

AMENDMENT TO THE ORIGINAL SPECIFIC PLAN  
**GERMANTOWN GREEN**

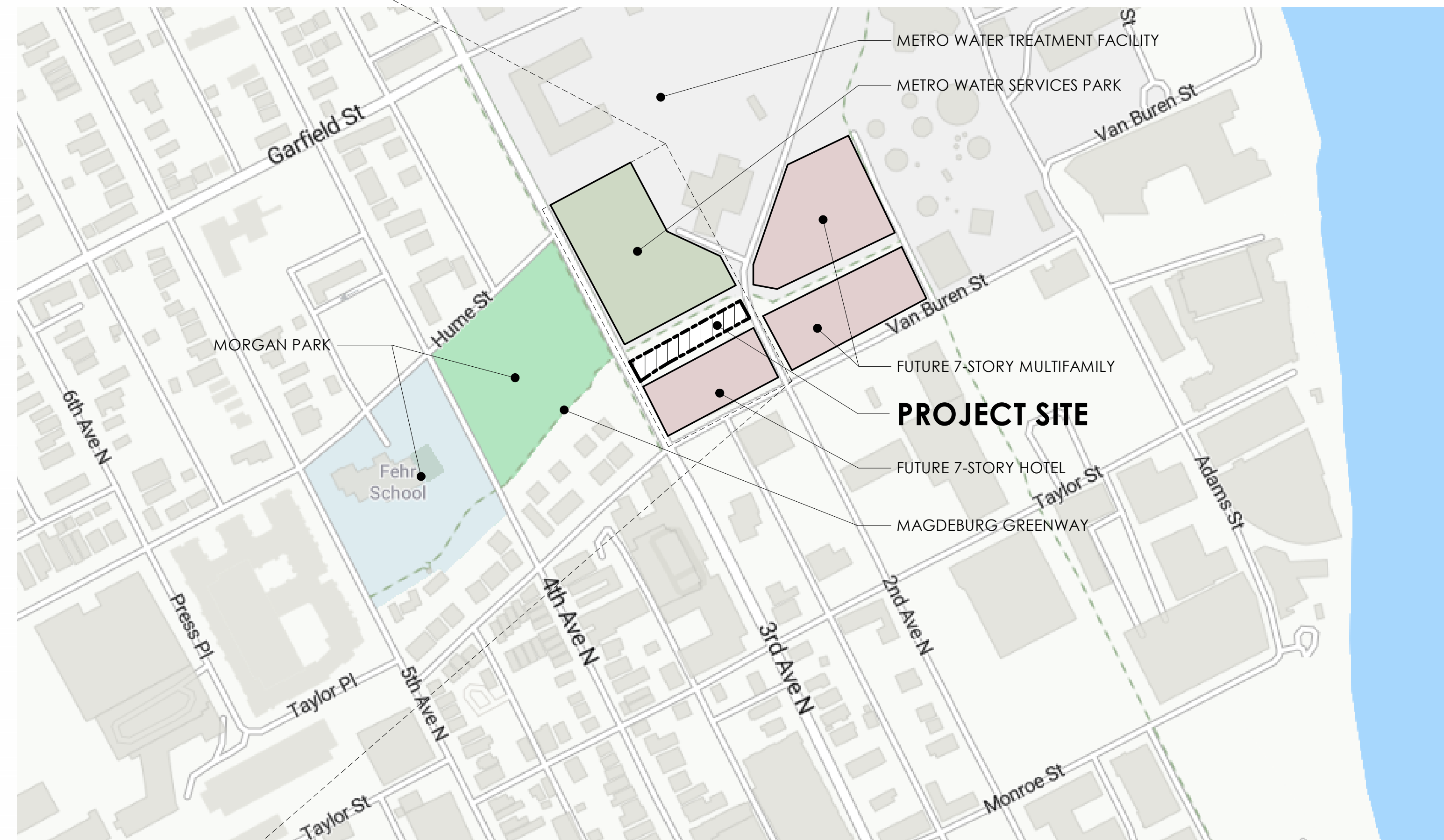
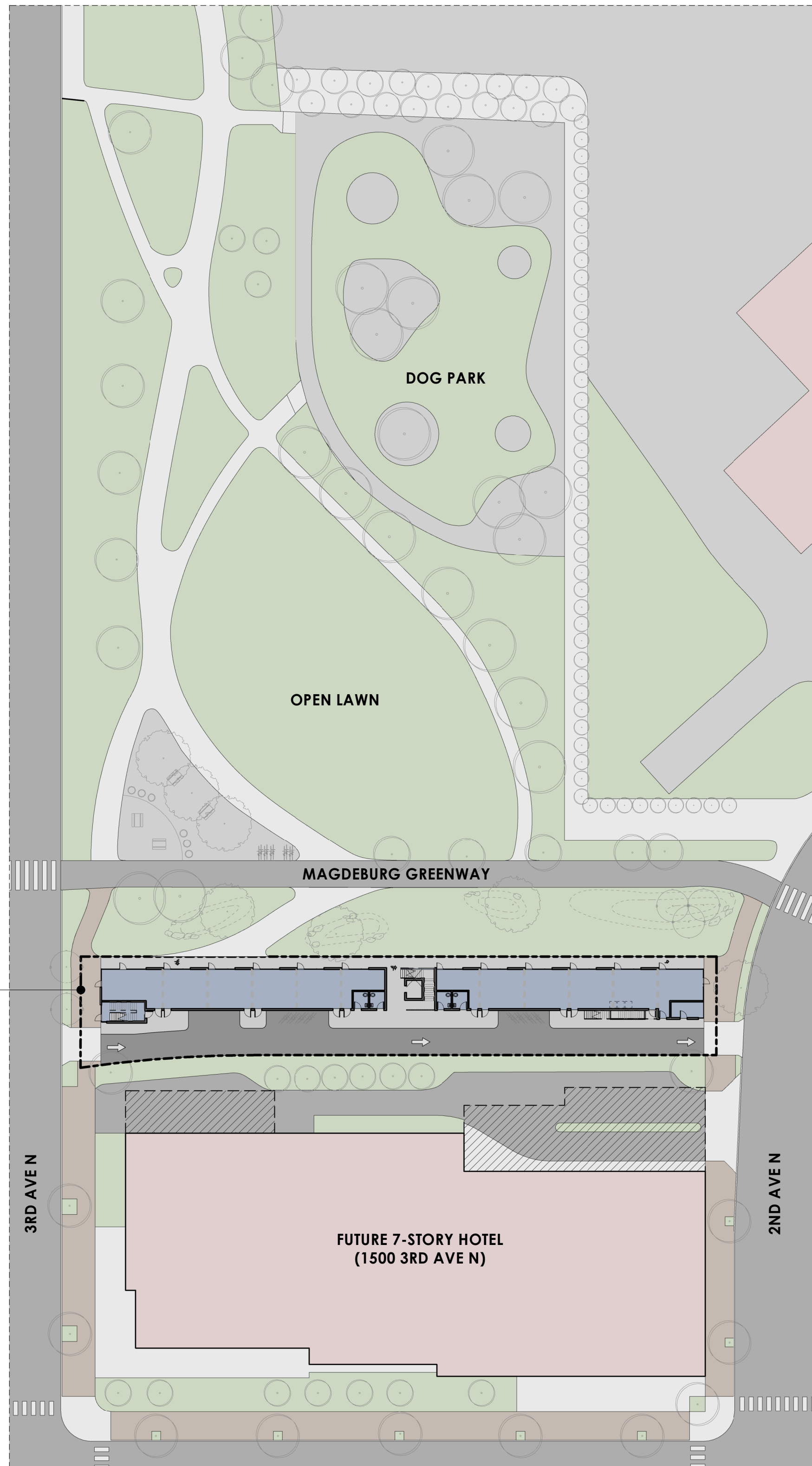
BEING PARCEL 173 ON TAX MAP 82-05  
NASHVILLE, DAVIDSON COUNTY, TN 37208

MPC CASE #: 2021SP-044-002  
METRO COUNCIL BILL BL2022-1286



NOTE: RENDERING FOR ILLUSTRATIVE  
PURPOSES ONLY. REFER TO DRAWINGS FOR  
FINAL DESIGN, MATERIALS, AND DETAILS.





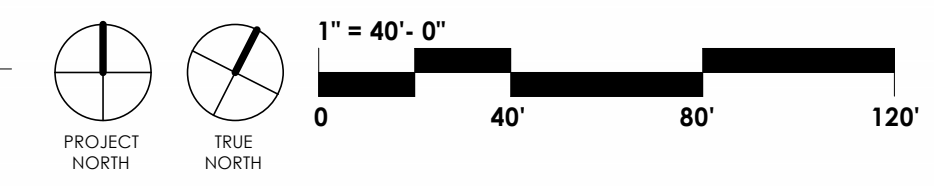
PROJECT SITE

PROJECT SITE

FUTURE 7-STORY HOTEL  
(1500 3RD AVE N)



1 MASTER SITE PLAN  
1" = 40'-0"





## Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All outfill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval /comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

## Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.

## NDOT Notes

- All work within the public right of way requires an excavation permit from NDOT.
- Proof-rolling of all street subgrades is required in the presence of the NDOT inspector. Inspection of the binder course is required prior to final paving in the presence of the NDOT. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.
- Final construction plans and road grades shall comply with the design regulations established by NDOT. Slopes along roadways shall not exceed 3:1.

## Architectural Notes

Building elevations for all street and open space-facing facades shall be provided with the final site plan. The following standards shall be met:

- Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, metal panel, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP
- A minimum of 10% glazing shall be provided for all facades.

