



LICENSE AGREEMENT FOR PRIVATE ENCROACHMENTS  
INTO THE PUBLIC RIGHT OF WAY

I/We, 601 Lafayette Owner, LLC, in consideration of the Resolution No. \_\_\_\_\_, to construct, maintain, install and/or operate an encroachment into, onto, over, or under the public right of way located at in Nashville, Davidson County, Tennessee, do hereby, for myself, my agents, customers, and assigns, waive and release and hold harmless The Metropolitan Government of Nashville and Davidson County, its agents, employees, and assigns from any and all claims, rights, or demands for damages that may arise from my/our use, construction and/or maintenance of the encroachment, to wit: (SEE ATTACHED DESCRIPTION OF ENCROACHMENT). I/We hereby certify to the Metropolitan Government of Nashville and Davidson County that I/We have executed a bond or liability insurance policy in such amount as agreed upon by the Director of NDOT and the Metropolitan Attorney, and in the form approved by the Metropolitan Attorney (per Metropolitan Code Section 38-1-1), which operates to indemnify and save The Metropolitan Government of Nashville and Davidson County harmless from all claims or demands that may result to persons or property by reason of the construction, operations or maintenance of the encroachment. I/We further agree that my/our obligations hereunder may not be assigned except upon approval of the Director of NDOT and the Metropolitan Attorney. I/We further acknowledge that any action that results in a failure to maintain said bond or liability insurance for the protection of The Metropolitan Government of Nashville and Davidson County shall operate to the granting of a lien to The Metropolitan Government of Nashville and Davidson County in the amount of the last effective bond/insurance policy. Said insurance or bond may not be cancelable or expirable except on 30 days' notice to the Director of NDOT.

I/We further recognize that the license granted hereby is revocable by The Metropolitan Government upon recommendation of the Director of NDOT and approval by resolution of the Metropolitan County Council if it is determined to be necessary to the public welfare and convenience. In the event the Metropolitan Government revokes this license as contemplated by this paragraph, licensee will not be entitled to any compensation of any kind. This license shall also be strictly subject to the right of way easement owned by The Metropolitan Government. I/We agree to maintain, construct and use the encroachment in such a way as will not interfere with the rights and duties of the Metropolitan Government

as owner of the right of way. Said interference shall be additional grounds for revocation of the license for encroachment. I/We agree to pay the cost of construction, maintenance, use, as well as relocations cost of said encroachment. Licensee's failure to complete construction of the contemplated encroachment within 36 months of the date of approval by the Metropolitan Council will cause this license to terminate automatically. In the event the encroachment contemplated by this license is substantially destroyed, this license shall terminate unless fully restored by licensee within 36 months from the date of such destruction. In the event this license is revoked or terminated for any reason, licensee shall restore all public property to the condition obtaining at the time the license became effective at licensee's sole cost and expense.

DATE: 07/11/2024

  
(Owner of Property)

601 Lafayette Street  
(Address of Property)

Nashville, TN 37201  
(City and State)

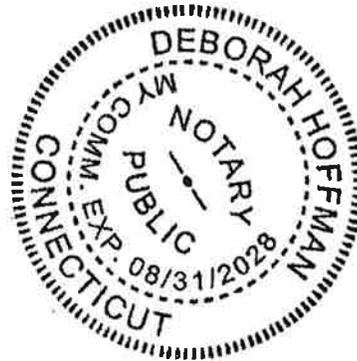
STATE OF ~~TENNESSEE~~ Connecticut  
COUNTY OF ~~DAVIDSON~~ Fairfield

