

PRELIMINARY SP FOR HCA EAST NASHVILLE FSER 800 DICKERSON PIKE, NASHVILLE, TN 37207

SP NAME: HCA EAST NASHVILLE FSER

SP No: 2024SP-033-001

PARCEL ID: 08206007700

INITIAL SUBMITTAL DATE: 07/30/2024

2ND SUBMITTAL DATE: 08/20/2024

3RD SUBMITTAL DATE: 08/20/2024

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PURPOSE NOTE:

1. THE PURPOSE OF THIS PRELIMINARY SP IS TO PERMIT A FREE STANDING EMERGENCY ROOM.

DEVELOPMENT SUMMARY/SITE DATA TABLE:

COUNCIL MEMBER: SEAN PARKER
 COUNCIL DISTRICT: 05
 EXISTING ZONING: IWD
 PROPOSED ZONING: SP
 PROPOSED BASE ZONING: ORI-A-NS
 EXISTING LAND USE: INDUSTRIAL WAREHOUSE/DISTRIBUTION
 PROPOSED LAND USE: MEDICAL OFFICE, HOSPITAL
 FEMA FIRM MAP NUMBER: 47037C0242H, EFF:
 04/05/2017, FLOOD ZONE X
 TOTAL GROSS ACREAGE: 1.85 ACRES
 FLOOR AREA RATIO:
 0.51 WAREHOUSE (EXISTING)
 0.15 HOSPITAL (PROPOSED)
 LOTS: N/A
 DENSITY: N/A
 DWELLING UNITS: N/A
 IMPERVIOUS SURFACE AREA RATIO:
 0.97 (EXISTING)
 0.57 (TOTAL PROPOSED)
 0.15 (PROPOSED BUILDING)
 0.42 (PROPOSED PARKING/SIDEWALKS/DRIVES)
 BUILDING COVERAGE:
 0.51 (EXISTING)
 0.15 (PROPOSED)
 PARKING:
 2 SPACES PER BED
 MAXIMUM: 22 SPACES
 PROPOSED: 44 SPACES
 PARKING PROVIDED IS COMMISERATE WITH SIMILAR FACILITIES FOR THE SAME OWNER DEVELOPED ACROSS THE COUNTRY.
 GROSS SQUARE FOOTAGE OF PROPOSED BUILDING: 11,205 SF

FEDERAL COMPLIANCE:

1. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.

PROJECT SCHEDULE:

APPROX. CONSTRUCTION START: FEBRUARY 2, 2026
 APPROX. CONSTRUCTION COMPLETION: DECEMBER 31, 2026



CIVIL ENGINEER (APPLICANT)

INGRAM CIVIL ENGINEERING
 212 OVERLOOK CIRCLE, SUITE 105
 BRENTWOOD, TN 37027
 OFFICE: 615-370-7964
 ENGINEER OF RECORD: SAMUEL BOHANNON, P.E.
 LICENSE #: 113398
 CONTACT: ANNA DAVIDSON
 EMAIL: ADAVIDSON@INGRAMCIVIL.COM

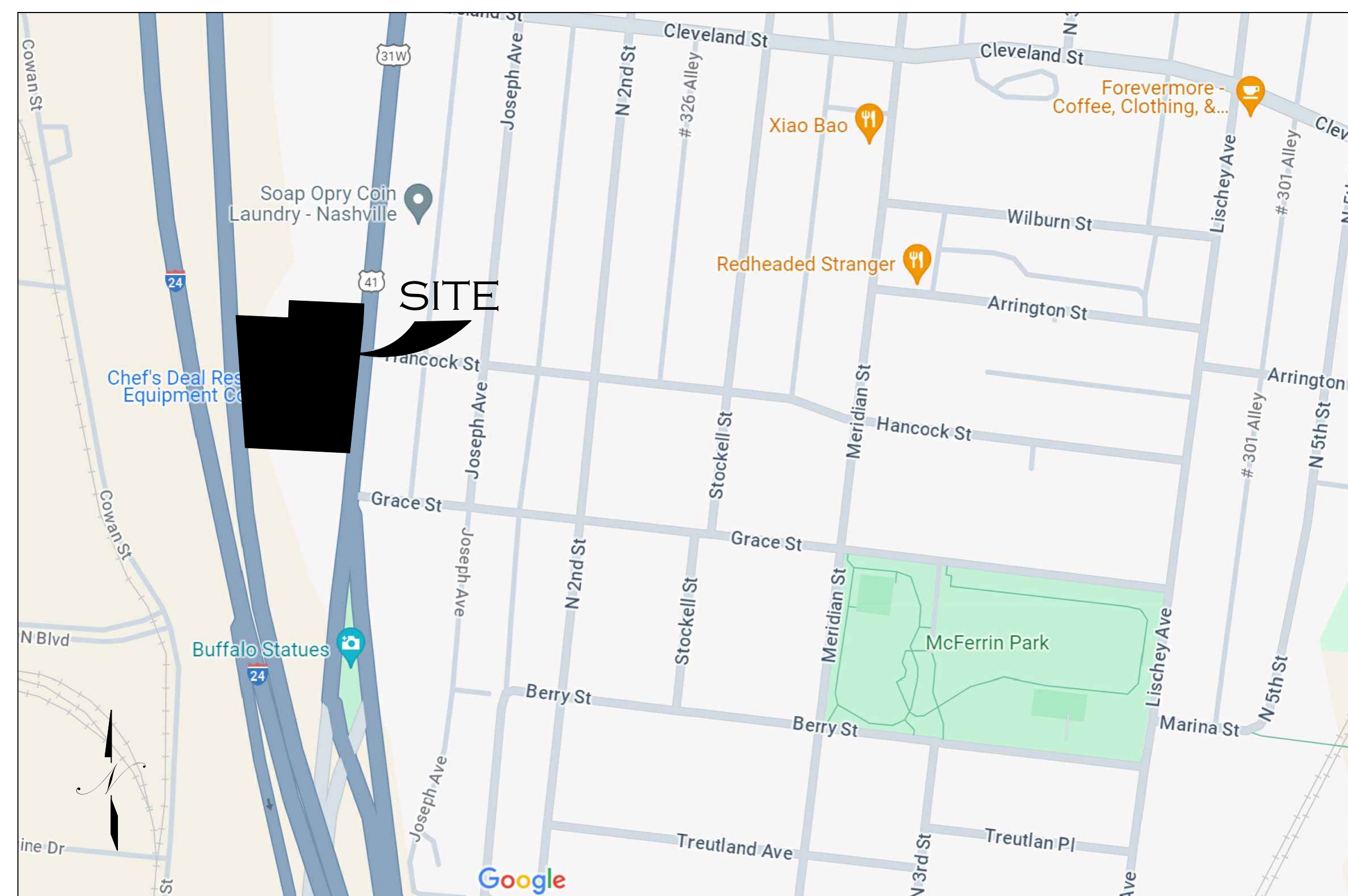


LANDSCAPE ARCHITECT

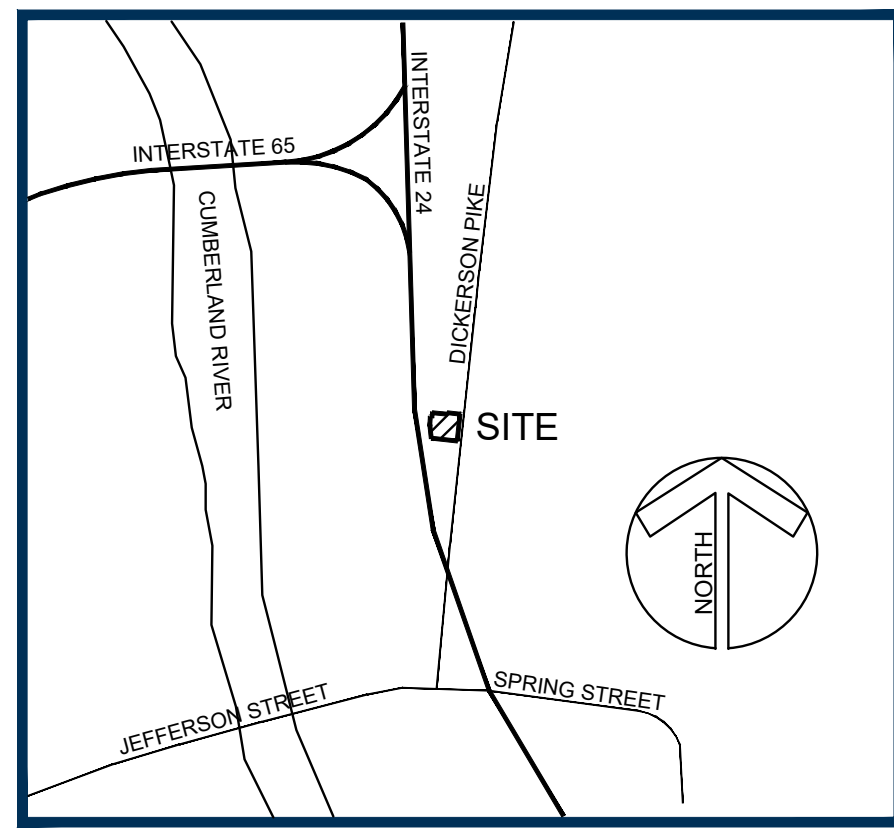
HEIBERT BALL, LAND DESIGN
 1897 GENERAL GEORGE PATTON DR.
 FRANKLIN, TN 377067
 OFFICE: 615-376-2421
 CONTACT: CONNOR BALL
 EMAIL: CONNOR@HBLANDDESIGN.COM

OWNER

HTI MEMORIAL CORP
 2545 PARK PLAZA
 NASHVILLE, TN 37203
 OFFICE: 615-344-9551
 CONTACT: TODD MAXWELL
 EMAIL: TODD.MAXWELL@HCAHEALTHCARE.COM



VICINITY MAP
(NTS)



LOCATION MAP
N.T.S.



SEE GENERAL NOTE 1.
0 20 40

LINE	BEARING	DISTANCE
L1	S83°02'54"E	15.88'
L2	N05°31'45"E	12.55'
L3	S07°40'10"W	28.68'

GENERAL NOTES

SEE SHEET 2 FOR GENERAL NOTES.

