

CUMBERLAND VIEW VILLAS PRELIMINARY SP FOR WIN DEVELOPMENT, LLC

Erosion Prevention & Sediment Controls

- All control measures must be properly installed and maintained in accordance with the manufacturer's specifications, tdec and local standards.
- Bmp capacity (sediment traps, silt fences, sedimentation ponds, and other sediment control) shall not be reduced by more than 50% at any given time. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the contractor must replace or modify the control for relevant site situations.
- Where permanent or temporary vegetation cover is used as a control measure, the timing of the planting is critical. Planning for planting of vegetation cover during winter or dry months should be avoided.
- If sediment escapes the permitted area, off-site accumulations of sediment that have not reached a stream must be removed at a frequency sufficient to minimize offsite impacts. The contractor shall not initiate remediation/restoration of a stream without consulting the division first. The no general permit does not authorize access to private property. Arrangements concerning removal of sediment on adjoining property must be settled by the contractor and adjoining landowner.
- Litter, construction debris, and construction chemicals exposed to storm water shall be picked up prior to anticipated storm events or before being carried off of the site by wind or otherwise prevented from becoming a pollutant source for storm water discharges. After use, materials used for epsc should be removed or otherwise prevented from becoming a pollutant source for storm water discharge.
- Erodible material storage areas (including overburden and stockpiles of soil) and borrow pits are considered part of the site and should be addressed with appropriate bmp's accordingly.
- Pre-construction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is stabilized. Temporary measures may be removed at the beginning of the workaday, but must be replaced at the end of the workaday.
- Epse measures must be in place and functional before moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workaday, but must be replaced at the end of the workaday.
- The following records shall be maintained on or near site: the dates when major grading activities occur; the dates when construction activities temporarily or permanently cease or a portion of the site; the dates when stabilization measures are initiated; inspection records and rainfall records. Contractor shall maintain a rain gauge and daily rainfall records at the site, or use a reference site for a record of daily amount of precipitation.
- A copy of the swppp shall be retained on-site and should be accessible to the director and the public. Once site is inactive or does not have an onsite location adequate to store the swppp, the location of the swppp, along with a contact phone number, shall be posted on-site. If the swppp is located off-site, reasonable local access to the plan, during normal working hours, must be provided.
- Off-site vehicle tracking of sediments and the generation of dust shall be minimized. A stabilized construction access (a point of entrance/exit to a construction site) shall be constructed as needed to reduce the tracking of mud and dirt onto public roads by construction vehicles.
- Inspections must be performed at least twice every calendar week. Inspections shall be performed at least 72 hours apart. Where sites or portions of construction sites have been temporarily stabilized, or runoff is unlikely due to winter conditions or due to extreme drought, such inspection has to be conducted once per month until thawing or precipitation results in runoff or construction activities resumes. Inspection requirement do not apply to definable areas that have been finally stabilized, as designed by the engineer. Written notification of the intent to change the inspection frequency and the justification for such request must be submitted to the local environmental field office, or the division's nashville central office for projects of tdot or tva. Should the division discover that monthly inspection of the division discover that monthly inspections of the site are not appropriate due to insufficient stabilization measures or otherwise, twice weekly inspections shall resume. The division may inspect the site to confirm or deny the notification to conduct monthly inspections.
- Inspectors performing the required twice weekly inspections must have an active certification and a record of certification must be kept on site. Based on the results of the inspection, any inadequate control measures or control measures in despair shall be replaced or modified, or repaired as necessary, before the next rain event, but in no case more than 7 days after the need identified.
- Outfall points shall be inspected to determine whether epsc measures are effective in preventing significant impacts to receiving waters. Where discharge locations are inaccessible, nearby downstream locations shall be inspected. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.

Architectural Notes

- Building facades fronting a street shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing.
- Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers.
- Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.
- Porches shall provide a minimum of six feet of depth.
- A raised foundation of 18"-36" is required for all residential structures.
- Proposed residential structures to be 4 stories or 45 feet.

Public Works Notes

- All work within the public right of way requires an excavations permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letter on a nice inch green aluminum blade, high intensity reflective.
- All pavement markings are to be thermoplastic.