Sworn to and subscribed before

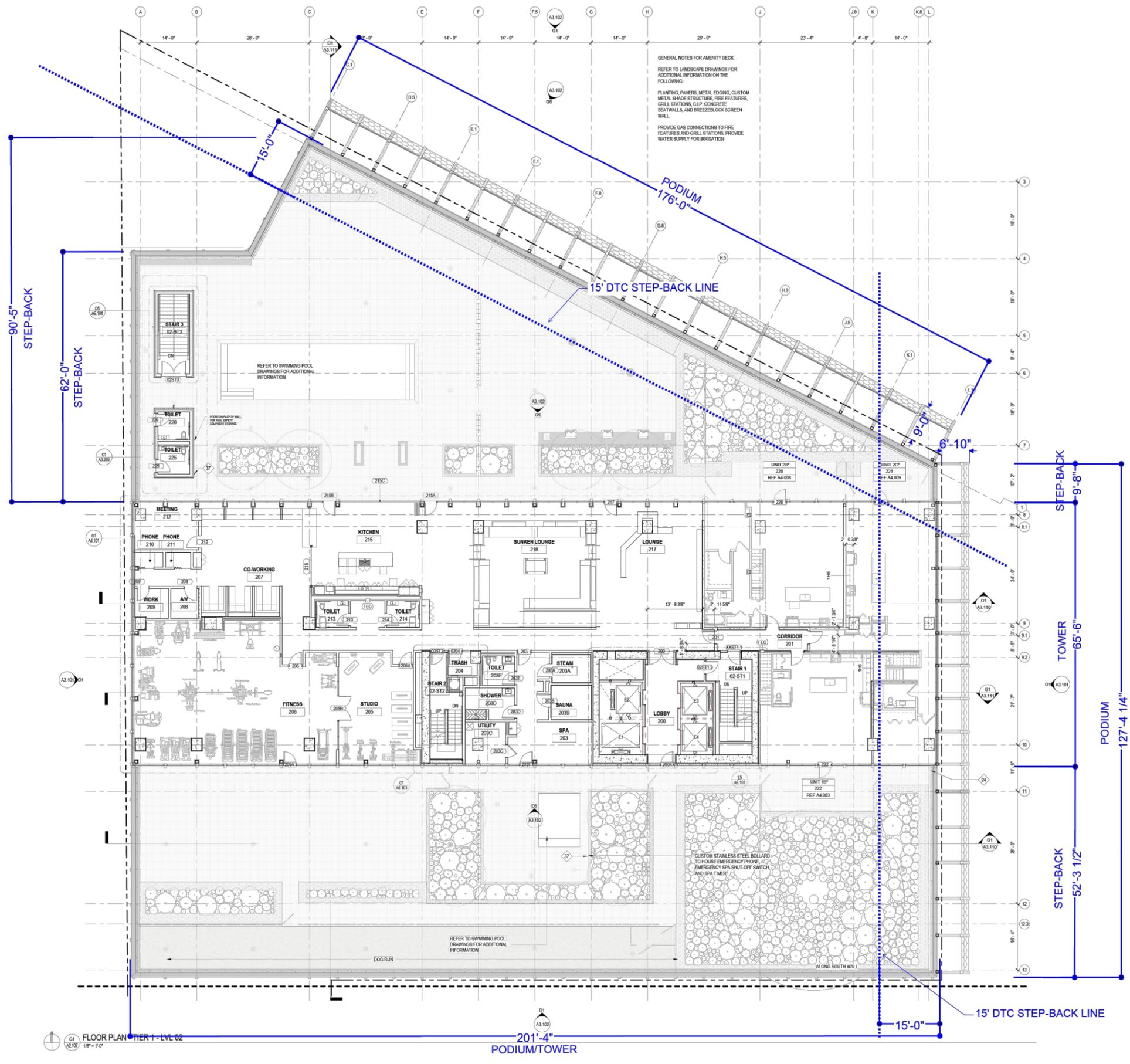
Me this 11 day of July, 2024

D. Hoffmann  
(NOTARY PUBLIC)

My Commission Expires: 08/31/2028







GENERAL NOTES FOR AMENITY DECK:  
 REFER TO LANDSCAPE DRAWINGS FOR  
 ADDITIONAL INFORMATION ON THE  
 FOLLOWING:  
 PLANTING, PAVERS, METAL EDGING, CUSTOM  
 METAL SHADE STRUCTURE, FIRE FEATURES,  
 GRILL STATIONS, C.I.P. CONCRETE  
 SEATWALLS, AND BREEZEBLOCK SCREEN  
 WALL.  
 PROVIDE GAS CONNECTIONS TO FIRE  
 FEATURES AND GRILL STATIONS. PROVIDE  
 WATER SUPPLY FOR IRRIGATION.

