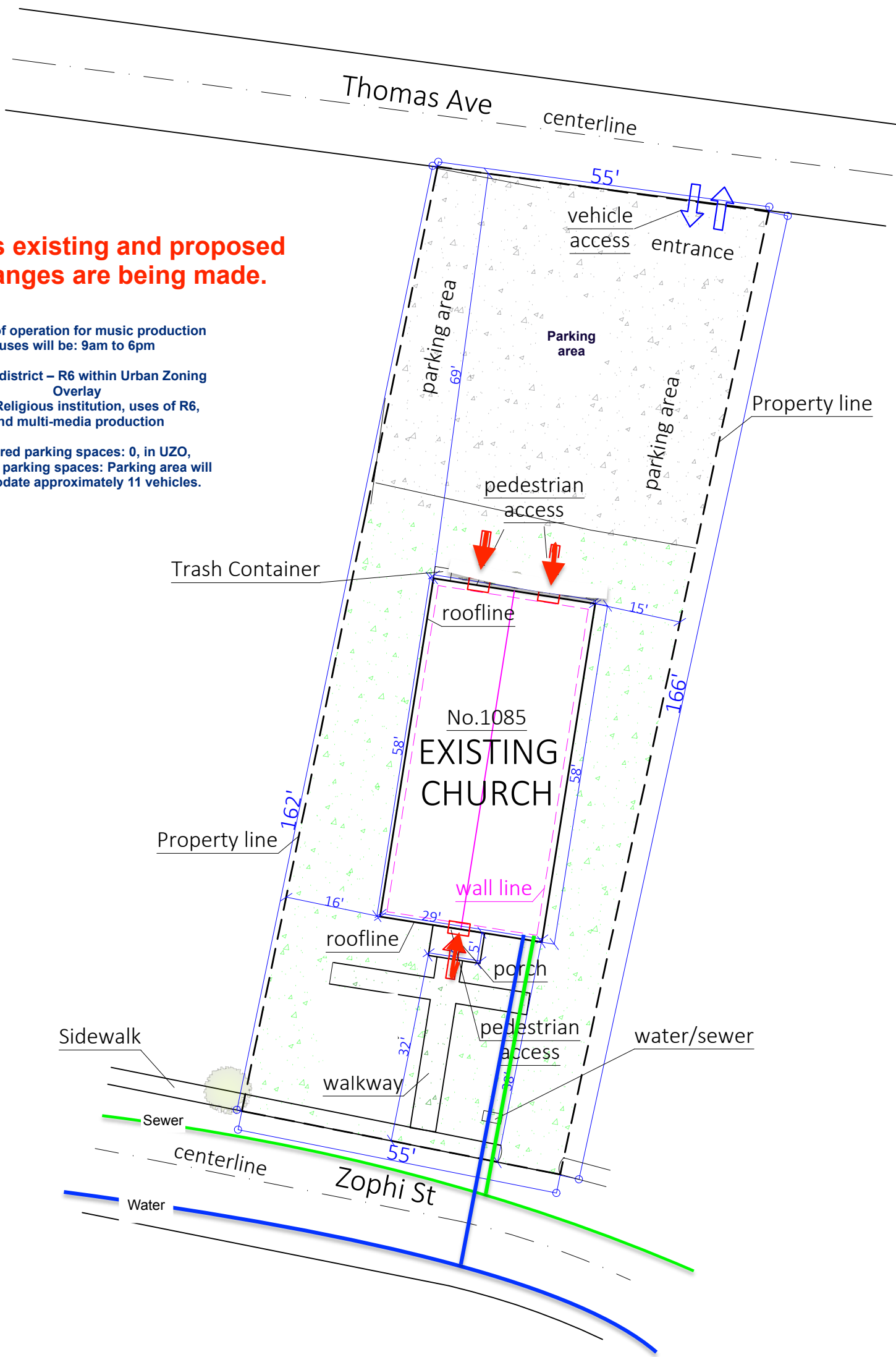
**Site Plan is existing and proposed as no changes are being made.**

Hours of operation for music production uses will be: 9am to 6pm

Zoning district – R6 within Urban Zoning Overlay

Uses: Religious institution, uses of R6, and multi-media production

Required parking spaces: 0, in UZO, Provided parking spaces: Parking area will accommodate approximately 11 vehicles.



## Calculating Building and Lot Coverage Percentages

Lot area: 9,148 sq.ft.

