

AGREEMENT FOR GRANT OF EASEMENT

for

CONSERVATION GREENWAY

THIS AGREEMENT, made and entered into this the ____ day of _____, 2021, by and between **The Metropolitan Government of Nashville and Davidson County**, acting by and through its Board of Parks and Recreation (herein referred to as "Metro"), and **The Sports Authority of the Metropolitan Government of Nashville and Davidson County**, property owner (herein referred to as "Grantor").

WHEREAS, Metro recognizes the increasing benefit of protecting open spaces within the Metropolitan Government area; and

WHEREAS, greenways provide the general public with recreational opportunities in natural areas, preserve, and protect native plant and animal species and their habitat, and provide low-impact transportation routes for pedestrian and bicycle traffic; and

WHEREAS, Metro, by Ordinance No. 091-13, created a Greenways Commission to assist Metro in the development of a system of open space greenways; and

WHEREAS, Grantor is the sole owner in fee simple of certain real property in Davidson County, Tennessee, more particularly described in Exhibit A attached hereto and incorporated by this reference (herein referred to as "the Property"); and

WHEREAS, the Property possesses natural, open space, and recreational values (collectively, "conservation values") of great importance to Grantor and the people of Nashville and Davidson County; and

WHEREAS, Grantor intends that the conservation values of the Property be preserved and made more accessible for public enjoyment by the anticipated



incorporation and maintenance of the property as part of the Metro greenways system; and

WHEREAS, Grantor further intends, as owner of the Property, to convey to Metro the right to preserve and protect the conservation values of the Property in perpetuity; and

WHEREAS, Metro has the authority to accept this grant pursuant to Tennessee Code Annotated, Section 66-9-305(d), and Section 11.1002 of the Metropolitan Charter; and

WHEREAS, Metro agrees by accepting this grant to honor the intentions of Grantor stated herein, and to preserve and protect, in perpetuity, the conservation values of the Property for the benefit of the people of Tennessee and the public-at-large.

NOW, THEREFORE, in consideration of the above and the mutual covenants, terms, conditions, and restrictions contained herein, Grantor hereby voluntarily grants and conveys to Metro, its successors and assigns, an easement in perpetuity over the Property of the Grantor (herein referred to as "the Easement").

1. Purpose. It is the purpose of this grant to allow Metro to utilize the Easement area for one or more of the following: a pathway for pedestrian or bicycle travel, nature trail, and/or natural area. Metro, at its discretion, shall design, construct, and maintain any pathway or physical structure in a manner that best preserves the open and natural condition of the Property. It is the intention of the parties hereby expressed that the granting of the Easement will not significantly interfere with the conservation values of the Property. Grantor intends that the Easement will confine the use of the Property to such activities as are consistent with the purpose of the Easement.

2. Rights of Metro. To accomplish the purpose of the Easement, the following rights are conveyed to Metro by this grant:

a. To preserve and protect the conservation values of the Property; and

b. To construct and maintain a pathway to be located on the Easement, including, at the discretion of Metro, necessary trailheads, signage, benches, and other improvements consistent with the recreational and educational uses of the pathway and other conservation values, and such construction shall include the right to remove and relocate the existing fencing located adjacent to the stadium improvements and modify the fence to be no more than 6-feet in height, matching the style of the existing permanent fencing located at the stadium, all as shown on Exhibit B); and

c. To prevent any activity on or use of the Property that is inconsistent with the purpose of the Easement and to require the restoration of such areas or features of the Property that may be damaged by any inconsistent activity or use.

3. Metro Covenants. Metro, by accepting this grant, covenants and agrees, on behalf of itself, its successors and assigns, that the following shall constitute real covenants that shall attach to and run with the easement hereby granted and shall be binding upon anyone who may hereafter come into ownership of such Easement, whether by purchase, devise, descent, or succession, or to be authorized to use said Easement area:

a. It will make the Easement area available for use by all members of the general public without distinction or illegal discrimination on the grounds of race, color, national origin, handicap, or age.

b. It will adopt rules and regulations governing the use of the Easement area so as not to permit or suffer any use of the Easement by Grantor or others in violation of such rules and regulations. At a minimum, the rules and regulations will provide as follows:

i. That the hours of public access of the Easement shall be from sunrise to sunset (but shall remain open to the public in

connection with the public utilizing the Easement for ingress or egress to adjacent businesses, including restaurants, on the adjacent properties).

- ii. That all persons utilizing the Easement area must remain on the pathway.
- iii. That all pets of persons utilizing the pathway must be on a leash at all times.
- iv. That the following activities shall be strictly prohibited:
 1. consumption or possession of alcoholic beverages;
 2. horseback riding;
 3. unauthorized motor vehicles;
 4. collecting or distributing plants, animals or other natural features;
 5. littering or dumping;
 6. if permitted by Tennessee law, possession of firearms, weapons or projected objects;
 7. playing of radios, musical instruments or other devices in a manner that might disturb others;
 8. vending or other concessions with out proper permits;
 9. advertising or posting of bills;
 10. trespassing on adjacent property of Grantor.

4. Other Prohibited Uses. Any activity on or use of the Property inconsistent with the purpose of the Easement is prohibited. The aforementioned express prohibitions shall not limit the generality of this paragraph.

5. Reserved Rights. Grantor reserves to itself, and to its personal representatives, heirs, successors, and assigns, all rights accruing from their ownership of the Property, including the right to engage in or permit or invite others to engage in all uses of the Property that are not expressly prohibited

herein and are not inconsistent with the purpose of the Easement. Further, Grantor reserves the right to maintain the subject property consistent with the purposes herein set forth and will maintain it in accordance with all local laws until improvements are made by Metro.

6. Metro's Discretion. Enforcement of the terms of this Agreement shall be at the discretion of Metro, and any forbearance by Metro to exercise its rights under this Agreement in the event of any breach of any terms of this Agreement by Grantor shall not be deemed or construed to be a waiver by Metro of such term, or of any subsequent breach of the same, or any other term of this Agreement, or of any of Metro's rights under this Agreement. No delay or omission by Metro in the exercise of any right or remedy upon any breach by Grantor shall impair such right or remedy or be construed as a waiver.

7. Waiver of Certain Defenses. Grantor hereby waives any defense of laches, estoppel, or prescription.

8. Acts Beyond Grantor's Control. Nothing contained in this Agreement shall be construed to entitle Metro to bring any action against Grantor for any injury to or change in the Property resulting from causes beyond Grantor's control, including, without limitation, fire, flood, storm, and earth movement, or from any prudent action taken by Grantor under emergency conditions to prevent, abate, or mitigate significant injury to the Property resulting from such causes.

9. Amendment. If circumstances arise under which an amendment to or modification of this Agreement is appropriate, the Grantor, or the then current owner of the Property, and Metro are free to jointly amend this Agreement without prior notice to any other party; provided that any amendment shall be in writing; shall be consistent with the purpose of the Easement; shall not affect its perpetual duration; and shall have the unanimous consent of the Metro Greenways Commission.

10. Extinguishment. If circumstances arise in the future that render the purpose of the Easement impossible to accomplish, the Easement can only be

terminated or extinguished, whether in whole or in part, by judicial proceedings in a court of competent jurisdiction.

11. Assignment. The Easement is transferable, but Metro may assign its rights and obligations under this Agreement only to an organization that is a qualified organization at the time of transfer under Section 170(h) of the Internal Revenue Code of 1954, as amended, and the applicable regulations promulgated thereunder and authorized to acquire and hold conservation easements. As a condition of such transfer, Metro shall require that the conservation purposes which this grant is intended to advance continue to be carried out. Notwithstanding the foregoing, Metro has the right to assign its rights and obligations under Section 2(b) above to any other entity to perform such maintenance and construction work.

12. Subsequent Transfers. Grantor agrees to incorporate the terms of this Agreement in any deed or other legal instrument by which it divests itself of any interest in all or a portion of the Property, including, without limitation, a leasehold interest. Grantor further agrees to give written notice to Metro of the transfer of any interest at least thirty (30) days prior to the date of such transfer. The failure of Grantor to perform any act required by this paragraph shall not impair the validity of the Easement or limit its enforceability in any way.

13. General Provisions.

a. Controlling Law. The interpretation and performance of this Agreement shall be governed by the laws of the State of Tennessee.

b. Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Agreement shall be liberally construed in favor of the grant to effect the purpose of the Easement and the policy and purpose of Tenn. Code Ann. §§ 66-9-301 to 309. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of the Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

c. Severability. If any provision of this Agreement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Agreement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, shall not be affected thereby.

d. Entire Agreement. This instrument sets forth the entire agreement of the parties with respect to the Easement and supersedes all prior discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with paragraph ten (10).

e. Successors. The covenants, terms, conditions, and restrictions of this Agreement shall be binding upon, and inure to the benefit of, the parties hereto and their respective personal representatives, heirs, successors, and assigns, and shall continue as a servitude running in perpetuity with the Property.

TO HAVE AND TO HOLD said Easement unto Metro, its successors, and assigns, forever.

[Signatures begin on the following page.]

IN WITNESS WHEREOF, we have caused this instrument to be executed as of this ____ day of _____, 20__.