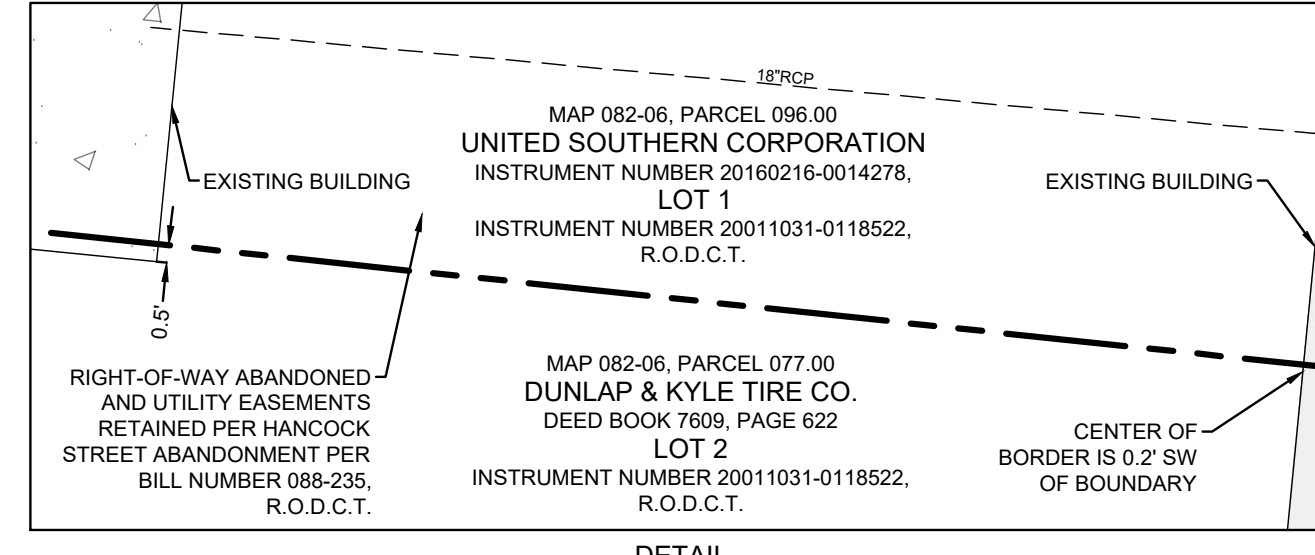
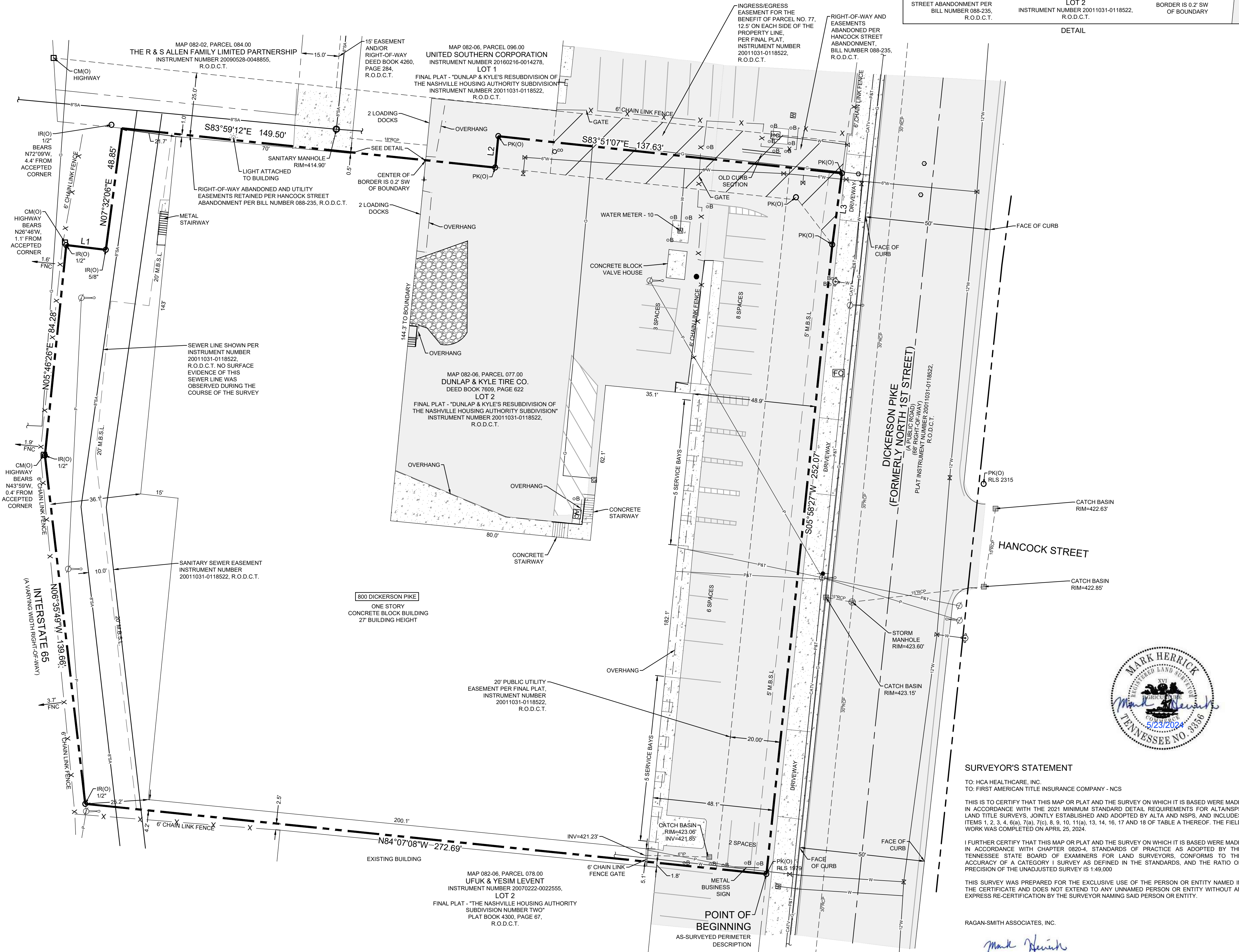


UTILITY NOTE

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.

LEGEND

- CM(O) CONCRETE MONUMENT (OLD)
- IR(O) IRON ROD (OLD)
- IR(N) IRON ROD (NEW)
- PK(O) PK NAIL (OLD)
- AC AIR CONDITIONER
- B BOLLARD
- CB CATCH BASIN
- GM GAS METER
- GV GAS VALVE
- FOB FIBER OPTIC BOX
- FH FIRE HYDRANT
- FP FLAG POLE
- HC HYDROCOWL
- PIV POST INDICATOR VALVE
- SWC SIAMSESE WATER CONNECTION
- WV WATER VALVE
- SMH SANITARY SEWER MANHOLE
- SCO SEWER CLEAN-OUT
- S SIGN
- U UTILITY POLE
- LS LIGHT STANDARD
- UPW UTILITY POLE W/ ANCHOR
- UPL UTILITY POLE W/ LIGHT
- IP IRON PIPE
- RCP REINFORCED CONCRETE PIPE
- FENCE
- OCV OVERHEAD CABLE TELEVISION LINE
- GL GAS LINE
- OP OVERHEAD POWER
- OP&T OVERHEAD POWER AND TELEPHONE LINE
- SSL SANITARY SEWER LINE
- WL WATER LINE
- STREET ADDRESS
- CS CONCRETE SURFACE
- AS ASPHALT SURFACE
- GS GRAVEL SURFACE
- DF DISTANCE FROM PROPERTY LINE TO FENCE LINE
- ELEV ELEVATION
- INV INVERT ELEVATION
- MBSL MINIMUM BUILDING SETBACK LINE
- R.O.D.C.T. REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE



Scale: 1"=20'
Date: MAY 23, 2024
Approved By: MRH



SURVEYOR'S STATEMENT

TO: HCA HEALTHCARE, INC.
TO: FIRST AMERICAN TITLE INSURANCE COMPANY - NCS
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(c), 8, 9, 10, 11(a), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 25, 2024.

I FURTHER CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH CHAPTER 082-04 STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS, CONFORMS TO THE ACCURACY OF A CATEGORY I SURVEY AS DEFINED IN THE STANDARDS, AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:49,000.
THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITY NAMED IN THE CERTIFICATE AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON OR ENTITY.

RAGAN-SMITH ASSOCIATES, INC.
BY: *Mark Herrick* TN. R.L.S. NO. 3356
SURVEYOR'S PRINTED NAME: MARK HERRICK
DATE: MAY 23, 2024

TOTAL AREA = 80,346 SQUARE FEET OR 1.84 ACRES ±

800 DICKERSON PIKE
FOR
HCA HEALTHCARE

5TH COUNCILMANIC DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

a Pape-Dawson company
Nashville - Murfreesboro - Chattanooga
ragansmith.com
315 Woodland Street
Nashville, Tennessee 37206
615.244.8591
Mark Herrick
mherrick@ragansmith.com

ALTA/NSPS
LAND TITLE
SURVEY

Drawing No. 1 of 2
Project No. 24-0113

G:\240113\SURVEY\TA240113 ALTA.DWG PLOTTED BY MARK HERRICK ON 5/22/2024 3:11 PM. LAST UPDATED BY MHERRICK ON 5/15/2024 2:49 PM



RaganSmith

a Pape-Dawson company

Nashville - Murfreesboro - Chattanooga
ragansmith.com
315 Woodland Street
Nashville, Tennessee 37206
615.244.8591
Mark Herrick
mherrick@ragansmith.com

800 DICKERSON PIKE

FOR

HCA HEALTHCARE

5TH COUNCILMANIC DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

AS-SURVEYED PERIMETER DESCRIPTION

THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE, CONVEYED TO DUNLAP AND KYLE TIRE COMPANY, INC. A TENNESSEE CORPORATION, OF RECORD PER DEED BOOK 7609, PAGE 622, REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE (R.O.D.C.T.) AND A PORTION OF HANCOCK STREET AS ABANDONED BY BILL NUMBER 088-235, THE SAME BEING LOT 2 AS SHOWN ON THAT CERTAIN PLAT ENTITLED 'DUNLAP & KYLE'S RESUBDIVISION OF THE NASHVILLE HOUSING AUTHORITY SUBDIVISION' OF RECORD PER INSTRUMENT NUMBER 20011031-00118522 (R.O.D.C.T.), BEING BOUNDED ON THE WEST INTERSTATE 65 (A VARYING WIDTH RIGHT-OF-WAY), ON THE NORTH BY UNITED SOUTHERN CORPORATION OF RECORD PER INSTRUMENT NUMBER 20160216-0014278 (R.O.D.C.T.), ON THE EAST BY DICKERSON PIKE (FORMERLY NORTH 1ST STREET) (A 68-FOOT RIGHT-OF-WAY), AND ON THE SOUTH BY UFUK AND YESIM LEVENT OF RECORD PER INSTRUMENT NUMBER 20070222-0022555 (R.O.D.C.T.), THE SAME BEING LOT 2 AS SHOWN ON THAT CERTAIN PLAT ENTITLED 'THE NASHVILLE HOUSING AUTHORITY SUBDIVISION NUMBER TWO' OF RECORD PER BOOK 4300, PAGE 67 (R.O.D.C.T.), THE PERIMETER OF SAID PARCEL BEING DESCRIBED ACCORDING TO A SURVEY PREPARED BY MARK HERRICK, RLS NO. 3356 WHOSE ADDRESS IS RAGAN SMITH ASSOCIATES, 315 WOODLAND STREET, NASHVILLE, TENNESSEE 37206, TELEPHONE NUMBER 615-244-8691 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN SAID DEED BOOK 7609, PAGE 622 (R.O.D.C.T.), THE SAME BEING THE SOUTHEAST CORNER OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-00118522 (R.O.D.C.T.), BEING THE NORTHEAST CORNER OF LOT 2 AS SHOWN ON SAID BOOK 4300, PAGE 67 (R.O.D.C.T.) AND BEING LOCATED ON THE WESTERLY RIGHT-OF-WAY LINE OF DICKERSON PIKE (FORMERLY NORTH 1ST STREET) (A 68-FOOT RIGHT-OF-WAY) AND BEING MARKED BY A PK(O) WITH TAG STAMPED RLS 1979;

THENCE, ALONG THE SOUTHERLY LINE OF THAT CERTAIN PARCEL AS DESCRIBED IN SAID DEED BOOK 7609, PAGE 622 (R.O.D.C.T.), THE SAME BEING THE SOUTHERLY LINE OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-00118522 (R.O.D.C.T.) AND BEING THE NORTHERLY LINE OF LOT 2 AS SHOWN ON SAID BOOK 4300, PAGE 67 (R.O.D.C.T.), NORTH 84° 07' 08" WEST, 272.69 FEET TO THE SOUTHWEST CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN SAID DEED BOOK 7609, PAGE 623 (R.O.D.C.T.) THE SAME BEING THE SOUTHWEST CORNER OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-00118522 (R.O.D.C.T.) AND THE NORTHWEST CORNER OF LOT 2 PER SAID BOOK 4300, PAGE 67 (R.O.D.C.T.), ALSO BEING LOCATED ON THE EASTERLY RIGHT-OF-WAY LINE OF INTERSTATE 65 (A VARYING WIDTH RIGHT-OF-WAY) AND BEING MARKED BY AN IRON ROD (OLD);

THENCE, ALONG THE WESTERLY BOUNDARY OF THAT CERTAIN PARCEL AS DESCRIBED IN SAID DEED BOOK 7609, PAGE 622 (R.O.D.C.T.), THE SAME BEING LOT 2 PER SAID INSTRUMENT NUMBER 20011031-00118522 (R.O.D.C.T.) AND THE EASTERLY RIGHT-OF-WAY OF INTERSTATE 65 (A VARYING WIDTH RIGHT-OF-WAY), THE FOLLOWING FOUR (4) COURSES:
1. NORTH 06° 35' 49" WEST, 139.66 FEET TO AN IRON ROD (OLD);
2. THENCE NORTH 05° 46' 26" EAST, 84.28 FEET TO AN IRON ROD (OLD);
3. THENCE SOUTH 83° 02' 54" EAST, 15.88 FEET TO AN IRON ROD (OLD);
4. THENCE NORTH 07° 32' 06" EAST, 48.85 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN SAID DEED BOOK 7609, PAGE 622 (R.O.D.C.T.) AND BEING THE NORTHWEST CORNER OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) AND ALSO BEING ON THE SOUTH LINE OF THAT CERTAIN PARCEL AS DESCRIBED IN SAID INSTRUMENT NUMBER 20160216-0014278 (R.O.D.C.T.), THE SAME BEING LOT 1 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.)

THENCE ALONG THE NORTHERLY BOUNDARY OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) AND THE SOUTHERLY BOUNDARY OF LOT 1 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) THE FOLLOWING THREE (3) COURSES:
1. SOUTH 83° 59' 12" EAST, 149.50 FEET TO A PK(OLD);
2. THENCE, NORTH 05° 31' 45" EAST, 12.55 FEET TO A PK(OLD);
3. THENCE, SOUTH 89° 51' 07" EAST, 137.63 FEET TO A PK(OLD) AT THE NORTHEAST CORNER OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) AND THE SOUTHWEST CORNER OF LOT 1 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) AND BEING LOCATED ON THE WESTERLY RIGHT-OF-WAY LINE OF DICKERSON PIKE (FORMERLY KNOWN AS NORTH 1ST STREET) (A 68-FOOT RIGHT-OF-WAY);

THENCE, ALONG THE EASTERLY BOUNDARY OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) AND THE WESTERLY RIGHT-OF-WAY LINE OF DICKERSON PIKE (FORMERLY KNOWN AS NORTH 1ST STREET) (A 68-FOOT RIGHT-OF-WAY), SOUTH 07° 40' 10" WEST, 28.68 FEET TO A PK (OLD);

THENCE, ALONG THE EASTERLY BOUNDARY OF LOT 2 AS SHOWN ON SAID INSTRUMENT NUMBER 20011031-0118522 (R.O.D.C.T.) AND THE WESTERLY RIGHT-OF-WAY LINE OF DICKERSON PIKE (FORMERLY KNOWN AS NORTH 1ST STREET) (A 68-FOOT RIGHT-OF-WAY) SOUTH 05° 58' 27" WEST, 252.07 FEET TO THE POINT OF BEGINNING AND CONTAINING 80,346 SQUARE FEET OR 1.84 ACRES MORE OR LESS.

