

# PRELIMINARY SP

# 1705 HAYES STREET

## NASHVILLE, DAVIDSON COUNTY, TENNESSEE

CATALYST PROJECT NO. 20210131  
JANUARY 17, 2022

**SITE DATA**

COUNCIL DISTRICT: 21  
 COUNCIL MEMBER: BRANDON TAYLOR  
 PARCEL ID.: 09212046400  
 SITE ADDRESS: 1705 HAYES ST.  
 NASHVILLE, TN, 37203  
 SITE ACREAGE: 0.52 AC. (22,500 FT<sup>2</sup>)  
 EXISTING ZONING: MUI-A  
 PROPOSED USE: MULTIFAMILY/HOTEL AND ALL USES ALLOWED BY MUI-A (OWNER & NON-OWNER OCCUPIED SHORT-TERM RENTAL IS PROHIBITED)  
 \* EXISTING PAID PARKING USE TO REMAIN IN OPERATION UNTIL CONSTRUCTION BEGINS PER APPROVED FINAL SP UP TO 295 MULTIFAMILY UNITS OR 345 HOTEL ROOMS AND 2,500 SF MAX. RESTAURANT/RETAIL/OFFICE

PROPOSED UNITS: PROPOSED MAX. BLDG. HEIGHT: 24 STORIES

PROPOSED MAX. F.A.R.: 13.0

**PARKING SUMMARY**  
 PARKING REQUIRED: PER ZONING CODE (UZO) INCLUDING ALL APPLICABLE UZO REDUCTIONS (REQUIRED PARKING MAY ALSO BE ESTABLISHED BY A FORMAL PARKING STUDY PER SECTION 17.20.030.F)

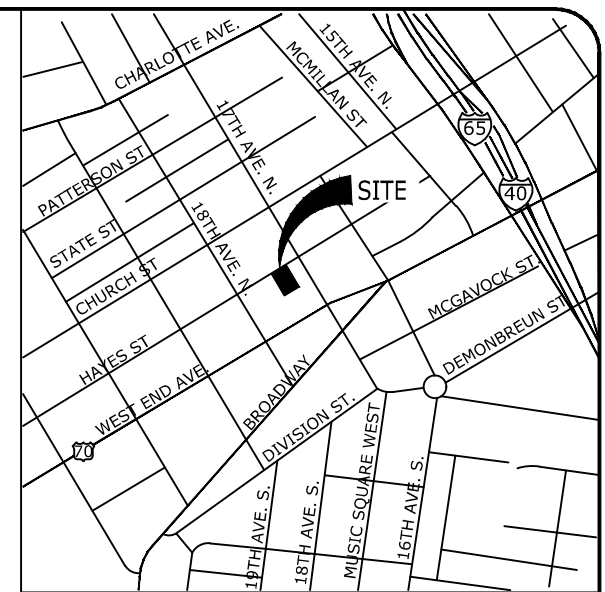
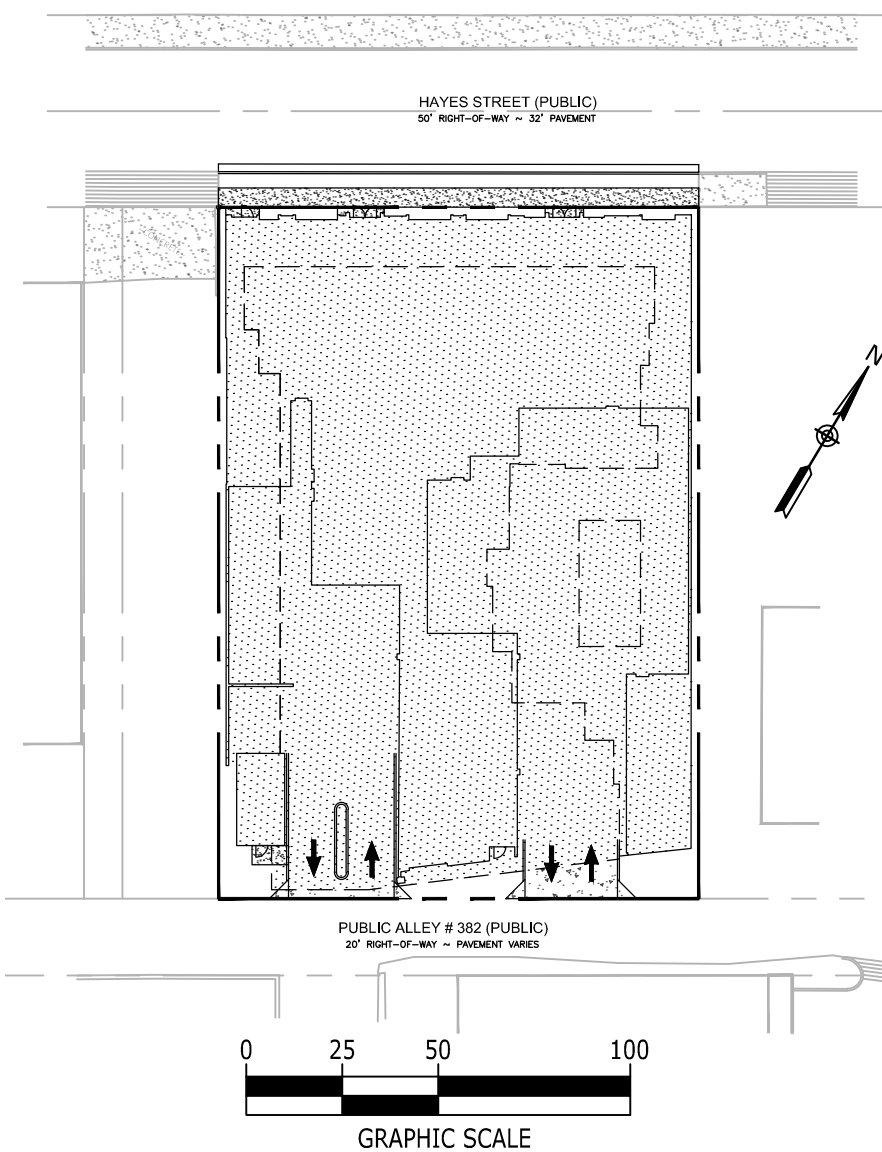
PARKING PROVIDED: TBD WITH FINAL SP SUBMITTAL

**GARAGE:** CHERRY AND ASSOCIATES  
 ADDRESS: 209 29TH AVE. NORTH, STE. 150  
 NASHVILLE, TN 37203  
 PHONE NO.: 615.366.1098 EXT. 16  
 CONTACT NAME: JIM JACOBS  
 CONTACT E-MAIL ADDRESS: jjacobs@cherryandassoc.com

**PROJECT REPRESENTATIVE:** CATALYST DESIGN GROUP  
 ADDRESS: 5100 TENNESSEE AVE.  
 NASHVILLE, TN 37209  
 PHONE NO.: 615.622.7200  
 CONTACT NAME: ANDREW WOLTERS  
 CONTACT E-MAIL ADDRESS: awolthers@catalyst-dg.com

RECORDED DOCUMENTS: DEED BOOK 6848 PAGE 738

FEMA PANEL: THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47037C0243 H, APRIL 5, 2017, COMMUNITY NAME: METROPOLITAN NASHVILLE, DAVIDSON COUNTY TENNESSEE.