GRANTOR:

THE SPORTS AUTHORITY OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

By:
Name:
Title:

ACCEPTED:

THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DIRECTOR, PARKS AND RECREATION

STATE OF _____)
COUNTY OF _____)

On this the ____ day of _____, 2021, before me personally appeared _____, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he/she executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

NOTARY PUBLIC

My Commission Expires: _____

STATE OF TENNESSEE)
)
COUNTY OF DAVIDSON)

On this the ____ day of _____, 2021, before me personally appeared _____, who acknowledged himself to be the Director of the Metropolitan Government Department of Parks and Recreation, and that he, as such Director, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

NOTARY PUBLIC

My Commission Expires: _____

Exhibit A

DESCRIPTION OF THE PROPERTY

BALLPARK VILLAGE GREENWAY EASEMENT

BEING A GREENWAY EASEMENT LYING IN NASHVILLE, DAVIDSON COUNTY, TENNESSEE, SAID EASEMENT IS LOCATED ON THE PROPERTY AS CONVEYED TO METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, OF RECORD AS 201504270037659, R.O.D.C.T. (REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE) AND SHOWN AS LOT 1 ON THE PLAT ENTITLED, "SULPHUR DELL BALLPARK" OF RECORD AS INSTRUMENT NUMBER 201504140032948, R.O.D.C.T. SAID EASEMENT IS BOUNDED ON THE EAST BY 5TH AVENUE NORTH, ON THE SOUTH BY 4TH AVENUE NORTH AND ON THE EAST BY 3RD AVENUE NORTH AND BEING MORE PARTICULARLY DESCRIBED, BY METES AND BOUNDS, AS FOLLOWS:

BEGINNING AT AN IRON ROD (OLD) IN THE WESTERLY RIGHT-OF-WAY LINE OF 3RD AVENUE NORTH, AT THE NORTHEASTERLY CORNER OF SULPHUR DELL LAND, LLC, OF RECORD AS INSTRUMENT NUMBER 201506300062982, R.O.D.C.T., AND SHOWN AS LOT 3 ON THE PLAT ENTITLED, "SULPHUR DELL BALLPARK" OF RECORD AS INSTRUMENT NUMBER 201504140032948, R.O.D.C.T., AT THE SOUTHEASTERLY CORNER OF SAID METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, BEING LOT 1 OF SAID SULPHUR DELL BALLPARK, AND BEING THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED EASEMENT;

THENCE, LEAVING SAID RIGHT-OF-WAY WITH SAID LOT 3, FOR THE NEXT THREE CALLS:

- 1) SOUTH 62°31'16" WEST, 67.12 FEET TO AN IRON ROD (OLD);
- 2) WITH A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 25°29'41", A RADIUS OF 722.36 FEET, AN ARC LENGTH OF 321.43 FEET, WITH A BEARING AND DISTANCE OF SOUTH 37°21'23" WEST, 318.78 FEET TO AN IRON ROD (OLD);
- 3) SOUTH 27°21'24" EAST, 62.59 FEET TO AN IRON ROD (OLD), IN THE NORTHERLY RIGHT-OF-WAY LINE OF 4TH AVENUE NORTH;

THENCE, WITH SAID 4TH AVE N, WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 83°37'14", A RADIUS OF 45.00 FEET, AN ARC LENGTH OF 65.68 FEET, WITH A BEARING AND DISTANCE OF SOUTH 62°38'48" WEST, 60.00 FEET TO A POINT IN THE EASTERLY LINE OF METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, OF RECORD AS INSTRUMENT NUMBER 201312190128377, R.O.D.C.T. AND SHOWN AS LOT 4 OF SAID SULPHUR DELL BALLPARK;

THENCE, LEAVING SAID RIGHT-OF-WAY WITH SAID LOT 4 FOR THE NEXT FIVE CALLS:

- 1) NORTH 27°21'12" WEST, 31.36 FEET TO A POINT;
- 2) SOUTH 62°38'48" WEST, 18.67 FEET TO A POINT;
- 3) WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 28°30'45", A RADIUS OF 262.59 FEET, AN ARC LENGTH 130.67 FEET, WITH A BEARING AND DISTANCE OF SOUTH 47°33'21" WEST, 129.33 FEET TO A POINT;
- 4) SOUTH 29°43'56" WEST, 107.29 FEET TO A POINT;
- 5) WITH A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 42°06'14", A RADIUS OF 171.43 FEET, AN ARC LENGTH OF 125.98 FEET, WITH A BEARING AND DISTANCE OF SOUTH 52°24'37" WEST, 123.16 FEET TO A POINT IN THE EASTERLY RIGHT-OF-WAY OF 5TH AVENUE NORTH;

THENCE, WITH SAID 5TH AVE N, NORTH 27°21'15" WEST, 46.52 FEET TO A POINT;

THENCE, LEAVING SAID RIGHT-OF-WAY AND CROSSING SAID METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, OF RECORD AS 201504270037659, R.O.D.C.T. AND SHOWN AS LOT 1 ON THE PLAT ENTITLED, "SULPHUR DELL BALLPARK" OF RECORD AS INSTRUMENT NUMBER 201504140032948, R.O.D.C.T., FOR THE NEXT NINE CALLS:

- 1) NORTH 44°24'23" EAST, 133.32 FEET TO A POINT;
- 2) NORTH 42°09'15" EAST, 93.68 FEET TO A POINT;
- 3) WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 19°05'30", A RADIUS OF 315.00 FEET, AN ARC LENGTH OF 104.96 FEET, WITH A BEARING AND DISTANCE OF NORTH 32°36'30" EAST, 104.48 FEET TO A POINT;
- 4) NORTH 23°03'45" EAST, 11.09 FEET TO A POINT;
- 5) WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 50°53'28", A RADIUS OF 300.00 FEET, AN ARC LENGTH OF 266.47 FEET, WITH A BEARING AND DISTANCE OF NORTH 52°08'34" EAST, 257.79 FEET TO A POINT;
- 6) NORTH 26°35'10" EAST, 68.72 FEET TO A POINT;
- 7) NORTH 34°02'57" EAST, 66.63 FEET TO A POINT;
- 8) WITH A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 20°51'00", A RADIUS OF 205.00 FEET, AN ARC LENGTH OF 74.60 FEET, WITH A BEARING AND DISTANCE OF NORTH 52°05'46" EAST, 74.19 FEET TO A POINT;
- 9) NORTH 62°31'16" EAST, 16.43 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY LINE OF 3RD AVENUE NORTH;

THENCE, WITH SAID RIGHT-OF-WAY LINE, SOUTH 27°10'24" EAST, 31.95 FEET TO THE POINT OF BEGINNING AND CONTAINING 35,000 SQUARE FEET OR 0.80 ACRES, MORE OR LESS.



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHD BRG	CHORD
C1	25°29'41"	722.36'	321.43'	S37°21'23"W	318.78'
C2	83°37'14"	45.00'	65.68'	S62°38'48"W	60.00'
C3	28°30'45"	262.59'	130.67'	S47°33'21"W	129.33'
C4	42°06'14"	171.43'	125.98'	S52°24'37"W	123.16'
C5	19°05'30"	315.00'	104.96'	N32°36'30"E	104.48'
C6	50°53'28"	300.00'	266.47'	N52°08'34"E	257.79'
C7	20°51'00"	205.00'	74.60'	N52°05'46"E	74.19'

LOT 1
SULPHUR DELL BALLPARK
PLAT INSTRUMENT
NUMBER
201504140032948,
R.O.D.C.T.

LOT 3
SULPHUR DELL BALLPARK
PLAT INSTRUMENT
NUMBER
201504140032948,
R.O.D.C.T.

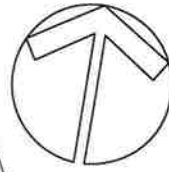
MAP 82-13, PARCEL 406
SULPHUR DELL LAND, LLC
INSTRUMENT NUMBER
201506300062982,
R.O.D.C.T.

LOT 4
SULPHUR DELL BALLPARK
PLAT INSTRUMENT
NUMBER
201504140032948
R.O.D.C.T.

MAP 82-13, PARCEL 404
METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY
INSTRUMENT NUMBER
201312190128377,
R.O.D.C.T.