PROPERTY DESCRIPTION

(PER TITLE COMMITMENT)

THE LAND REFERRED TO HEREIN BELOW IN SITUATED IN THE COUNTY OF DAVIDSON, STATE OF TENNESSEE, AND DESCRIBED AS FOLLOWS:

BEING LOT NO. 2 AS SHOWN ON THE PLAT DUNLAP & KYLE'S RESUBDIVISION OF THE NASHVILLE HOUSING AUTHORITY SUBDIVISION, OF RECORD IN INSTRUMENT NO. 200110310118522, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE, TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE DETAILED DESCRIPTION

BEING THE SAME PROPERTY CONVEYED TO DUNLAP & KYLE TIRE COMPANY, INC., A TENNESSEE CORPORATION, BY DEED FROM DUNLAP & KYLE COMPANY, INC., A MISSISSIPPI CORPORATION, SUCCESSOR-BY-MERGER OF DUNLAP & KYLE REALTY COMPANY, INC. AND DUNLAP & KYLE COMPANY, INC., OF RECORD IN BOOK 7609, PAGE 622, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE.

TITLE COMMITMENT

THIS SURVEYOR HAS BEEN FURNISHED WITH A COPY OF A TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-1216103-NAS, WITH A COMMITMENT DATE OF APRIL 30, 2024.

SCHEDULE B - SECTION II OF THE TITLE COMMITMENT HAS DISCLOSED THE FOLLOWING SURVEY RELATED EXCEPTIONS:

EXCEPTION 10: ALL MATTERS SHOWN ON PLAT(S) OF RECORD IN BOOK 57, PAGE 58; BOOK 332, PAGE 171; BOOK 4300, PAGE 67; AND INSTRUMENT NO. 200110310118522, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. SHOWN HEREON.

EXCEPTION 11: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 1973, PAGE 523, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. NOT PLOTTABLE.

EXCEPTION 12: TERMS AND PROVISIONS OF RESTRICTIVE COVENANTS RUNNING WITH THE LAND OF THE NASHVILLE HOUSING AUTHORITY IN THE EAST NASHVILLE URBAN RENEWAL PROJECT, BY THE NASHVILLE HOUSING AUTHORITY, OF RECORD IN BOOK 3368, PAGE 23, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. APPEARS THESE EXPIRED ON MARCH 14, 1982, PER SAID DOCUMENT.

EXCEPTION 13: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 421, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 14: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 427, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 15: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 429, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 16: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 515, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 17: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 519, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 18: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 549, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 19: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 3709, PAGE 551, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. RIGHT-OF-WAY OF DICKERSON PIKE (NORTH 1ST STREET), SHOWN HEREON.

EXCEPTION 20: EASEMENT(S) RETAINED IN METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY BILL NO. 64-257, NOT OF RECORD IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. NOT PLOTTABLE - OVER UTILITIES THAT EXISTED AS OF THE DATE OF THE ABANDONMENT.

EXCEPTION 21: TERMS AND PROVISIONS OF AGREEMENT FOR DEDICATION OF EASEMENT FOR SANITARY SEWERS AND/OR STORM DRAINAGE, BY AND BETWEEN BILLY T. HOOVER AND METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, TENNESSEE, OF RECORD IN BOOK 4280, PAGE 284, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. NOT LOCATED ON THE SUBJECT PROPERTY, SHOWN HEREON.

EXCEPTION 22: MATTERS CONTAINED IN DEED OF RECORD IN BOOK 4597, PAGE 228, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. SHOWN HEREON AS PER PLAT BOOK 4300, PAGE 67.

EXCEPTION 23: EASEMENT(S) RETAINED IN METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY BILL NO. 78-840, NOT OF RECORD IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. NOT PLOTTABLE.

EXCEPTION 24: EASEMENT(S) RETAINED IN METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY BILL NO. 088-235, NOT OF RECORD IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. SHOWN HEREON.

EXCEPTION 25: EASEMENT(S) RETAINED IN METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY BILL NO. 094-1104, NOT OF RECORD IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. PERTAINS TO TREE PROTECTION MEASURES, NOT PLOTTABLE.

EXCEPTION 26: 1. TERMS AND PROVISIONS OF EASEMENT AGREEMENT, BY AND BETWEEN DUNLAP & KYLE TIRE CO., INC. AND F&S PARTNERSHIP, OF RECORD IN INSTRUMENT NO. 200111050121175, IN THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE. SHOWN HEREON.

EXCEPTION 27: LACK OF DIRECT ACCESS TO A CONTROLLED ACCESS HIGHWAY, I-24. SAID HIGHWAY RIGHT-OF-WAY SHOWN HEREON.

EXCEPTION 28: RIGHTS OF OTHERS IN AND TO THE ALLEY (ALLEY NO. 715) CONTIGUOUS TO THE LAND. NOT PLOTTABLE.

EXCEPTION 29: RIGHTS OF OTHERS IN AND TO THE CLOSED ROAD (HANCOCK STREET) CONTIGUOUS TO THE LAND. NOT PLOTTABLE.

EXCEPTION 30: RIGHTS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. NOT PLOTTABLE.

PROPERTY MAP REFERENCE

BEING PARCEL NUMBER 077.00 AS SHOWN ON DAVIDSON COUNTY PROPERTY MAP NUMBER 082-06.

PLAT REFERENCE

BEING PART OF LOT 2 AS SHOWN ON THE FINAL PLAT ENTITLED 'DUNLAP & KYLE'S RESUBDIVISION OF THE NASHVILLE HOUSING AUTHORITY SUBDIVISION 724 DICKERSON PIKE' OF RECORD AS INSTRUMENT NO. 20011031-0118522 REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

DEED REFERENCE

BEING PART OF THE SAME PROPERTY CONVEYED TO DUNLAP AND KYLE TIRE COMPANY, FROM DUNLAP & KYLE COMPANY, INC. (SUCCESSORY-BY-MERGER OF DUNLAP & KYLE REALTY COMPANY, INC. AND DUNLAP & KYLE COMPANY INC.) OF RECORD AS BOOK 7609, PAGE 622, REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

GENERAL NOTES

1. BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO (2) CONTROL POINTS FOR THE SURVEYED PROPERTY TO ESTABLISH AS BASIS FOR BEARING FOR THE SURVEY. TYPE OF GPS EQUIPMENT USED: TRIMBLE R101812 DUAL FREQUENCY RECEIVER. TYPE OF GPS SURVEY: TDOT NETWORK ADJUSTED REAL TIME KINEMATIC. THE RELATIVE POSITIONAL QUALITY IS 0.05'.

2. BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE 'X' (OTHER AREAS), AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0242H, WITH AN EFFECTIVE DATE OF APRIL 05, 2017, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470040 PANEL NO. 042. SUFFIX H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE 'X' UNDER 'OTHER AREAS' AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

3. THIS SURVEYOR HAS BEEN FURNISHED WITH A COPY OF A TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-1216103-NAS, WITH A COMMITMENT DATE OF APRIL 30, 2024.

4. THIS PROPERTY IS CURRENTLY ZONED IWD (INDUSTRIAL WAREHOUSING/DISTRIBUTION), MDHA-SL, OV-UJO, OV-UZO, PER THE NASHVILLE PLANNING DEPARTMENT. NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR AT THE TIME OF THIS SURVEY.

5. IWD SETBACKS PER METRO GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY ONLINE CODE OF ORDINANCES, UPDATED FEBRUARY 6, 2024.

STREET - 5 FT
REAR - 20 FT
SIDE - NONE FT
MAX HEIGHT - 30 FT
(AT SETBACK LINE)

6. 19 PARKING SPACES WERE OBSERVED DURING THE COURSE OF THE SURVEY.

7. SEWER, STORM & WATER LINES LOCATED PER FIELD LOCATED PAINT MARKINGS. LINES NOTED 'PER GIS MAP' WERE TAKEN FROM METRO WATER SERVICES GIS UTILITY MAP, DATED APRIL 17, 2024.

8. THE NEAREST INTERSECTING STREET, HANCOCK STREET AND DICKERSON PIKE, IS NORTHEASTERLY, 144 +/- FEET FROM THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY.

9. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED DURING THE COURSE OF THE SURVEY.

10. THE SURVEYOR WAS NOT MADE AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT-OF-WAY. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED DURING THE COURSE OF THE SURVEY.

11. THERE IS A 15' WIDE GAS EASEMENT DESCRIBED IN THE HANCOCK STREET ABANDONMENT, SUBSTITUTE BILL NO. 088-235. THIS EASEMENT IS NOT CLEARLY DEFINED OF RECORD, THEREFORE, IS NOT SHOWN HEREON.

Scale: NA

Date: MAY 23, 2024

Approved By: MRH

Revisions:

Table with 3 columns for revision details.

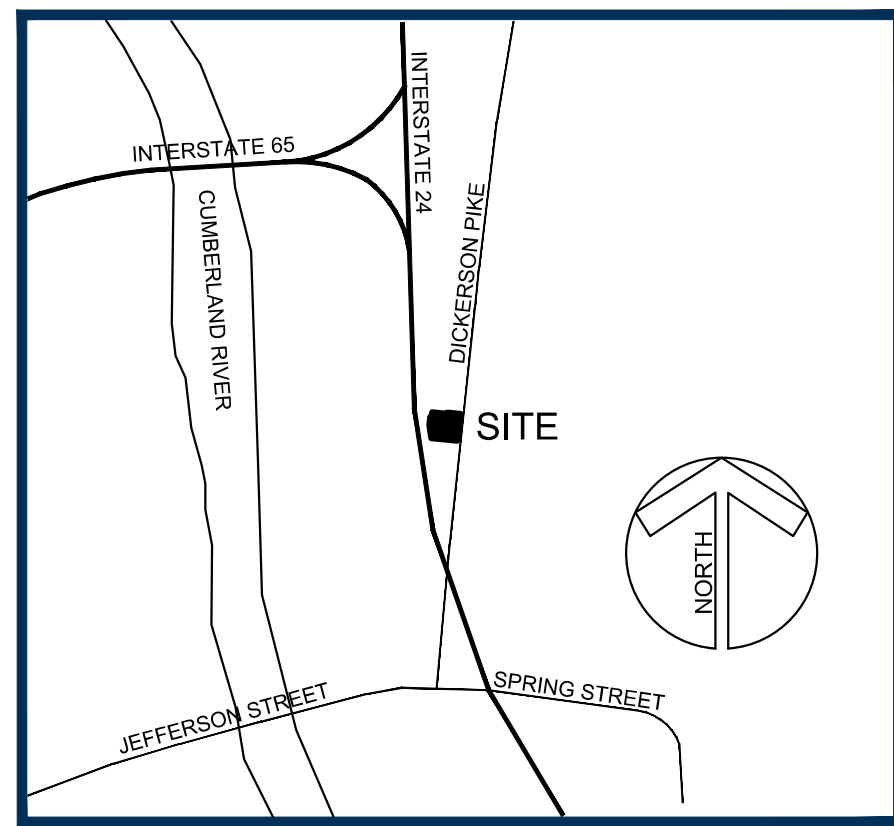
Drawing Title:

ALTA/NSPS LAND TITLE SURVEY

Drawing No.

2 of 2

Project No. 24-0113



LOCATION MAP
N.T.S.

PROPERTY MAP REFERENCE

BEING PARCEL NUMBER 077.00 AS SHOWN ON DAVIDSON COUNTY PROPERTY MAP NUMBER 082-06.

PLAT REFERENCE

BEING PART OF LOT 2 AS SHOWN ON THE FINAL PLAT ENTITLED "DUNLAP & KYLE'S RESUBDIVISION OF THE NASHVILLE HOUSING AUTHORITY SUBDIVISION 724 DICKERSON PIKE" OF RECORD AS INSTRUMENT NO. 20011031-0118522 REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

DEED REFERENCE

BEING PART OF THE SAME PROPERTY CONVEYED TO DUNLAP AND KYLE TIRE COMPANY, FROM DUNLAP & KYLE COMPANY, INC. (SUCCESSOR-BY-MERGER OF DUNLAP & KYLE REALTY COMPANY, INC. AND DUNLAP & KYLE COMPANY INC.) OF RECORD AS BOOK 7609, PAGE 622, REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

GENERAL NOTES

SEE SHEET 2 FOR GENERAL NOTES.