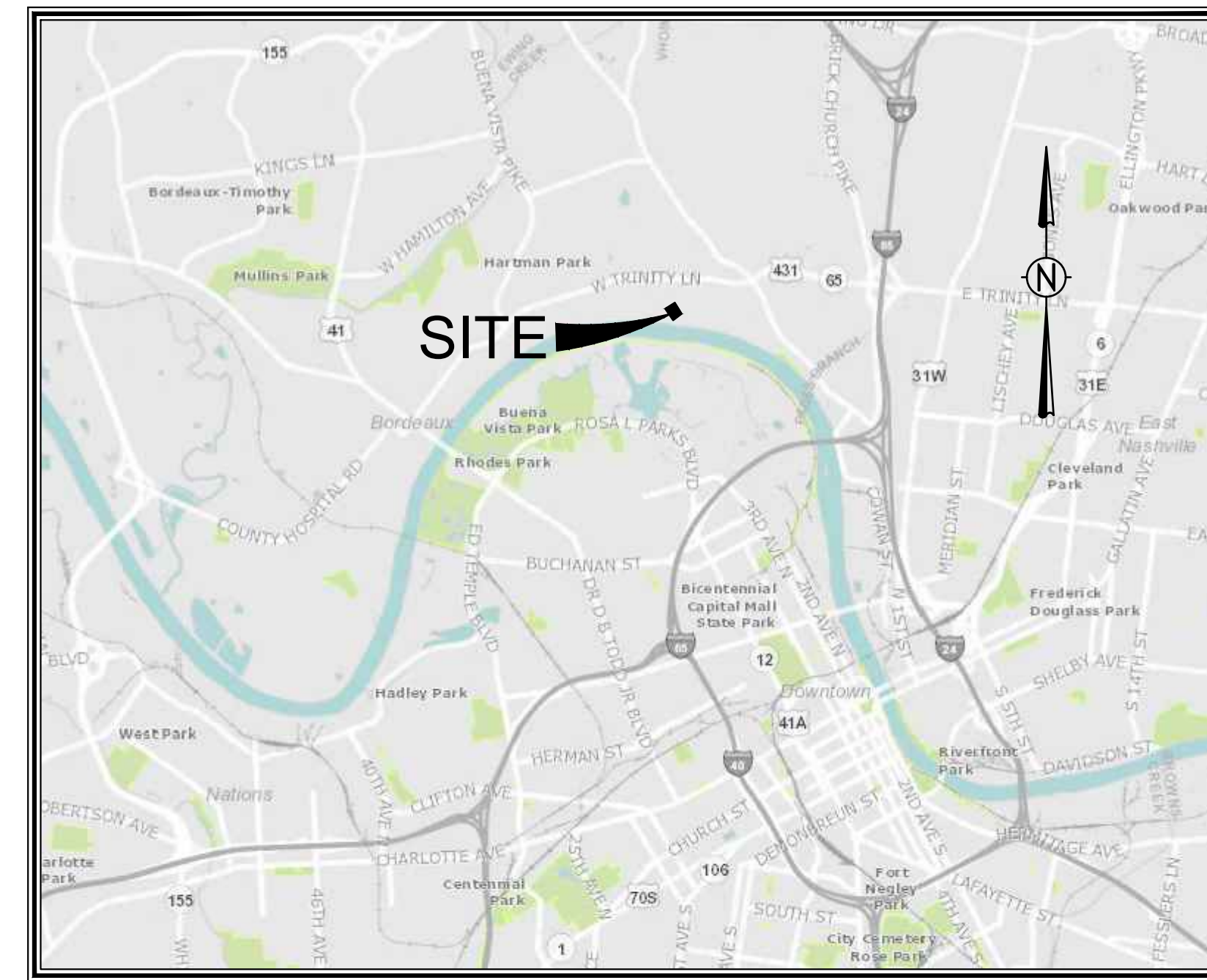
MUNICIPALITY CONTACTS

METRO WATER & SEWER
800 SECOND AVENUE S
NASHVILLE, TN 37219
CONTACT: CLAY CHRISTIAN
PH: 615-862-4066

METRO PUBLIC WORKS
800 SECOND AVENUE S
NASHVILLE, TN 37219
CONTACT: BEN YORK
PH: 615-862-8758

NASHVILLE ELECTRIC
1214 CHURCH STREET
NASHVILLE, TN 37246
CONTACT: PAUL JACKSON
PH: 615-747-3965

METRO STORMWATER
800 SECOND AVENUE S
NASHVILLE, TN 37219
CONTACT: ELI ANDERSON
PH: 615-862-4706



SITE LOCATION MAP

NOT TO SCALE

SHEET INDEX

	Page	Description	Issued	Latest Rev	Comment
1	C-0	COVER SHEET & NOTES	9/21/21	12/14/21	-
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3	C-2	GRADING & UTILITY PLAN	9/21/21	12/14/21	-
4	C-3	SITE ACCESS EXHIBIT	9/21/21	12/14/21	-

DAVIDSON COUNTY, TENNESSEE

DISTRICT 2 / Kyonzte Toombs

Standard SP Notes

- The purpose of this Specific Plan (Metro Nashville SP Plan) is to permit 22 town homes.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance no. 78-840 & approved by the metropolitan department of water services.
- This property lies in Zone AE & Zone X within a flood hazard area per FEMA Flood Map 47037CO233H, dated April 5th, 2017.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the metro stormwater manual (minimum driveway culvert in metro right of way is 15" cmp).
- Metro water services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- Solid waste pickup to be provided by roll-away cans.
- Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
- If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the RM20-A zoning district as of the date of the applicable request or application.
- The final site plan/ building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Owner occupied short term rental to be permitted.

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.F. Of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.

Development Summary	
Property Information	Developer
820 Youngs Lane (Parcel ID 0708022400) Nashville, TN 37207 Area = 4.07 ac	Michael Winarski Win Development, LLC Phone: (656) 557-4019 Email: michaelwinarski@gmail.com
Owner of Record	Civil Engineer
Joyce Acklen 820 Youngs Lane Nashville, TN 37207	Williams Engineering, LLC 807 18th Ave South Nashville, TN 37203 Phone: (865) 679-5992 Email: mwilliams@civ-design.com

Williams Engineering
Plan - Design - Build
Nashville: 865.679.5992 | mwilliams@civ-design.com



CUMBERLAND VIEW VILLAS

FOR
WIN DEVELOPMENT, LLC

820 YOUNGS LANE NASHVILLE, TN 37207

REVISIONS	DATE
PER METRO PLANNING	21.09.21
PER METRO PLANNING	21.12.14
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-	-
-	-
-	-