MAP 82-13, PARCEL 404
METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY
201504270037659,
R.O.D.C.T.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S62°31'16"W	67.12'
L2	S27°21'24"E	62.59'
L3	N27°21'12"W	31.36'
L4	S62°38'48"W	18.67'
L5	S29°43'56"W	107.29'
L6	N27°21'15"W	46.52'
L7	N44°24'23"E	133.32'
L8	N42°09'15"E	93.68'
L9	N23°03'45"E	11.09'
L10	N26°35'10"E	68.72'
L11	N34°02'57"E	66.63'
L12	N62°31'16"E	16.43'
L13	S27°10'24"E	31.95'



RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE
211 WOODLAND STREET
NASHVILLE, TN 37208
615.259.1111
www.ragan-smith.com

**BALLPARK VILLAGE
GREENWAY EASEMENT**
19 JUNIOR GILLIAM WAY, NASHVILLE,
DAVIDSON COUNTY, TENNESSEE

DATE: MARCH 22, 2021
DESIGNED: TJS
DRAWN: TJS
SCALE: 1" = 100'
JOB NO.: WK. ORDER
20171
2028

EXHIBIT B
DEPICTION OF PROPERTY AND IMPROVEMENTS

**VOLUME 1
CONSTRUCTION DOCUMENTS**

**BALLPARK VILLAGE - GREENWAY
NASHVILLE, TENNESSEE**

OCTOBER 5, 2021



SITE DATA

PROPERTY INFORMATION

STREET ADDRESS: 3RD AVE, NASHVILLE, TN 37219
 PROPERTY OWNER:
 PARCEL ACREAGE: 406
 PARCEL ID:
 COUNCIL DISTRICT NUMBER:
 DISTRICT COUNCIL MEMBER:

ZONING INFORMATION

ZONING CLASSIFICATION:
 ZONING OVERLAY DISTRICT:
 COMM CHARACTER POLICY:

OWNER / DEVELOPER

MARC BRAMBRULT & BRITTANI SANDERS
 PORTMAN RESIDENTIAL
 303 PEACHTREE CENTER AVE SUITE #575
 ATLANTA, GEORGIA 30303
 (404) 514-5483
 mbramb@portmanresidential.com
 bsanders@portmanresidential.com

CALL THREE WORKING DAYS
 BEFORE YOU DIG.
 1-800-351-1111
 IN NASHVILLE: 366-1987



ALL CONSTRUCTION ACTIVITIES SHALL
 BE COMPLETED IN FULL COMPLIANCE
 WITH THE AMERICANS WITH DISABILITIES
 ACT (ADA) AND ARCHITECTURAL AND
 TRANSPORTATION BARRIERS
 COMPLIANCE BOARD, FEDERAL
 REGISTER 36CFR PARTS 1190 AND 1191,
 ACCESSIBILITY GUIDELINES FOR
 BUILDINGS AND FACILITIES;
 ARCHITECTURAL BARRIERS ACT (ABA)
 ACCESSIBILITY GUIDELINES; PROPOSED
 RULE, PUBLISHED IN THE FEDERAL
 REGISTER ON JULY 23, 2004,

INDEX OF SHEETS

GENERAL

- 11 000 COVER SHEET
- 11000 DEMO PLAN

CIVIL

- 11C0 1 CIVIL NOTES
- 11C0 2 EXISTING CONDITIONS
- 11C1 1 SITE LAYOUT PLAN
- 11C2 1 INITIAL EROSION CONTROL PLAN
- 11C3 1 SITE GRADING, DRAINAGE, & EROSION CONTROL PLAN
- 11C3 2 PUBLIC STORM SEWER REROUTE
- 11C3 3 FINAL EROSION CONTROL PLAN
- 11C4 1 SITE UTILITY PLAN
- 11C5 1 CIVIL DETAILS
- 11C5 2 CIVIL DETAILS
- 11C5 3 CIVIL DETAILS

LANDSCAPE

- 11L100 MATERIAL PLAN
- 11L200 LAYOUT PLAN
- 11L200 LAYOUT PLAN
- 11L300 HARDSCAPE DETAILS
- 11L301 HARDSCAPE DETAILS
- 11L400 LANDSCAPE PLAN
- 11L410 LANDSCAPE DETAILS
- 11L500 IRRIGATION PLAN
- 11L510 IRRIGATION DETAILS
- 11L511 IRRIGATION DETAILS
- 11L600 LIGHTING PLAN
- 11L601 PHOTOMETRICS PLAN
- 11L700 SPECIFICATIONS
- 11L701 SPECIFICATIONS
- 11L702 SPECIFICATIONS

PREPARED BY:

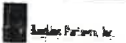


CONTACT: BRIAN PHELPS
 B.PHELPS@HAWKINSPARTNERS.COM

CIVIL ENGINEER
 HAWKINS-PHELPS ASSOCIATES, INC.
 315 WOODLAND ST.
 NASHVILLE, TN 37206
 CONTACT: MCKY DOBSON
 MDOBSON@RAGANSMITH.COM



DYNAMIK
DESIGN



CONTRACT



PROJECT NUMBER: PM080341
 NASHVILLE, TN
BALLPARK VILLAGE MIXED-USE
 CLIENT

DATE	ISSUED FOR	BY

TITLE
COVER SHEET - GREENWAY

SHEET NUMBER
0.00

3RD AVE. N

GREENWAY EASEMENT
 REDMONT GAS EASEMENT
 FENCE TO BE REMOVED & STOCKPILED
 INTERPRETIVE SIGNAGE TO BE REMOVED AND RELOCATED. REMOVE ALL CONNECTION HARDWARE TO BE FLUSH WITH PAVEMENT. REFER TO MATERIAL PLAN FOR LOCATION.



LEGEND

- FENCE & GATE TO BE REMOVED
- CONCRETE TO BE SAWCUT CLEANLY IN A MANNER CONSISTENT WITH DESIGN LAYOUT
- REMOVE SHRUBS & GROUND COVER

NOTES:

1. NOTIFY AND COORDINATE DEMOLITION WITH METRO GREENWAYS, NASHVILLE SPORTS AUTHORITY, AND THE STATE OF TENNESSEE PRIOR TO COMMENCING WITH DEMOLITION. PRE-CONSTRUCTION MEETING SHOULD BE CONDUCTED PRIOR TO DEMOLITION.
2. EROSION CONTROL MEASURES SHALL BE PUT IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION BEGINNING. (SEE SHEET C1.1)
3. NO OBSTRUCTION OR DEMOLITION OF ANY UTILITY INFRASTRUCTURE SHALL TAKE PLACE WITHOUT PRIOR COORDINATION WITH UTILITY OWNER. LOCATE ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO CONSTRUCTION.
4. COORDINATE STOCKPIPING OF FENCING, SIGNAGE, CONCRETE BLOCKS AND GATEWAY WITH THE STATE OF TENNESSEE, METRO GREENWAYS, AND THE NASHVILLE SPORTS AUTHORITY.
5. CONSTRUCTION MEETING TO TAKE PLACE WITH ALL PARTIES PRIOR TO CONSTRUCTION.

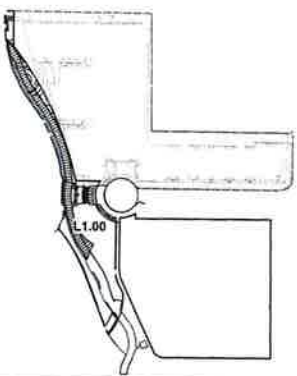
CONCRETE WASHOUT NOTE

CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT WASHING IN ACCORDANCE WITH METRO CP-11 AND CA-18. INTERMITTENT CONTRACTOR TO EXPOSURE READY LOCATION WITHIN THE DEPARTMENT DURING PRE-CONSTRUCTION MEETING. LOCAL PERMITS TO INCLUDE WASHING BEHIND TO CONTROL SITE WATER SUCH AS DISCHARGE. REMOVE WASHING, CHANGING LITTLE AND SANITARY RESULTS. CONTACT LOCAL AGENCIES AND METRO TO OBTAIN QUALITY. THE LOCATION OF ACTION NOTE REFERRED TO SAID WORK SHALL BE SHOWN ON THE EPCO PLAN.

EPSC NOTE

ALL UTILITIES EPSC SHALL BE MARKED, TYPED AND DEPTH INDICATED.

KEY PLAN



BLDG., REFER TO ARCH. DWGS.

SOUNDS STADIUM (METROPOLITAN SPORTS AUTHORITY)

RELOCATE CUBE SEATS. REFER TO MATERIAL PLAN FOR LOCATION
 SAW CUT & REMOVE CONCRETE & BASE DOWN TO SUBGRADE
 EXISTING CONCOURSE
 REMOVE LANDSCAPE BED
 EXISTING SIGN TO REMAIN
 EXISTING STAIRS TO REMAIN
 SANITARY EASEMENT

2 PLAN: GREENWAY SEGMENT 2
 SCALE: 1" = 20'-0"

4TH AVE. N

MATCHLINE REFER TO D101.00
 STATE OF TENNESSEE
 REMOVE SHRUBS & GROUND COVER
 STOCKPILE AND RELOCATE CUBE SEATS. REFER TO MATERIAL PLAN FOR LOCATION
 REMOVE CONCRETE & BASE DOWN TO SUBGRADE

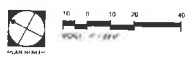
SOUNDS STADIUM (METROPOLITAN SPORTS AUTHORITY)

STOCKPILE AND REMOVE CONCRETE & BASE DOWN TO SUBGRADE
 RELOCATE CUBE SEATS. REFER TO MATERIAL PLAN FOR LOCATION

EXISTING FENCE TO REMAIN
 GREENWAY EASEMENT

REMOVE & STOCKPILE FENCE AND GATE

1 PLAN: GREENWAY SEGMENT 1
 SCALE: 1" = 20'-0"



DYNAMIK DESIGN

300 PRAIRIE DUNWOODY RD
 SUITE 100
 ATLANTA, GA 30328
 404.254.8888
 DYNAMIKDESIGN.COM

Consultant:

SEAL:

PROJECT NUMBER: PAR000107
 BALLPARK VILLAGE MIXED-USE
 NASHVILLE, TN

TITLE: DEMO PLAN - GREENWAY

SHEET NUMBER: D1.00

© 2020 DYNAMIK DESIGN

RSA STANDARD NOTES

SITE GENERAL NOTES

1. The contractor shall verify the location of all existing utilities in the proximity of the construction area and report any discrepancies to the owner's representative prior to beginning work.
2. The contractor shall adhere to all local, state and federal codes and standards pertaining to site engineering work.
3. The contractor shall check all proposed grades and dimensions and report any discrepancies to the owner's representative prior to beginning work.
4. Contractors are to be held fully liable for erosion and sediment control measures.
5. Proposed building footings to be drilled piers in place. Contractor shall use the current established design for building columns and verify that all columns are within 1/4" of design.
6. All utility markings shall conform to the manual of uniform traffic control devices (MUTCD), all pavement markings shall be furnished to the contractor by the owner.
7. All drainage ditches, storm drains and manholes shall comply with the current ACA requirements.
8. Erosion control measures shall be provided for the total building area. Contractors shall coordinate their erosion and sedimentation control measures with their state and local regulatory agencies to the owner's representative.
9. Maintain one set of detailed drawings on the site for reference in the event of any construction change. Contractors shall maintain one set of drawings on the site for reference in the event of any construction change. Contractors shall maintain one set of drawings on the site for reference in the event of any construction change.
10. Provide a written transfer between existing pavement and new pavement. Field observations of field conditions shall be provided to the contractor for verification of pavement.