LINE	BEARING	DISTANCE
L1	S83°02'54"E	15.88'
L2	N05°31'45"E	12.55'
L3	S07°40'10"W	28.68'

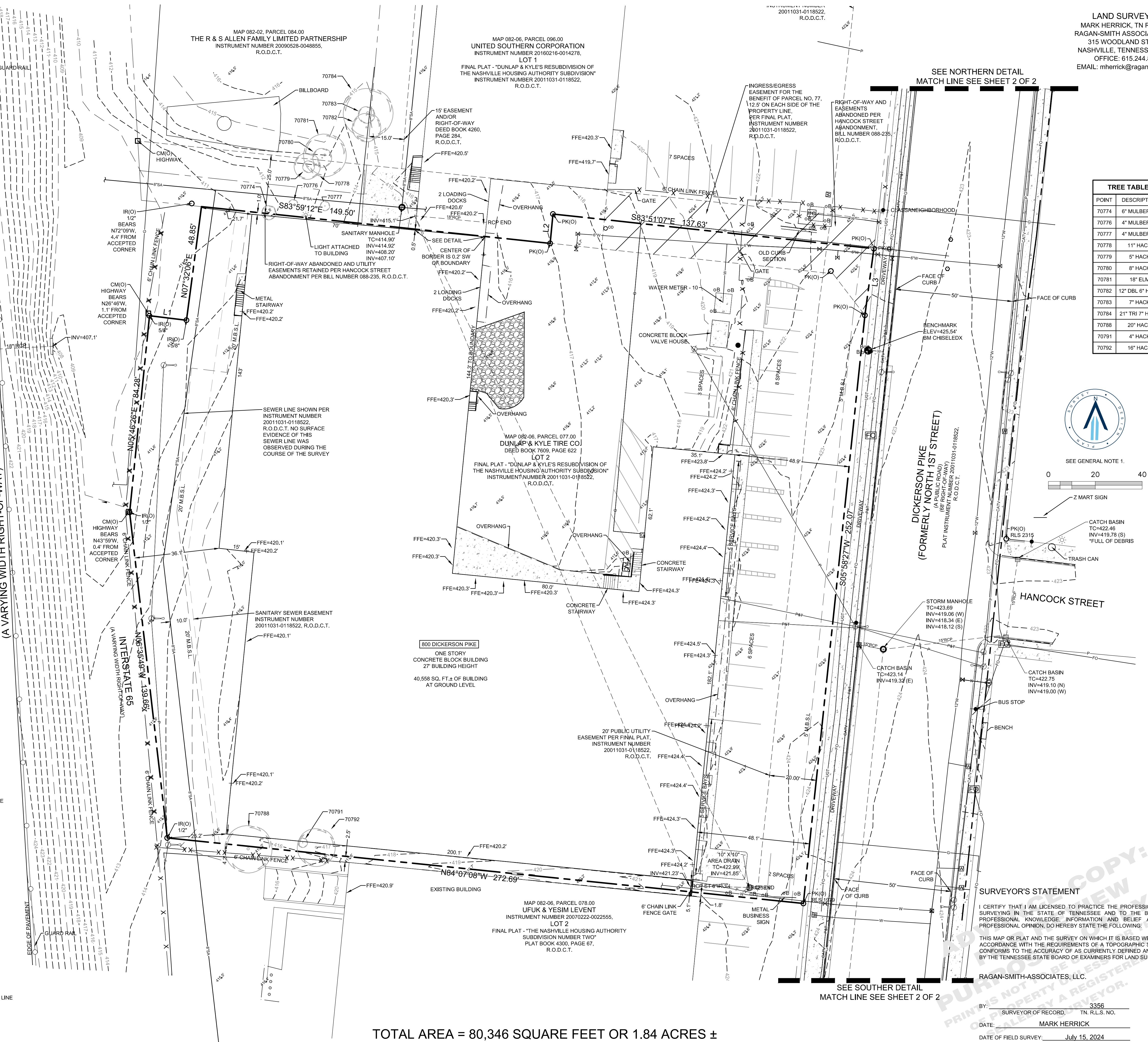
UTILITY NOTE

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 811.



LEGEND

- CM(O) CONCRETE MONUMENT (OLD)
- IR(O) IRON ROD (OLD)
- IR(N) IRON ROD (NEW)
- PK(O) PK NAIL (OLD)
- AC AIR CONDITIONER
- B BOLLARD
- CB CATCH BASIN
- GM GAS METER
- GV GAS VALVE
- FOB FIBER OPTIC BOX
- FH FIRE HYDRANT
- FP FLAG POLE
- HC HYDROCOWL
- HI POST INDICATOR VALVE
- HW SIAMSESE WATER CONNECTION
- WV WATER VALVE
- SM SANITARY SEWER MANHOLE
- SCO SEWER CLEAN-OUT
- S SIGN
- U UTILITY POLE
- LS LIGHT STANDARD
- UP UTILITY POLE W/ ANCHOR
- UL UTILITY POLE W/ LIGHT
- IP IRON PIPE
- RCP REINFORCED CONCRETE PIPE
- F FENCE
- OC OVERHEAD CABLE
- TV TELEVISION LINE
- G GAS LINE
- OP OVERHEAD POWER
- P&T OVERHEAD POWER AND TELEPHONE LINE
- SS SANITARY SEWER LINE
- W WATER LINE
- SA STREET ADDRESS
- C CONCRETE SURFACE
- A ASPHALT SURFACE
- G GRAVEL SURFACE
- D DISTANCE FROM PROPERTY LINE TO FENCE LINE
- E ELEVATION
- I INVERT ELEVATION
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- R.O.D.C.T. REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE



POINT	DESCRIPTION
70774	6" MULBERRY
70776	4" MULBERRY
70777	4" MULBERRY
70778	11" HACK
70779	5" HACK
70780	8" HACK
70781	18" ELM
70782	12" DBL 6" HACK
70783	7" HACK
70784	21" TRI 7" HACK
70788	20" HACK
70791	4" HACK
70792	16" HACK



SEE GENERAL NOTE 1.

TOTAL AREA = 80,346 SQUARE FEET OR 1.84 ACRES ±

LAND SURVEYOR
MARK HERRICK, TN RLS 3356
RAGAN-SMITH ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TENNESSEE 37206
OFFICE: 615.244.8591
EMAIL: mherrick@ragansmith.com



800 DICKERSON PIKE
FOR
HCA HEALTHCARE

5TH COUNCILMANIC DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Scale: 1"=20'
Date: July 18, 2024
Approved By: MRH

Revisions:
-
-
-
-
-

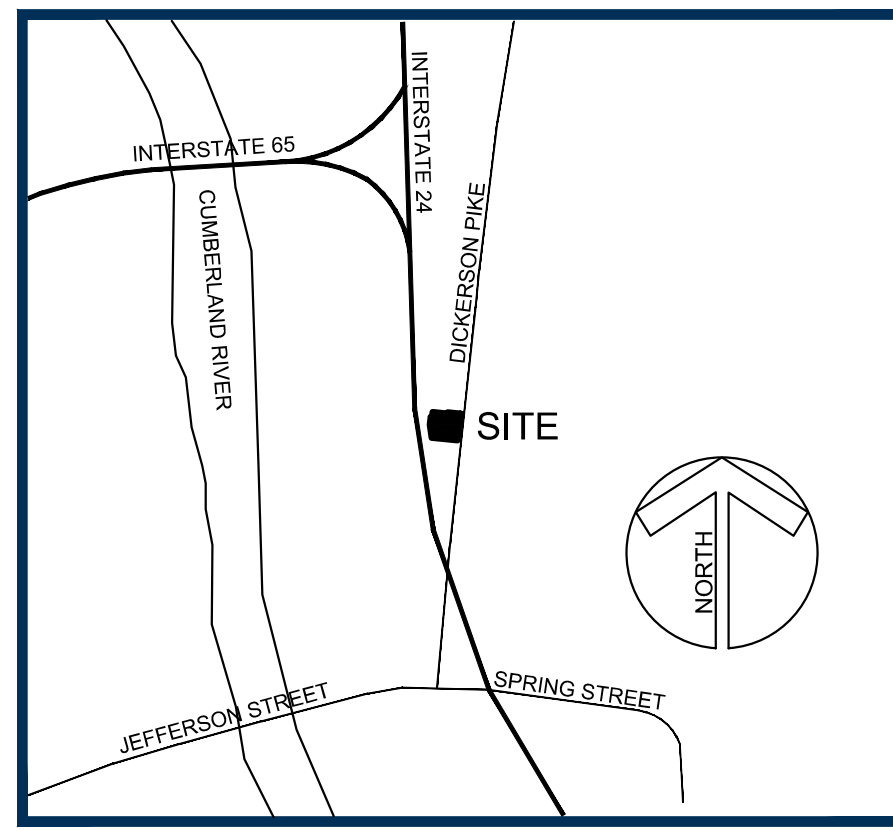
Drawing Title:
TOPOGRAPHIC SURVEY

Drawing No.
1 of 2
Project No.
24-0113

SURVEYOR'S STATEMENT
I CERTIFY THAT I AM LICENSED TO PRACTICE THE PROFESSION OF LAND SURVEYING IN THE STATE OF TENNESSEE AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF AND IN MY PROFESSIONAL OPINION, DO HEREBY STATE THE FOLLOWING:
THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF A TOPOGRAPHIC SURVEY AND CONFORMS TO THE ACCURACY OF AS CURRENTLY DEFINED AND ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS.

RAGAN-SMITH ASSOCIATES, LLC.
BY: _____ 3356
SURVEYOR OF RECORD, TN, R.L.S. NO.
DATE: MARK HERRICK
DATE OF FIELD SURVEY: July 15, 2024

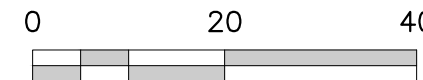
G:\240113\SURVEY\TOPO\240113 - TOPOGRAPHIC SURVEY.DWG
PLOTTED BY JOSH HENLEY ON: 7/18/2024 2:24 PM. LAST UPDATED BY MHERRICK ON: 7/18/2024 2:16 PM



LOCATION MAP
N.T.S.



SEE GENERAL NOTE 1.