DESIGNED BY: MLW

DATE: 12/13/2021

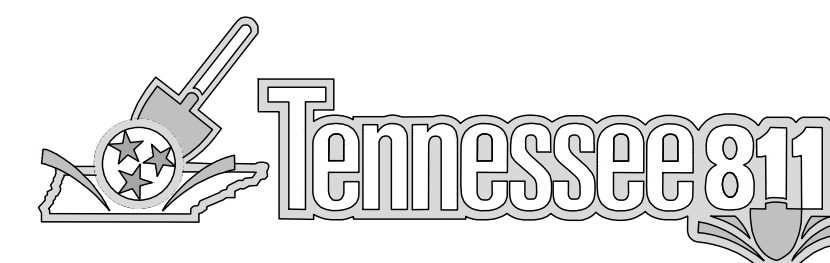
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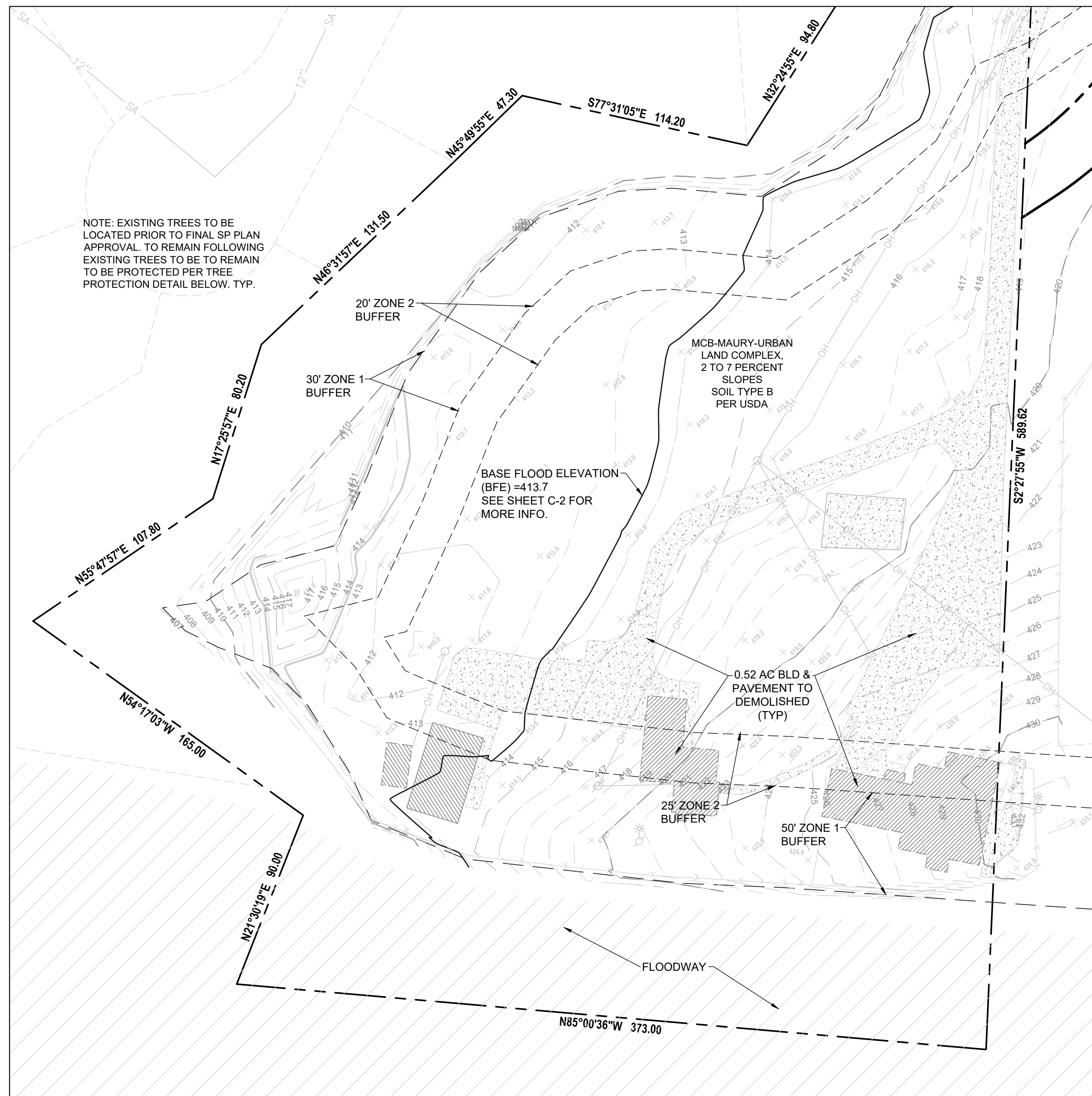
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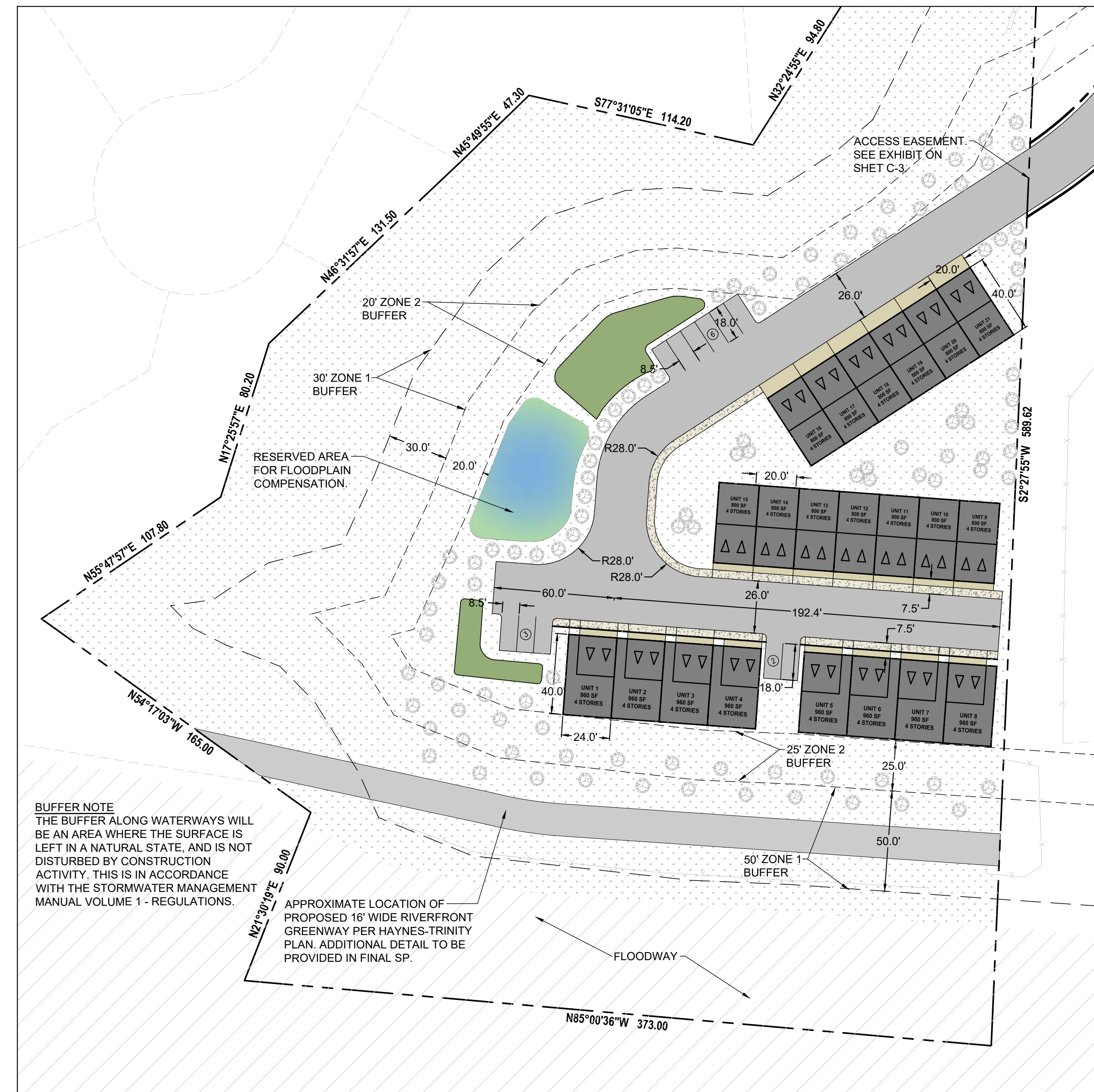
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CASE # 2021SP-077-001