VICINITY MAP  
NOT TO SCALE

**GENERAL PLAN CONSISTENCY**

1705 HAYES STREET IS PROPOSED TO BE CONSISTENT WITH THE GREEN HILLS - MIDTOWN COMMUNITY PLAN: T5MU (CENTER MIXED USE NEIGHBORHOOD). THE DEVELOPMENT PROPOSES A 24-STORY MIXED USE TOWER WHICH IS CONSISTENT WITH THE DEVELOPMENT GOALS OF THE POLICY PLAN.

**DEVELOPMENT NOTES**

1. THE PURPOSE OF THIS PLAN IS FOR PRELIMINARY APPROVAL OF SPECIFIC PLAN ZONING TO PERMIT UP TO 295 MULTIFAMILY UNITS AND/OR 345 HOTEL UNITS AND SUPPORTING RESTAURANT/RETAIL AND PARKING.  
 ADA; <http://www.ada.gov/>  
 US Justice Dept.: [http://www.justice.gov/crt/housing/fairhousing/about\\_fairhousingact.htm](http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm)
2. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
3. TRASH AND RECYCLING SERVICE SHALL BE CONTRACTED THROUGH A PRIVATE COLLECTION SERVICE.
4. THE FINAL SITE PLAN/BUILDING SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE.
5. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
6. THE FALL-BACK ZONING SHALL BE MUI-A.

**Sheet List Table**

| Sheet Number | Sheet Title                    |
|--------------|--------------------------------|
| C0.0         | COVER SHEET                    |
| C1.0         | EXISTING CONDITIONS            |
| C2.0         | LAYOUT, GRADING & UTILITY PLAN |
| C3.0         | LANDSCAPE PLAN                 |

| ARCHITECTURAL DRAWINGS |                       |
|------------------------|-----------------------|
| 01                     | PROJECT LOCATION      |
| 02                     | BUILDING DATA         |
| 03                     | LOWER FLOOR PLANS     |
| 04                     | ELEVATIONS            |
| 05                     | ELEVATIONS            |
| 06                     | MASSING MODEL         |
| 07                     | HAYES ST. PERSPECTIVE |
| 08                     | MASSING MODEL         |

ARCHITECT

**EOA**

515 MAIN ST.  
 NASHVILLE, TN 37206  
 615.242.4004

PREPARED FOR

**CHERRY AND ASSOCIATES**

209 29TH AVE. NORTH, STE. 150  
 NASHVILLE, TN 37203  
 615.366.1098 EXT. 16



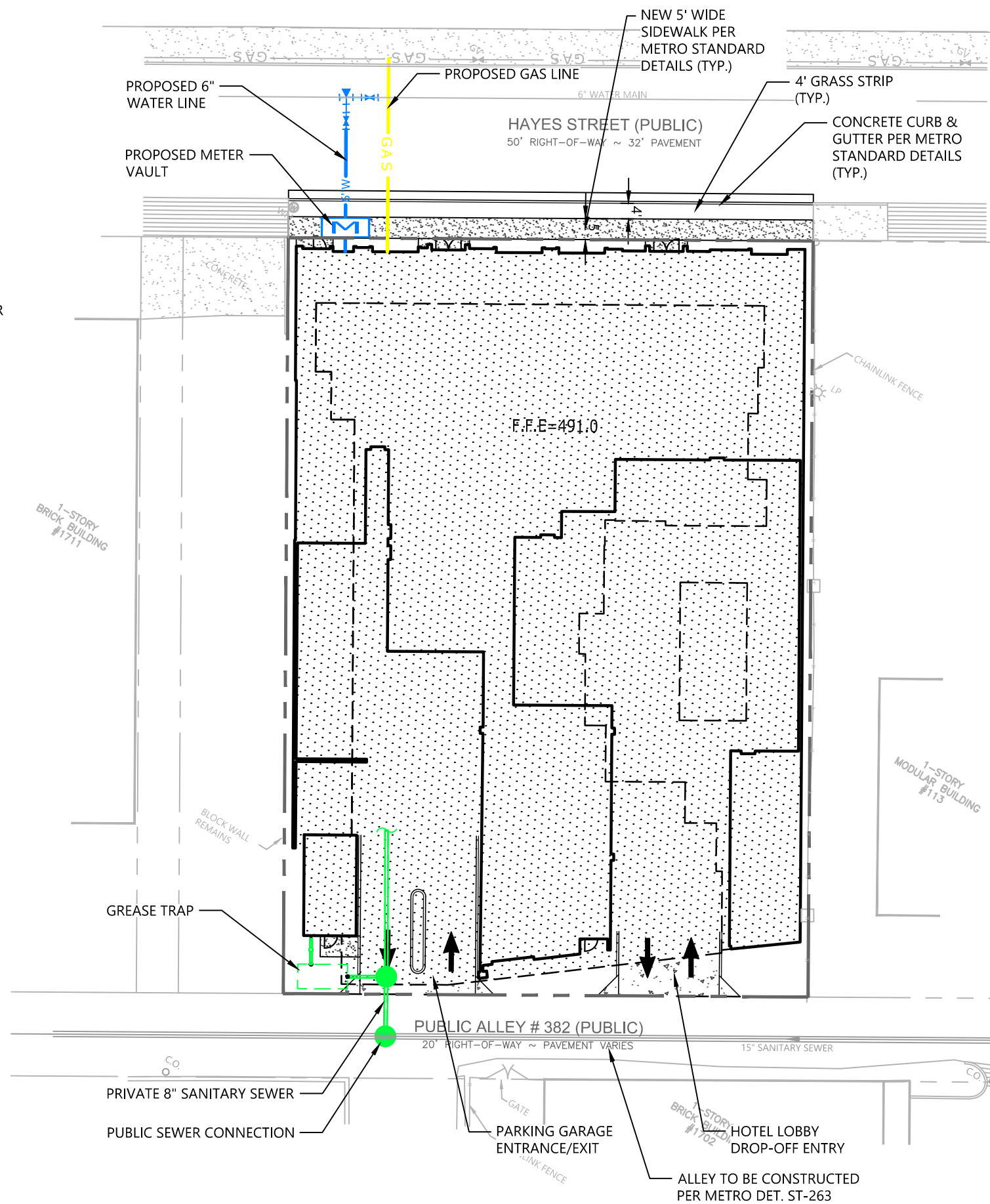
COVER SHEET

**C0.0**



**GRADING NOTES**

1. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47037C0243 H OF THE FEMA FLOOD INSURANCE MAPS FOR DAVIDSON COUNTY, TENNESSEE DATED APRIL 5, 2017.
2. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO.78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICE.
3. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
4. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
5. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
6. FINAL WATER QUALITY AND DETENTION SYSTEMS WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW.