REFER TO SWIMMING POOL  
 DRAWINGS FOR ADDITIONAL  
 INFORMATION

REFER TO SWIMMING POOL  
 DRAWINGS FOR ADDITIONAL  
 INFORMATION

CUSTOM STAINLESS STEEL BOLLARD  
 TO HOUSE EMERGENCY PHONE,  
 EMERGENCY SPA SHUT-OFF SWITCH  
 AND SPA TIMER

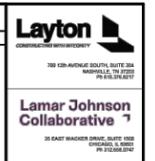
FLOOR PLAN TIER 1 - LVL 02  
 1/8" = 1'-0"

PODIUM/TOWER  
 201'-4"

**PLAN NOTES**  
**GENERAL NOTES**  
 1. REFER TO ENLARGED UNIT PLANS FOR INFORMATION PERTAINING TO UNIT DIMENSIONS, FINISHES AND LAYOUT.  
 2. REFER TO REFERENCE PLANS FOR UNIT MOUNTING COMPLETE BUILDING LAYOUT.  
 3. OVERALL PLANS PROVIDE INFORMATION ON COMMON WALL LAYOUTS, DIMENSIONS AND TYPE. UNITS SHOWN FOR REFERENCE.  
 4. CONCRETE WALLS AND COLUMNS EXPOSED TO VIEW SHALL MEET ACI 301 CLASS B FINISH.  
 5. REFER TO EXTERIOR ASSEMBLIES SHEET FOR BASIS OF DESIGN FOR PAVER AND PLANTED ROOF AREA WATERPROOFING SYSTEMS.  
 6. REFER TO SLAB PLANS FOR DRAIN LOCATIONS.

**Keynote Legend**

Key Value	Keynote Text
24	GLAZED RAILING SYSTEM - UNDERMOUNT LED LIGHTS WHERE INDICATED
37	EMERGENCY PHONE (BASIS OF DESIGN: VIKING E-38-EMP, OR APPROVED EQUAL)



**601 LAFAYETTE TOWER**  
 601 LAFAYETTE OWNER LLC  
 601 Lafayette Street Nashville, TN 37201

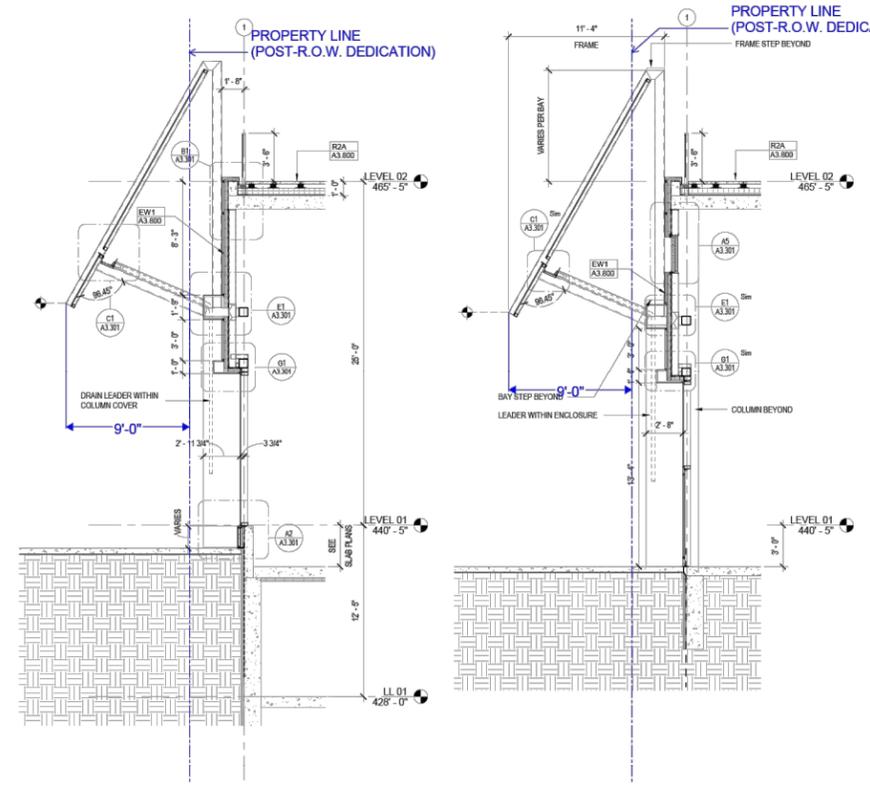
DESCRIPTION	DATE
SCHEMATIC DESIGN	05/25/2023
DESIGN DEVELOPMENT	07/27/2023
30% DEVELOPMENT	08/02/2024
STRUCTURAL FRAME PERMIT	08/27/2024
FULL BUILDING PERMIT	10/18/2024