Total building coverage (gross floor area): 1,686 sq.ft.

Building Coverage Percentage:  $1,686 \text{ sq.ft} / 9,148 \text{ sq.ft} = 0.18430 = 18.4\%$

Total Lot Coverage: 3,474 sq.ft.

Lot Coverage Percentage:  $3,474 \text{ sq.ft} / 9,148 \text{ sq.ft} = 0.37975 = 38.0\%$

\*Total landscape areas:

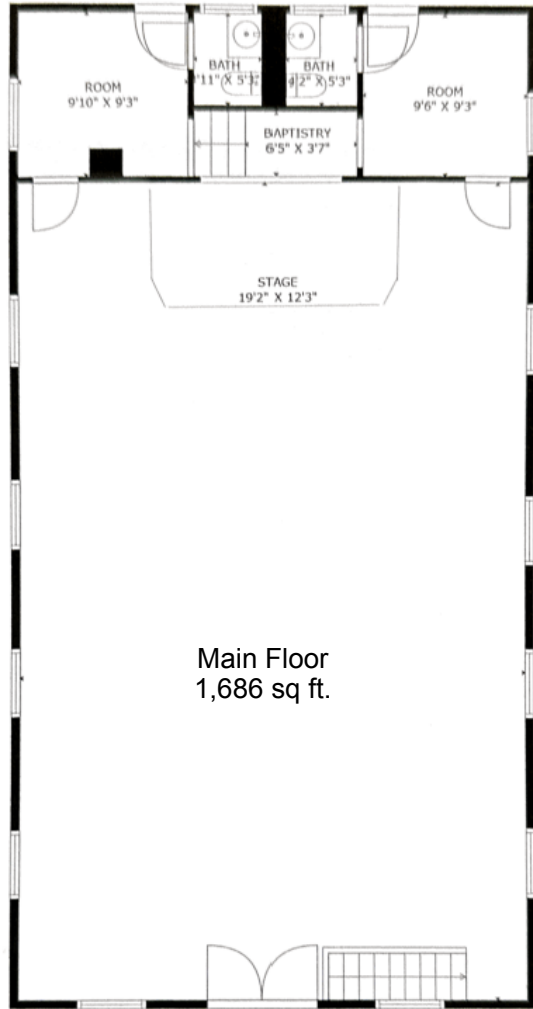
**Purpose and Desire**

The importance of preserving this church transcends my mere sentimental value; it contributes significantly to the aesthetic appeal and cultural identity of the community. By maintaining this iconic structure, we honor our past while creating a lasting legacy for future generations to appreciate and cherish.