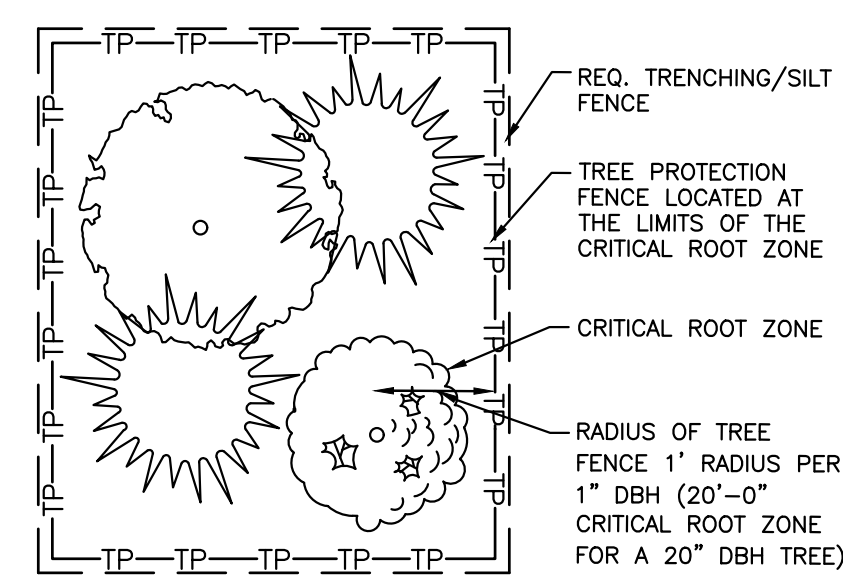
EXISTING CONDITIONS



SITE LAYOUT & LANDSCAPE PLAN

PLANNING INFORMATION	
SUBJECT PROPERTY	
CURRENT ZONING	RM2
DISTRICT / COUNCIL MEMBER	2 / Kyanze Toombs
COMMUNITY PLAN NAME	BORDEAUX - WHITES CREEK - HAYNES TRINITY
COMMUNITY CHARACTER	T4-CM URBAN MIXED USE CORRIDOR
SPECIAL POLICY AREA	03-HAYNES TRINITY
ZONING OVERLAY	OV-FLD

TREE PROTECTION STANDARD DETAIL



NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

TREE DENSITY NOTES

METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL SP DESIGN PHASE OF PROJECT. EXISTING TREES TO REMAIN SHALL COUNT TOWARDS TDU CALCULATIONS AS SEEN BELOW. LANDSCAPING REQUIRED (PER BL2018-1416). LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.
 4.07 AC - 0.44 AC = 3.63 AC X 14 = 51 TDU
 102 PROPOSED 2" CALIBER TREES = 51 TDU PROVIDED

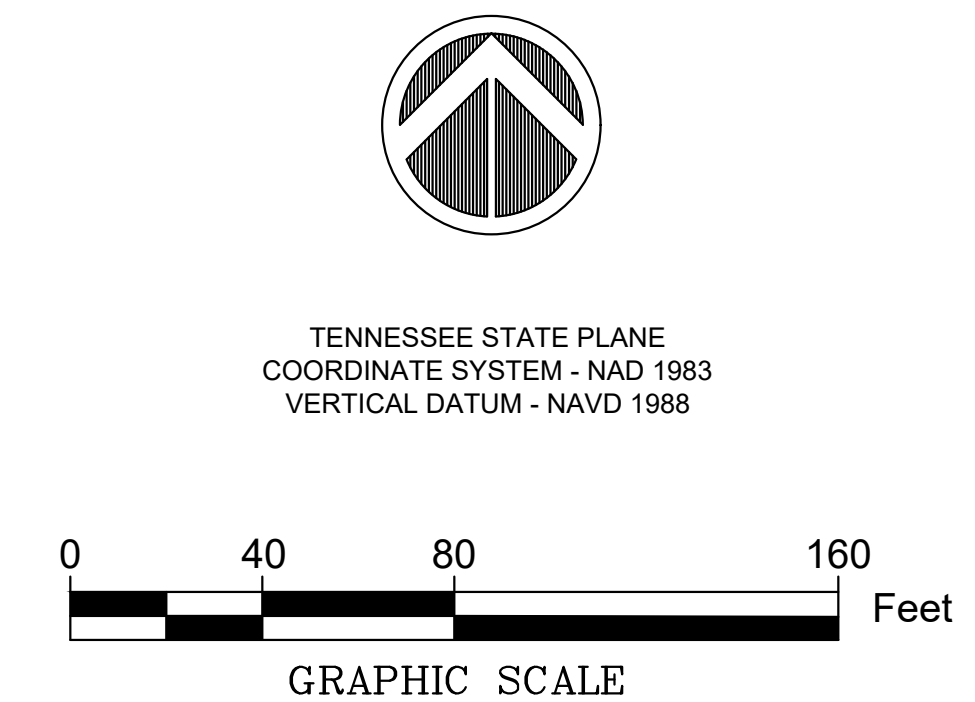
LAND USE SUMMARY	
EXISTING CONDITIONS	
TOTAL SITE AREA	4.07 AC
TOTAL IMPERVIOUS (CN=98)	0.52 AC
TOTAL PERVIOUS (CN=74)	3.55 AC
ISR / COMPOSITE CN	0.13 / 77.1
PROPOSED CONDITIONS	
TOTAL IMPERVIOUS (CN=98)	0.94 AC
ROOFTOPS IA	0.44 AC
ROADS & DRIVES IA	0.41 AC
SIDEWALKS IA	0.09 AC
TOTAL PERVIOUS (CN=74)	3.13 AC
ISR / COMPOSITE CN	0.23 / 79.5
FLOOR AREA RATIO (FAR)	0.32

Federal Compliance Note

All development within the boundaries of this plan meets the requirements of the Americans with Disabilities Act and the Fair Housing Act.
 ADA: <https://www.ada.gov/>
 U.S. Justice Dept.: <https://www.justice.gov/crt/fair-housing-act-2>

DEVELOPMENT / SITE DATA TABLE		
SP ZONING DATA		
PROPOSED ZONING	SP	
PROPOSED LAND USE	TOWNHOMES	
FRONT SETBACK	20 FT	
SIDE SETBACK	5 FT	
REAR SETBACK	20 FT	
HEIGHT STANDARDS	4 STORIES	
PROPOSED UNITS		
UNIT A, 4 Br - 3 Ba	21 UNITS	
UNIT DENSITY (UNIT/AC)	5.25 UNIT/AC	
TOTAL UNITS	21 UNITS	
PROPOSED PARKING REQUIREMENTS		
UNITS	PARKING REQUIRED	PARKING PROVIDED
(2) 1 4 Br - 3 Ba	2.5 SPACE/UNIT	
TOTAL PARKING REQUIRED	53 SPACES	
GARAGE PARKING	42 SPACES	
PARKING STALL	11 SPACES	
TOTAL PARKING PROVIDED	53 SPACES	