SITE CONSTRUCTION NOTES

1. The contractor shall be responsible for the work shown on these drawings and shall be held liable for the contractor's error in interpretation of any work on the drawings. The contractor shall use all reasonable means and shall be held liable for any work on the drawings. The contractor shall use all reasonable means and shall be held liable for any work on the drawings.
2. The contractor shall be responsible for the work shown on these drawings and shall be held liable for the contractor's error in interpretation of any work on the drawings. The contractor shall use all reasonable means and shall be held liable for any work on the drawings.
3. The location of existing utility and underground utilities shall be marked and identified by the contractor using all available means. The contractor shall be held liable for any work on the drawings.
4. The contractor shall be responsible for the work shown on these drawings and shall be held liable for the contractor's error in interpretation of any work on the drawings. The contractor shall use all reasonable means and shall be held liable for any work on the drawings.
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DEMOLITION NOTES

1. The contractor shall be responsible for the work shown on these drawings and shall be held liable for the contractor's error in interpretation of any work on the drawings. The contractor shall use all reasonable means and shall be held liable for any work on the drawings.
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EROSION PREVENTION AND SEDIMENT CONTROLS

1. All erosion prevention measures shall be properly installed and maintained in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
2. Erosion prevention measures shall be installed in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
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10. Erosion prevention measures shall be installed in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.

TREE PROTECTION NOTES

1. All trees to be protected shall be identified and marked in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
2. All trees to be protected shall be identified and marked in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
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SITE GRADING & STORM DRAINAGE NOTES

1. Erosion control measures shall be installed in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
2. Erosion control measures shall be installed in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
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10. Erosion control measures shall be installed in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.

SITE UTILITY NOTES

1. All utility lines shall be identified and marked in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.
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10. All utility lines shall be identified and marked in accordance with the manufacturer's specifications. EPCO shall be installed in accordance with the manufacturer's specifications.

GEOTECHNICAL NOTE

1. A geotechnical report has been prepared for this site by [Name], dated April 12, 2010. This contractor shall be responsible for verifying the geotechnical report and shall coordinate with the geotechnical engineer for any necessary changes to the foundation and retaining walls of the project.

RSA SPECIAL NOTES

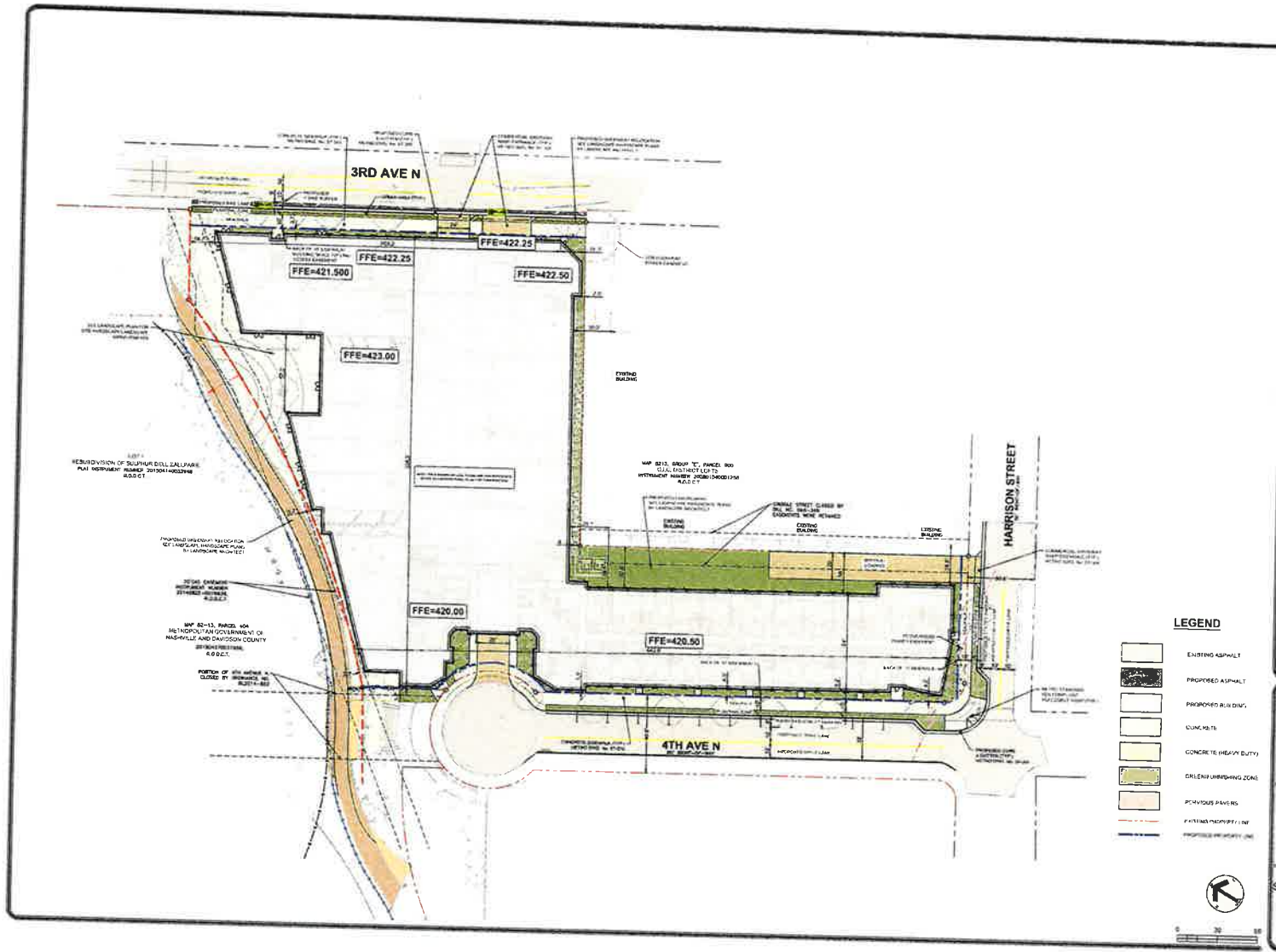
1. Contractor to allow existing utility easements to remain.



BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF NASSAU COUNTY, FLORIDA

DATE	REVISION	BY	APP'D
2010	1	[Name]	[Signature]
2011	2	[Name]	[Signature]