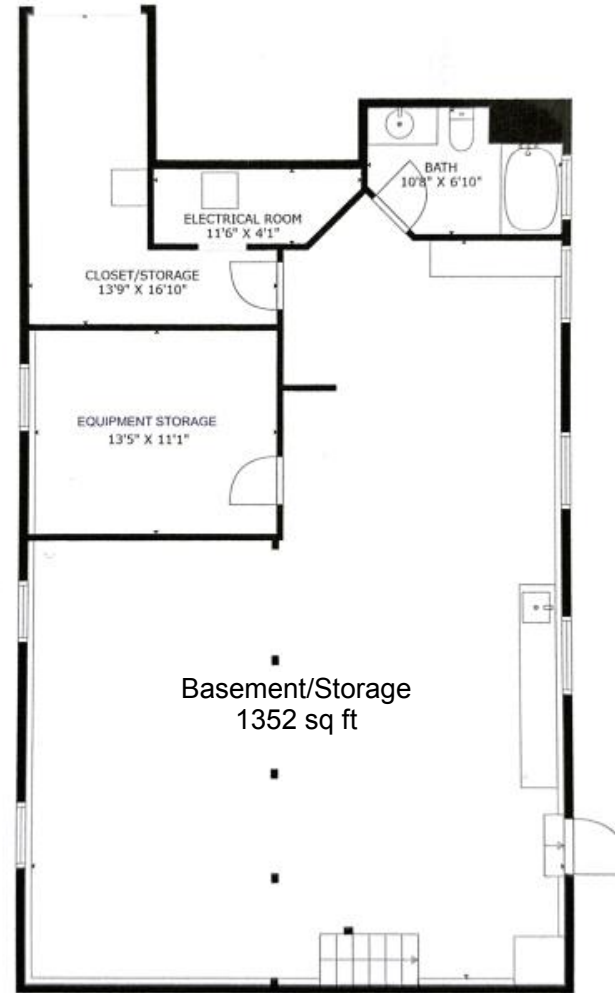


1085 Zophi St – Existing & Proposed Conditions – Will Not Be Altered

## Main Floor



## Basement



1085 Zophi St – Floorplan



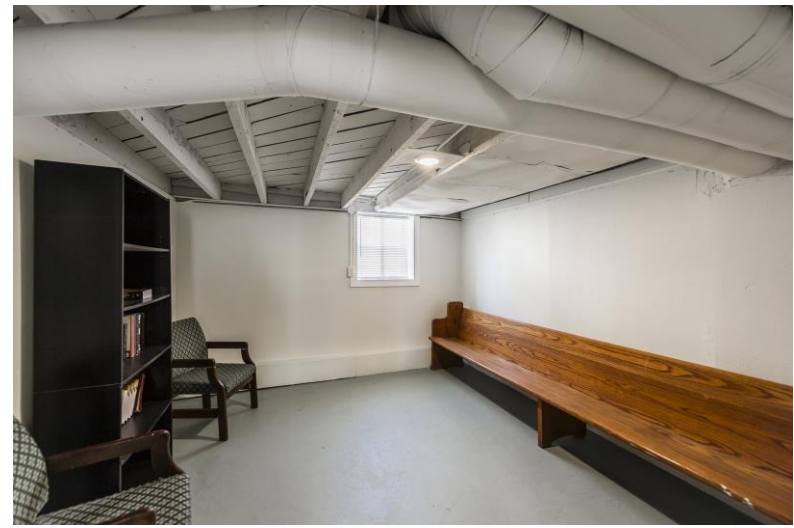
1085 Zophi St – Existing & Proposed Conditions – Will Not Be Altered

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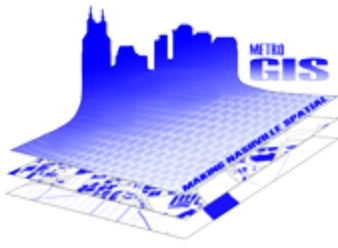
1085 Zophi St – Existing & Proposed Conditions – Will Not Be Altered

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Nashville Planning Department

800 2nd Ave S

P.O. Box 196300

Nashville, TN 37219-6300

[maps.nashville.gov](https://maps.nashville.gov)