LEGEND	
	PROPOSED BUILDING
	UNIT PRIVATE PORCH & DRIVEWAY
	PRIVATE DRIVEWAY
	FUTURE METRO BIKE LANE
	GREEN SPACE, TO BE MAINTAINED AS LANDSCAPED OPEN SPACE (MOWN, TREES, PRUNED)
	CONCRETE SIDEWALK SEE MPW STANDARD DETAIL
	PERMEABLE PAVEMENT PARKING, BY PAVE DRAIN
	BIORETENTION LVL 2



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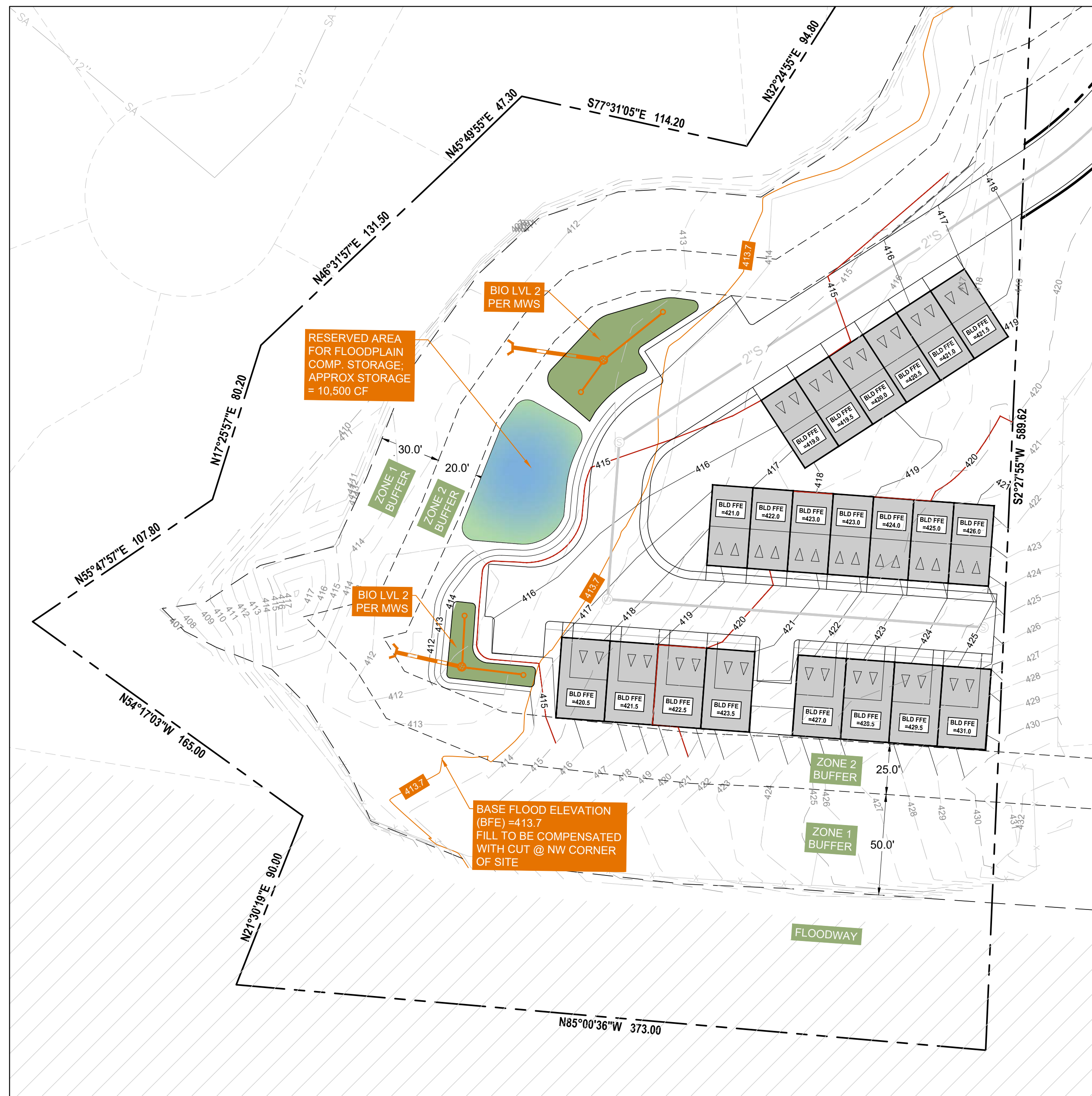
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 FOR
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 820 YOUNGS LANE NASHVILLE, TN 37207