## MWS Standard Private Utility Plan Notes

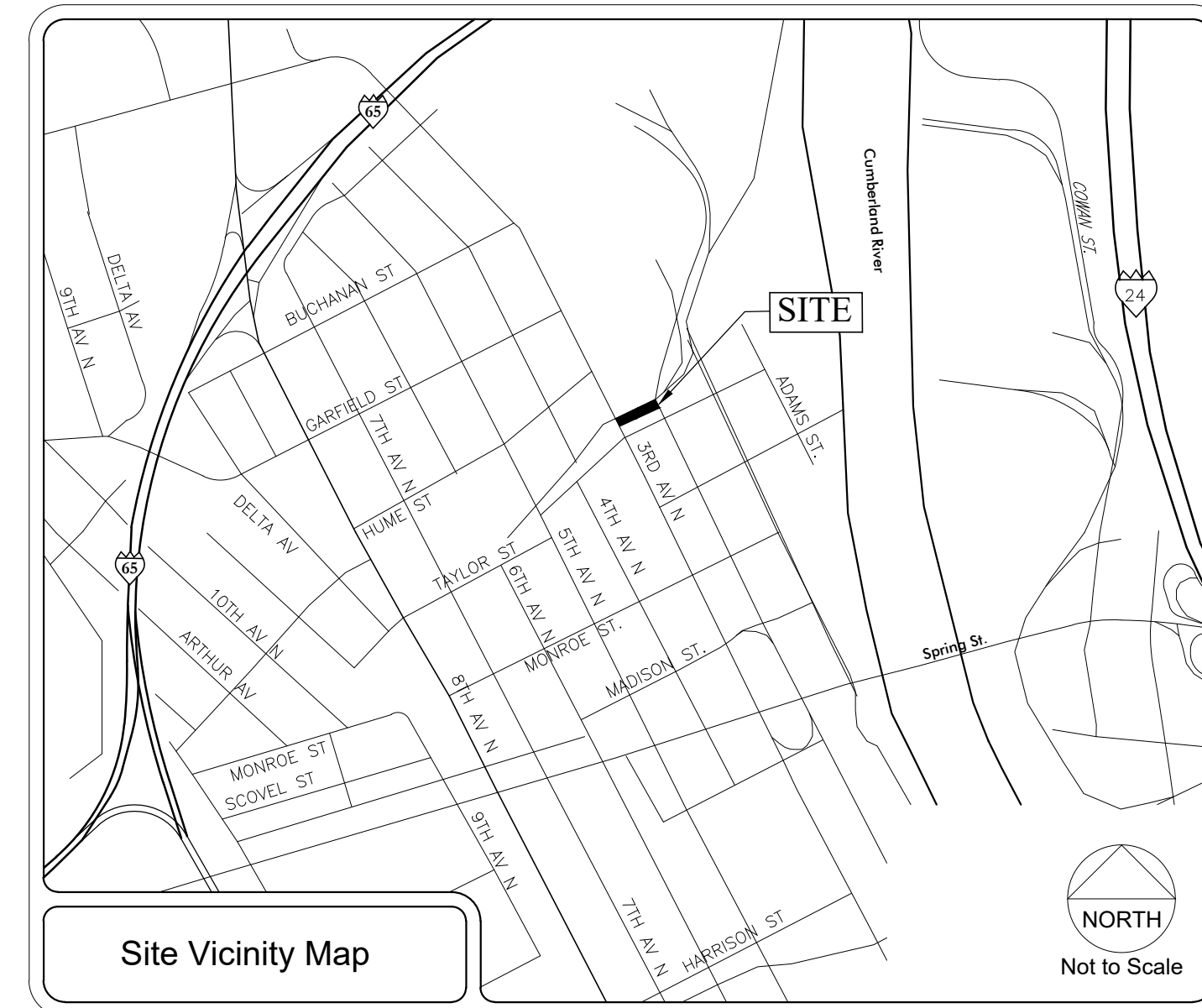
- All water and sewer construction shall be in accordance with specifications and standard details of the metro Water Services.
- All connections to existing manholes shall be by coring and resilient connector method.
- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be reviewed.
- All sewer services shall be minimum 6 inches in diameter, from connection at the main until the fires clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24" x 36" and shall show contours around meter boxes.
- Any unused existing water meters must be cut and capped at the public main.
- All lead or galvanized water service lines encountered with the project shall be reinstated with copper of like size from the water main to the meter box.
- Domestic and irrigation water meters and associated appurtenances shall be placed in or under a paved or improved surface other than the portion of the service located within the right of way.
- Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each premises and shall not be located in or under a paved or improved surface other than the portion within the right of way.

## Water and Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans in digital (DWG & PDF) format. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made. (A) Sewer plans shall be sealed by a license professional engineer and/or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service to property corners and lines and/or stationing and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. (B) Water line plans shall be sealed by a Licensed Professional Engineer and/or a Registered Land Surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, location of hydrants, valves, reducers, tees and pressure reducing devices where applicable.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved areas including all blow-off assemblies.
- All lead or galvanized water service lines encountered with this project shall be reinstated with copper of like size from the water main to the meter box.
- Domestic and irrigation water meters and associated appurtenance shall not be placed in or under a paved or improved surface other than the portion of the service located within the right of way.
- Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each premises and shall not be located in or under a paved or improved surface other than the portion within the right of way.

## Standard SP Notes

- The purpose of this SP is to obtain Preliminary approval for a mixed use development.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- This property does not lie within a flood hazard area as identified by FEMA ON MAP 47037C0241H", Dated: April 5, 2017.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 18" RCP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- Solid waste pickup to be provided by individual roll-away cans.
- Landscape and tree density requirements per Metro Zoning Ordinance.
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A-NS zoning district as of the date of the applicable request or application.
- The final Site Plan/building permit site plan shall depict any required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within any required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of any required sidewalk. Vertical obstructions are only permitted within any required grass strip or frontage zone.
- All mechanical units shall be screened from the right-of-way and greenway by landscaping or an enclosure, or a combination of both. Screening details are to be submitted with the final site plan.



## Council Bill 2022-1286

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from IR to SP zoning for property located at 3rd Avenue North (unnumbered), approximately 145 feet north of Van Buren Street (0.33 acres), to permit five multi-family residential units, all of which is described herein (Proposal No. 2021SP-044-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IR to SP zoning for property located at 3rd Avenue North (unnumbered), approximately 145 feet north of Van Buren Street (0.33 acres), to permit five multi-family residential units, being Property Parcel No. 173 as designated on Map 082-05 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to a maximum of 5 multi-family units as identified on the proposed SP plan. Short term rental property owner-occupied and short term rental property not owner-occupied shall be prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

- Units that front onto right-of-way shall address the right-of-way with the buildings architecture and typical architectural elevations shall be provided with the final site application.
- Interior units are required to front onto Greenway. Elevation will be reviewed by staff with submission of the final site plan
- Height of structures limited to height of 30' at eaves of pitched roof.
- Replace Architectural Note C with the following: Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulation and requirements of the RM20 zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

## Specific Notes:

- Brick Sidewalks Along 2nd & 3rd Avenue North are Subject to NDOT Approval. Historic Germantown Neighborhood Association in Agreement with NDOT that All New Sidewalks in Germantown to be Brick.
- Short-term rental properties owner-occupied and short term rental properties non owner-occupied shall be prohibited.
- Decorative Street Lights Along 2nd & 3rd Avenue North to be required.

# Amendment to the Preliminary SP Germantown Green Being Parcel 173 on Tax Map 82-05 Nashville, Davidson County, Tennessee Case No. 2021SP-044-002 Council Bill 2022-1286

## SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	USES PERMITTED UNDER MUL-A ZONING DISTRICT
	MAXIMUM RESIDENTIAL DENSITY SHALL BE LIMITED TO 2 UNITS
TOTAL SITE AREA	0.29 ACRES
CURRENT PROPERTY ZONING SP	SURROUNDING ZONING IR
MINIMUM LOT SIZE	NOT APPLICABLE
FAR	1.50 MAXIMUM
ISR	0.60 MAXIMUM
STREET YARD SETBACK	0-15' BUILD TO
SIDE YARD	NONE REQUIRED
REAR YARD	NONE REQUIRED
HEIGHT STANDARDS	3 STORIES IN 45 FEET MAX. HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (AVERAGE OF 4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE (FINAL GROUND ELEVATION) TO THE MIDPOINT OF THE PRIMARY ROOF PITCH (THE VERTICAL DISTANCE FROM EAVE TO MIDPOINT) OR TO THE TOP OF PARAPET FOR A FLAT ROOF.
PARKING AND ACCESS	
RAMP LOCATION AND NUMBER	ONE WAY DRIVE WITH ACCESS FROM 2nd & 3rd AVENUES
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	+/- 55' EAST ALONG 3rd AVENUE
DISTANCE TO INTERSECTION	+/- 150' SOUTHEAST TO 3rd & VAN BUREN
REQUIRED PARKING	NO PARKING REQUIRED (UZO)
PARKING PROVIDED	NO VEHICULAR PARKING PROVIDED. SEE SHEETS L1.00 & L1.01 FOR BICYCLE PARKING

Property Information  
0 3rd Avenue North  
Nashville, Tennessee 37208  
0.29 Total Acres  
Council District 19: Jacob Kupin

Owner of Record  
Jeff Zeitlin  
1806 B 5th Avenue North  
Nashville, Tennessee 37208  
Phone: 615.300.3228  
Email: jefzeitlin@gmail.com