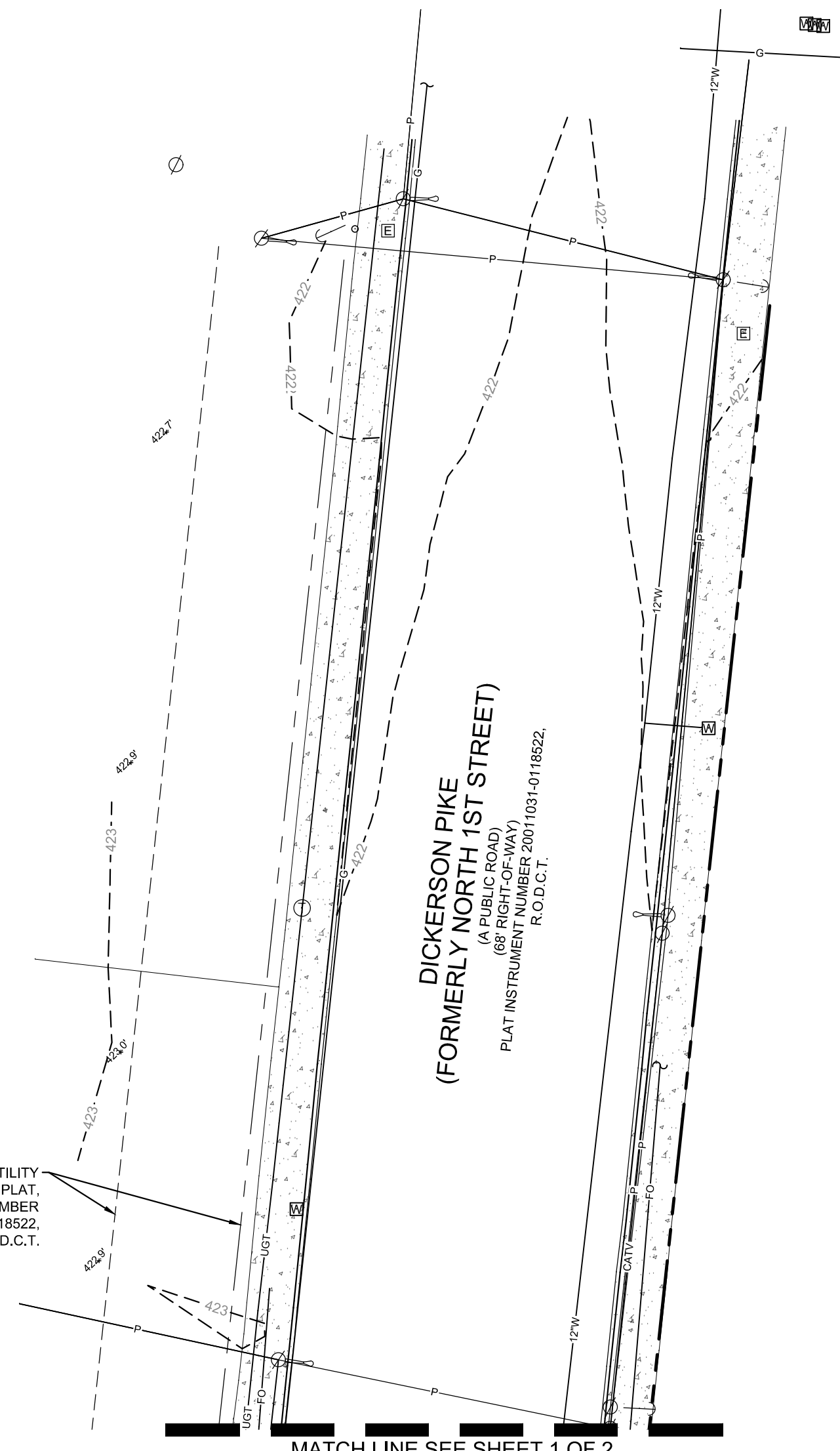
GENERAL NOTES

- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO (2) CONTROL POINTS FOR THE SURVEYED PROPERTY TO ESTABLISH AS BASIS FOR BEARING FOR THE SURVEY. TYPE OF GPS EQUIPMENT USED: TRIMBLE R10R12 DUAL FREQUENCY RECEIVER. TYPE OF GPS SURVEY: TDOT NETWORK ADJUSTED REAL TIME KINEMATIC. THE RELATIVE POSITIONAL QUALITY IS 0.05'.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. THIS PROPERTY LIES WITHIN FLOOD ZONE "X" (OTHER AREAS), AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0242H, WITH AN EFFECTIVE DATE OF APRIL 05, 2017, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470040 PANEL NO. 0242, SUFFIX H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS SURVEYOR HAS BEEN FURNISHED WITH A COPY OF A TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-1216103-NAS, WITH A COMMITMENT DATE OF APRIL 30, 2024.
- THIS PROPERTY IS CURRENTLY ZONED IWD (INDUSTRIAL WAREHOUSING/DISTRIBUTION), MDHA-SL, OV-UJO, OV-UZO, PER THE NASHVILLE PLANNING DEPARTMENT. NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR AT THE TIME OF THIS SURVEY.
- IWD SETBACKS PER METRO GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY ONLINE CODE OF ORDINANCES, UPDATED FEBRUARY 6, 2024.
 STREET - 5 FT
 REAR - 20 FT
 SIDE - NONE FT
 MAX HEIGHT - 30 FT
 (AT SETBACK LINE)
- 19 PARKING SPACES WERE OBSERVED DURING THE COURSE OF THE SURVEY.
- SEWER, STORM, WATER, AND GAS LINES LOCATED PER FIELD LOCATED PAINT MARKINGS. LINES NOTED "PER GIS MAP" WERE TAKEN FROM METRO WATER SERVICES GIS UTILITY MAP, DATED APRIL 17, 2024.
- THERE IS A 15' WIDE GAS EASEMENT DESCRIBED IN THE HANCOCK STREET ABANDONMENT, SUBSTITUTE BILL NO. 088-235. THIS EASEMENT IS NOT CLEARLY DEFINED OF RECORD, THEREFORE, IS NOT SHOWN HEREON.
- ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88. CONTOURS ARE AT ONE FOOT INTERVALS AND ARE BASED ON A FIELD RUN SURVEY USING RANDOM SPOT ELEVATIONS. CONTOURS WERE DERIVED USING SURFACE MODELING TECHNIQUES.

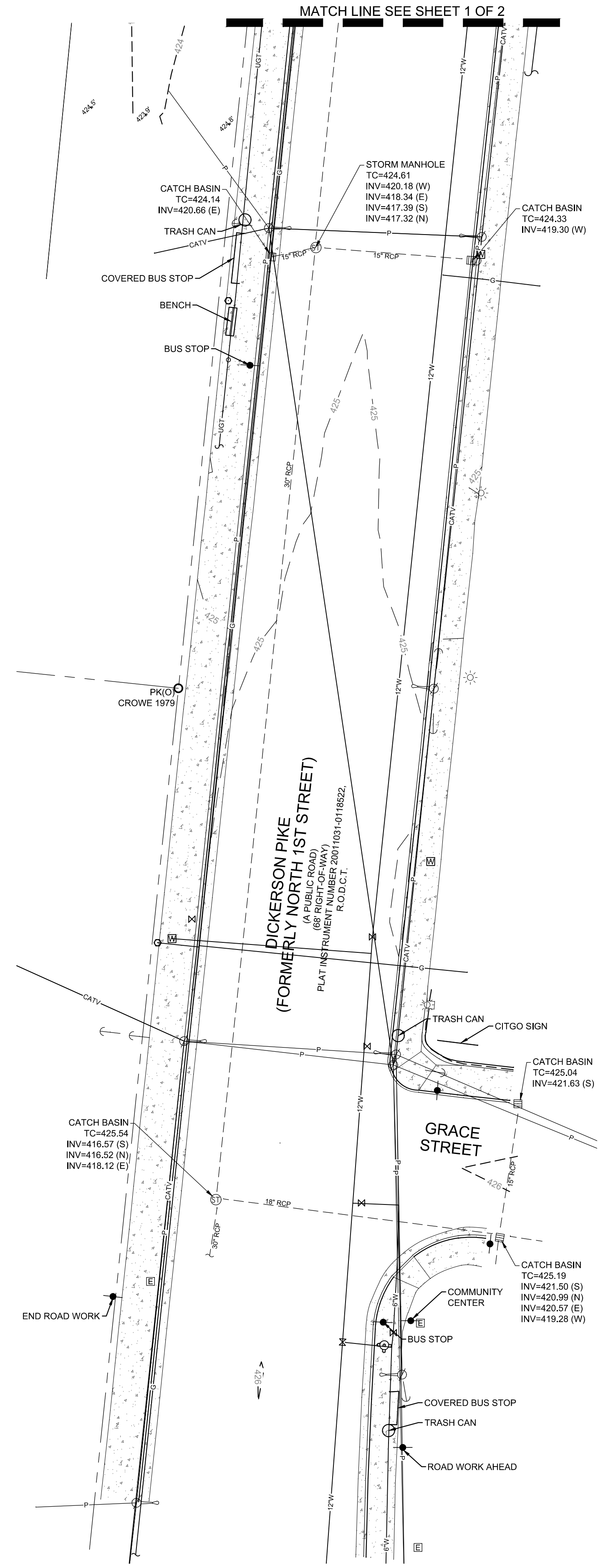
UTILITY PROVIDERS:

- ATT
- COLONIAL PIPELINE
- COMCAST
- MAS TEC. INC.
- MCI
- NASHVILLE DEPARTMENT OF TRANSPORTATION
- METRO WATER & SEWER
- NASHVILLE ELECTRIC SERVICE
- PIEDMONT NATURAL GAS
- TDOT-NASHVILLE (FIBER/ELEC/PHONE) - STANSELL ELECTRIC

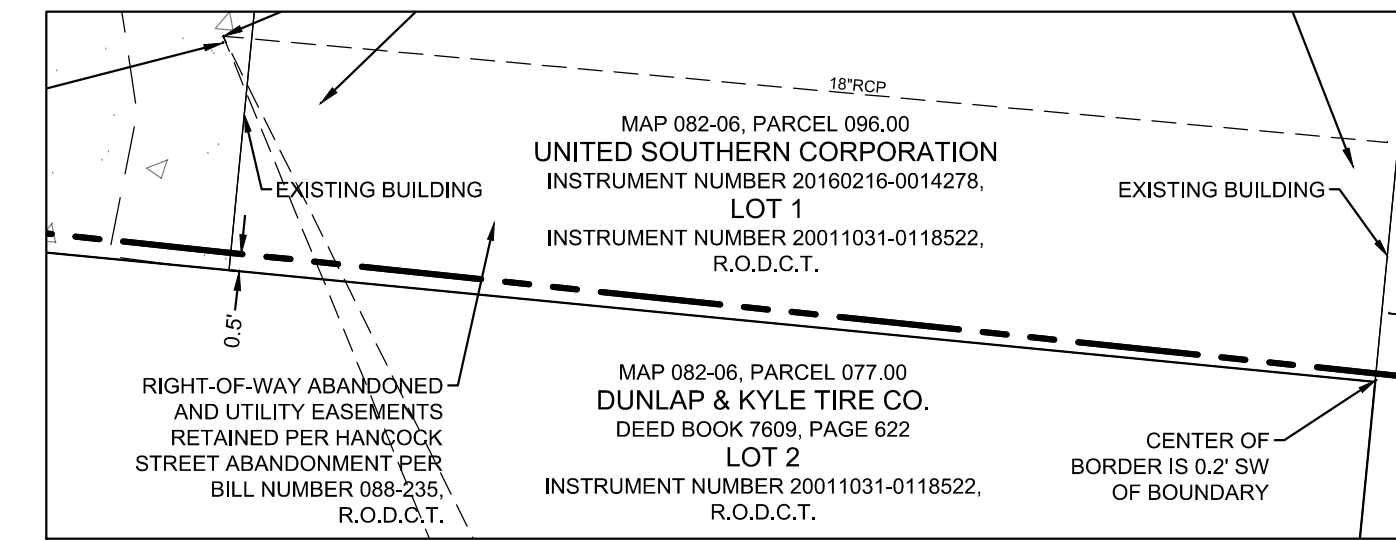
20' PUBLIC UTILITY EASEMENT PER FINAL PLAT, INSTRUMENT NUMBER 20011031-0118522, R.O.D.C.T.



NORTHERLY ROAD DETAIL
SCALE: 1" = 20'



SOUTHERLY ROAD DETAIL
SCALE: 1" = 20'



DETAIL
SCALE: 1" = 5'

800 DICKERSON PIKE
FOR
HCA HEALTHCARE

5TH COUNCILMANIC DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

Scale: AS NOTED

Date: July 18, 2024

Approved By: MRH

Revisions:

Drawing Title:
TOPOGRAPHIC SURVEY

Drawing No.

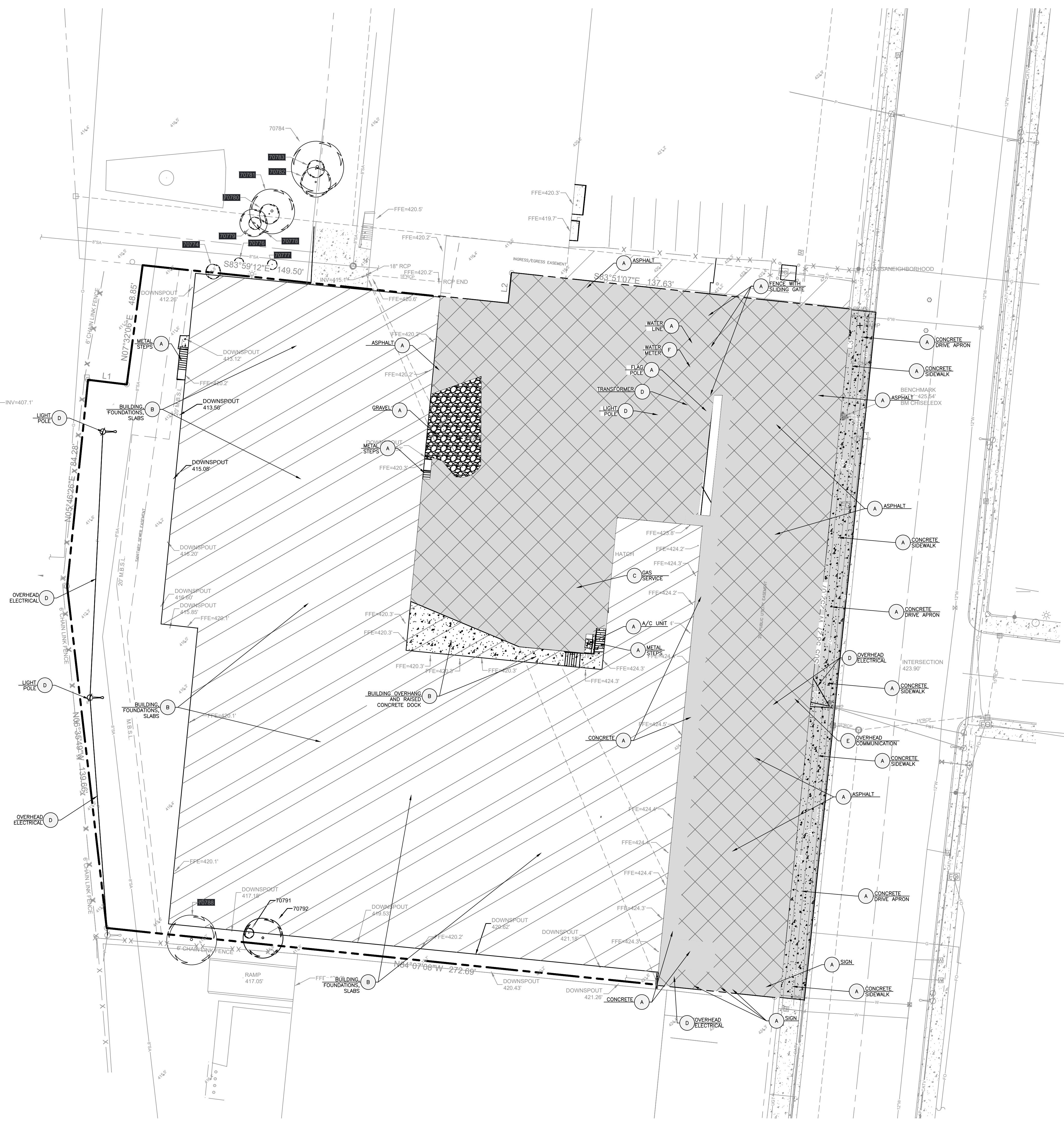
2 of 2

Project No.
24-0113

ADVANCE COPY:
FOR REVIEW
PURPOSES ONLY
THIS PRINT IS NOT TO BE USED FOR TRANSFER OF PROPERTY UNLESS SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR