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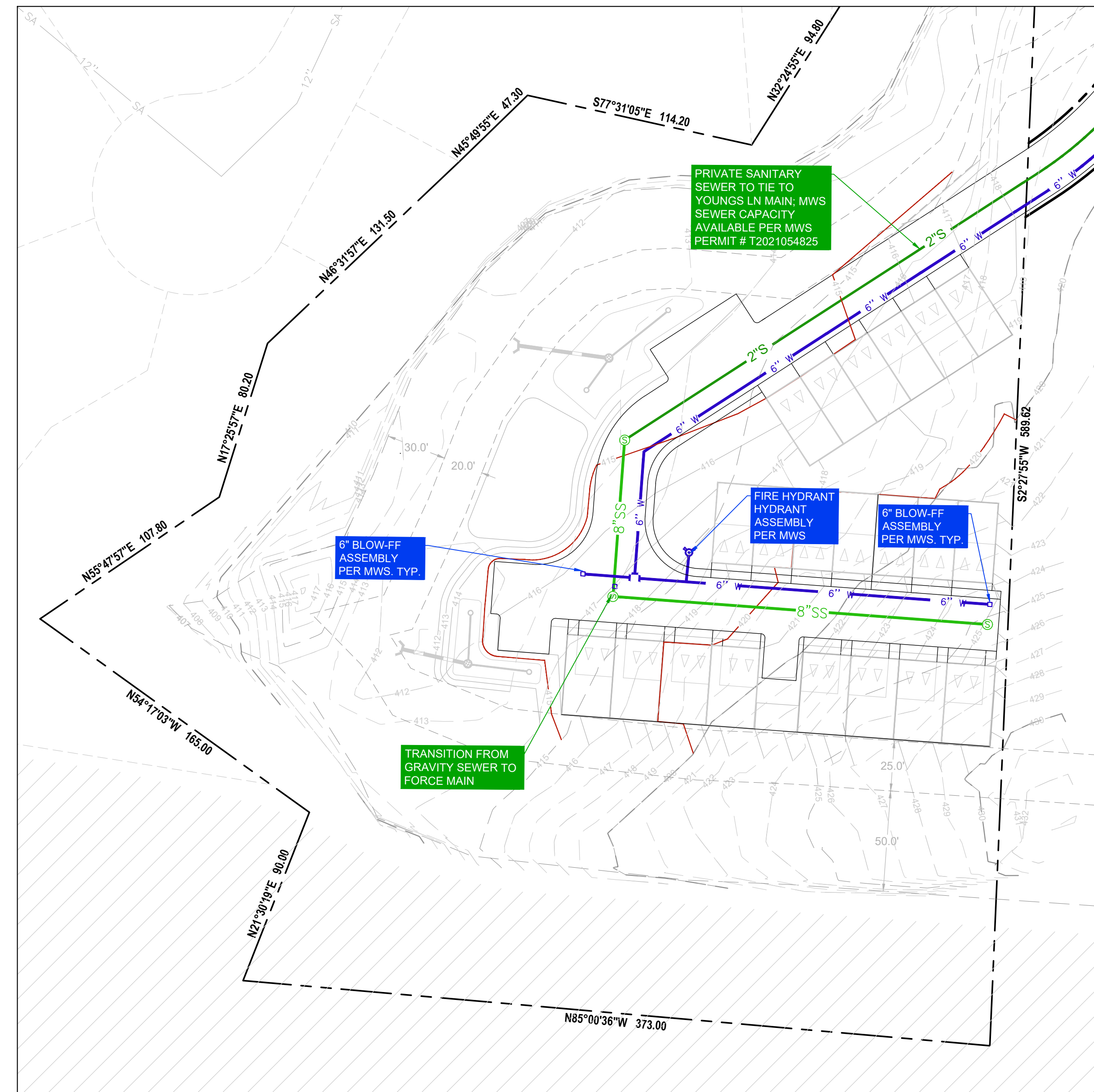
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 JOB #: 210805-1