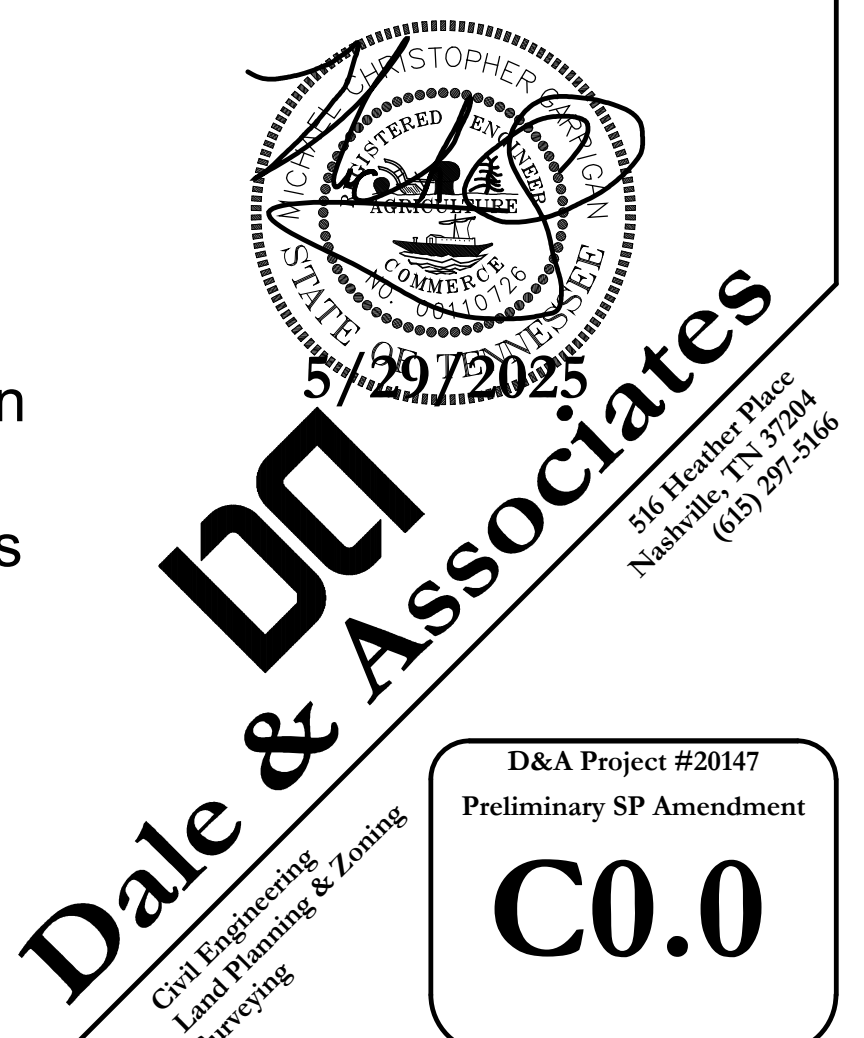
This site does not lie within a flood hazard area as depicted on the most current FIRM Panel Number 47037C0241H, dated April 5, 2017.

Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to stormwater approval / comments only.

## SHEET SCHEDULE

C0.0 Cover Sheet  
C1.0 SP Layout & Utility Plan  
L1.00 SP Landscape Plan  
A1.0-A2.2 Architectural Elevations & Prospectives

Permits/Case Numbers  
MPC Case No 2021SP-044-002  
Metro Council Bill BL2022-1286



D&A Project #20147  
Preliminary SP Amendment

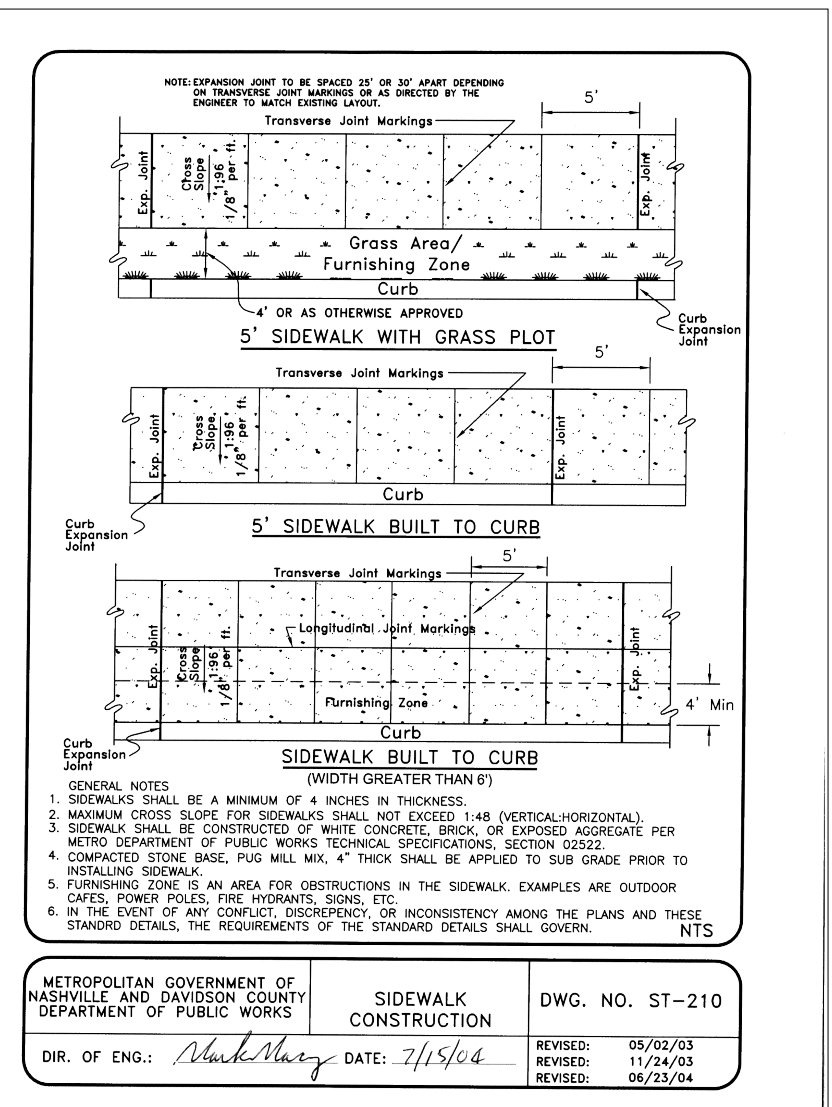
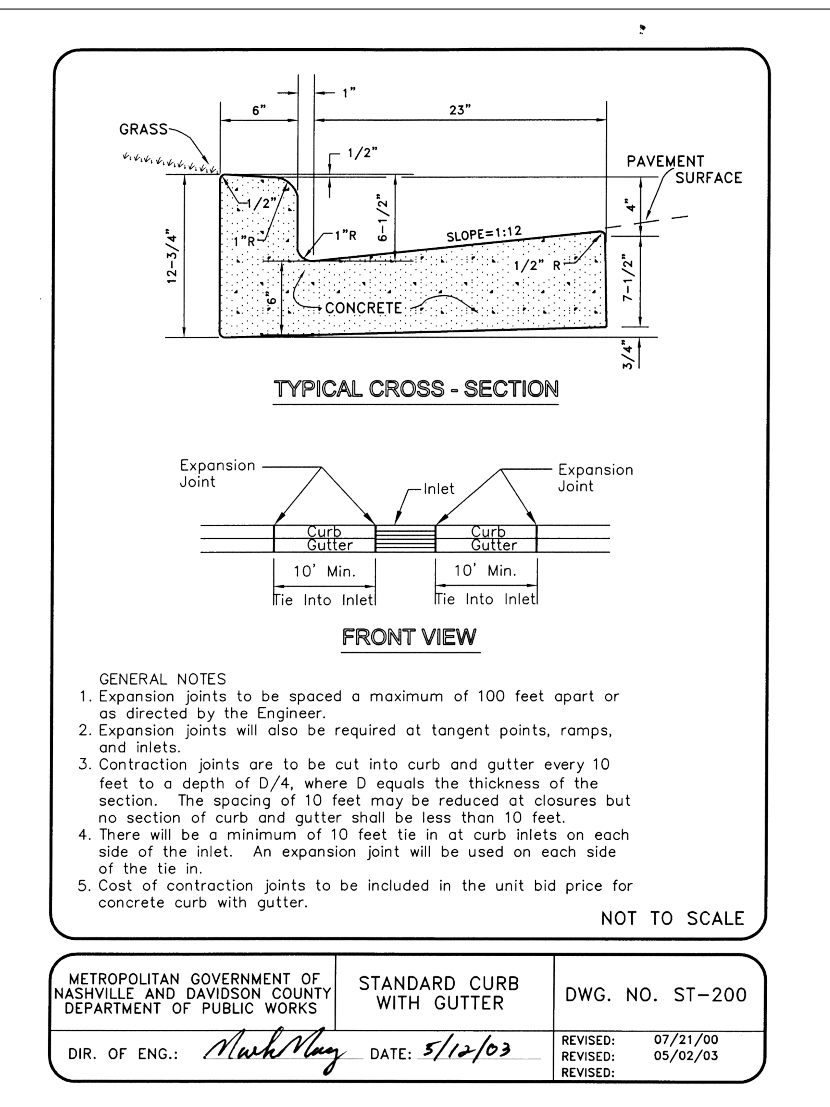
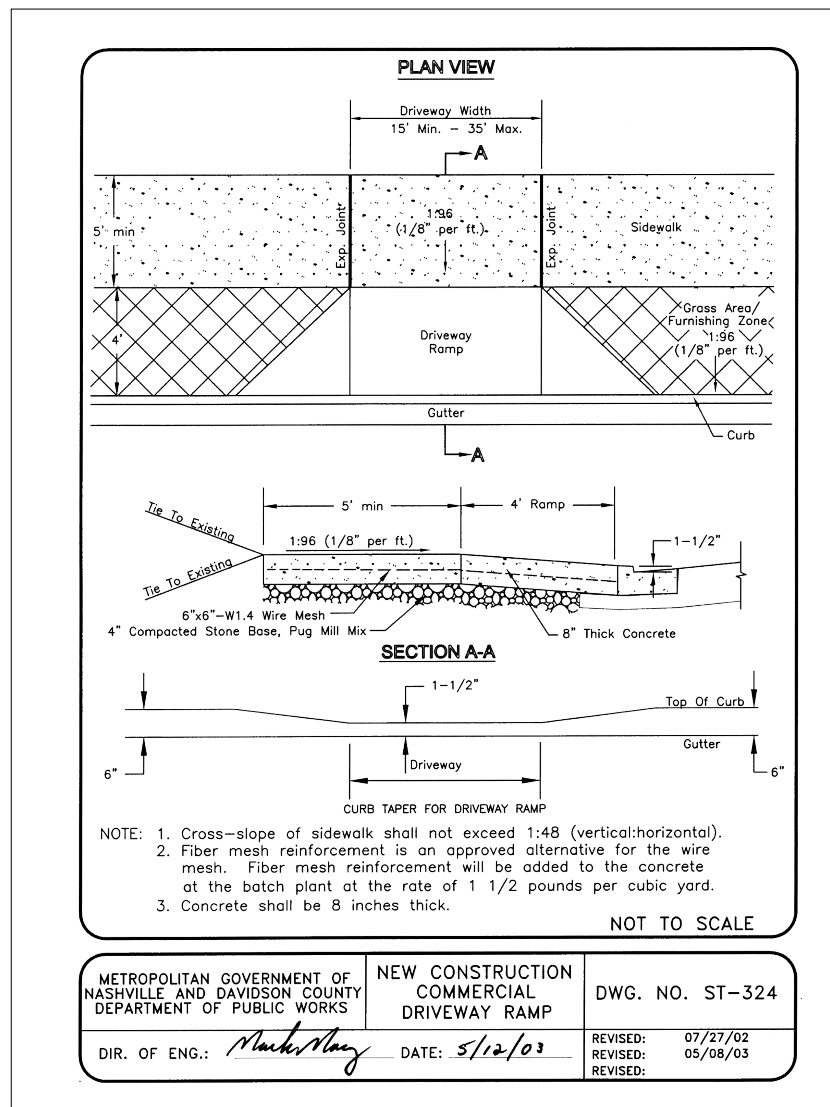
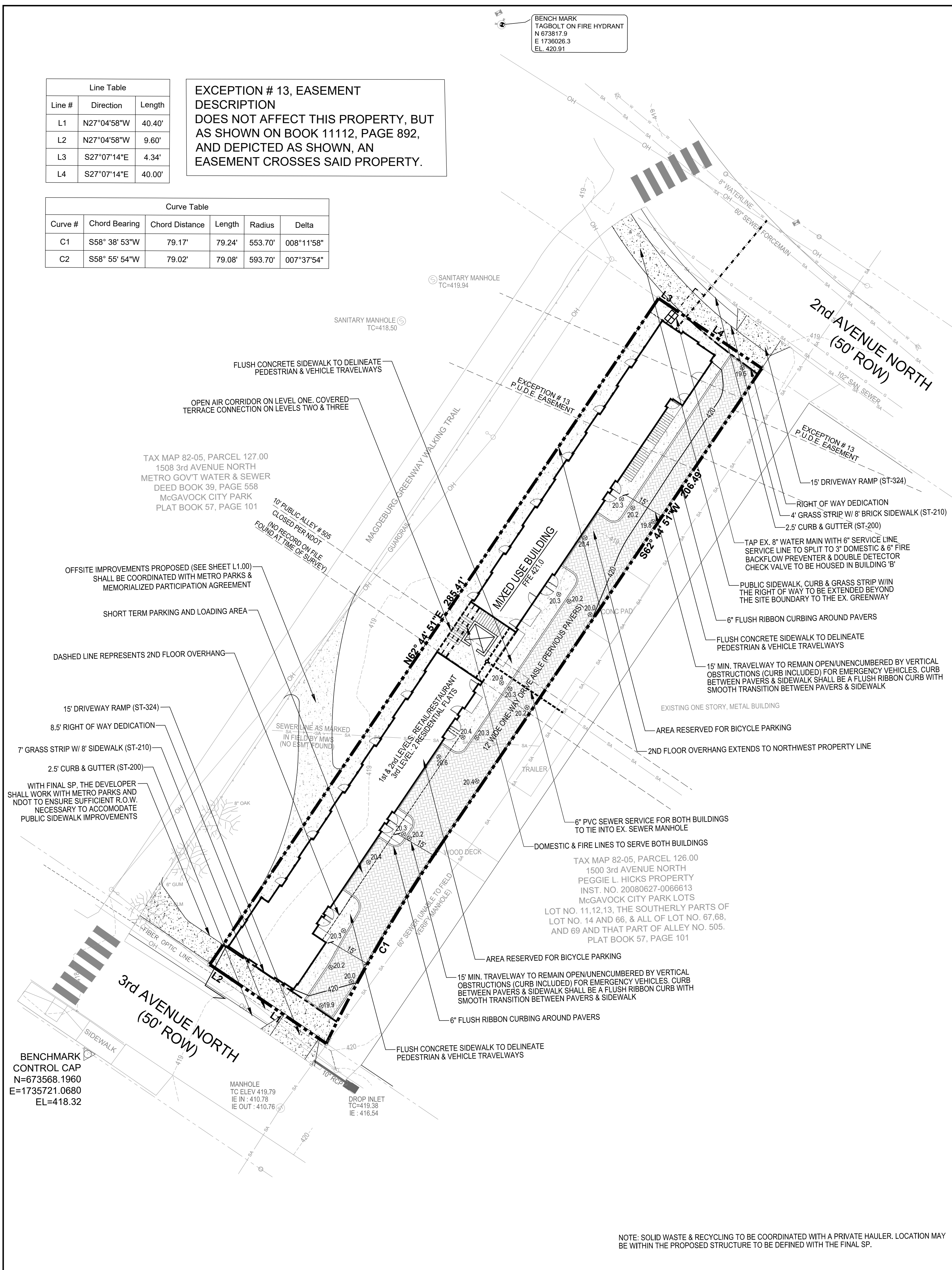
# C0.0