CIVIL NOTES
C0.1



BALL PARK VILLAGE MIXED-USE

FOR
PORTMAN RESIDENTIAL

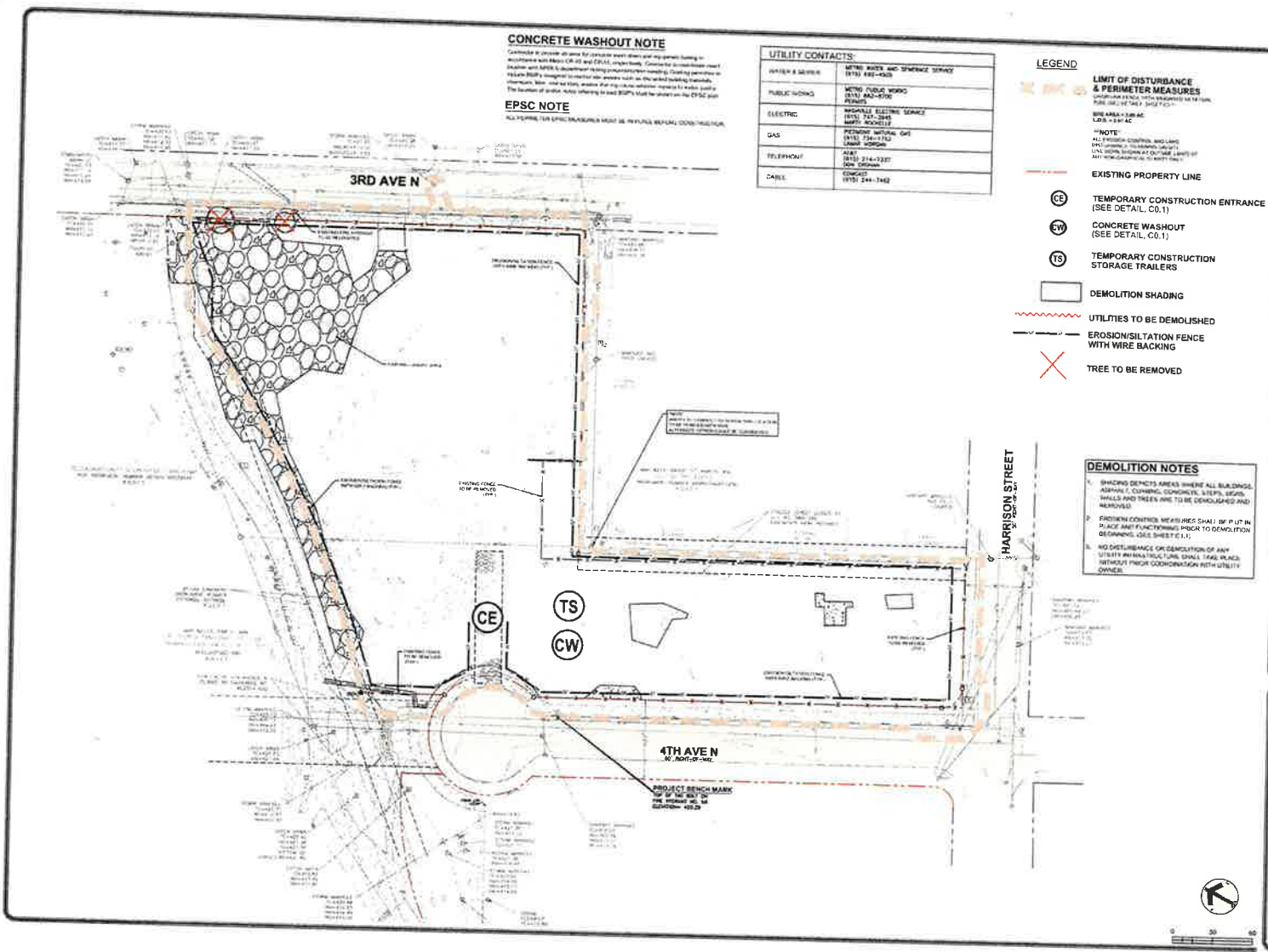
CITY OF ANNAPOLIS, THURSTONE COUNTY, MARYLAND

NO.	DATE	DESCRIPTION
2017	12/21/17	REVISION: REVISION TO THE PLAN
2018	01/24/18	REVISION: REVISION TO THE PLAN
2018	02/22/18	REVISION: REVISION TO THE PLAN
2018	03/22/18	REVISION: REVISION TO THE PLAN
2018	04/22/18	REVISION: REVISION TO THE PLAN
2018	05/22/18	REVISION: REVISION TO THE PLAN
2018	06/22/18	REVISION: REVISION TO THE PLAN
2018	07/22/18	REVISION: REVISION TO THE PLAN
2018	08/22/18	REVISION: REVISION TO THE PLAN
2018	09/22/18	REVISION: REVISION TO THE PLAN
2018	10/22/18	REVISION: REVISION TO THE PLAN
2018	11/22/18	REVISION: REVISION TO THE PLAN
2018	12/22/18	REVISION: REVISION TO THE PLAN

SITE LAYOUT PLAN

C.1.1

NOTE: CIVIL DWGS ARE 24"x36"
THIS IS SHOWN AT FULL SCALE



CONCRETE WASHOUT NOTE

Concrete to be removed shall be removed from site and disposed of in accordance with RCRA, CWA and CERRL requirements. Concrete to be removed shall be placed in a concrete washout area. Washout area shall be located on the site and shall be located in an area that is not adjacent to any water bodies. The location of washout area shall be indicated on the EPSC plan.

EPSC NOTE

ALL EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE CONSTRUCTION.

UTILITY CONTACTS:	
WATER & SEWER	MTS WATER AND SEWERAGE SERVICE (973) 482-1000
PUBLIC WORKS	MTS PUBLIC WORKS (973) 482-4300
ELECTRIC	NEWJERSEY ELECTRIC SERVICE (973) 737-2400 NJEPSC: NJEPSC.NJ
GAS	PECONIC NATURAL GAS (973) 734-7300 LARGE: 800-665-0000
TELEPHONE	AT&T (973) 714-1227 DOW: 800-393-6342
CABLE	COMCAST (973) 244-1342

LEGEND

- EXISTING PROPERTY LINE
- TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL, C0.1)
- CONCRETE WASHOUT (SEE DETAIL, C0.1)
- TEMPORARY CONSTRUCTION STORAGE TRAILERS
- DEMOLITION SHADING
- UTILITIES TO BE DEMOLISHED
- EROSION/SILTATION FENCE WITH WIRE BACKING
- TREE TO BE REMOVED

DEMOLITION NOTES

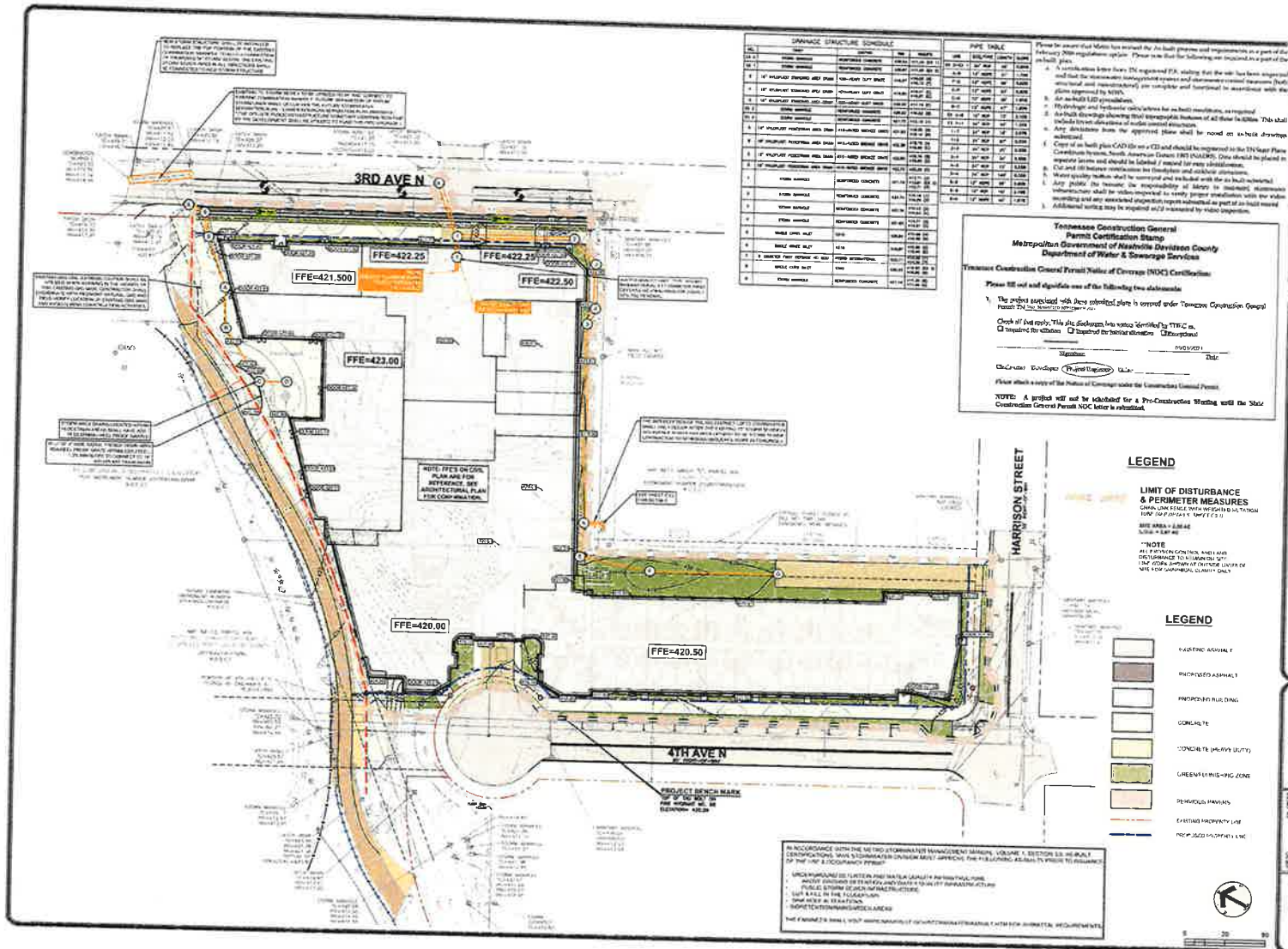
- SHADING DEMONSTRATES AREAS WHERE ALL BUILDINGS, ASPHALT, CURBS, CONCRETE, STEPS, BERMS, SHADES AND TREES ARE TO BE DEMOLISHED AND REMOVED.
- DEMOLITION CONTROL MEASURES SHALL BE PUT IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION BEGINNING (SEE SHEET C-1).
- NO DISTURBANCE OR DEMOLITION OF ANY UTILITY INFRASTRUCTURE SHALL TAKE PLACE WITHOUT PRIOR COORDINATION WITH UTILITY OWNER.



BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF NASHVILLE, TENNESSEE

DATE: 2017.11.01
 PROJECT: 2017.11.01
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT BENCH MARK: [Name]
 INITIAL EROSION CONTROL PLAN
C2.1

NOTE: CIVIL DWGS ARE 24" x 36"
THIS IS SHOWN AT FULL SCALE



DRAINAGE STRUCTURE SCHEDULE			
NO.	DESCRIPTION	AMOUNT	DATE
1	1" DIA. 10' LONG	10	01/15/17
2	1" DIA. 10' LONG	10	01/15/17
3	1" DIA. 10' LONG	10	01/15/17
4	1" DIA. 10' LONG	10	01/15/17
5	1" DIA. 10' LONG	10	01/15/17
6	1" DIA. 10' LONG	10	01/15/17
7	1" DIA. 10' LONG	10	01/15/17
8	1" DIA. 10' LONG	10	01/15/17
9	1" DIA. 10' LONG	10	01/15/17
10	1" DIA. 10' LONG	10	01/15/17
11	1" DIA. 10' LONG	10	01/15/17
12	1" DIA. 10' LONG	10	01/15/17
13	1" DIA. 10' LONG	10	01/15/17
14	1" DIA. 10' LONG	10	01/15/17
15	1" DIA. 10' LONG	10	01/15/17
16	1" DIA. 10' LONG	10	01/15/17
17	1" DIA. 10' LONG	10	01/15/17
18	1" DIA. 10' LONG	10	01/15/17
19	1" DIA. 10' LONG	10	01/15/17
20	1" DIA. 10' LONG	10	01/15/17
21	1" DIA. 10' LONG	10	01/15/17
22	1" DIA. 10' LONG	10	01/15/17
23	1" DIA. 10' LONG	10	01/15/17
24	1" DIA. 10' LONG	10	01/15/17
25	1" DIA. 10' LONG	10	01/15/17
26	1" DIA. 10' LONG	10	01/15/17
27	1" DIA. 10' LONG	10	01/15/17
28	1" DIA. 10' LONG	10	01/15/17
29	1" DIA. 10' LONG	10	01/15/17
30	1" DIA. 10' LONG	10	01/15/17
31	1" DIA. 10' LONG	10	01/15/17
32	1" DIA. 10' LONG	10	01/15/17
33	1" DIA. 10' LONG	10	01/15/17
34	1" DIA. 10' LONG	10	01/15/17
35	1" DIA. 10' LONG	10	01/15/17
36	1" DIA. 10' LONG	10	01/15/17
37	1" DIA. 10' LONG	10	01/15/17
38	1" DIA. 10' LONG	10	01/15/17
39	1" DIA. 10' LONG	10	01/15/17
40	1" DIA. 10' LONG	10	01/15/17
41	1" DIA. 10' LONG	10	01/15/17
42	1" DIA. 10' LONG	10	01/15/17
43	1" DIA. 10' LONG	10	01/15/17
44	1" DIA. 10' LONG	10	01/15/17
45	1" DIA. 10' LONG	10	01/15/17
46	1" DIA. 10' LONG	10	01/15/17
47	1" DIA. 10' LONG	10	01/15/17
48	1" DIA. 10' LONG	10	01/15/17
49	1" DIA. 10' LONG	10	01/15/17
50	1" DIA. 10' LONG	10	01/15/17

Please be aware that Metro has reviewed the site plan and requires the following as a part of the site plan:

1. A certification letter from the TN registered PE, stating that the site has been inspected and that the site plan, site plan, and stormwater management measures shall be installed and maintained in accordance with the plan approved by Metro.
2. An AS-101 LID specification.
3. Hydrologic and hydraulic calculations for all best management practices.
4. A final grading showing that topographic features of all areas within this shall include from a minimum of 10' to 15'.
5. Any distribution from the approved plan shall be noted on a site plan drawing submitted.
6. Copy of all final plan CAD files on a CD and should be prepared in the TN State Planning Commission format, North American Datum 1983 (NAD83). Data should be plotted in metric units and should be plotted in metric units.
7. Cut and fill balance calculations for the site and adjacent areas.
8. Where quality matters shall be controlled and reduced with the site plan.
9. Any other information that is necessary to verify proper installation with the values indicated on any associated inspection reports submitted as part of a final report.

Additional notes may be required and/or required by Metro inspection.

Tennessee Construction General
 Permit Certification Stamp
 Metropolitan Government of Nashville Davidson County
 Department of Water & Sewerage Services

Tennessee Construction General Permit (Title of Coverage) (NCC) Certification

Please fill out and sign the following table:

The project complies with the following table:

Check all that apply. The site address has been identified by TDEC as:

Site Address: _____

City/County: _____

Please attach a copy of the National Coverage under the Construction General Permit.

NOTE: A project will not be submitted for a Pre-Construction Meeting until the State Construction General Permit NCC letter is received.

BALLPARK VILLAGE MIXED-USE

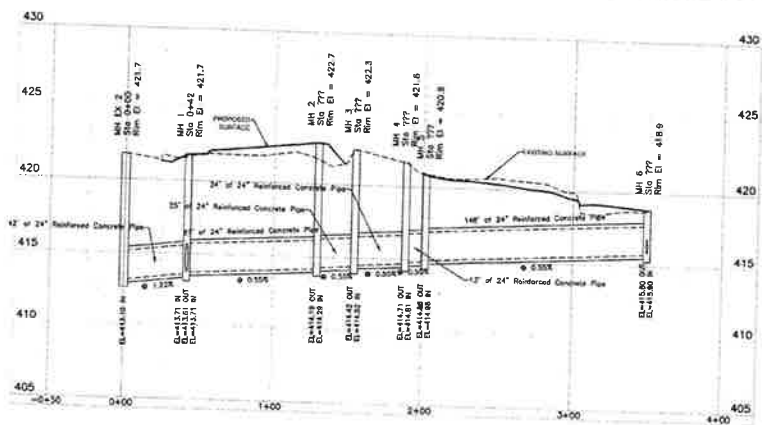
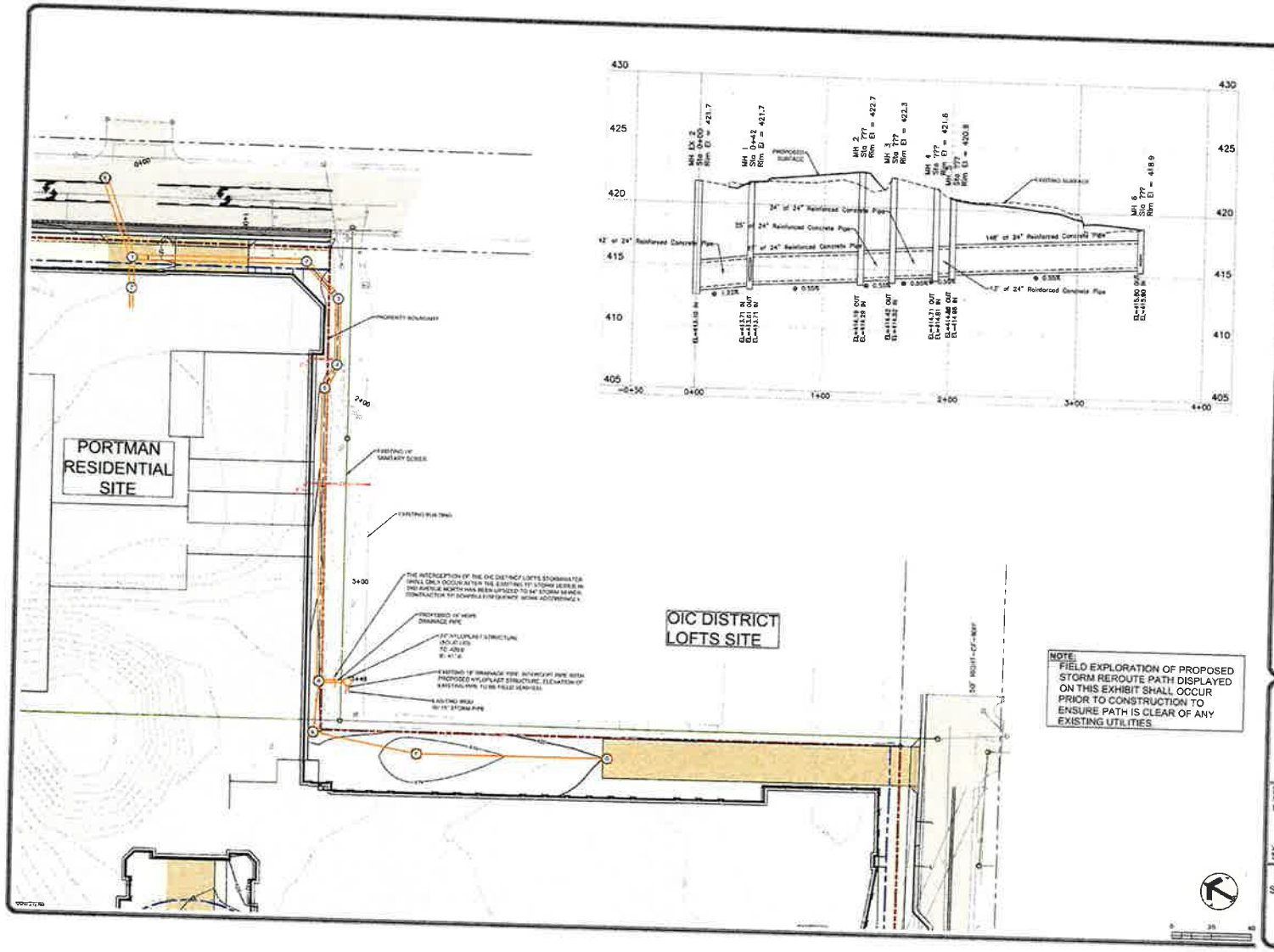
FOR
PORTMAN RESIDENTIAL

CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE

SITE GRADING, DRAINAGE & EROSION CONTROL PLAN

C3.1

NOTE: CIVIL DWGS ARE 24"x36"
 THIS IS SHOWN AT FULL SCALE



NOTE:
FIELD EXPLORATION OF PROPOSED STORM REROUTE PATH DISPLAYED ON THIS EXHIBIT SHALL OCCUR PRIOR TO CONSTRUCTION TO ENSURE PATH IS CLEAR OF ANY EXISTING UTILITIES

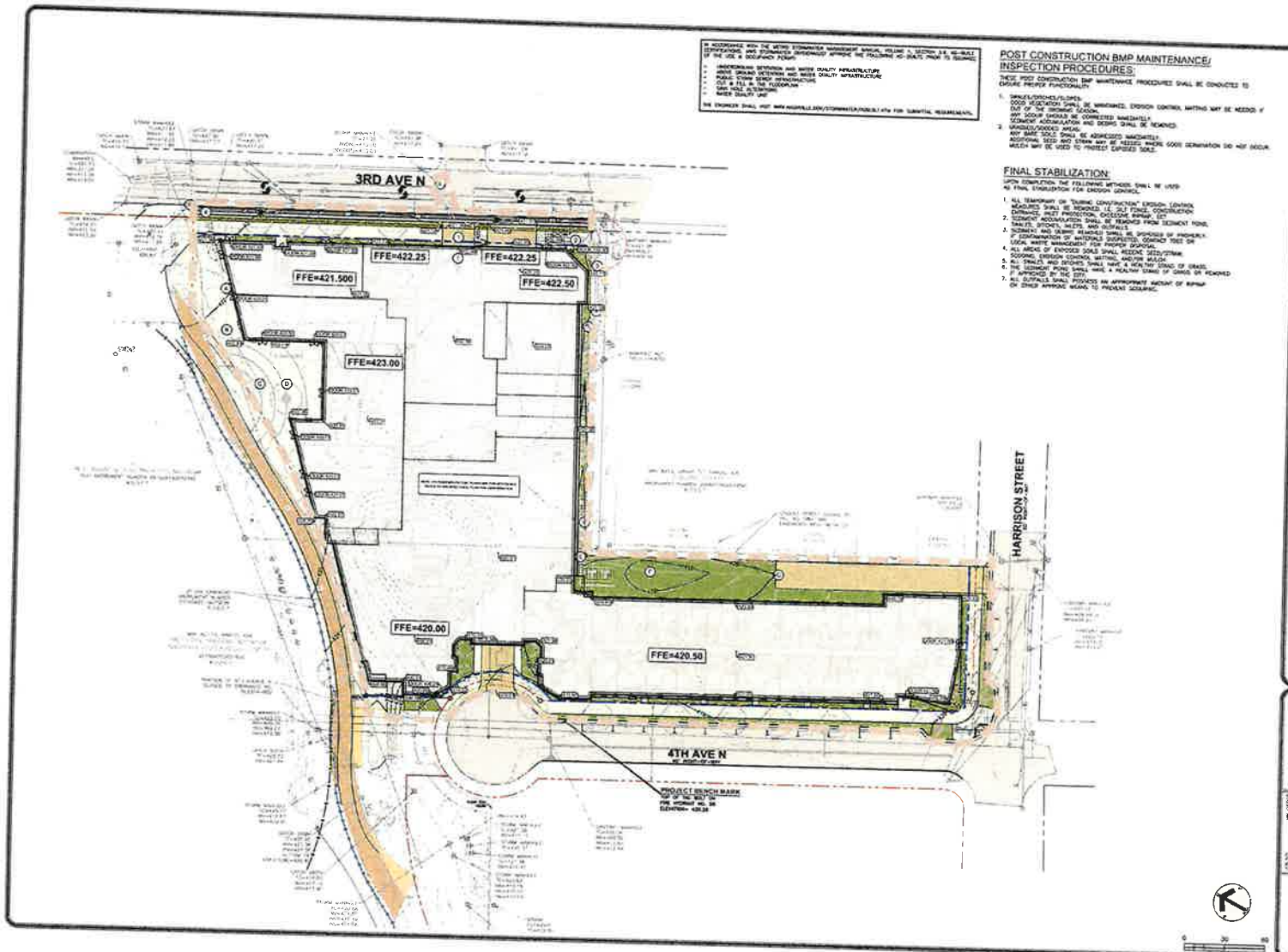


BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF MARQUETTE, MICHIGAN COUNTY TOWNSHIP

NO. 20171	2008	REVISED	DATE	BY	REASON

PUBLIC STORM SEWER REROUTE
C3.2

NOTE: CIVIL DWGS ARE 3/4" = 36"
THIS IS SHOWN AT FULL SCALE



• ACCORDANCE WITH THE STATE FLOODING MANAGEMENT ACT, HAVING A DESIGN FLOOD OF 100-YEAR FLOOD SHALL BE MAINTAINED AND FLOODING APPROVED BEFORE BEING OCCUPIED AS-PLANNED TO BE OCCUPIED BY THE USE & OCCUPANCY PERMITS.

• IMPROVING OPENINGS AND WATER QUALITY INFRASTRUCTURE SHALL BE OCCUPIED IMMEDIATELY.

• ALL FILL SHALL BE FULFILLED.

• SEE ALL NOTES.

• SEE SLOPE CHART.

• SEE ENGINEER'S REPORT: WWW.WORKABLE.COM/TOWNSHIP/PROJECTS FOR BATHWATER RESEALMENT.

POST CONSTRUCTION BMP MAINTENANCE/INSPECTION PROCEDURES:

- THESE POST CONSTRUCTION BMP MAINTENANCE PROCEDURES SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY.
1. SCHEDULED/UNPLANNED GOOD WEATHER/GOOD WEATHERS EROSION CONTROL WITHIN MAY BE NECESSARY IF ANY SODIP SHOULD BE CORRECTED IMMEDIATELY. SCHEDULED MAINTENANCE AND SODIP SHALL BE REMOVED.
 2. UNDESIRABLE/UNPLANNED SODIP SHALL BE REMOVED IMMEDIATELY. ADDITIONAL SEED AND STRAW MAY BE APPLIED WHERE GOOD WEATHERS DO NOT COVER. SEEDS MAY BE USED TO PROTECT EXPOSED SOILS.

FINAL STABILIZATION:

- UPON COMPLETION THE FOLLOWING METHODS SHALL BE USED:
1. ALL TEMPORARY OR PERMANENT CONSTRUCTION EROSION CONTROL MEASURES SHALL BE REMOVED. ALL SOIL FINAL COORDINATION, EXTERIOR, AND INTERIOR SHALL BE REMOVED FROM EROSION CONTROL.
 2. EXCESSIVE MATERIALS SHALL BE REMOVED FROM EROSION CONTROL.
 3. SOILS AND OTHER RELATED ITEMS SHALL BE REMOVED OR PROPERLY STORED/RECYCLED. ALL MATERIALS SHALL BE STORED IN PROPERLY STORED/RECYCLED CONTAINERS.
 4. ALL AREAS OF EXPOSED SOILS SHALL RECEIVE SEEDING/VEGETATION. EROSION CONTROL, WEEDS, AND/OR SOILS SHALL BE REMOVED IMMEDIATELY.
 5. THE EROSION CONTROL SHALL HAVE A HEALTHY STAGE OF GROWTH OR REMOVED.
 6. ALL EROSION CONTROL SHALL BE MAINTAINED AS APPROPRIATE AMOUNT OF MAINTENANCE OR OTHER APPROVED MEANS TO PREVENT SODIP.