EXISTING, SITE, & LANDSCAPE

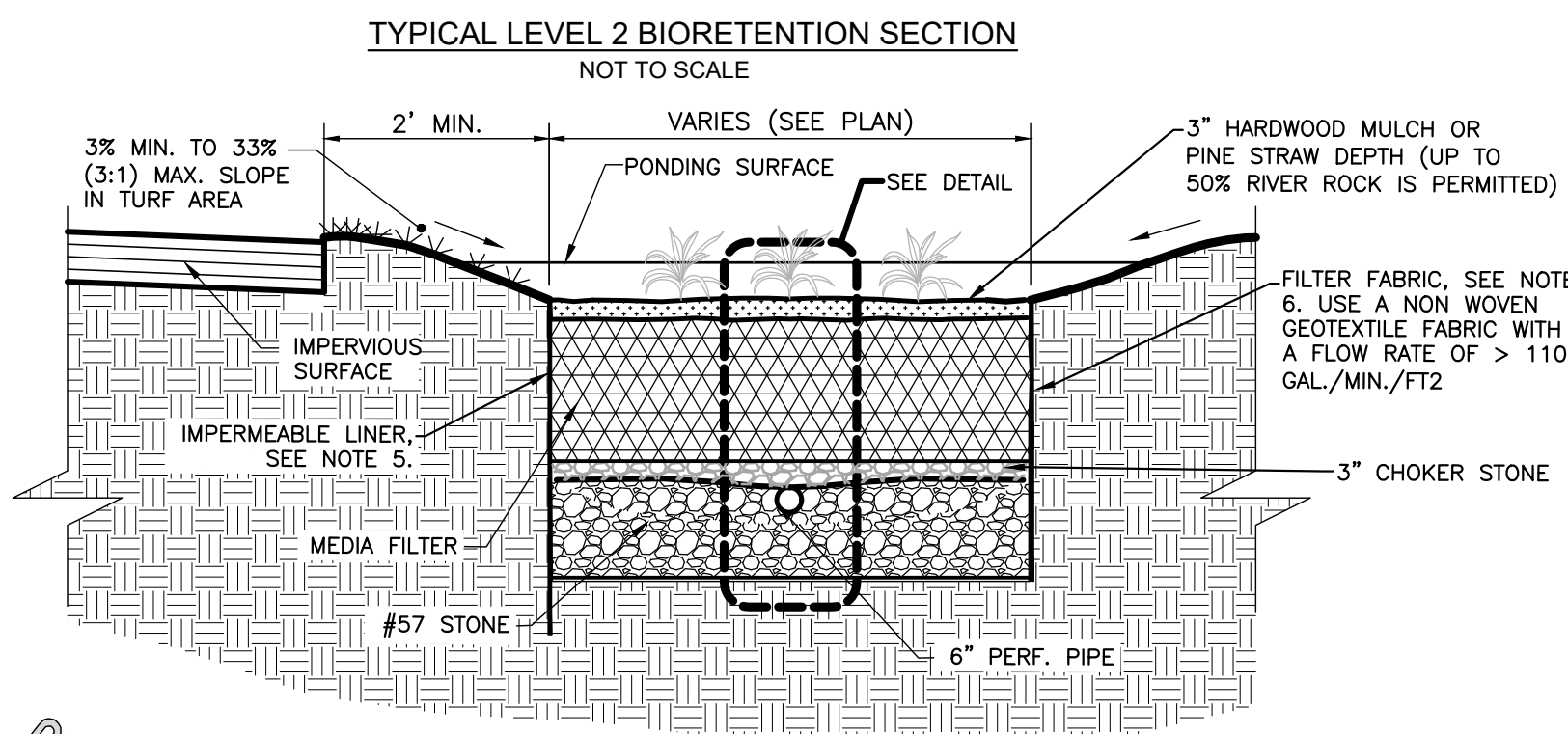




GRADING AND DRAINAGE PLAN



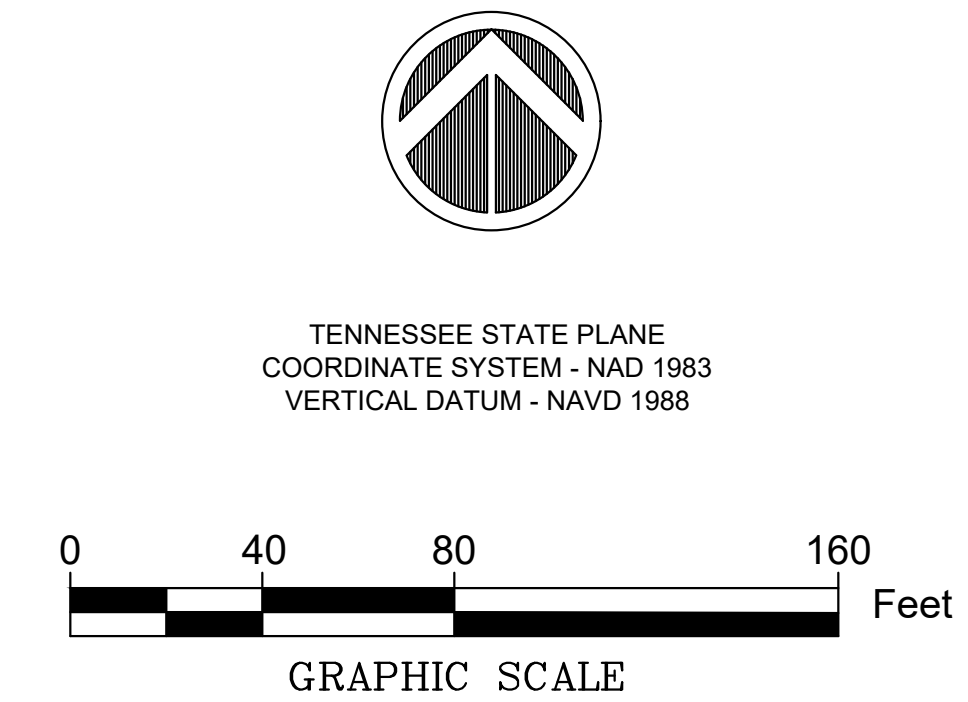
UTILITY PLAN



Standard Metro Water Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the metro water services.
- The contractor is responsible for reimbursing the metro water services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the metro water services inspection section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices (rpbd) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the metro water services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylar in reverse and in digital (*.Dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.

LEGEND	
--- 540 ---	EXISTING CONTOUR
— 540 —	PROPOSED CONTOUR
— 8" SS —	PROPOSED STORM SEWER
— 6" W —	PROPOSED WATER
— 6" W —	PROPOSED SANITARY SEWER
○	SANITARY MANHOLE
○	SANITARY CLEANOUT
○	HEADWALL
○	JUNCTION BOX
○	GRATE INLET
○	FIRE HYDRANT
○	WATER VALVE
○	TAPPING TEE
—	PROPOSED UNDERGROUND ELECTRIC



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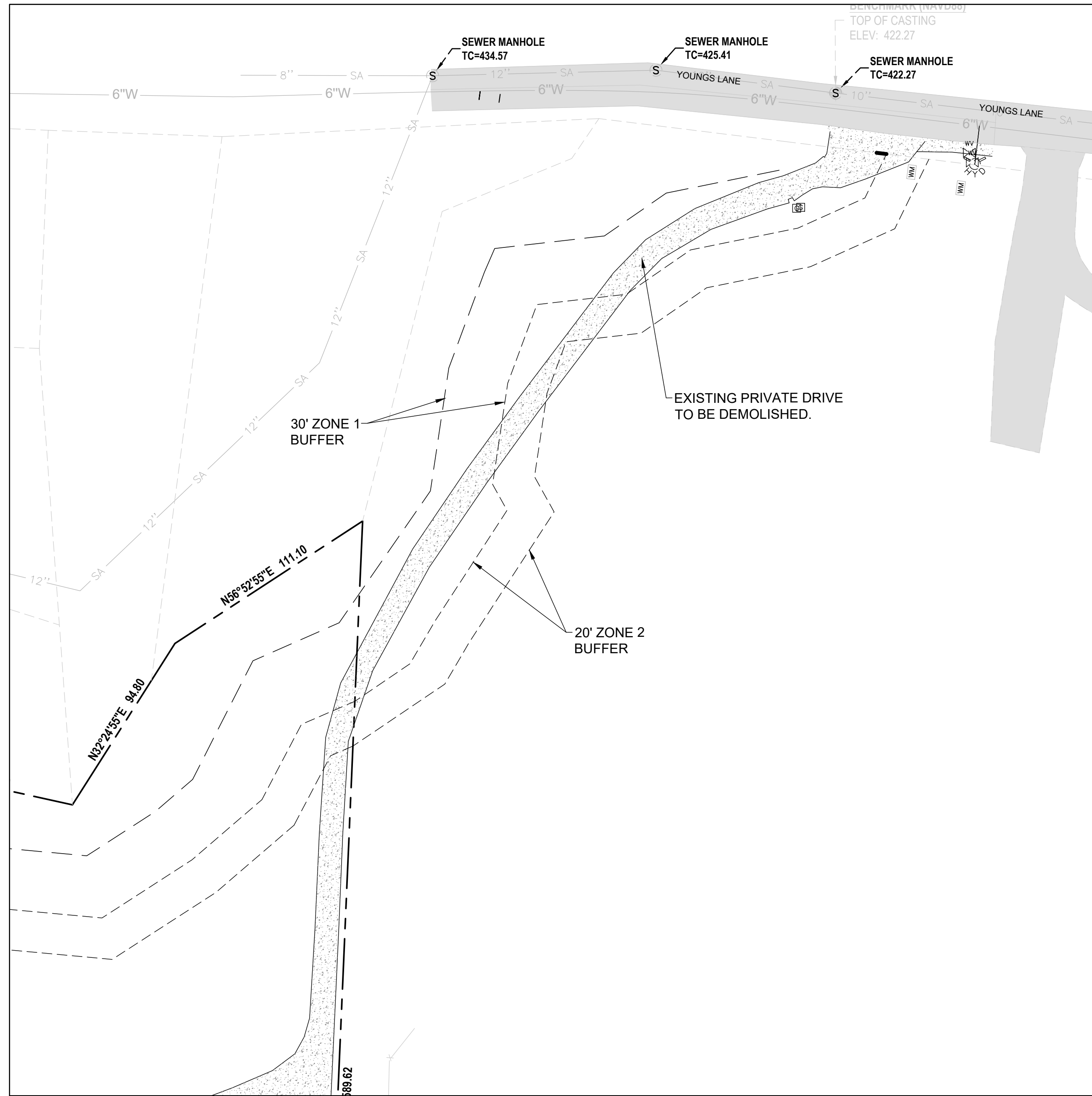
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GRADING & UTILITY