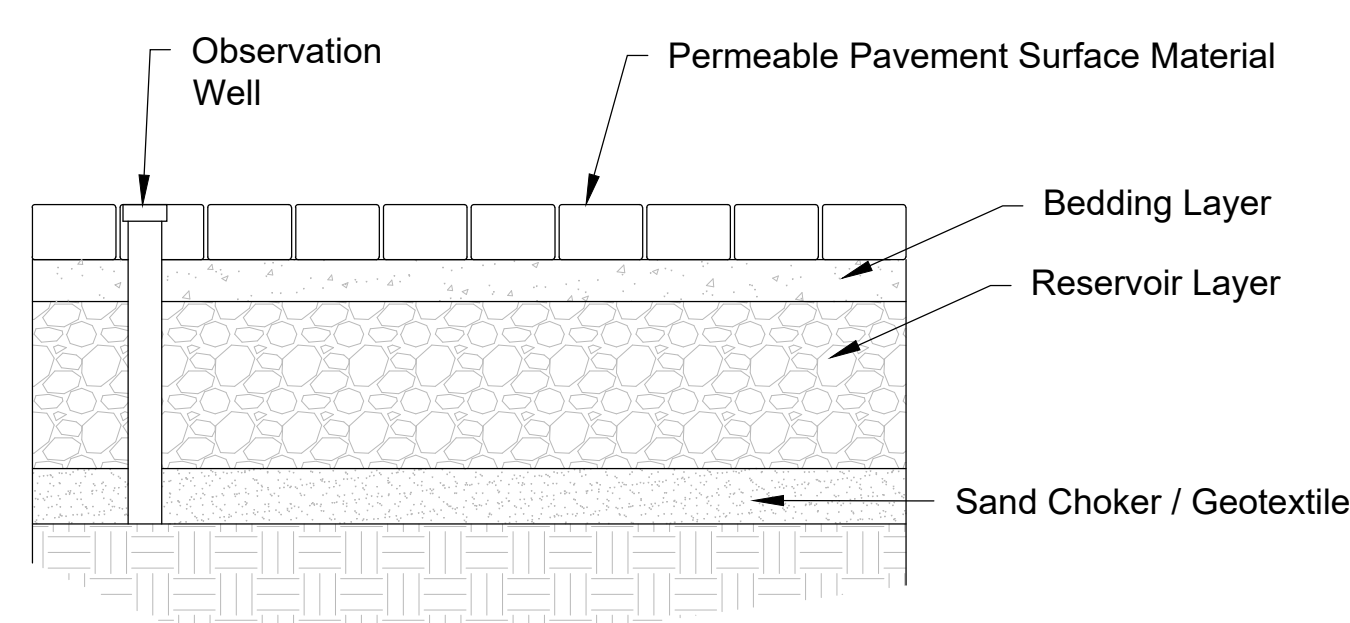
Line #	Direction	Length
L1	N27°04'58"W	40.40'
L2	N27°04'58"W	9.60'
L3	S27°07'14"E	4.34'
L4	S27°07'14"E	40.00'

**EXCEPTION # 13, EASEMENT DESCRIPTION DOES NOT AFFECT THIS PROPERTY, BUT AS SHOWN ON BOOK 11112, PAGE 892, AND DEPICTED AS SHOWN, AN EASEMENT CROSSES SAID PROPERTY.**

Curve #	Chord Bearing	Chord Distance	Length	Radius	Delta
C1	S58° 38' 53"W	79.17'	79.24'	553.70'	008°11'58"
C2	S58° 55' 54"W	79.02'	79.08'	593.70'	007°37'54"

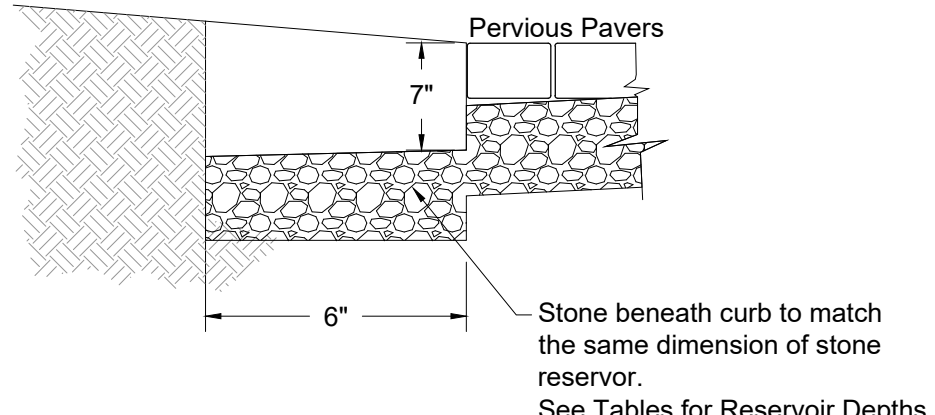


**GIP - 03B PERMEABLE PAVERS WITHOUT UNDERDRAIN Level 2 Permeable Pavers**



Permeable Paver Number :	A
Treatment Volume (Tv), CF	2,887 CF
Surface Area, SF	3,609 SF
Overflow (TOC) Elevation*	419.0
Reservoir Depth	24"
Underdrain Invert Depth*	N/A
Outlet Elevation*	N/A

\* N/A if not required  
All elevations shall be NAVD88



Material	Specifications	Notes
Permeable Pavement System	Permeable Interlocking Concrete Pavers <sup>1</sup>	<sup>1</sup> ASTM C936
Bedding Layer *	#8 or #9 clean washed stone	Meet TDOT Construction Specifications.
Reservoir Layer *	#57 or #2 clean washed stone	Meet TDOT Construction Specifications.
Observation Well	6-inch SDR 35 PVC pipe with vented cap and anchor plate	Use traffic rated casting where required. Number of wells equals the number of test pits required for infiltration testing (see Appendix 1.A)
Sand Choker / Geotextile *	2- to 4-inch layer of coarse sand <sup>1</sup> Filter fabric (125 gpm/sq.ft.) <sup>2</sup>	<sup>1</sup> Meet TDOT Construction Specifications <sup>2</sup> AASHTO M288-06, ASTM D4911 & D4751

**Detail Notes:**

- Vehicular traffic shall be prohibited on the pervious pavement until the site is stable to prevent sediment from being deposited by vehicles.
- Contractor, Engineer, or Owners Representative shall notify MWS NPDES Staff at least 48 hours prior to the installation of the pervious layer to observe the sub-base material.