ISSUED FOR  
**DTC BUILDING PERMIT**  
 10/18/2024

DRAWING TITLE  
 FLOOR PLAN - TIER 1 - LVL 2

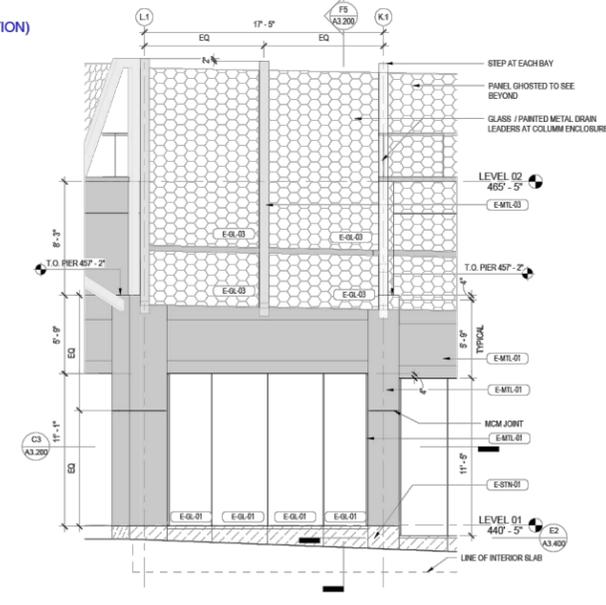
DRAWING NO.  
**A2.107**

J&B # 006770

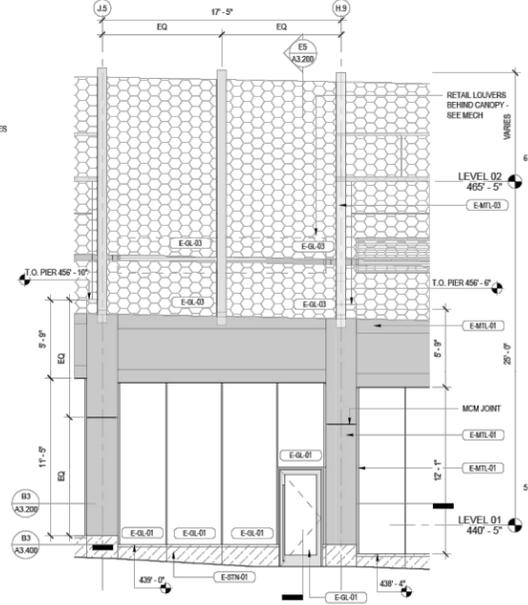


F8 PODIUM WALL SECTION - RETAIL BAY  
1/8" = 1'-0"

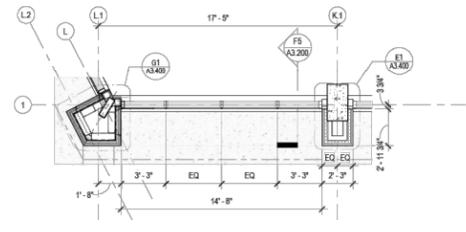
E8 PODIUM WALL SECTION - RETAIL DOOR BAY  
1/8" = 1'-0"



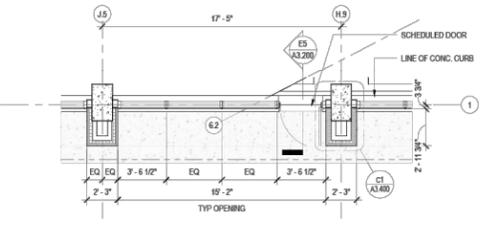
C4 ENLARGED ELEVATION - RETAIL BAY  
1/4" = 1'-0"