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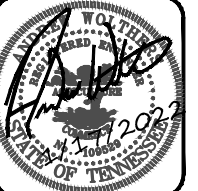
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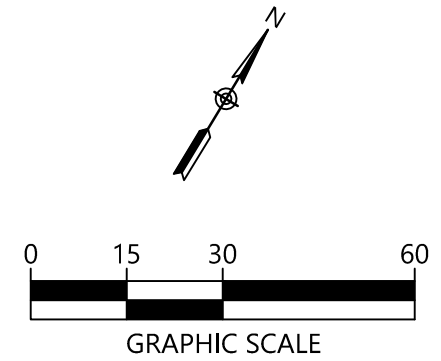
PRELIMINARY SP  
**1705 HAYES STREET**  
 1705 HAYES ST.  
 NASHVILLE, TENNESSEE, DAVIDSON COUNTY

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

DRAWING TITLE  
**LAYOUT, GRADING & UTILITY PLAN**

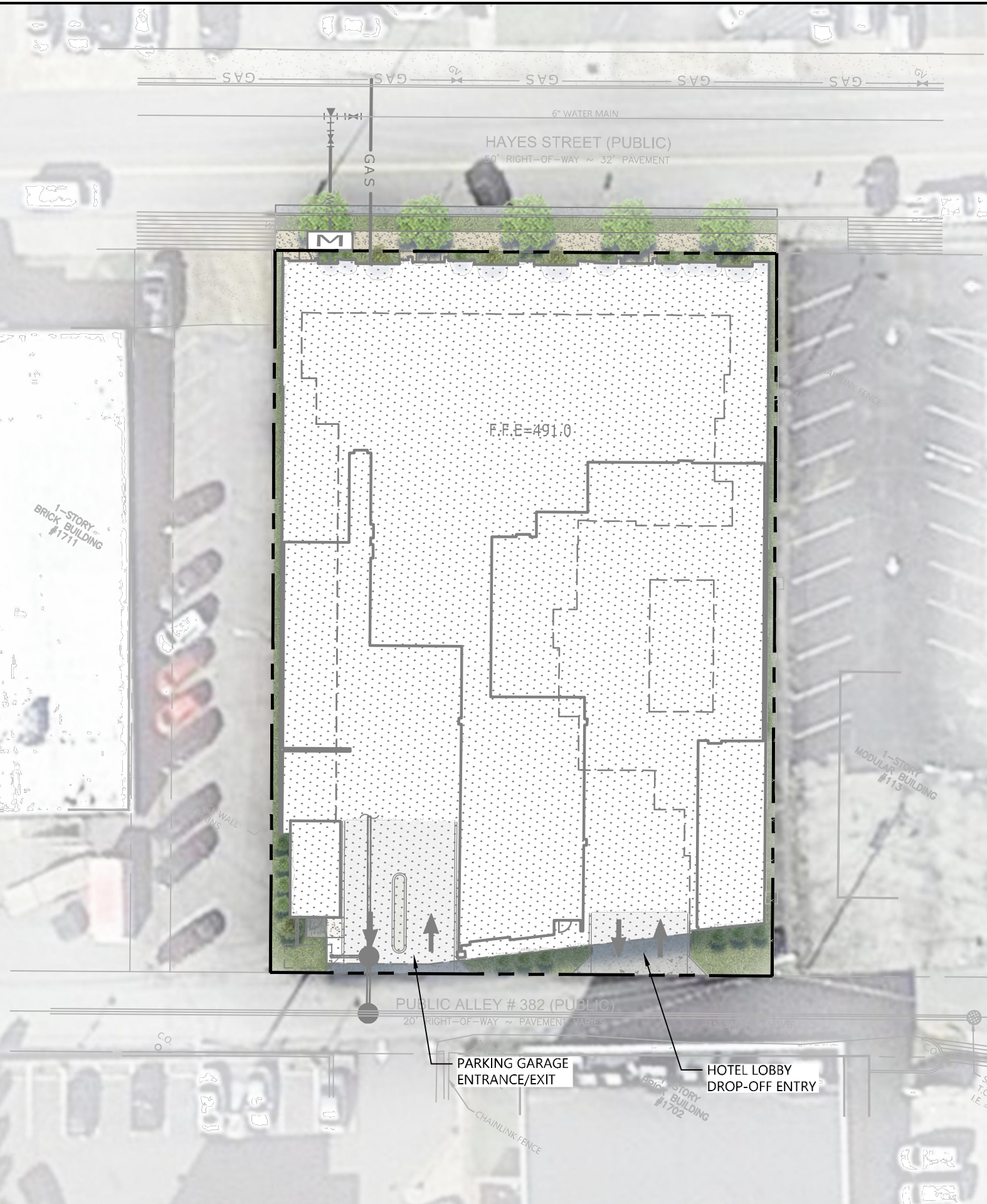
PROJECT NUMBER  
 20210131

DRAWING NUMBER  
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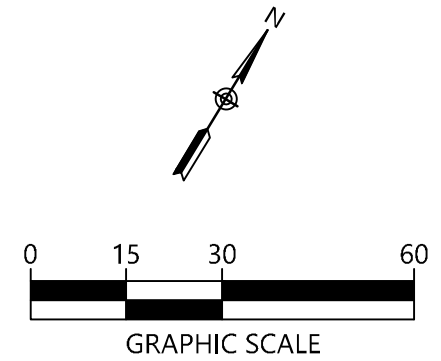


**LANDSCAPE NOTES**

1. QUANTITIES ARE SHOWN FOR REFERENCE ONLY. LANDSCAPE CONTRACTOR SHALL CONFIRM AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
2. ALL DISTURBED AREAS NOT OTHERWISE SHOWN AS LANDSCAPE, SEEDED OR SODDED SHALL RECEIVE A FESCUE SEED MIX AND MULCH APPROVED BY THE LANDSCAPE ARCHITECT.



| TREE DENSITY UNIT WORKSHEET                                |  |       |          |
|--|--|-------|----------|
| DATE   | OCTOBER 26, 2021                                   |       |          |
| MAP & PARCEL   | 09212046400  |       |          |
| APPLICATION NUMBER   | MASTER PERMIT: 2021XXXXXX & SWG PERMIT: 2021XXXXXX |       |          |
| PROJECT NAME   | 1705 HAYES STREET                                  |       |          |
| ADDRESS  | 1705 HAYES STREET, NASHVILLE, TENNESSEE 37203      |       |          |
| ACREAGE  | 0.52 AC (22,500 SF)                                |       |          |
| BUILDING COVERAGE  | 0.47 AC (20,540 SF)                                |       |          |
| ADJUSTED ACREAGE   | 0.05 AC (1,960 SF)                                 |       |          |
| REQUIRED DENSITY   | 22 TDU/AC  |       |          |
| TOTAL REQUIRED TDU   | 1.1  |       |          |
| <b>RETAINED TREES</b>                                      |  |       |          |
| DBH  | #  | VALUE | TDU      |
| 6"   | 0  | 1.80  | 0.000000 |
| 8"   | 0  | 2.40  | 0.000000 |
| <b>REPLACEMENT TREES - LARGE &amp; MEDIUM CANOPY TREES</b> |  |       |          |
| DBH  | #  | VALUE | TDU      |
| 2"   | 5  | 0.50  | 2.500000 |
| 3"   | 0  | 0.60  | 0.000000 |
| <b>REPLACEMENT TREES - COLUMNAR &amp; UNDERSTORY TREES</b> |  |       |          |
| DBH  | #  | VALUE | TDU      |
| 2"   | 0  | 0.25  | 0.000000 |
| 3"   | 0  | 0.30  | 0.000000 |
| TOTAL RETAINED TDU   | 0.000000   |       |          |
| TOTAL REPLACED TDU   | 2.500000   |       |          |
| TOTAL TDU PROVIDED   | 2.500000   |       |          |
| TREE BANK PAYMENT  | \$0  |       |          |



**CHERRY AND ASSOCIATES**  
 209 29TH AVE. NORTH,  
 STE. 150  
 NASHVILLE, TN 37203  
 615.366.1098 EXT. 16



PRELIMINARY SP SUBMITTAL  
**1705 HAYES STREET**  
 1705 HAYES ST.  
 NASHVILLE, TENNESSEE / DAVIDSON COUNTY

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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DRAWING TITLE  
**LANDSCAPE PLAN**