LAND SURVEYOR
MARK HERRICK, TN RLS 3356
RAGAN-SMITH ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TENNESSEE 37206
OFFICE: 615.244.8591
EMAIL: mherrick@ragansmith.com

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GENERAL DEMOLITION NOTES

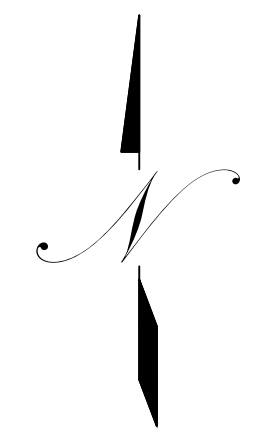
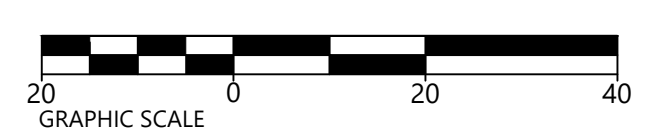
1. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF NASHVILLE/METRO-DAVIDSON COUNTY STANDARD SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS, AS NOTED. SEE SITE WORK SPECIFICATIONS.
3. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
4. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. ENGINEER'S NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. SITE LAYOUT FOR HCA EAST NASHVILLE FSER BY INGRAM CIVIL ENGINEERING GROUP, LLC, BASED ON SITE SURVEY BY RAGAN SMITH ON 05-23-2024. ORIGINAL TOPOGRAPHICAL INFORMATION IS BASED ON A SURVEY BY RAGAN SMITH ON 07-18-2024. THE ENGINEER, THE OWNER, OR ANY OF THE OWNER'S CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION.
7. ALL NOTED DISTANCES WITH REGARD TO ITEMS TO BE DEMOLISHED ARE APPROXIMATE.
8. WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. PRINTED DIMENSIONS WHICH ARE OMITTED OR IN CONFLICT SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR REVIEW AND RESPONSE. DIMENSIONS ARE FROM FACE OF CURB / EDGE OF PAVEMENT AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.

DEMOLITION NOTES

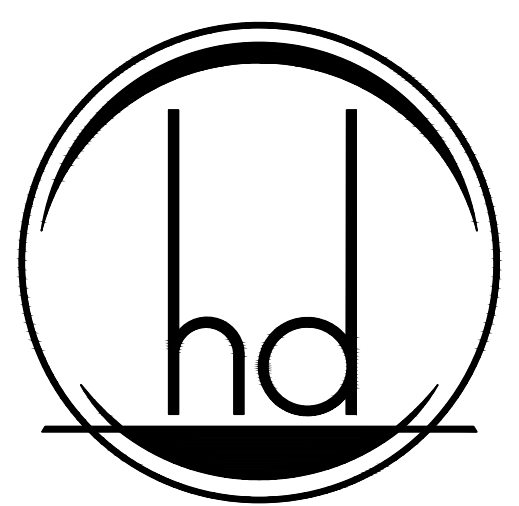
- A TO BE REMOVED
- B BUILDING, FOUNDATIONS AND SLABS TO BE REMOVED. COORDINATE WITH ARCHITECTURAL SPECIFICATIONS.
- C GAS SERVICE LINE AND ALL RELATED EQUIPMENT TO BE REMOVED, COORDINATE WITH NASHVILLE GAS.
- D OVERHEAD ELECTRICAL LINES AND LIGHT POLES TO BE REMOVED. COORDINATE WITH NES.
- E OVERHEAD COMMUNICATION LINES. COORDINATE WITH LOCAL PROVIDER.
- F WATER METER AND WATER SERVICE LINES TO BE REMOVED. COORDINATE WITH METRO WATER.

LEGEND: DEMOLITION

- EXISTING PAVEMENT TO BE SAWCUT & REMOVED
- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE WALK TO BE SAWCUT & REMOVED



CASE NO. 2024SP-033-001



HEREFORD · DOOLEY
ARCHITECTS

205 17TH AVE NORTH · SUITE 203
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT # **223026.00**
CLIENT #342930016

EAST NASHVILLE FSER
800 DICKERSON PIKE, NASHVILLE, TN 37207
HCA SKYLINE MEDICAL CENTER
3441 DICKERSON PIKE, NASHVILLE, TN 37207

PRELIMINARY DRAWINGS

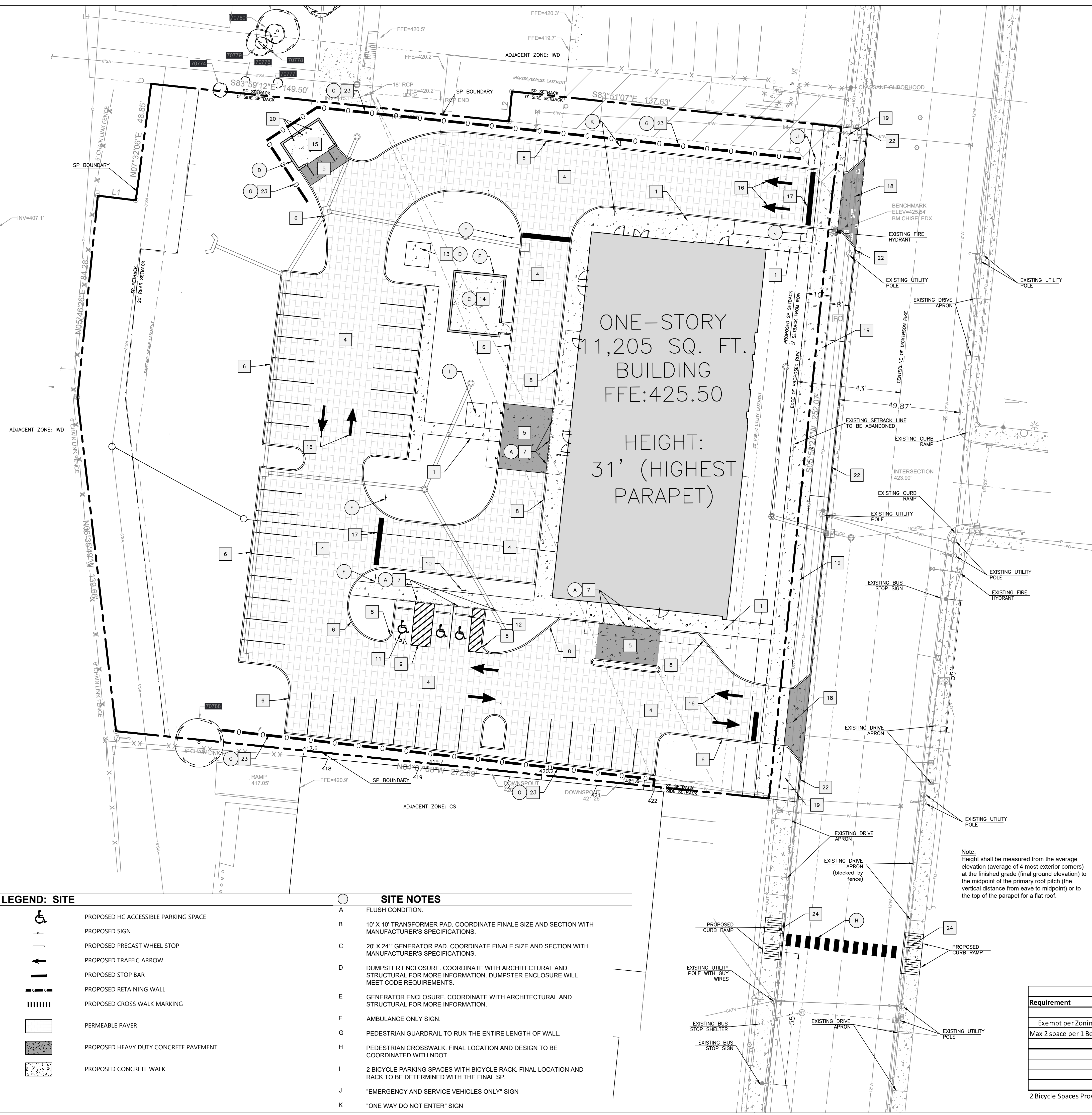


William E. Hereford, III
AR # 104655

07/25/2024

DATES OF ISSUANCE
TITLE
SHEET
DEMOLITION PLAN
C100

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LEGEND: SITE

	PROPOSED HC ACCESSIBLE PARKING SPACE
	PROPOSED SIGN
	PROPOSED PRECAST WHEEL STOP
	PROPOSED TRAFFIC ARROW
	PROPOSED STOP BAR
	PROPOSED RETAINING WALL
	PROPOSED CROSS WALK MARKING
	PERMEABLE PAVER
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE WALK

SITE NOTES

A	FLUSH CONDITION.
B	10' X 10' TRANSFORMER PAD. COORDINATE FINALE SIZE AND SECTION WITH MANUFACTURER'S SPECIFICATIONS.
C	20' X 24' GENERATOR PAD. COORDINATE FINALE SIZE AND SECTION WITH MANUFACTURER'S SPECIFICATIONS.
D	DUMPSTER ENCLOSURE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL FOR MORE INFORMATION. DUMPSTER ENCLOSURE WILL MEET CODE REQUIREMENTS.
E	GENERATOR ENCLOSURE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL FOR MORE INFORMATION.
F	AMBULANCE ONLY SIGN.
G	PEDESTRIAN GUARDRAIL TO RUN THE ENTIRE LENGTH OF WALL.
H	PEDESTRIAN CROSSWALK. FINAL LOCATION AND DESIGN TO BE COORDINATED WITH NDOT.
I	2 BICYCLE PARKING SPACES WITH BICYCLE RACK. FINAL LOCATION AND RACK TO BE DETERMINED WITH THE FINAL SP.
J	*EMERGENCY AND SERVICE VEHICLES ONLY* SIGN
K	*ONE WAY DO NOT ENTER* SIGN