**Proposed NL Boundary**

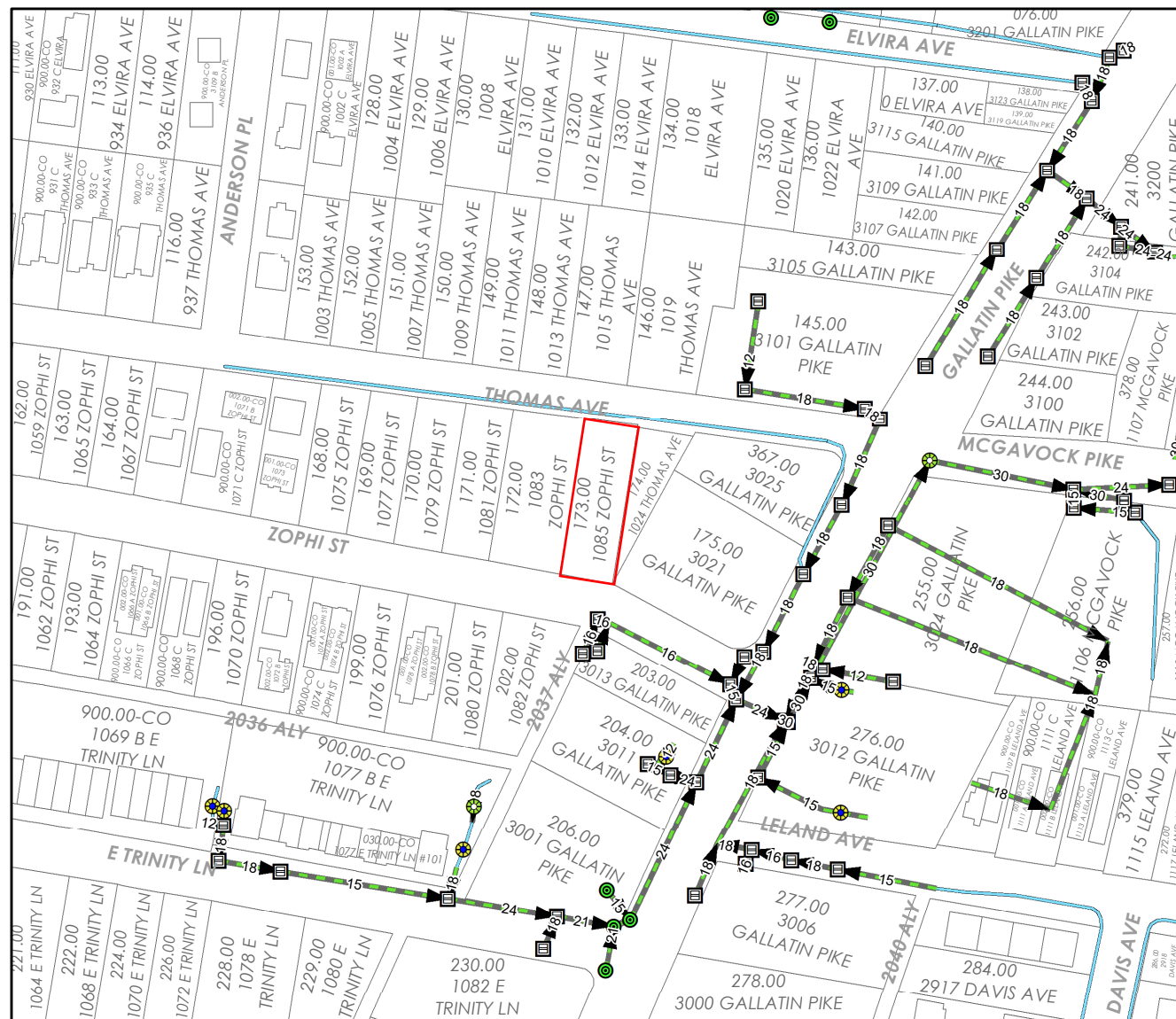


Parcel Details	
<b>Parcel ID:</b>	07206017300
<b>Parcel Address:</b>	1085 ZOPHI ST NASHVILLE, TN 37216
<b>Owner:</b>	FEATHERFOOT, LLC
<b>Acquired Date:</b>	6/20/2022
<b>Sale Price:</b>	\$ 435,000.00
<b>Sale Instrument:</b>	DB-20220627 0073418
<b>Mailing Address:</b>	174 SAUNDERSVILLE RD HENDERSONVILLE, TN 37075
<b>Legal Description:</b>	LOT PT 45 ZOPFI PLACE
<b>Acreage:</b>	0.21
<b>Frontage Dimension:</b>	55
<b>Side Dimension:</b>	166
<b>Parcel Instrument:</b>	DB-00004721 0000592
<b>Parcel Instrument Date:</b>	6/11/1973
<b>Census Tract:</b>	37011200
<b>Tax District:</b>	USD
<b>Council District:</b>	05
<b>Land Use Description:</b>	CHURCH

Zoning		<a href="#">Hide</a>
<b>Zone Code</b>	OV-UZO	
<b>Zone Description</b>		
<b>Effective Date</b>	12/18/2020	
<b>Ordinance</b>	BL2020-516	
<b>Case Number</b>	2020Z-120PR-001	
<b>Zone Code</b>	R6	
<b>Zone Description</b>	MEDIUM DENSITY RESIDENTIAL, REQUIRING A MINIMUM 6,000 SQUARE FOOT LOT AND INTENDED FOR SINGLE AND TWO-FAMILY DWELLINGS AT A DENSITY OF 7.71 DWELLING UNITS PER ACRE.	
<b>Effective Date</b>	12/23/1974	
<b>Ordinance</b>	O73-650	
<b>Case Number</b>		

Owner History		<a href="#">Hide</a>
<b>Owner Name</b>	FEATHERFOOT, LLC	
<b>Acquired Date</b>	6/21/2022	
<b>Sale Instrument</b>	DB-20220627 007341	
<b>Mailing Address</b>	174 SAUNDERSVILLE RD, HENDERSONVILLE TN 37075	
<b>Mailing Country</b>	US	
<b>Sale Amount</b>	\$ 435,000.00	