PROJECT NUMBER  
 20210131

DRAWING NUMBER  
**C3.0**

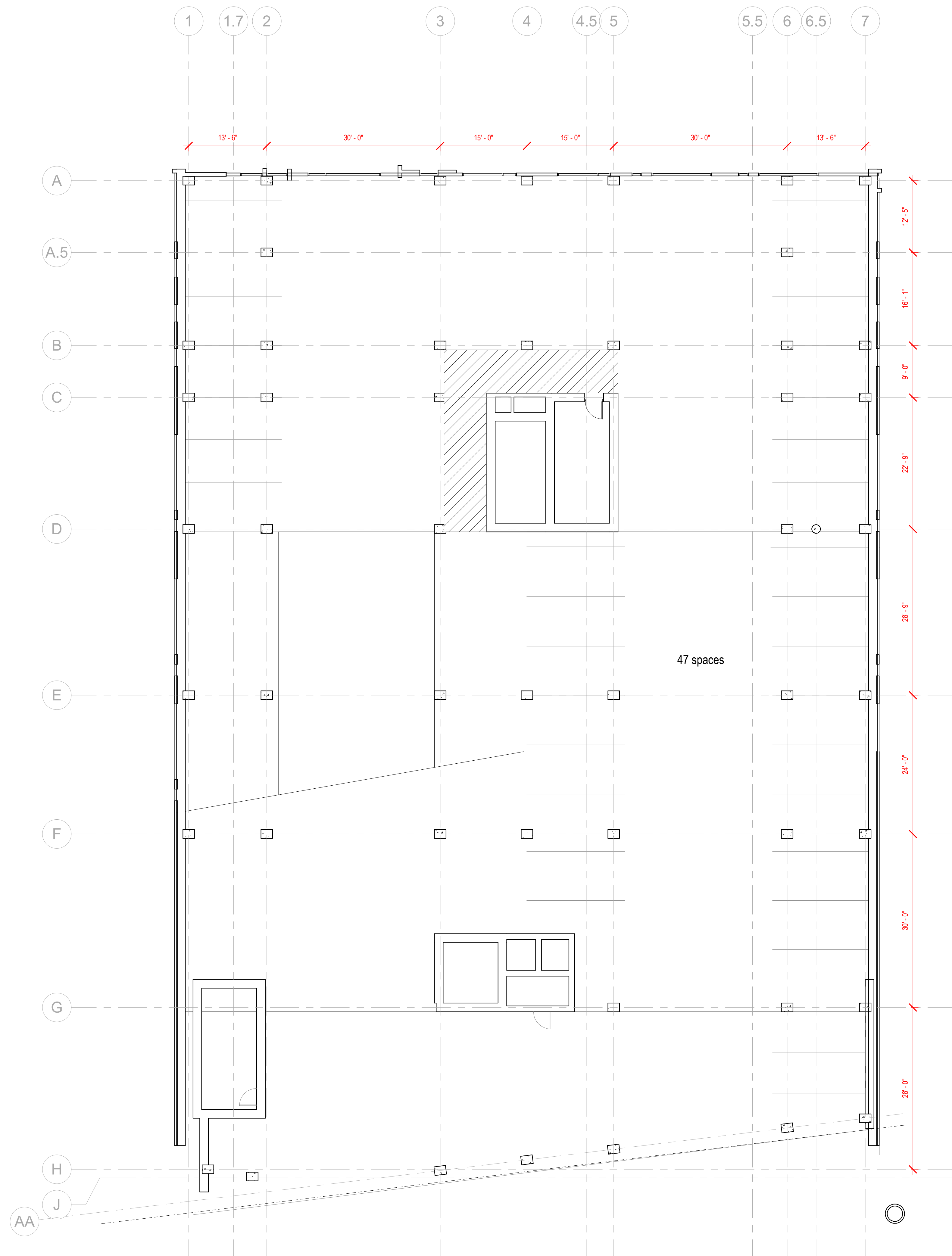


1705 HAYES STREET

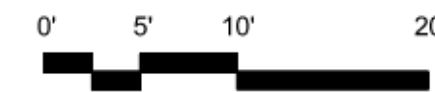
Hayes St





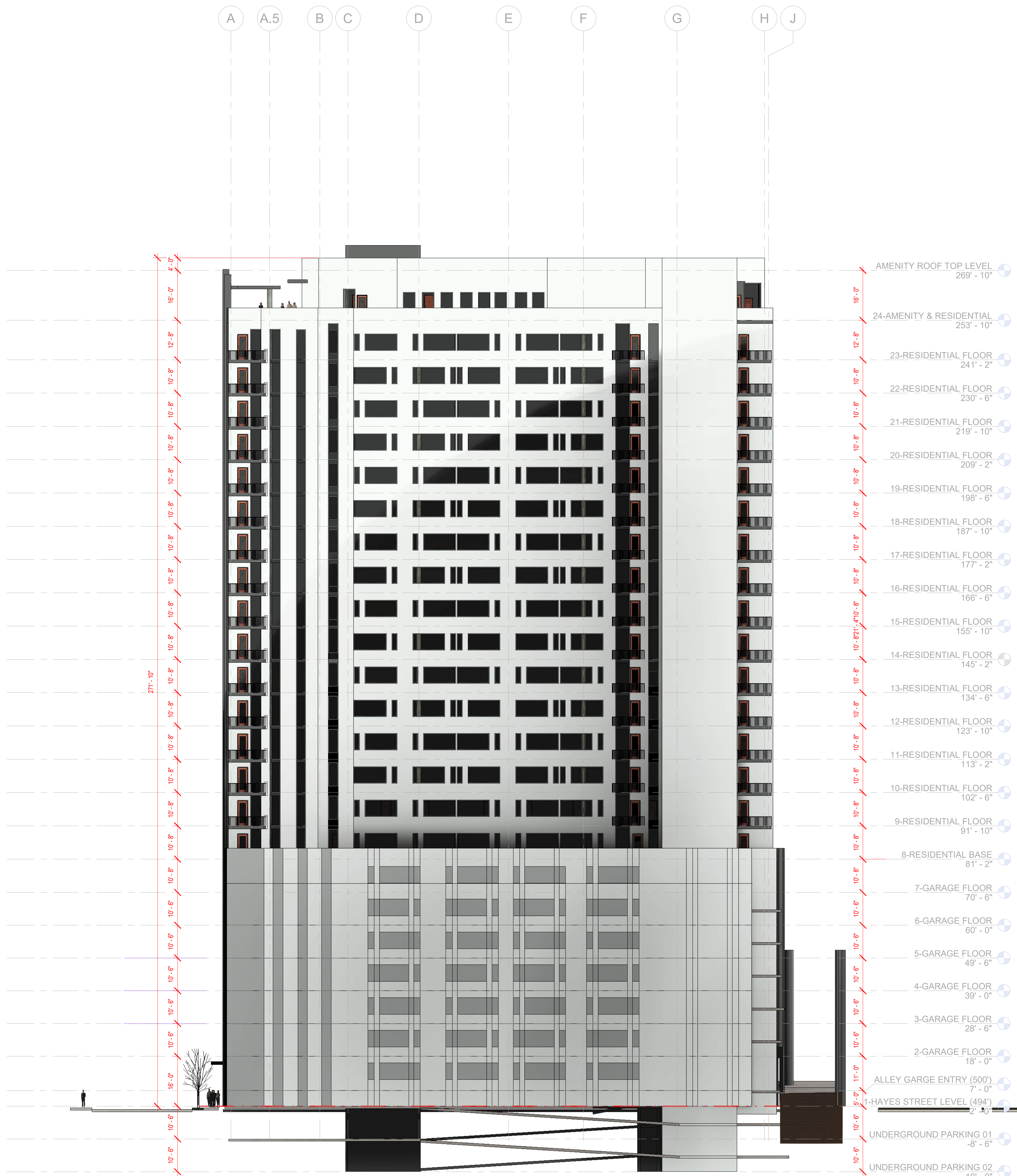


SECOND FLOOR PLAN - PARKING GARAGE



FIRST FLOOR PLAN - LOBBY & RESTAURANT





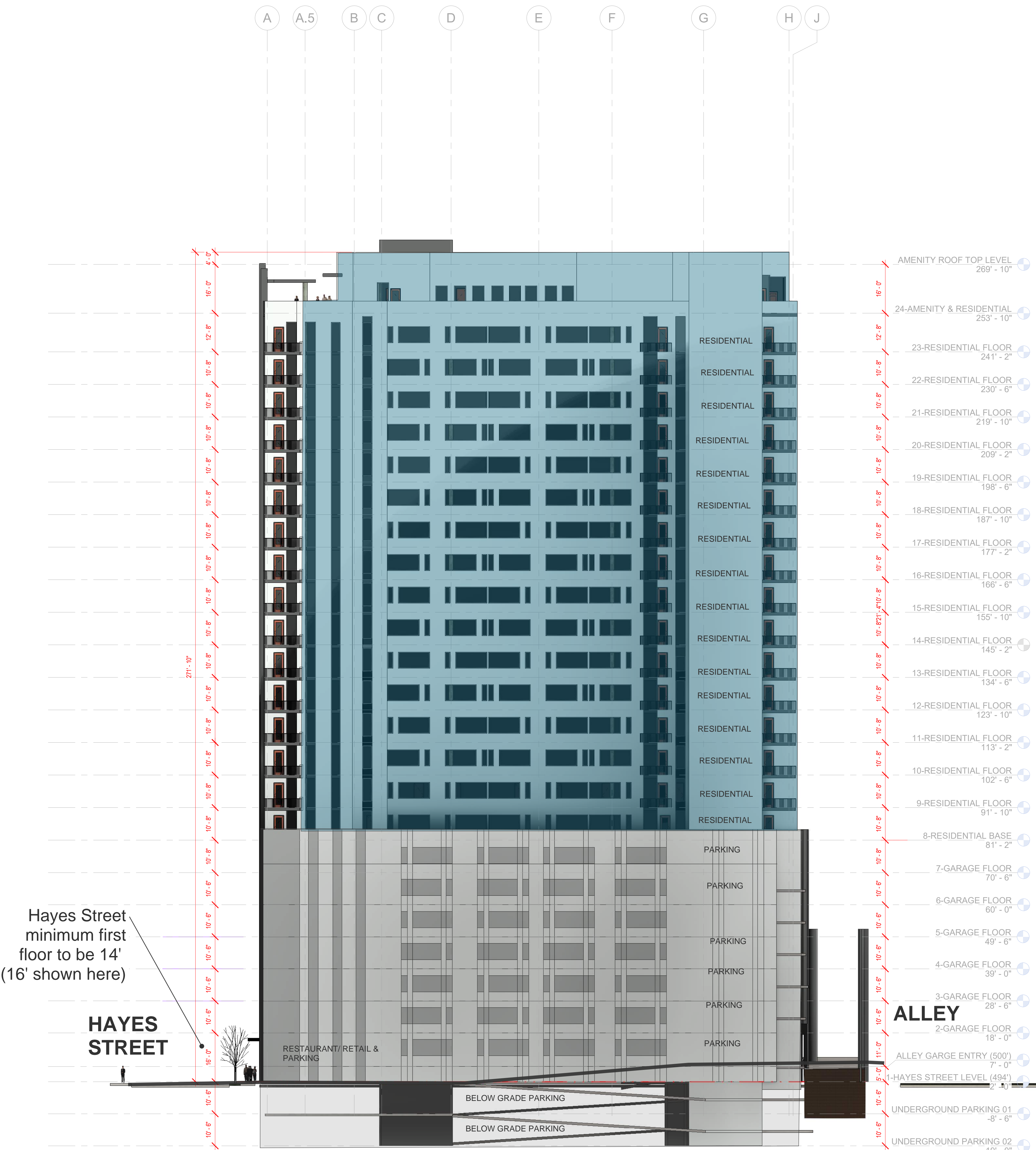
1 WEST ELEVATION



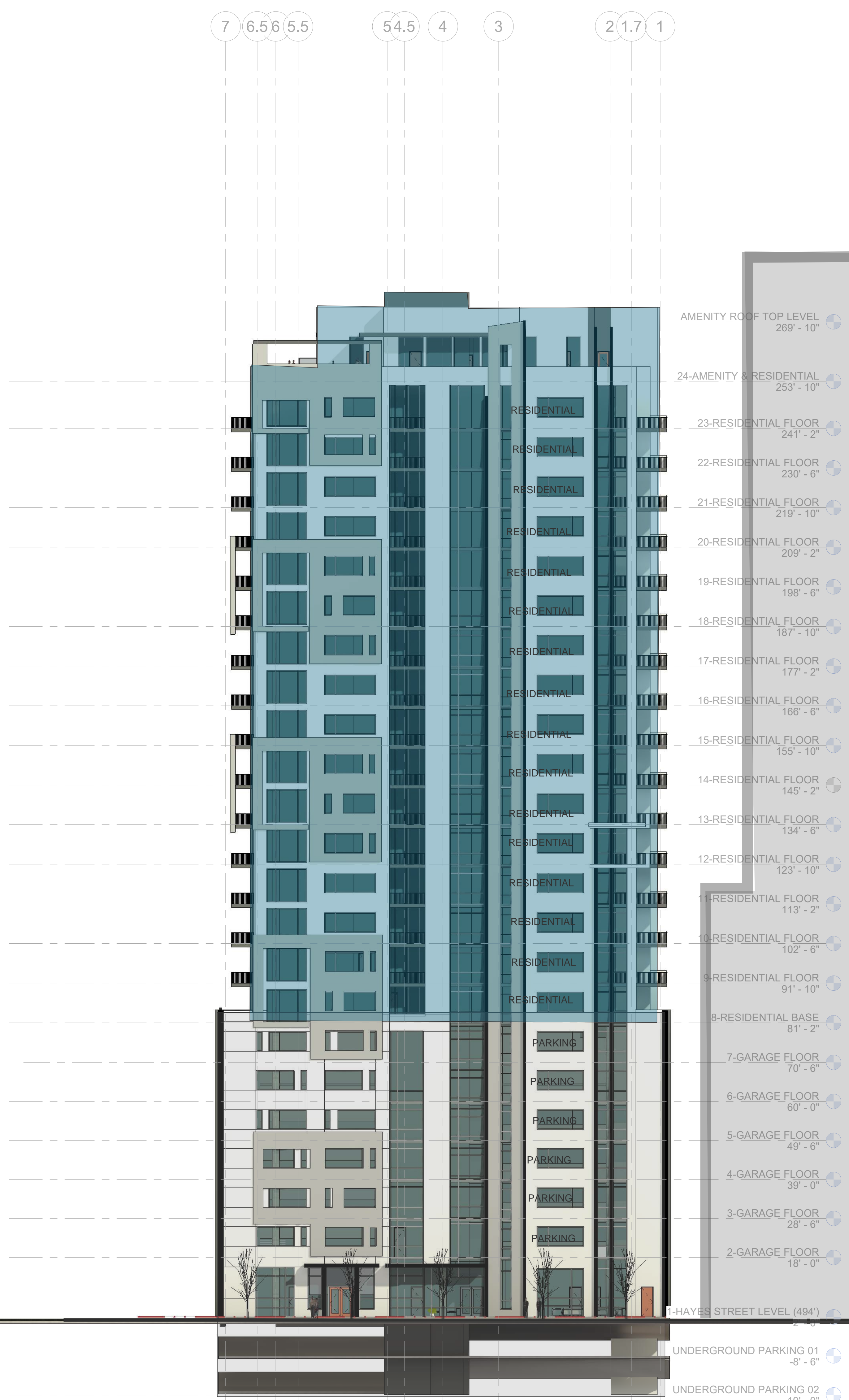
2 NORTH ELEVATION - HAYES STREET