**General Notes:**

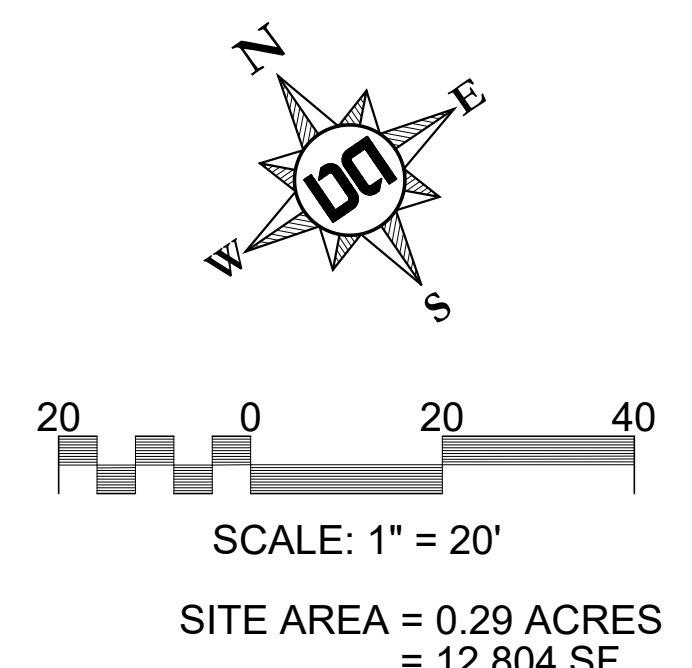
1. Expansion joints to be spaced a max. of 100' apart or as directed by engineer.
2. Expansion joints will also be required at tangent points, ramps, and inlets.
3. Contraction joints are to be cut into curb and gutter every 10' to a depth of D/4, where D equals the thickness of the section. The spacing of 10' may be reduced at closures but no section of curb shall be less than 10'.

**Property Information**  
0 3rd Avenue North  
Nashville, Tennessee 37208  
0.29 Total Acres  
Council District 19: Jacob Kupin

**Owner of Record**  
Jeff Zeitlin  
1806 B 5th Avenue North  
Nashville, Tennessee 37208  
Phone: 615.300.3228  
Email: jeffzeitlin@gmail.com

This site does not lie within a flood hazard area as depicted on the most current FIRM Panel Number 47037C0241H, dated April 5, 2017.

Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to stormwater approval / comments only.



Permits/Case Numbers  
MPC Case No 2021SP-044-002  
Metro Council Bill BL.2022-1286

Drawing Date:  
February 2025

Revisions

**Germantown Green**  
An Amendment to the Preliminary SP

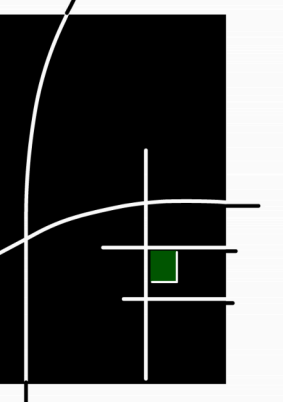


**SP Layout & Utility Plan**

**Dale & Associates**  
Civil Engineering  
Land Planning & Zoning  
Surveying  
516 Leander Place  
Nashville, TN 37204  
(615) 297-5366

D&A Project #20147  
Preliminary SP Amendment  
**C1.0**





Hawkins Partners, Inc.

110 10th Street

2nd Floor

Nashville, TN 37206

615.255.5218

Fax: 615.254.1424

www.hawkinspartners.com



AMENDMENT TO THE PRELIMINARY SP

**GERMANTOWN GREEN**  
BEING PARCEL 173 ON TAX MAP 82-05  
NASHVILLE, DAVIDSON COUNTY, TN 37208

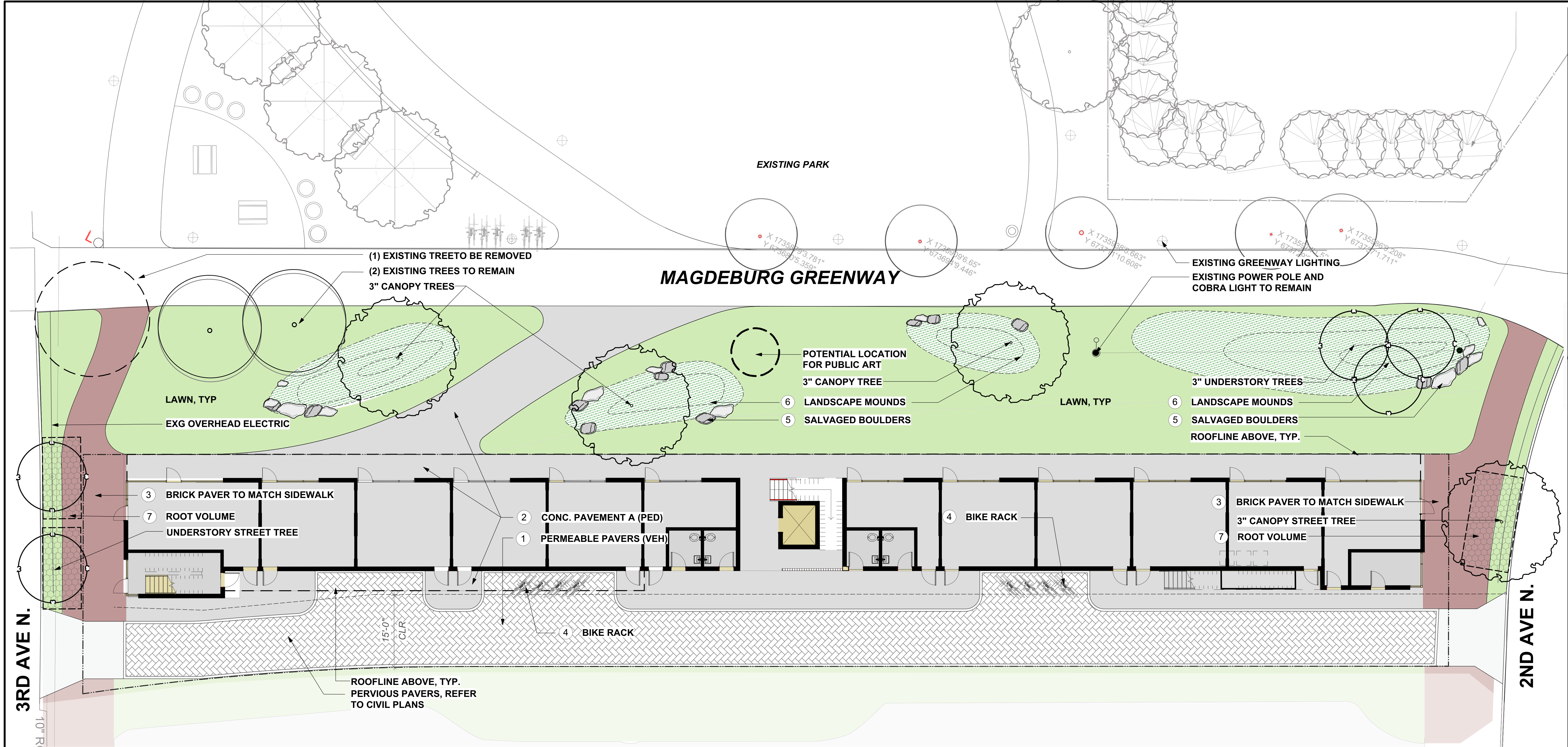
JOB NO.: 25-101  
DATE: March 25, 2025  
Rev. May 29, 2025

**NOT FOR CONSTRUCTION**

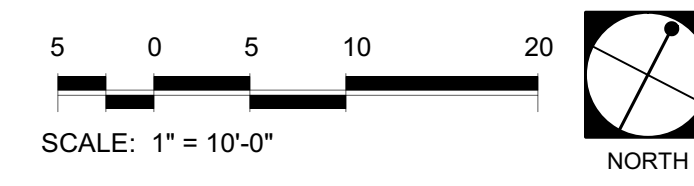
SCALE: 1" = 10'-0"

SHEET:

**L1.00**



1 SITE PLAN  
Scale: 1" = 10'-0"



**LEGEND**

**PAVEMENT**

- 1 PERMEABLE PAVERS (VEH)  
REFER TO CIVIL DRAWINGS
- 2 CONC. PAVEMENT A (PED)
- 3 BRICK PAVER TO MATCH SIDEWALK  
PAVERS TO MATCH EXISTING
- 4 BIKE RACK
- 5 SALVAGED BOULDERS
- 6 LANDSCAPE MOUNDS
- 7 ROOT VOLUME

**LANDSCAPE**

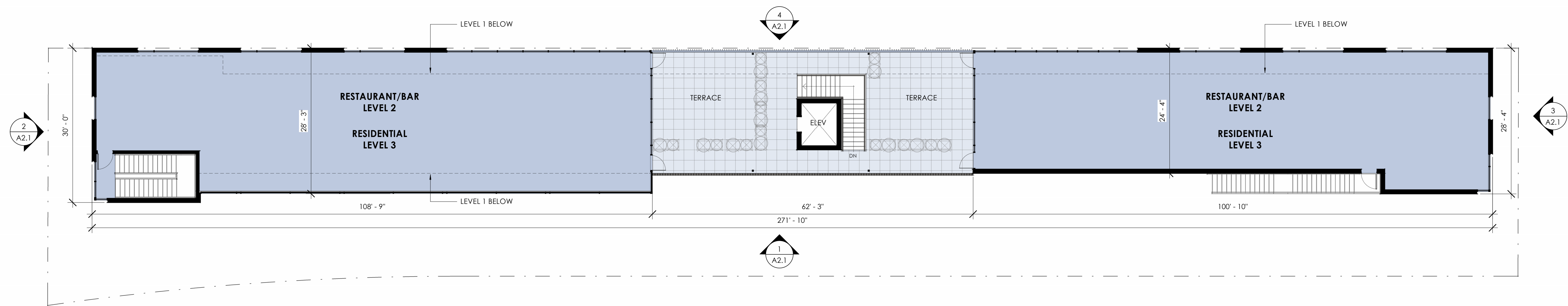
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- CANOPY TREE
- UNDERSTORY TREE
- LANDSCAPE PLANTING
- LAWN