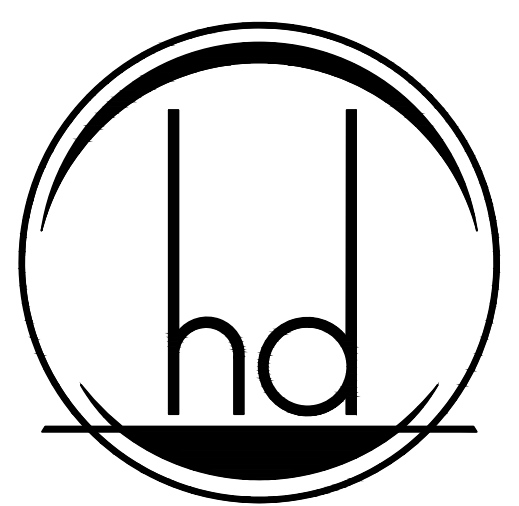
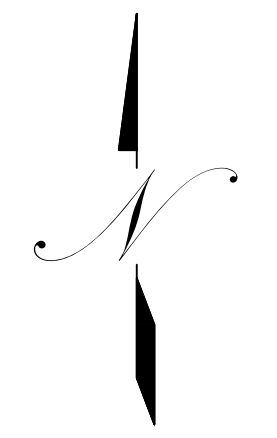
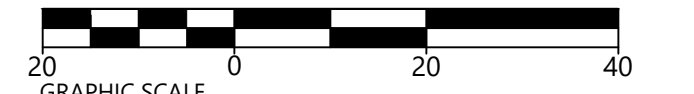
- GENERAL SITE NOTES**
- SITE LAYOUT FOR HCA EAST NASHVILLE FSER BY INGRAM CIVIL ENGINEERING GROUP, LLC, BASED ON SITE SURVEY BY RAGAN SMITH ON 05-23-2024.
 - ORIGINAL TOPOGRAPHICAL INFORMATION IS BASED ON A SURVEY BY RAGAN SMITH ON 05-23-2024. THE ENGINEER, THE OWNER, OR ANY OF THE OWNER'S CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION.
 - ALL CIVIL/SITE WORK ELEMENTS INDICATED TO BE CONSTRUCTED ON THE PLANS ARE TO BE BUILT IN STRICT ACCORDANCE WITH THE STANDARDS ADOPTED BY THE CITY OF NASHVILLE/METRO DAVIDSON COUNTY, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL SITE WORK MUST ALSO COMPLY WITH THE CITY OF NASHVILLE/METRO DAVIDSON COUNTY ENVIRONMENTAL REQUIREMENTS AND FEDERAL EPA REQUIREMENTS.
 - WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. PRINTED DIMENSIONS WHICH ARE OMITTED OR IN CONFLICT SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR REVIEW AND RESPONSE. DIMENSIONS ARE FROM FACE OF CURB / EDGE OF PAVEMENT AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.
 - DIMENSIONS LOCATING THE BUILDING IN RELATIONSHIP TO THE PROPERTY LINES HAVE BEEN PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. WHERE POSSIBLE, COORDINATES CAN BE USED TO ESTABLISH PHYSICAL LENGTHS ALONG THE BUILDING PERIMETER. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FROM STRUCTURAL AND ARCHITECTURAL DRAWINGS THE ACTUAL EXTENT OF THE BUILDING ON THE PROPERTY. BUILDING LAYOUT SHALL BE BASED SOLELY ON DIMENSIONAL INFORMATION PROVIDED ON STRUCTURAL AND ARCHITECTURAL DRAWINGS. DISCREPANCIES WHICH IMPACT SITE LAYOUT SHOULD BE IMMEDIATELY REPORTED TO THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL SITE FEATURES, (BUILDINGS, ROADS, PARKING, PADS, WALKS, ETC.) AND WILL EMPLOY A LAND SURVEYOR LICENSED TO PRACTICE IN THE PROJECT'S REGION OF CONSTRUCTION TO STAKE OUT AND MAINTAIN ALL REQUIRED CONTROL POINTS THROUGHOUT THE LIFE OF THE PROJECT. THE SURVEYOR SHALL CERTIFY TO THE ENGINEER, IN WRITING, THAT THE LAYOUT IN THE FIELD SUBSTANTIALLY CONFORMS TO THE LAYOUT INDICATED ON THE CONTRACT DOCUMENTS. LAYOUT DISCREPANCIES OR CHANGES SHOULD BE SO NOTED TO THE ENGINEER.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS, AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF THE WORK AND SHALL BEAR ANY COST ASSOCIATED WITH REPAIR.
 - THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL PERMIT FEES. THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ORDINANCES AND RECEIVE APPROPRIATE APPROVALS WHERE REQUIRED PRIOR TO COMMENCEMENT OF THE WORK.
 - MATERIALS AND PROCESSES OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WHILE THE ENGINEER HAS PROVIDED, FOR THE CONVENIENCE OF THE CONTRACTOR, DRAWINGS OUTLINING CERTAIN REQUIRED OSHA MINIMUM SAFETY PRACTICES, THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OR FOR VERIFYING THAT SUCH MEASURES ARE IMPLEMENTED ON SITE. MAINTAINING A SAFE ENVIRONMENT DURING THE PROMULGATION OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR, THE ENGINEER, THE OWNER AND OTHER CONSULTANTS, HAVE NO EXPERTISE, NOR ACCEPT ANY LIABILITY, IMPLIED OR OTHERWISE, FOR MATERIALS AND PROCESSES OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT COMMENCE ANY WORK WHICH IS NOT UNDER THE CONTROL OR OWNERSHIP OF THE OWNER WITHOUT WRITTEN PERMISSION FROM THE PROPERTY'S OWNER OR CONTROLLING INTEREST. WHERE CONTROLLING INTEREST IS A LOCAL, STATE, OR FEDERAL AGENCY, THEN APPROVAL FOR CONSTRUCTION SHALL CONSTITUTE AUTHORITY TO COMMENCE WORK.
 - WHERE NOT SPECIFICALLY NOTED OTHERWISE, ALL CONCRETE FINISHES SHALL BE SLIP RESISTANT PER TECHNICAL SPECIFICATIONS.
 - ALL ACCESSIBLE PARKING SPACES, INDICATED WITH THE GRAPHIC ACCESSIBLE SYMBOL, DENOTE ACCESSIBLE PARKING SPACES. THESE SPACES ARE DESIGNED TO CONFORM TO ADA AND TENNESSEE ACCESSIBILITY STANDARD SPECIFICATIONS. ALL INDICATED SPACES SHALL RECEIVE THE PAINTED SYMBOL AND APPROPRIATE IDENTIFICATION SIGNAGE. WHERE REQUIREMENTS ARE DIFFERENT OR IN EXCESS OF THESE, THE CONTRACTOR WILL ALLOW FOR THOSE ADDITIONAL REQUIREMENTS IN HIS PRICE AND PROMPTLY SUBMIT THEM TO THE ENGINEER.
 - THE CONTRACTOR IS RESPONSIBLE FOR USING THE ONE-CALL SYSTEM OR OTHER MEANS TO CONTACT AND VERIFY LOCATIONS OF ALL UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRS TO DAMAGED UTILITIES.
 - THE CONTRACTOR IS TO CONTROL TRAFFIC FLOW DURING TIME OF CONSTRUCTION. ANY AND ALL TRAFFIC CONTROL IMPLEMENTED DURING THIS PROJECT SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH CITY OF NASHVILLE/METRO DAVIDSON COUNTY AND NASHVILLE D.O.T. REGULATIONS.

2 3
 TO BE PERFORMED
 ON ALL CONCRETE

SITE DETAILS

1	CONCRETE SIDEWALK	15	DUMPSTER LAYOUT
2	CONCRETE JOINTS	16	TRAFFIC FLOW ARROWS
3	CONCRETE JOINT SEALANTS	17	STOP BAR
4	PERVIOUS PAVERS	18	NDOT DRIVE ENTRANCE
5	HEAVY DUTY CONCRETE	19	NDOT CONCRETE SIDEWALK
6	CONCRETE POST CURB	20	PIPE BOLLARD
7	FLUSH CURB	21	STRIPING
8	CURB TRANSITION	22	NDOT CONCRETE CURB
9	ACCESSIBLE SPACE LAYOUT	23	PEDESTRIAN GUARDRAIL
10	ACCESSIBLE SIGNS	24	METRO NASHVILLE ACCESSIBLE CURB RAMP
11	ACCESSIBLE SYMBOL		
12	WHEEL STOP		
13	CONCRETE UTILITY PAD		
14	HEAVY DUTY CONCRETE UTILITY PAD		

Requirement	Variable No.	No. of Spaces
1-Story Hospital		
Exempt per Zoning Ordinance 17.20.040.G		
		11 22
Total Spaces Allowed by Base Zone = 22		
		Standard Spaces = 41
		Accessible Spaces = 3
		Ambulance Spaces = 0
Total Provided Spaces = 44		
2 Bicycle Spaces Provided per Zoning Code Section 17.20.135		



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PROJECT # **223026.00**
CLIENT #342930016

EAST NASHVILLE FSER
800 DICKERSON PIKE, NASHVILLE, TN 37207
HCA SKYLINE MEDICAL CENTER
3441 DICKERSON PIKE, NASHVILLE, TN 37207

PRELIMINARY DRAWINGS



William E. Hereford, III
AR # 104655

07/25/2024

DATE OF ISSUANCE

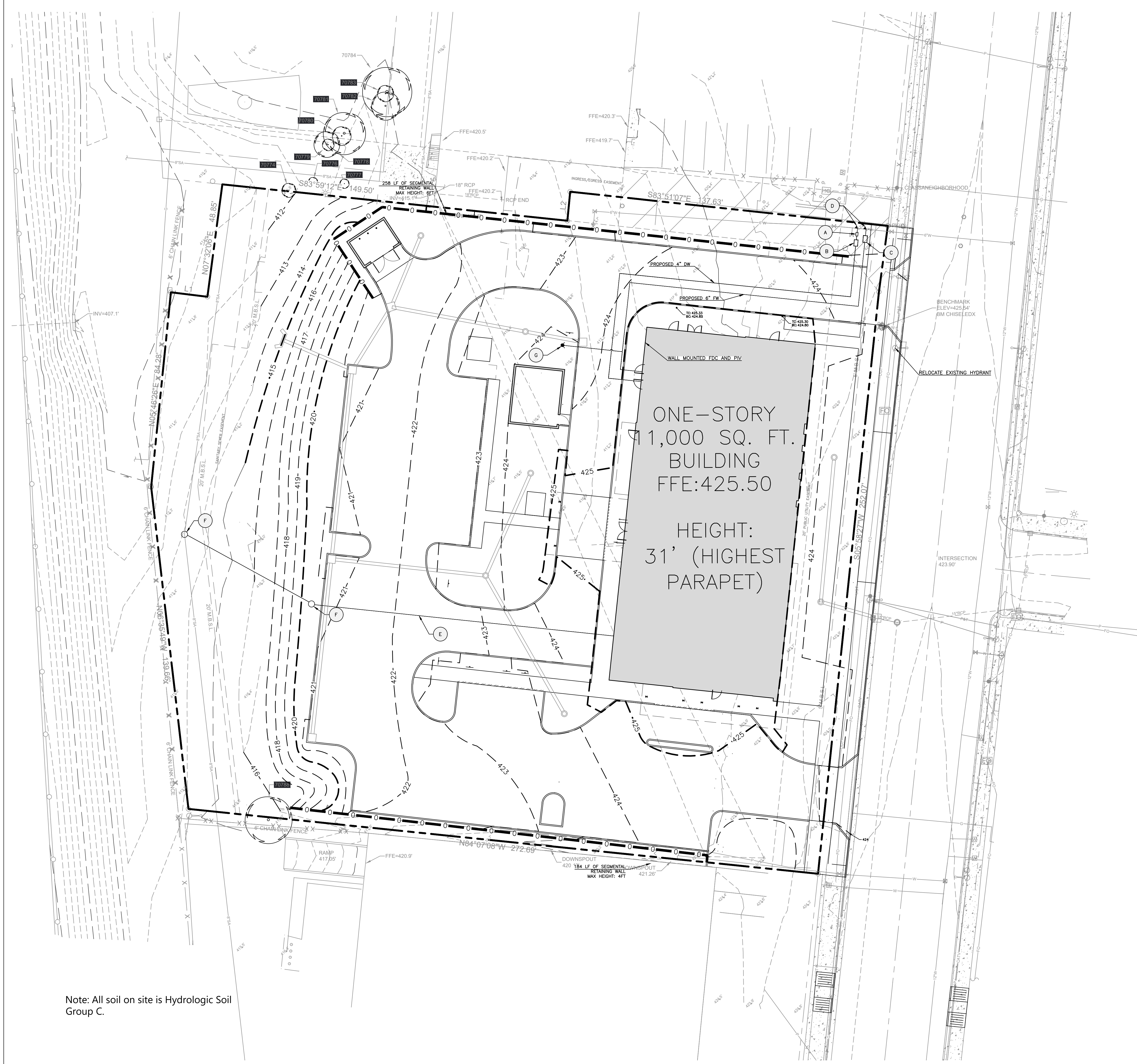
TITLE

SHEET

C200

CASE NO. 2024SP-033-001

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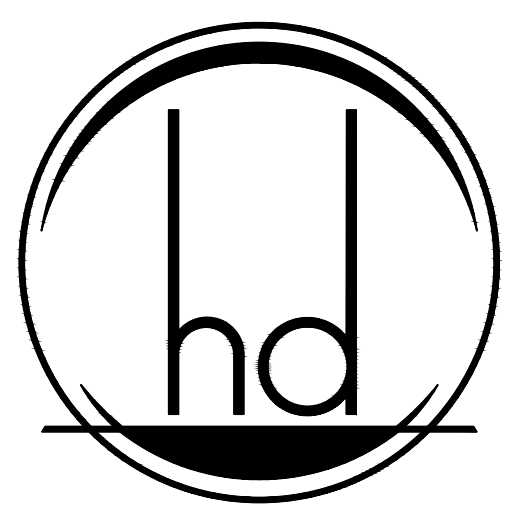
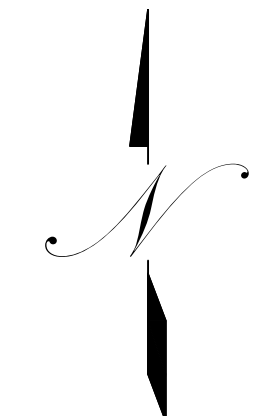
Note: All soil on site is Hydrologic Soil Group C.