1 WEST ELEVATION



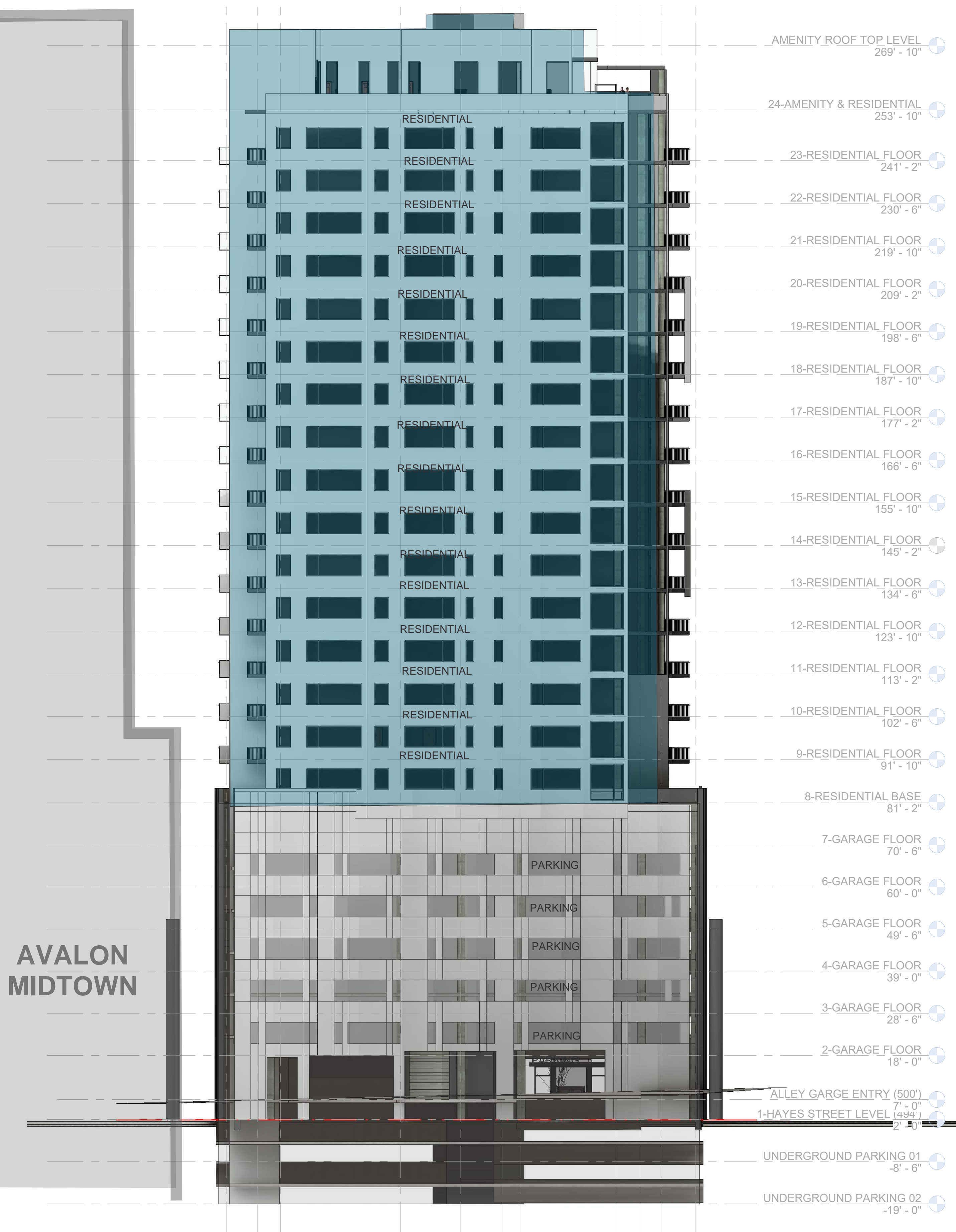
2 NORTH ELEVATION - HAYES STREET



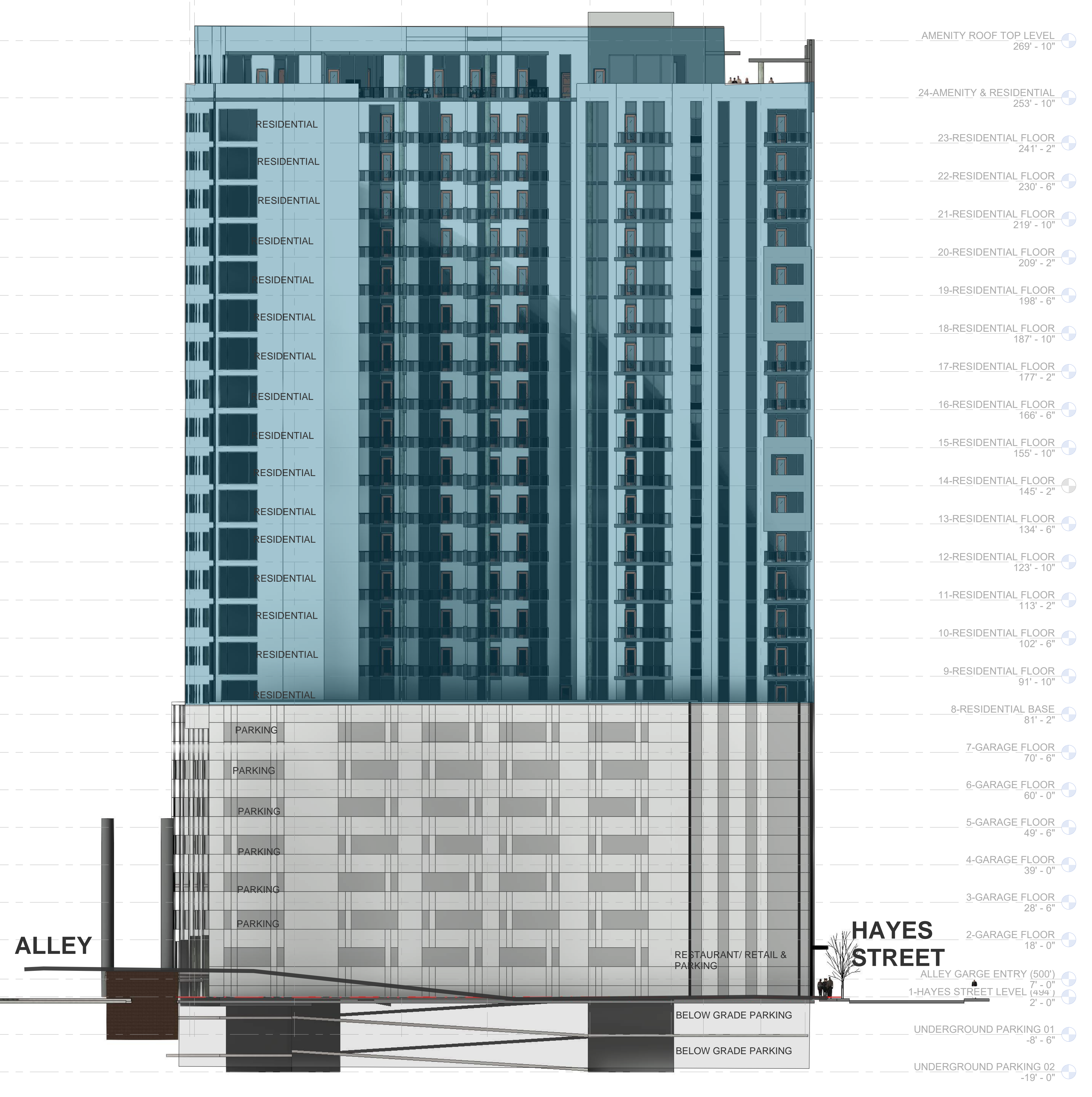
AVALON MIDTOWN

1 1.7 2 3 4 4.5 5.5 6 6.5 7

J H G F E D C B A.5 A



AVALON MIDTOWN



ALLEY

HAYES STREET

RESTAURANT/ RETAIL & PARKING

BELOW GRADE PARKING

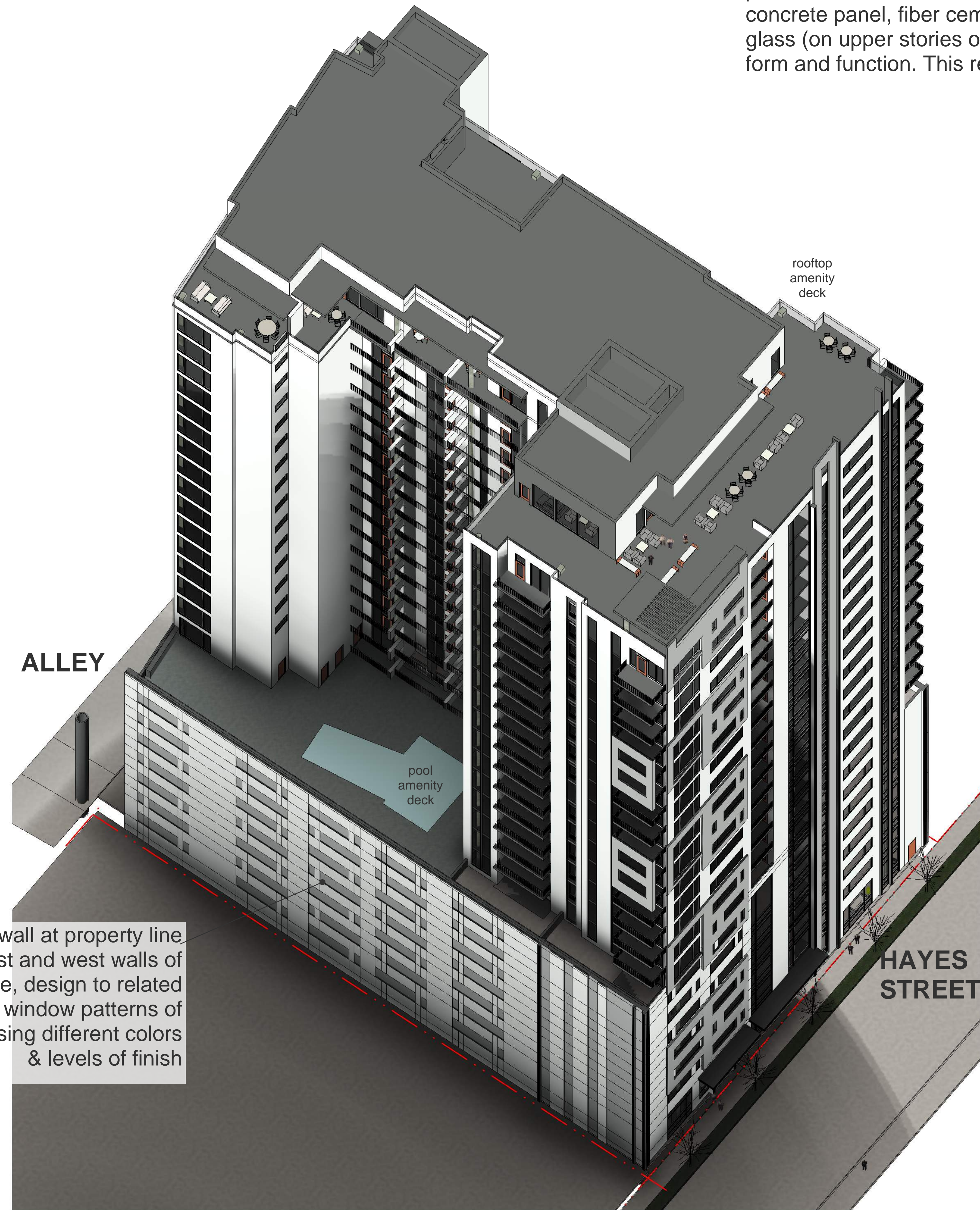
BELOW GRADE PARKING

2 SOUTH ELEVATION

1 EAST ELEVATION