**NOTES**

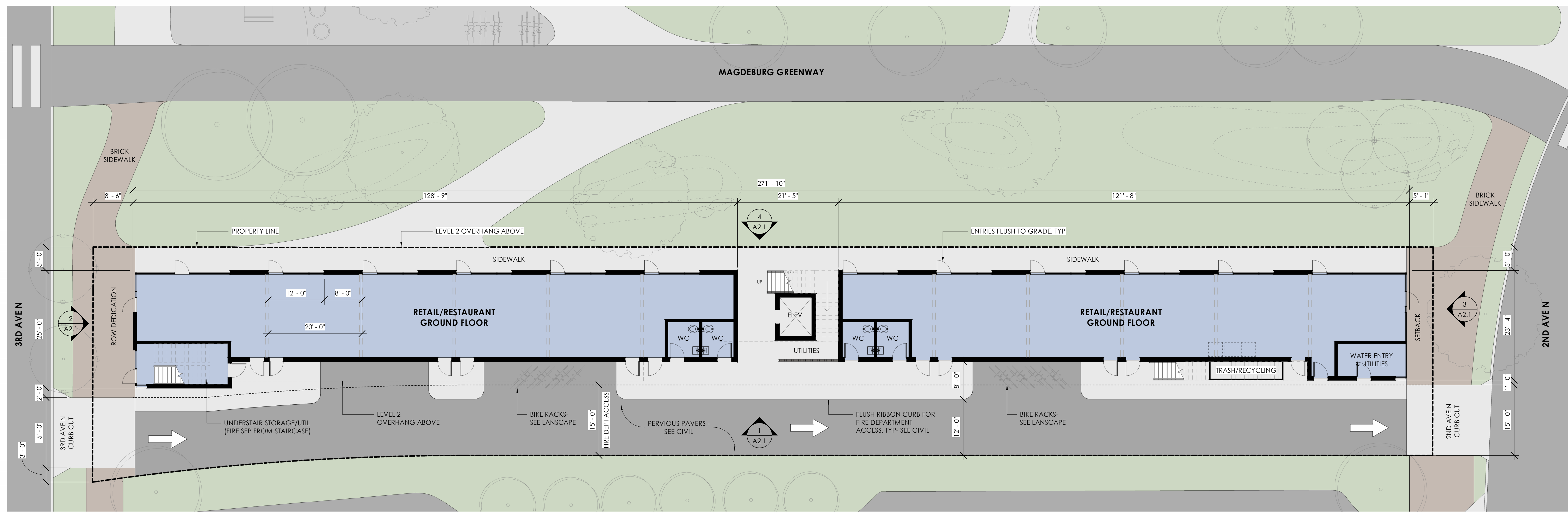
1. REFER TO CIVIL DWGS FOR ALL SIDEWALK/ROADWAY LAYOUT. UTILITIES, SITE GRADING, DRAINAGE, ETC SHALL BE PROVIDED IN FINAL SP.
2. ALL STREETSCAPE AND PUBLIC ROW LIGHTING TO MEET CITY STANDARDS.
3. THE PROJECT TO EVALUATE THE EXISTING LIGHTING LEVELS ALONG THE GREENWAY AND PROVIDE ADDITIONAL LIGHTING TO MEET GREENWAY STANDARDS. LIGHT FIXTURES TO MATCH EXISTING FIXTURES CURRENTLY IN THE PARK.
4. ALL NEW LANDSCAPE SHALL BE IRRIGATED WITH AUTOMATICALLY CONTROLLED, HIGH EFFICIENCY IRRIGATION SYSTEM WITH POP UP MPR/STREAM NOZZLES.
5. CONTROLLER SHALL BE A EPA WATERSENSE CERTIFIED, SMART CONTROLLER WITH ET /WEATHER BASED CAPABILITIES.
6. THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS FOR METRO ZONING CODE CHAPTER 17.24 THROUGH STREET TREES AND THROUGH A DONATION TO THE TREE BANK. THE INTRODUCED TREES WITHIN THE PARK SPACE WILL NOT COUNT TOWARDS THE REQUIRED TDU AND ARE NOT INCLUDED IN THE CALCULATIONS. REFER TO THE CHART ON L101.
7. ALL STREET TREES SHALL HAVE A SOIL VOLUME OF 600 CF FOR CANOPY TREES AND 400 CF FOR UNDERSTORY TREES.
8. THE EXISTING TREES ALONG THE GREENWAY ARE NOT INCLUDED IN THE OVERALL TDU COUNTS.
9. LANDSCAPE PLANTING PLAN SHALL BE PROVIDED IN THE FINAL SP. PLANTING SHALL CONSIST OF SHRUBS, PERENNIALS, AND/OR ORNAMENTAL GRASSES. PLANTS SHALL BE NATIVE AND/OR ADAPTIVE FOR THIS ECO REGION.
10. BICYCLE PARKING: BICYCLE PARKING SHALL BE PROVIDED PER THE METRO ZONING ORDINANCE (BL2014-714). REFER TO CHART ON L101.