GENERAL GRADING NOTES

1. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
2. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND SIX INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE AND AREAS TO BE SODDED). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY LOCATIONS OF ANY UNDERGROUND UTILITIES. THE CONTRACTOR IS TO VERIFY LOCATION OF OVERHEAD UTILITIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
4. THE CONTRACTOR IS TO CONTROL TRAFFIC FLOW DURING TIME OF CONSTRUCTION. ANY AND ALL TRAFFIC CONTROL IMPLEMENTED DURING THIS PROJECT SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
5. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF NASHVILLE/DAVIDSON COUNTY AND THE NASHVILLE D.O.T. REGULATIONS.
6. CONTRACTOR TO COORDINATE LOCATION OF TOP SOIL STOCKPILE AREA WITH OWNER. SILT FENCE SHALL BE PLACED AROUND PERIMETER OF THE STOCKPILE FOR EROSION AND SEDIMENT CONTROL.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL PERMIT FEES. THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ORDINANCES AND RECEIVE APPROPRIATE APPROVALS WHERE REQUIRED PRIOR TO COMMENCEMENT OF THE WORK.
8. ALL LANDSCAPED SLOPES SHALL BE THREE FEET (3') HORIZONTAL TO ONE FOOT (1') VERTICAL OR FLATTER.
9. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO EARTHWORK AND DRAINAGE. SHOULD CONTRACTOR HAVE QUESTIONS WITH THIS INTENT, HE SHALL CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
10. SLOPE GROUND AWAY FROM BUILDING AT TWO PERCENT (2%) MINIMUM.
11. WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. PRINTED DIMENSIONS WHICH ARE OMITTED OR IN CONFLICT SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR REVIEW AND RESPONSE. DIMENSIONS ARE FROM FACE OF CURB / EDGE OF PAVEMENT AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.
12. SEGMENTAL WALL DESIGNER TO PROVIDE SITE SPECIFIC SHOP DRAWINGS FOR ALL RETAINING WALLS FOR CIVIL ENGINEER REVIEW PRIOR TO ORDERING WALL SYSTEM.

UTILITY NOTES

- A 4" WATER METER.
- B 4" REDUCED PRESSURE BACKFLOW PREVENTOR IN ABOVE GROUND HEATED VAULT.
- C 6" DOUBLE DETECTOR CHECK VALVE IN ABOVE GROUND HEATED VAULT.
- D CONCRETE KICKER.
- E PROPOSED SANITARY SEWER LINE.
- F PROPOSED SANITARY SEWER MANHOLE.
- G PROPOSED FIRE HYDRANT



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3441 DICKERSON PIKE, NASHVILLE, TN 37207

STATUS
PRELIMINARY DRAWINGS



William E. Hereford, III
AR # 104655

DATE OF ISSUANCE
07/25/2024

TITLE
GRADING PLAN

SHEET
C300

CASE NO. 2024SP-033-001



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PROJECT # **223026.00**
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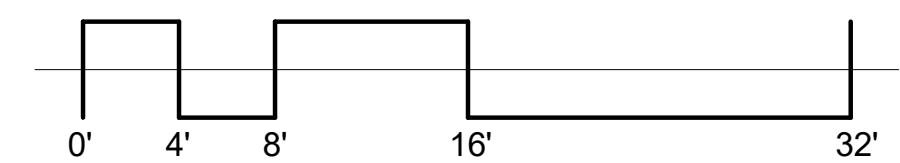
08/20/2024

TITLE
PRESENTATION FLOOR PLAN

SHEET
A000



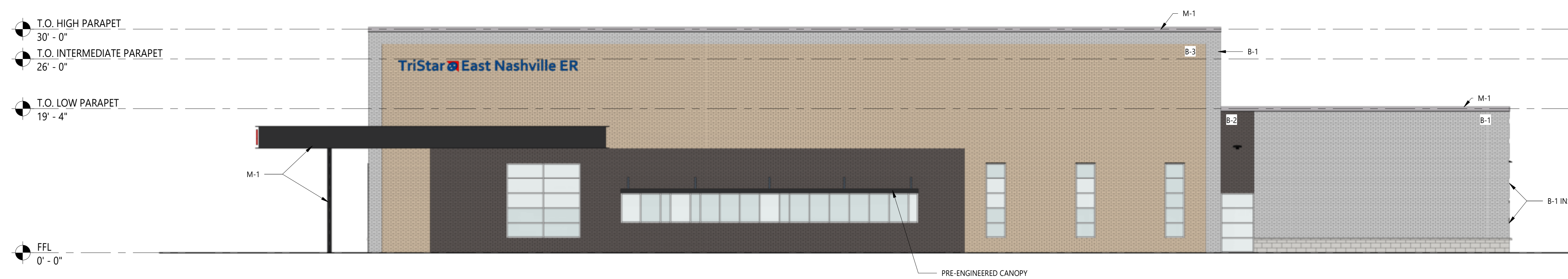
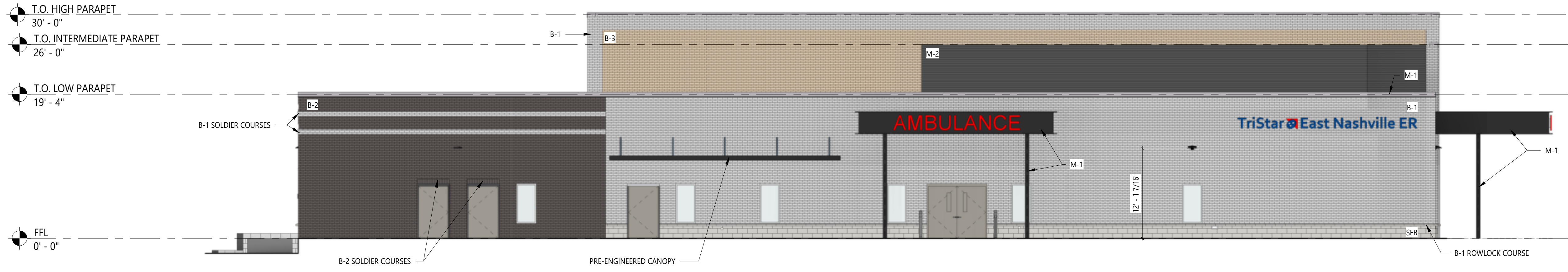
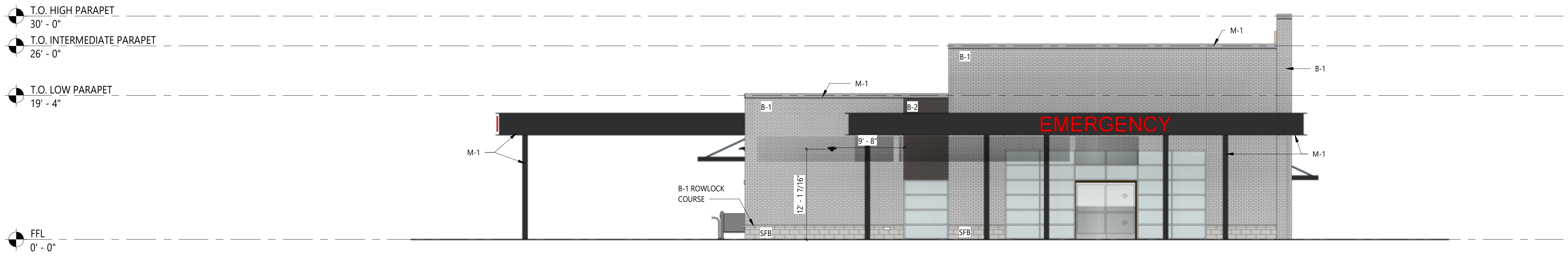
1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



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ELEVATION LEGEND		
PATTERN & MARKER	PRODUCT	COLOR / FINISH
	BRICK OVER CMU OR METAL STUDS	BELDEN BRICK SMOKY GRAY VELOUR
	BRICK OVER CMU OR METAL STUDS	BELDEN BRICK CARBON BLACK SMOOTH
	BRICK OVER CMU OR METAL STUDS	BELDEN BRICK COLOR TO MATCH SW 9101 - TRES NATURELE
	SPLIT FACE BLOCK OVER CMU	SPLIT FACE CMU
	PREFINISHED METAL COPING	KYNAR 500 - COLOR TO MATCH SW6261 - SWANKY GRAY
	CORRUGATED ROOF SCREEN WALL PANELS, COPING, EDGE AND CORNER TRIM	KYNAR 500 - COLOR TO MATCH DRYVIT - ANTHRACITE COAL 152
	PREFINISHED METAL COPING	KYNAR 500 - COLOR TO MATCH
	ALUMINUM WINDOW FRAMES	CLEAR ANODIZED
	GLAZING	GUARDIAN SUNGUARD SNX 51/23
	EXTERIOR HM DOORS, FRAMES AND LOUVERS	ALL COMPONENTS U.N.O. COLOR TO MATCH SW6100 - PRACTICAL BEIGE
* REFER TO SPECS FOR MANUFACTURERS		



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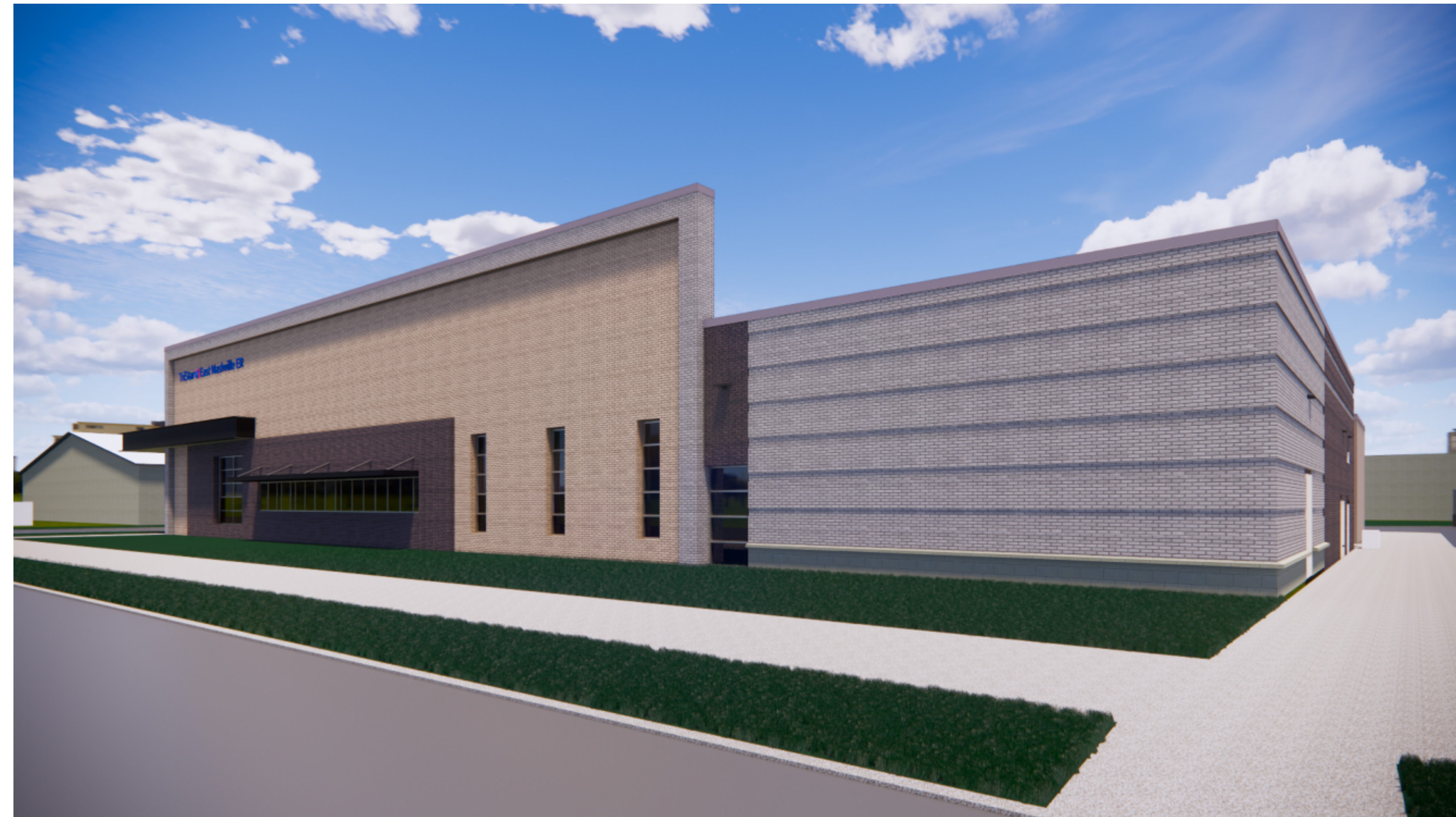
STATUS **PRELIMINARY DRAWINGS**

William E. Hereford, III
AR # 104655
08/20/2024

DATES OF ISSUANCE
TITLE **EXTERIOR ELEVATIONS**

SHEET **A200**

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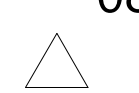
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08/20/2024



DATES OF ISSUANCE

TITLE
**EXTERIOR
PERSPECTIVES**

SHEET
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