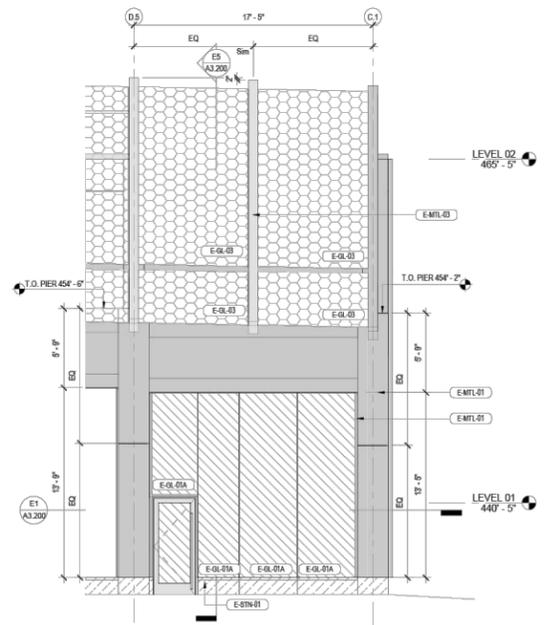
B4 ENLARGED ELEVATION - RETAIL DOOR BAY  
1/4" = 1'-0"



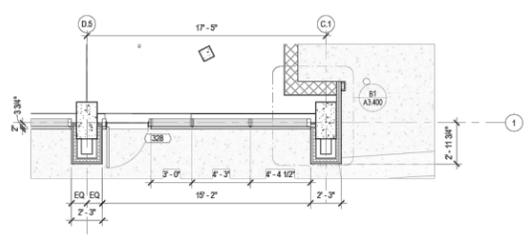
C3 ENLARGED EXTERIOR PLAN - RETAIL BAY  
1/8" = 1'-0"



B3 ENLARGED EXTERIOR PLAN - RETAIL DOOR BAY  
1/4" = 1'-0"



E2 ENLARGED ELEVATION - EASEMENT ENTRY  
1/8" = 1'-0"



E1 ENLARGED PLAN - EASEMENT ENTRY  
1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES**

**GENERAL NOTES**

- (E-XXX) DENOTES EXTERIOR MATERIAL, SEE SHEET G3.100 FOR EXTERIOR MATERIAL MATRIX
- CASEMENT OUTSWING UNIT
- CASEMENT INSWING UNIT
- FOLDING GLASS WALL

**LEGEND**

**ELEVATION GRAPHIC LEGEND**

- GLAZING - VISION
- GLAZING - SPANDREL
- METAL PANEL CLADDING
- EXHAUST LOUVER
- STONE BASE
- CONCRETE CURB
- GLASS CANOPY