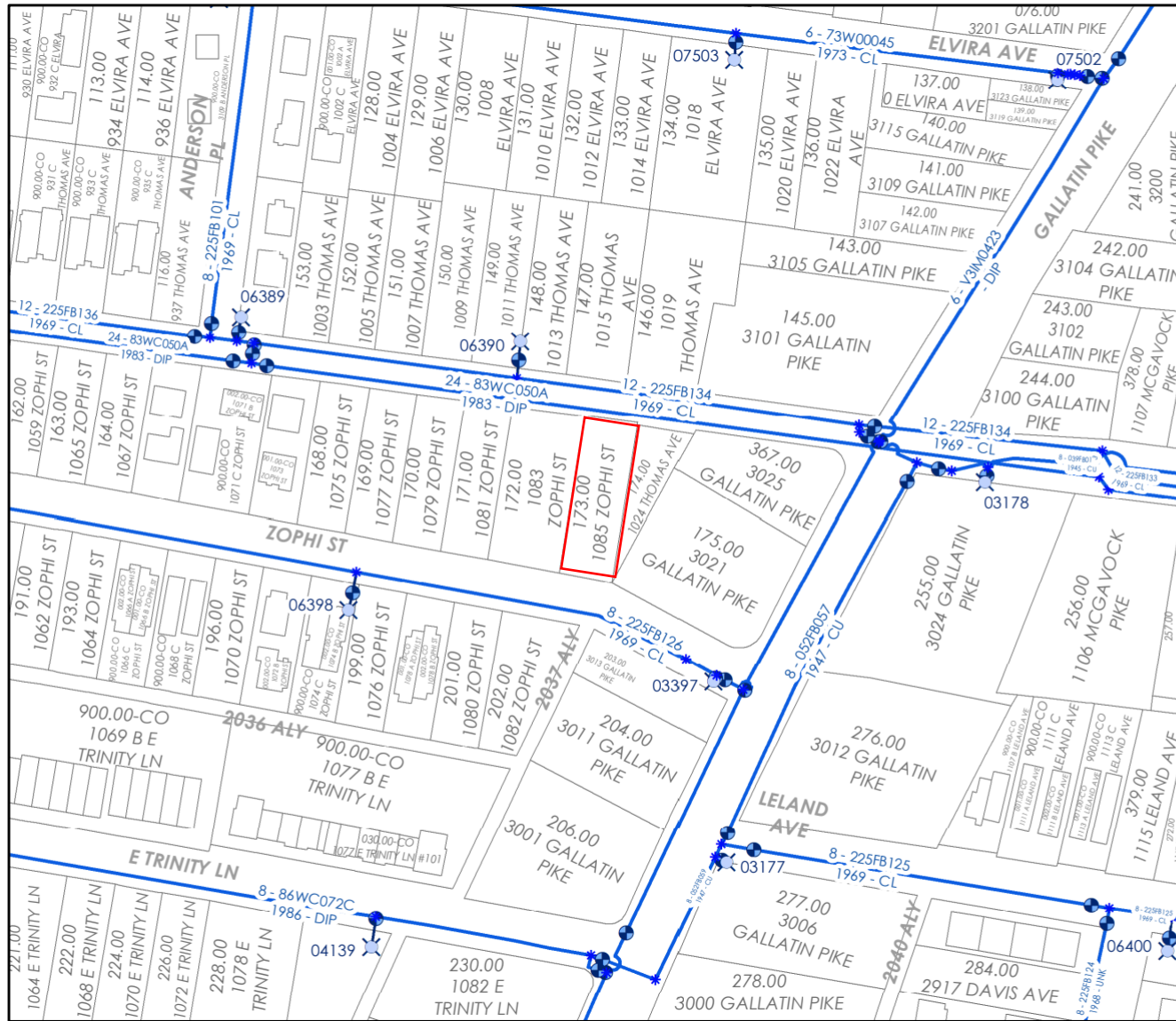
Not to Scale  
 Date: 12/11/2023

--- CAUTION ---  
 THE POSITION OF THE WATER AND SANITARY SEWER MAINS SHOWN ARE APPROXIMATE AND ARE INTENDED TO SHOW THE GENERAL LOCATIONS ONLY. THE SIZES NOTED ARE TO THE BEST OF MWS KNOWLEDGE. IN ALL CASES WHERE PRECISE LOCATION AND MAIN SIZES ARE REQUIRED, FIELD VERIFICATION WILL BE NECESSARY.