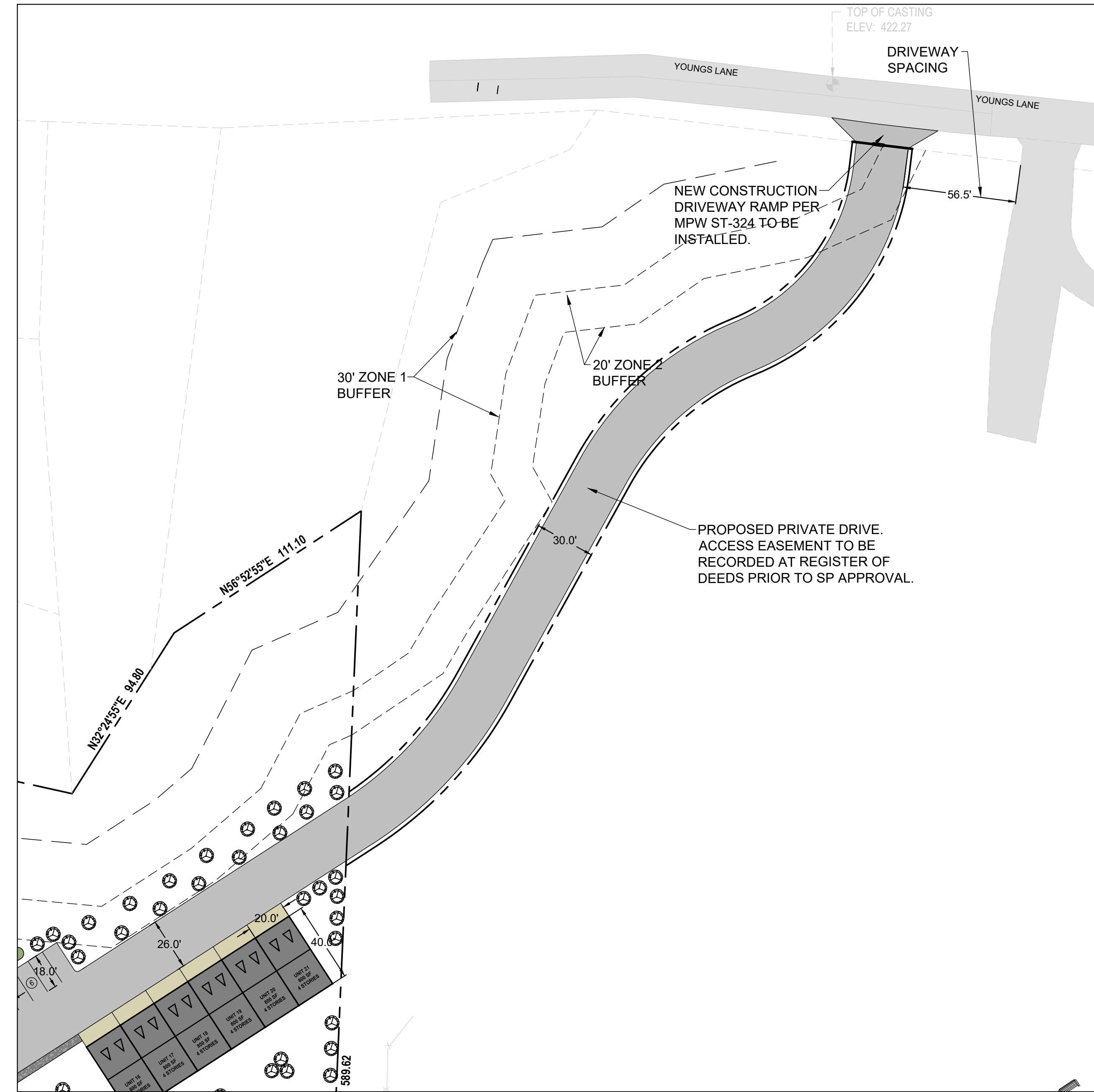
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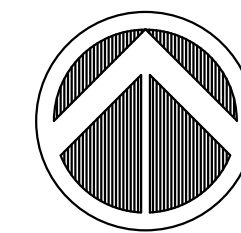




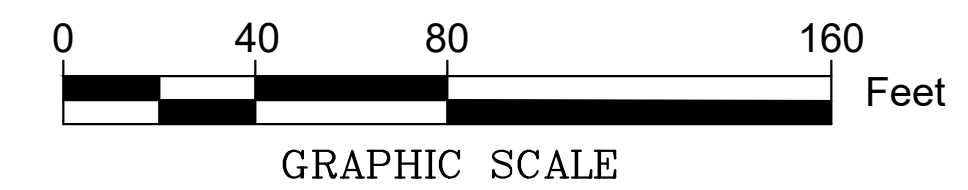
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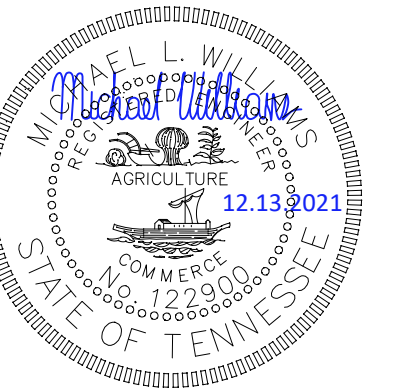
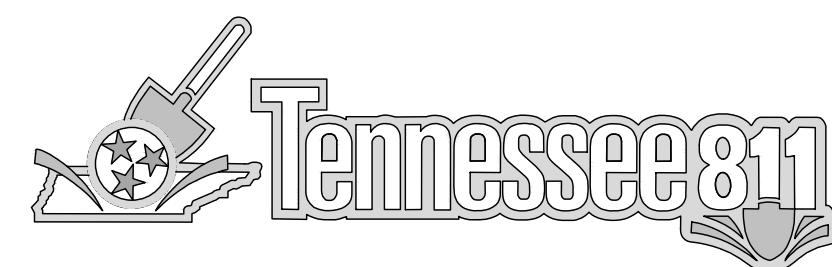
PROPOSED SITE ACCESS EXHIBIT



TENNESSEE STATE PLANE
COORDINATE SYSTEM - NAD 1983
VERTICAL DATUM - NAVD 1988



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SITE ACCESS
EXHIBIT

C-3