**Layton**  
CONSTRUCTION MANAGEMENT

**Lamar Johnson Collaborative**  
30 EAST ANDERSON DRIVE, SUITE 200  
NASHVILLE, TN 37203  
PH 615.261.6127

*Keith Walker*

LEED-NC v4

**601 LAFAYETTE TOWER**  
601 LAFAYETTE OWNER LLC  
601 Lafayette Street Nashville, TN 37201

DESCRIPTION	DATE
SCHEMATIC DESIGN	05/25/2023
DESIGN DEVELOPMENT	07/27/2023
FULL BUILDING PERMIT	10/16/2024

BUILDING MAP

**ISSUED FOR DTC BUILDING PERMIT 10/18/2024**

DRAWING TITLE  
EXTERIOR SYSTEMS - PODIUM

DRAWING NO.  
**A3.200**

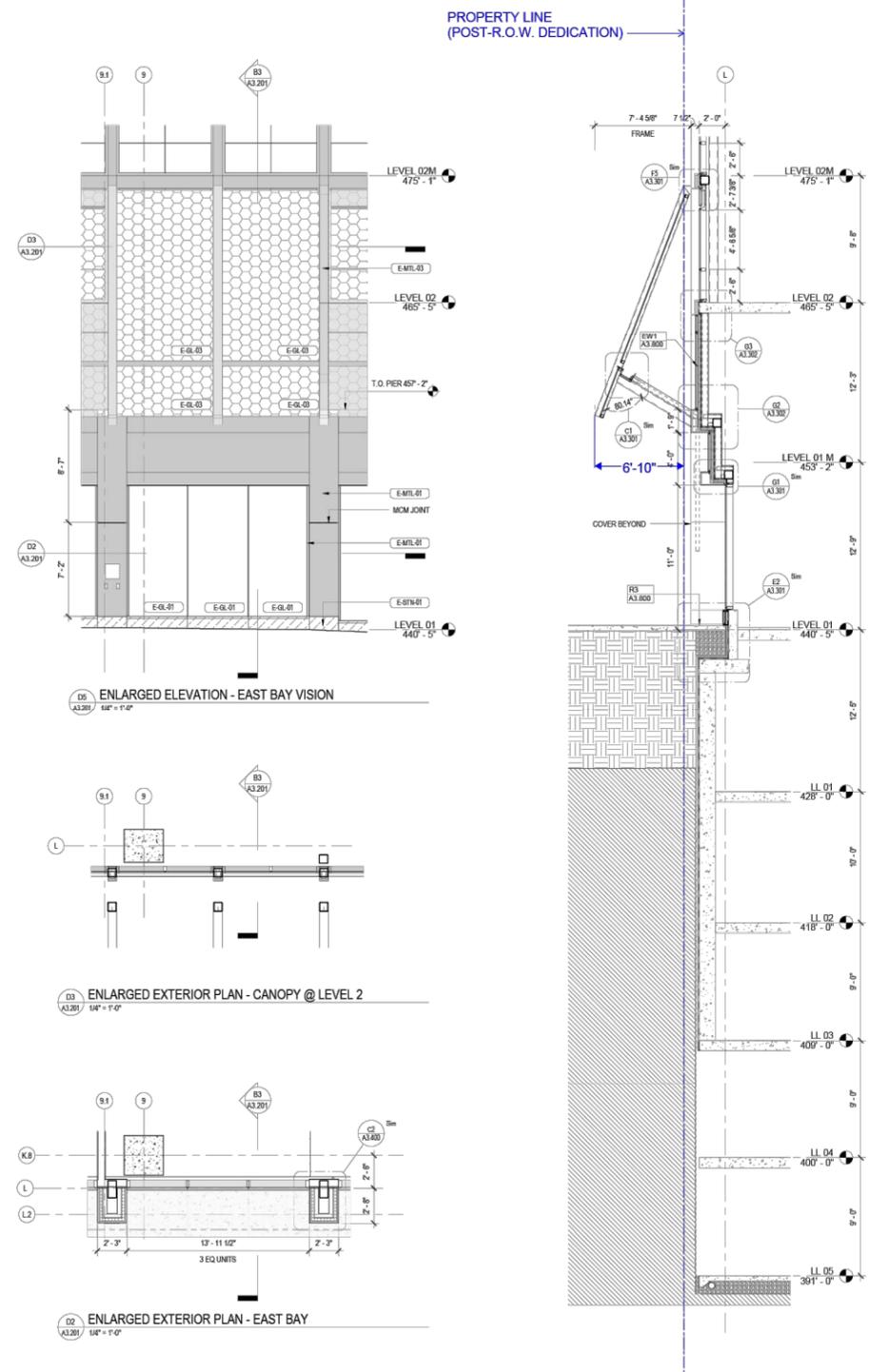
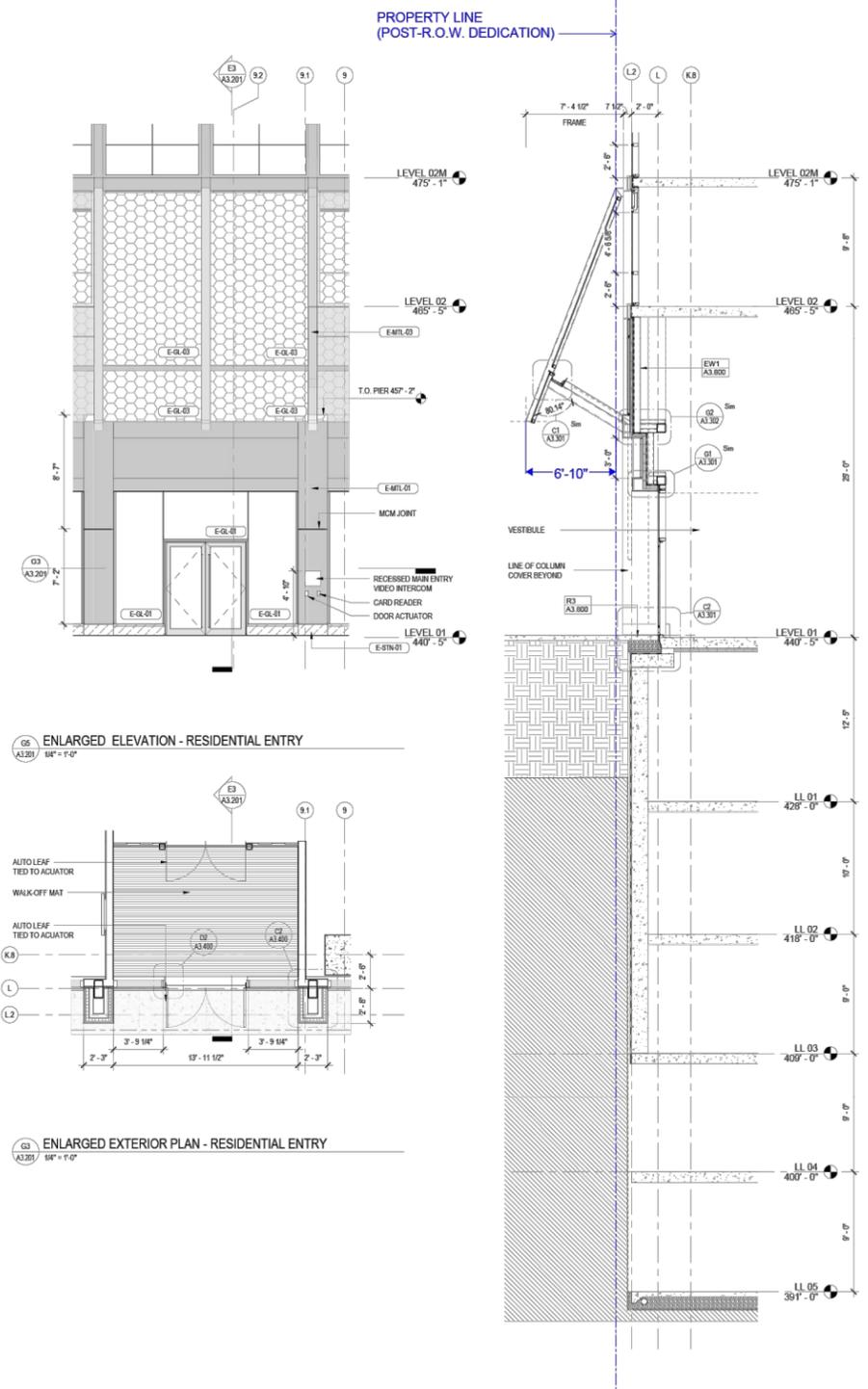
J&B # 006770



# 601 LAFAYETTE TOWER

601 LAFAYETTE OWNER LLC  
601 Lafayette Street Nashville, TN 37201

DRAWING ISSUE	
DESCRIPTION	DATE
1	ISSUED FOR DTC BUILDING PERMIT 10/18/2024
2	FULL BUILDING PERMIT 10/18/2024
BUILDING MAP	
ISSUED FOR DTC BUILDING PERMIT 10/18/2024	
DRAWING TITLE EXTERIOR SYSTEMS - POODIUM	
DRAWING NO. A3.201	
JOB # 006770	



### EXTERIOR ELEVATION NOTES

**GENERAL NOTES**

- (E-XXX) DENOTES EXTERIOR MATERIAL. SEE SHEET G3.100 FOR EXTERIOR MATERIAL MATRIX
- CASEMENT OUTSWING UNIT
- CASEMENT INSWING UNIT
- FOLDING GLASS WALL

### LEGEND

**ELEVATION GRAPHIC LEGEND**

- GLAZING - VISION
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