MPC CASE #: 2021SP-044-002  
METRO COUNCIL BILL BL2022-1286

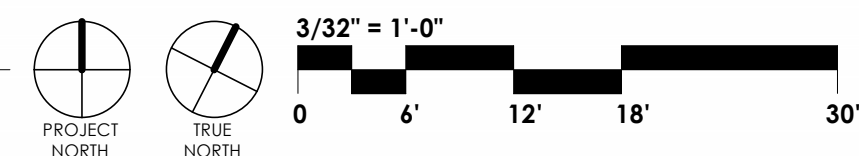




**2 LEVELS 2 & 3 PLAN**  
3/32" = 1'-0"

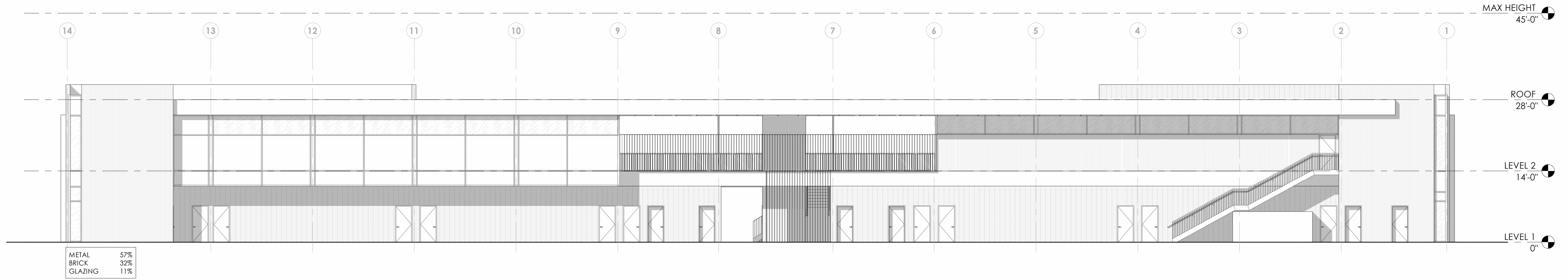


**1 GROUND FLOOR PLAN**  
3/32" = 1'-0"

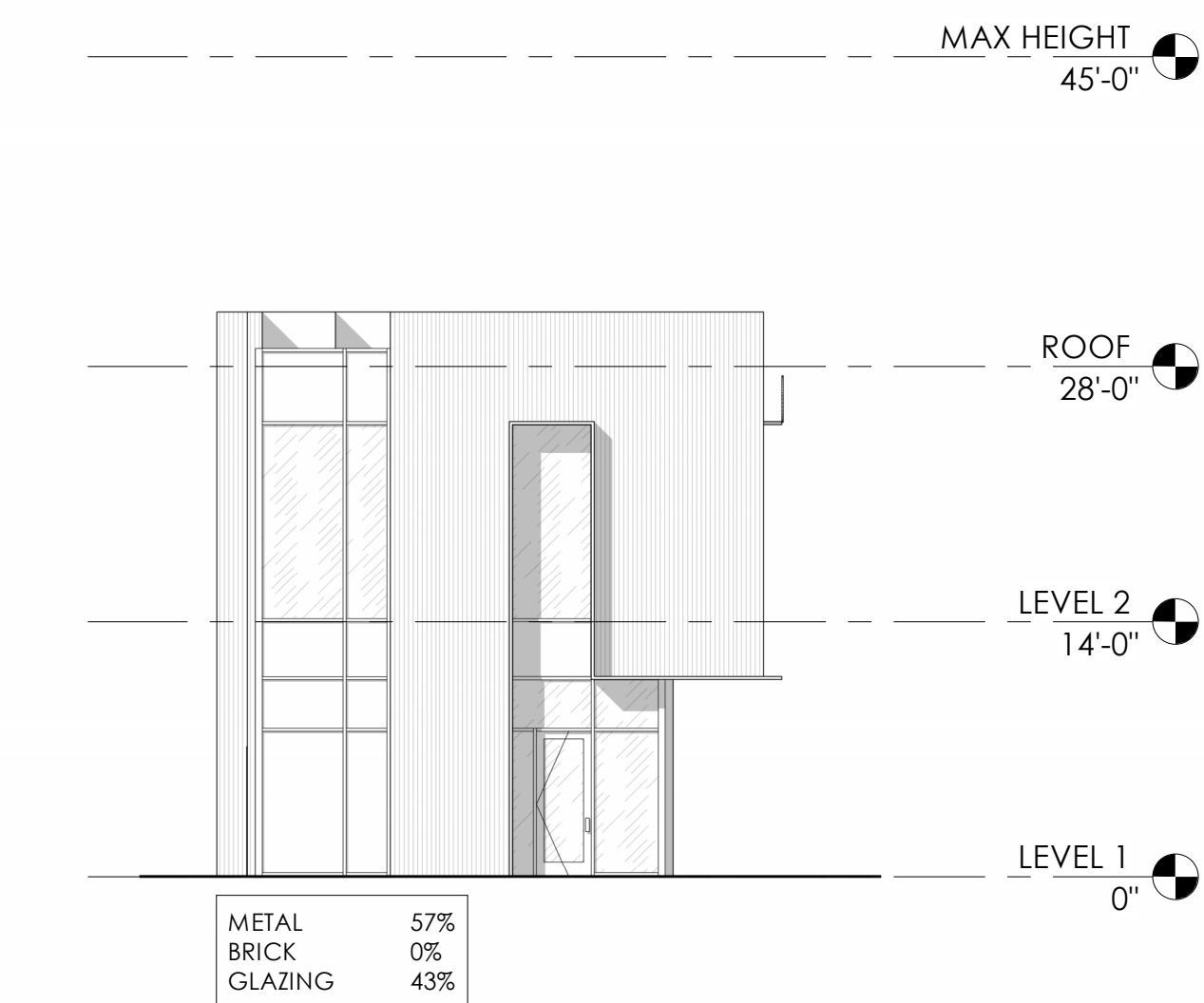


MPC CASE #: 2021SP-044-002  
METRO COUNCIL BILL BL2022-1286





**1 EXTERIOR ELEVATION SOUTH**  
1" = 10'-0"

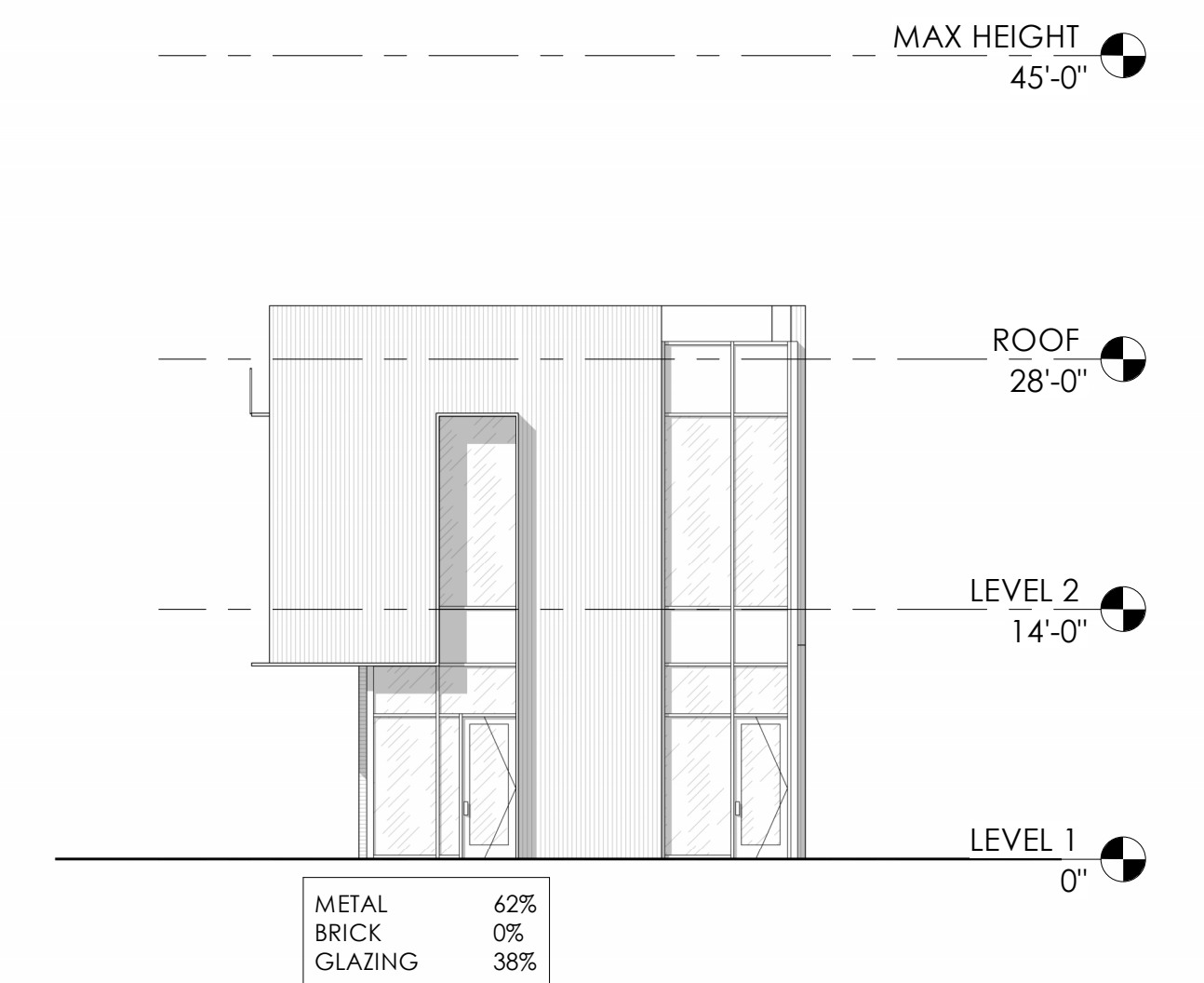


**3 EXTERIOR ELEVATION EAST**  
1" = 10'-0"

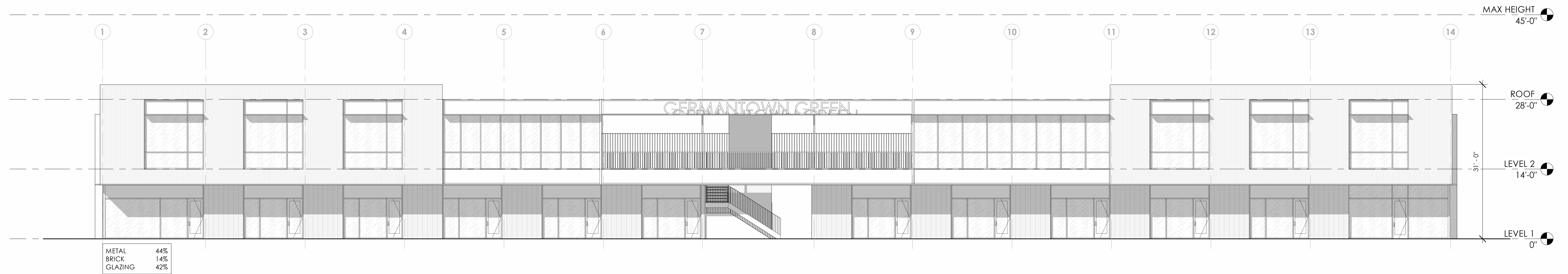
**FACADE MATERIALS**

BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, METAL, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION. EXTERIOR MATERIALS & PERCENTAGES SHOWN IN DRAWINGS FOR DESIGN INTENT ONLY, AND MAY VARY UPON FINAL DESIGN.

METAL	52%
BRICK	20%
GLASS	28%



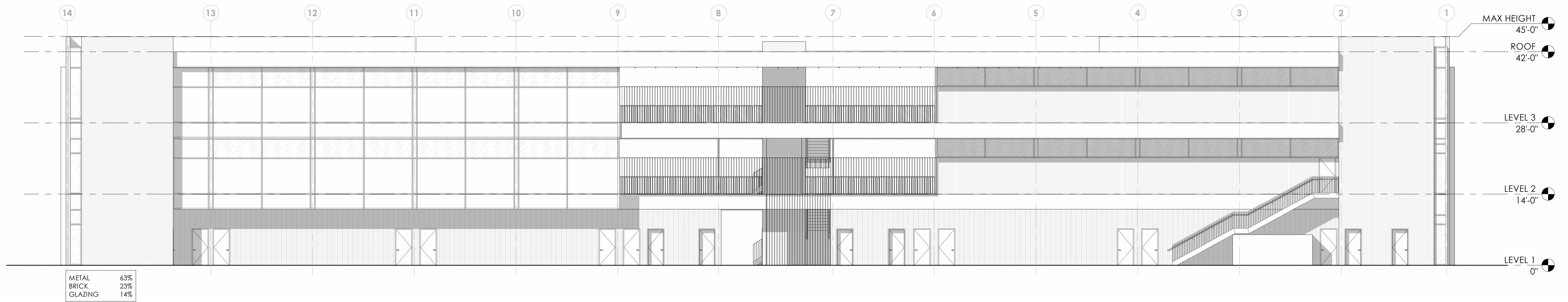
**2 EXTERIOR ELEVATION WEST**  
1" = 10'-0"