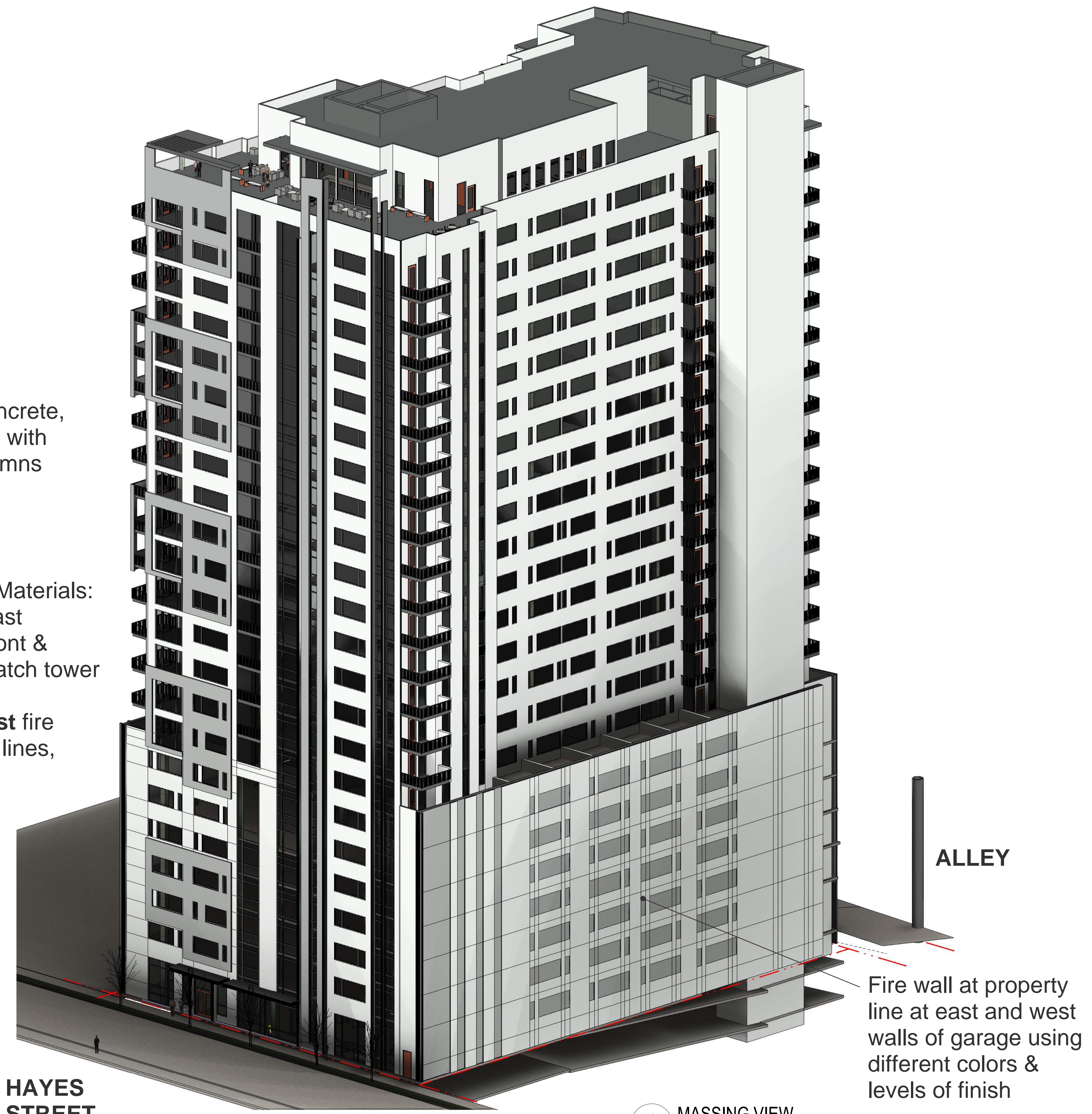
All façade materials, exclusive of clear fenestration, shall be high quality and selected from the following list: masonry, masonry panels, textured metal, metal paneling, precast concrete, precast concrete panel, fiber cement panel, fiber cement siding, spandrel glass (on upper stories only), or materials substantially similar in form and function. This requirement applies to all facades.