**Legend**

- Catch Basin
- Catch Basin Stormwater
- Inlet**
- Inlet
- Structure**
- Structure
- SCM**
- SCM
- Conduit**
- Conduit
- Channel**
- Channel

1085 Zophi St – Stormwater Map



N  
 Not to Scale  
 Date: 12/11/2023

**METRO**  
 WATER SERVICES

--- CAUTION ---  
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**Legend**

**Fitting**  
 STATUS  
 \* In Service

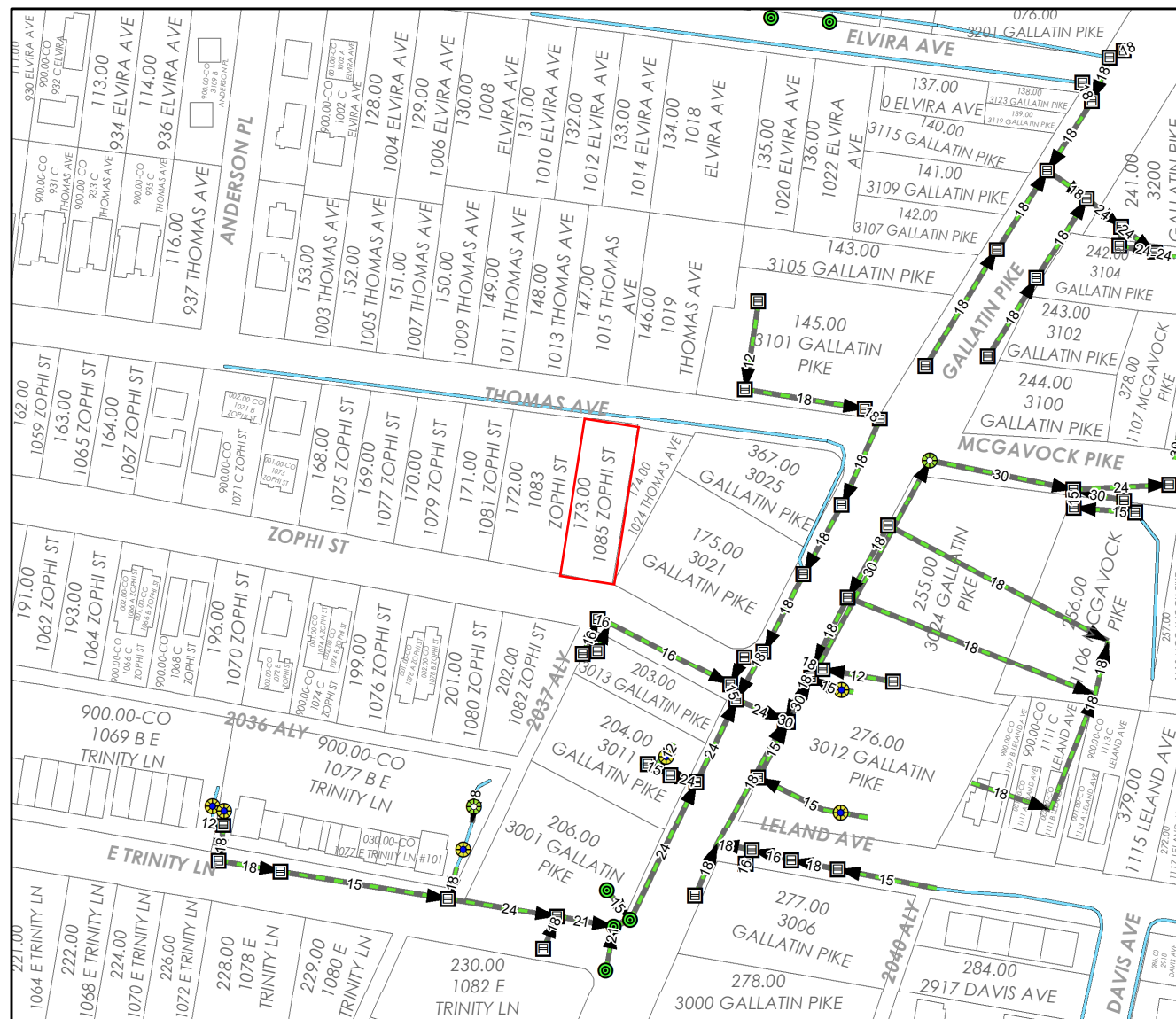
**Hydrant**  
 STATUS  
 \* In Service

**System Valve**  
 STATUS  
 \* In Service

**Main**  
 \* In Service

**Hydrant Lead**  
 \* In Service

## 1085 Zophi St – Water Map



Not to Scale  
 Date: 12/11/2023

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