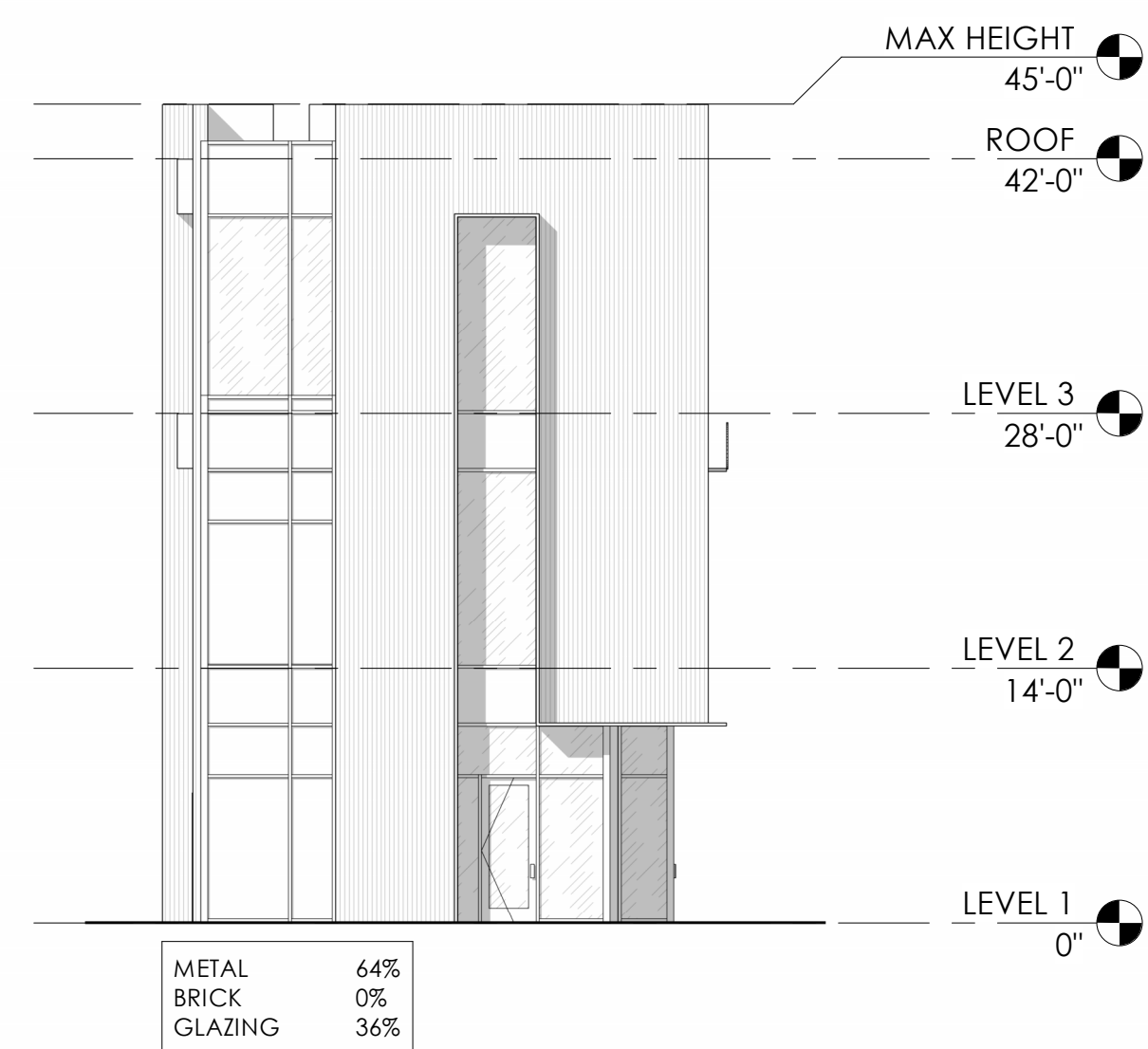
**4 EXTERIOR ELEVATION NORTH**  
1" = 10'-0"

MPC CASE #: 2021SP-044-002  
METRO COUNCIL BILL BL2022-1286





**1 EXTERIOR ELEVATION SOUTH**  
1" = 10'-0"

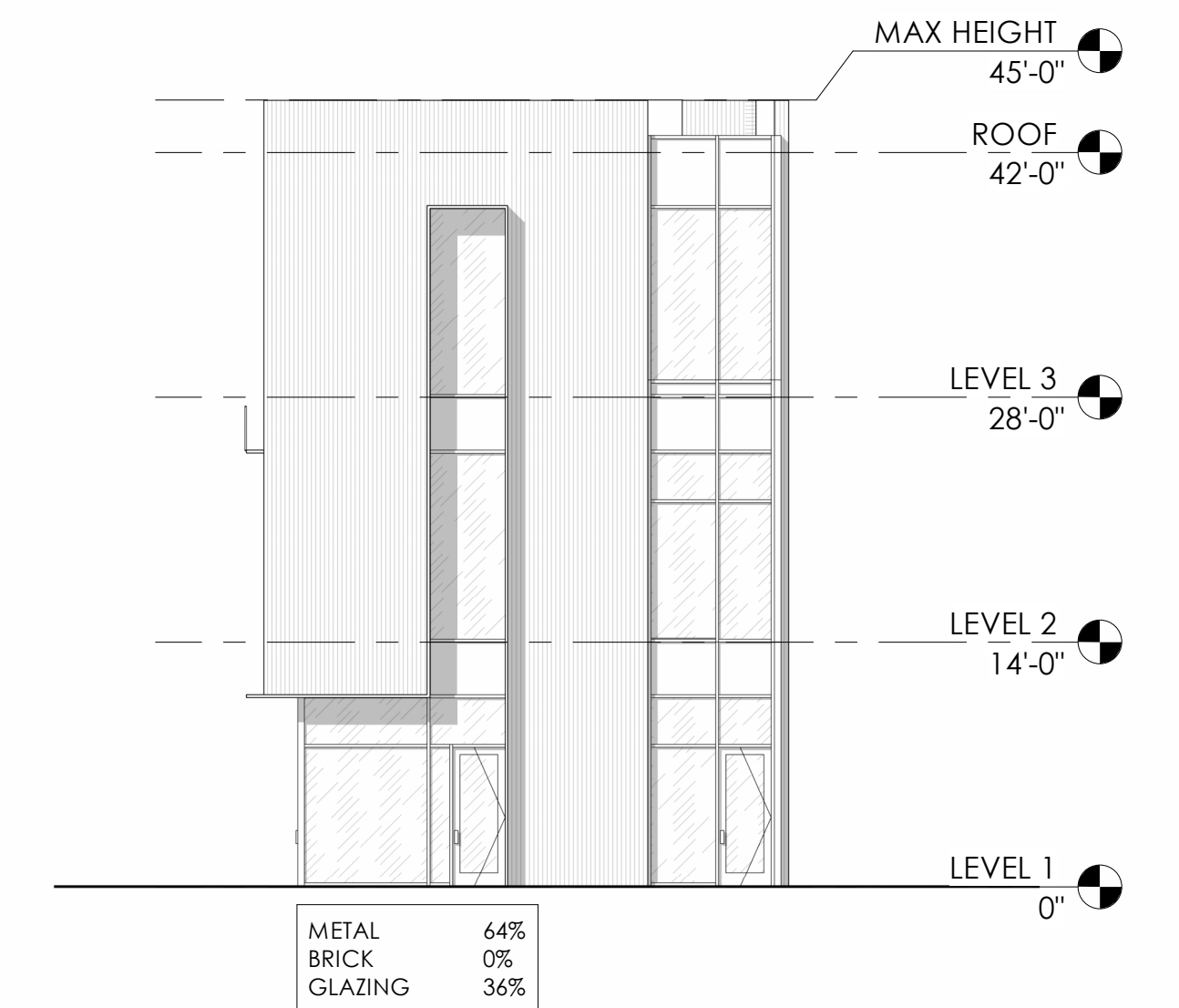


**3 EXTERIOR ELEVATION EAST**  
1" = 10'-0"

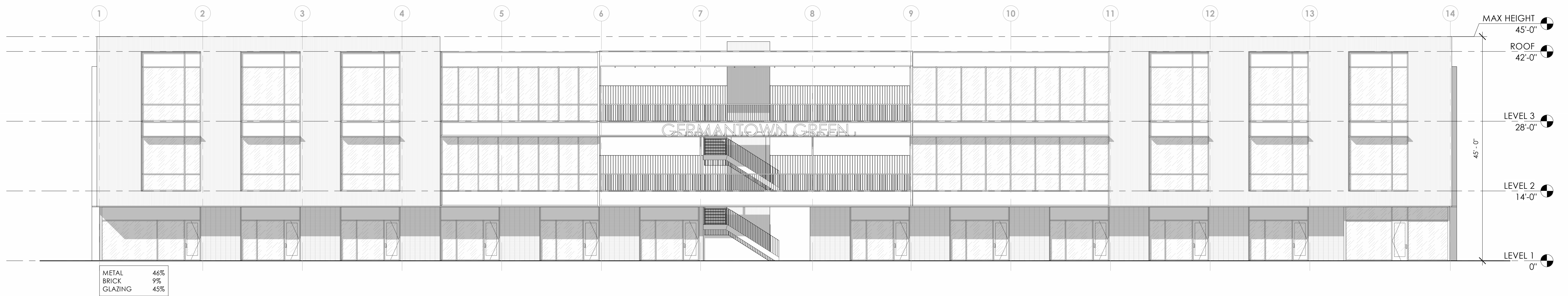
**FACADE MATERIALS**

BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, METAL, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION. EXTERIOR MATERIALS & PERCENTAGES SHOWN IN DRAWINGS FOR DESIGN INTENT ONLY, AND MAY VARY UPON FINAL DESIGN.

METAL	59%
BRICK	16%
GLASS	25%



**2 EXTERIOR ELEVATION WEST**  
1" = 10'-0"



**4 EXTERIOR ELEVATION NORTH**  
1" = 10'-0"

MPC CASE #: 2021SP-044-002  
METRO COUNCIL BILL BL2022-1286



# VISION + IMAGERY

MPC CASE #: 2021SP-044-002  
METRO COUNCIL BILL BL2022-1286

Germantown Green will be a two- or three-story mixed-use development that will serve as a fitting addition to Germantown, fronting the Magdeburg Greenway and offering a blend of retail, dining, and recreational spaces. The building will incorporate industrial-inspired materials, including brick, metal, and glass, to reflect the history of the site and neighborhood.

The ground floor will provide a range of retail and service options, with potential tenants including a yoga/Pilates studio, coffee shop, pet store, and clothing boutique. These businesses will activate the streetscape and Greenway, creating welcoming, pedestrian-friendly spaces. The landscape buffer will enhance both the building and the existing Greenway, featuring communal tables and chairs, shade trees, planting beds, and open grass areas, offering a natural yet functional transition between the development and the greenway.

The upper floor is envisioned as a destination for dining and social experiences, with space allocated for two restaurants, with a shared terrace space and central elevator and stair. The upper floor will offer guests expansive views of the Metro Water Lawn and adjacent dog park, providing an engaging, scenic backdrop for patrons.

Designed to seamlessly integrate into its surroundings while fostering community engagement, this development will offer a modern yet historically rooted space that enhances the vibrancy of Germantown and the Magdeburg Greenway corridor.



**PRECEDENT IMAGERY**  
**PROJECT RENDERING**

NOTE: RENDERING FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO DRAWINGS FOR FINAL DESIGN, MATERIALS, AND DETAILS.