2 ROOF TOP MASSING VIEW

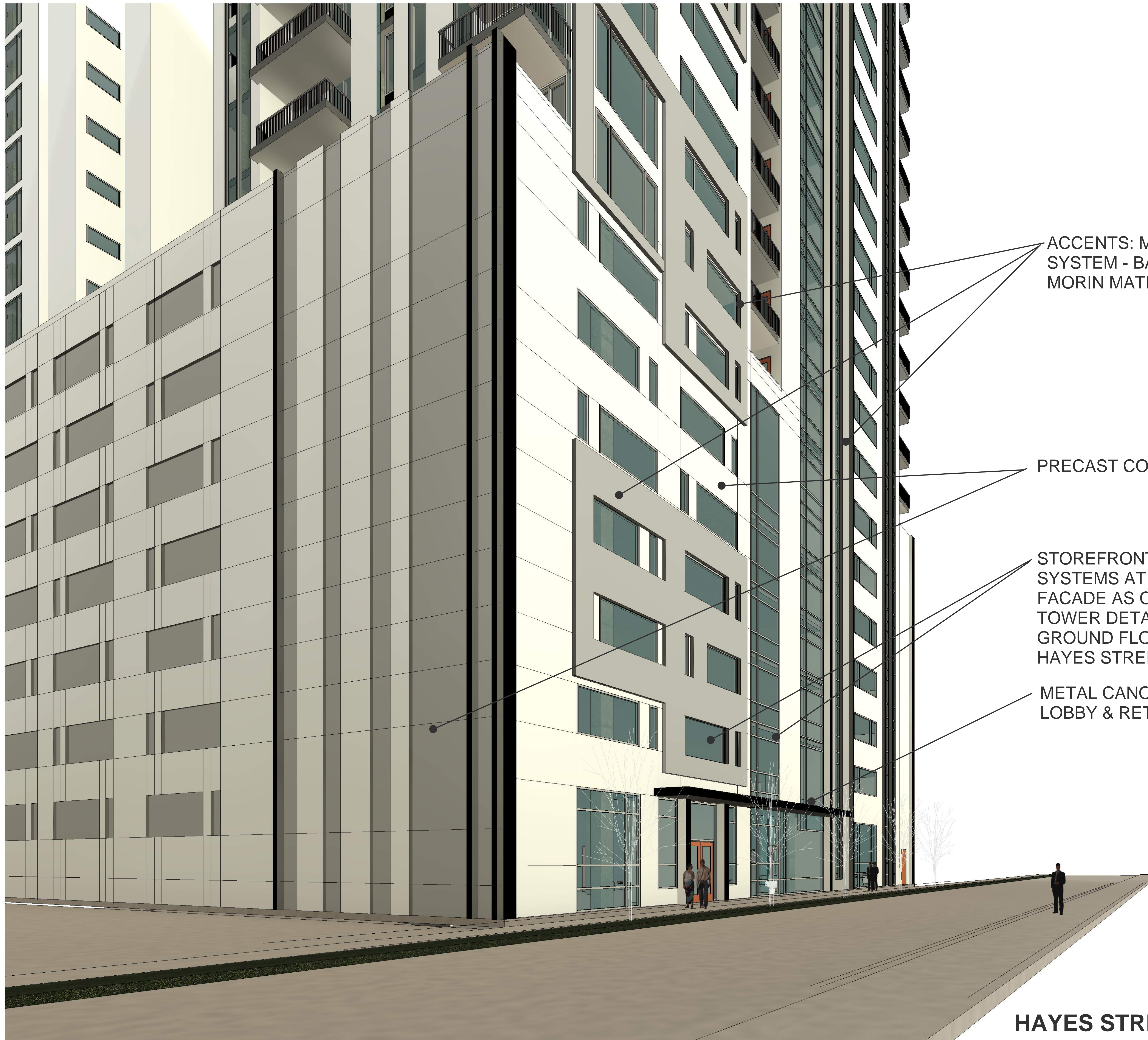
Materials: Precast Concrete, Metal Panel and Glass with exposed concrete columns and slab edges

Garage Facade Materials:  
**At Hayes** - precast concrete, storefront & curtain wall to match tower elevation.  
**At East and West** fire walls at property lines, precast concrete



1 MASSING VIEW

Design includes vertical integration of residential tower with garage & tower flush at Hayes Street elevation using the same materials and glazing systems at base & tower



ACCENTS: METAL PANEL SYSTEM - BASIS OF DESIGN MORIN MATRIX SERIES

PRECAST CONCRETE

STOREFRONT WINDOW SYSTEMS AT NORTH GARAGE FACADE AS CONTINUATION OF TOWER DETAILS. 50% OF THE GROUND FLOOR ELEVATION ON HAYES STREET TO BE GLAZING

METAL CANOPIES FOR TOWER LOBBY & RETAIL/RESTAURANT

HAYES STREET