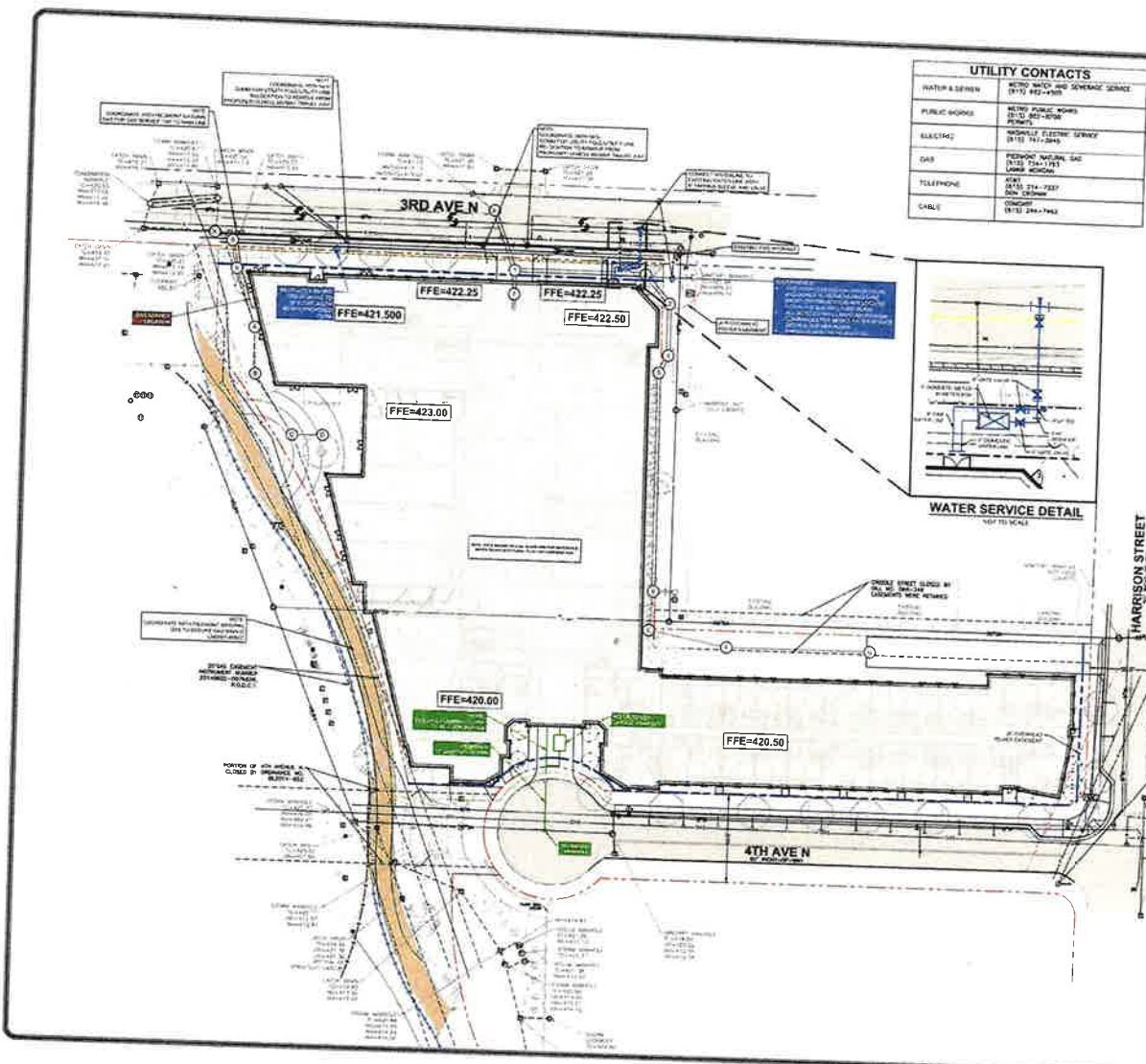
BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF HARRISBURG, DAVIDSON COUNTY, TENNESSEE

NO.	DATE	DESCRIPTION
2020	10/15/20	PRELIMINARY DESIGN
2021	01/20/21	FINAL DESIGN
2021	02/15/21	FINAL DESIGN
2021	03/15/21	FINAL DESIGN
2021	04/15/21	FINAL DESIGN
2021	05/15/21	FINAL DESIGN
2021	06/15/21	FINAL DESIGN
2021	07/15/21	FINAL DESIGN
2021	08/15/21	FINAL DESIGN
2021	09/15/21	FINAL DESIGN
2021	10/15/21	FINAL DESIGN
2021	11/15/21	FINAL DESIGN
2021	12/15/21	FINAL DESIGN

FINAL EROSION CONTROL PLAN

C3.3

NOTE: CIVIL DWGS ARE 24" x 36"
THIS IS SHOWN AT FULL SCALE



UTILITY CONTACTS	
WATER & SEWER	METRO WATER AND SEWERAGE SERVICE (615) 872-4400
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700
ELECTRIC	NORTHFLY ELECTRIC SERVICE (615) 791-3046
GAS	PEOPLES NATURAL GAS (615) 734-1191
TELEPHONE	AT&T (615) 274-2327
CABLE	COMCAST (615) 294-7462

- ### METRO WATER & SEWER NOTES
1. All water and sewer connections shall be in accordance with specifications and standards of the Metro Water and Sewerage Service.
 2. The contractor is responsible for maintaining the records and records for all of the water and sewer lines installed.
 3. The contractor is responsible for obtaining the necessary permits for all water and sewer lines installed.
 4. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 5. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 6. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 7. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 8. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 9. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 10. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 11. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.

- ### MWS STANDARD PRIVATE UTILITY PLAN NOTES
1. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
 2. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.
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 11. All water and sewer lines shall be installed in accordance with the specifications and standards of the Metro Water and Sewerage Service.



BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL

CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE

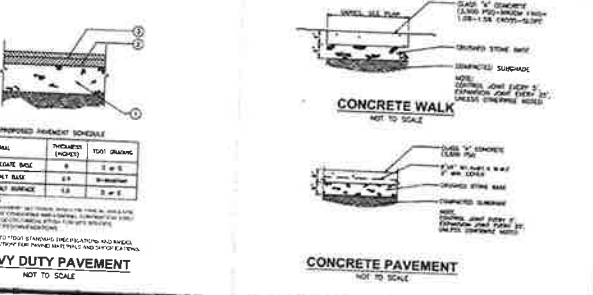
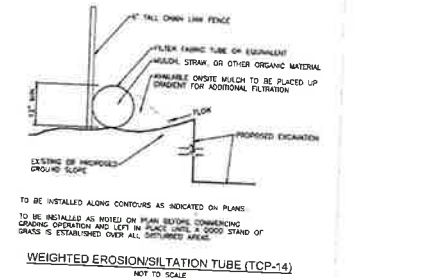
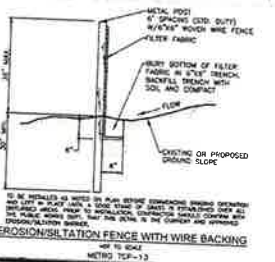
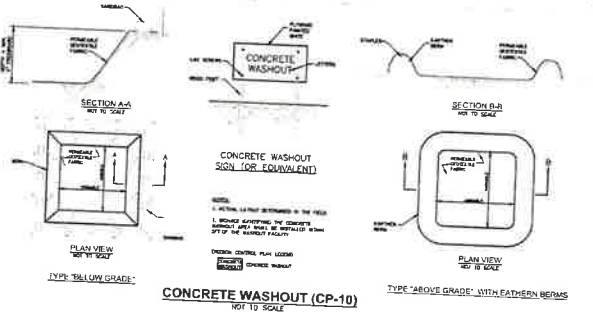
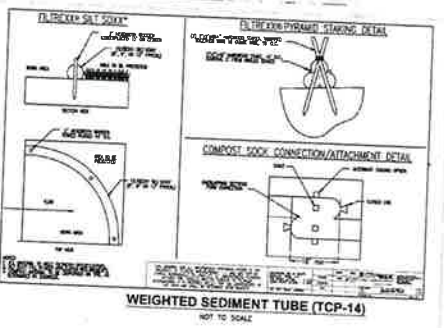
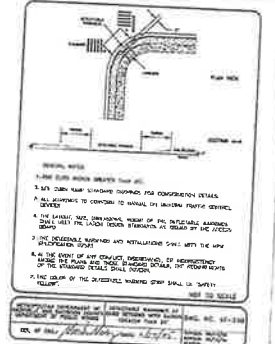
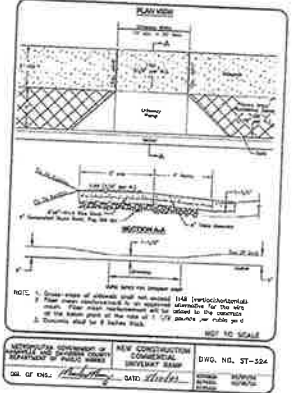
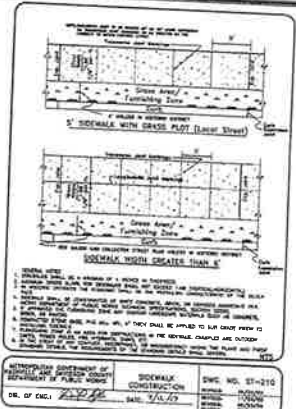
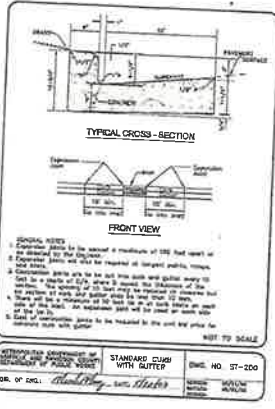
20171 2028
 11/13/2018 11/13/2018 11/13/2018 11/13/2018
 11/13/2018 11/13/2018 11/13/2018 11/13/2018
 11/13/2018 11/13/2018 11/13/2018 11/13/2018

SITE UTILITY PLAN

C4.1



NOTE: CIVIL DWGS ARE 24" x 36"
THIS IS SHOWN AT FULL SCALE



PROPOSED FINISH SCHEDULE

ITEM	THICKNESS (INCHES)	TYPICAL GRADES
1. SUBGRADE	6"	± 0.0
2. ASPHALT BASE	4"	± 0.0
3. ASPHALT SURFACE	2.5"	± 0.0

NOTES

1. FINISH GRADE SHALL BE ESTABLISHED BY THE FIELD.
2. FINISH GRADE SHALL BE ESTABLISHED BY THE FIELD.
3. FINISH GRADE SHALL BE ESTABLISHED BY THE FIELD.

HEAVY DUTY PAVEMENT

NOT TO SCALE



BALLPARK VILLAGE MIXED-USE

FOR

PORTMAN RESIDENTIAL

CITY OF NASHVILLE, TENNESSEE

CIVIL DETAILS

C5.1

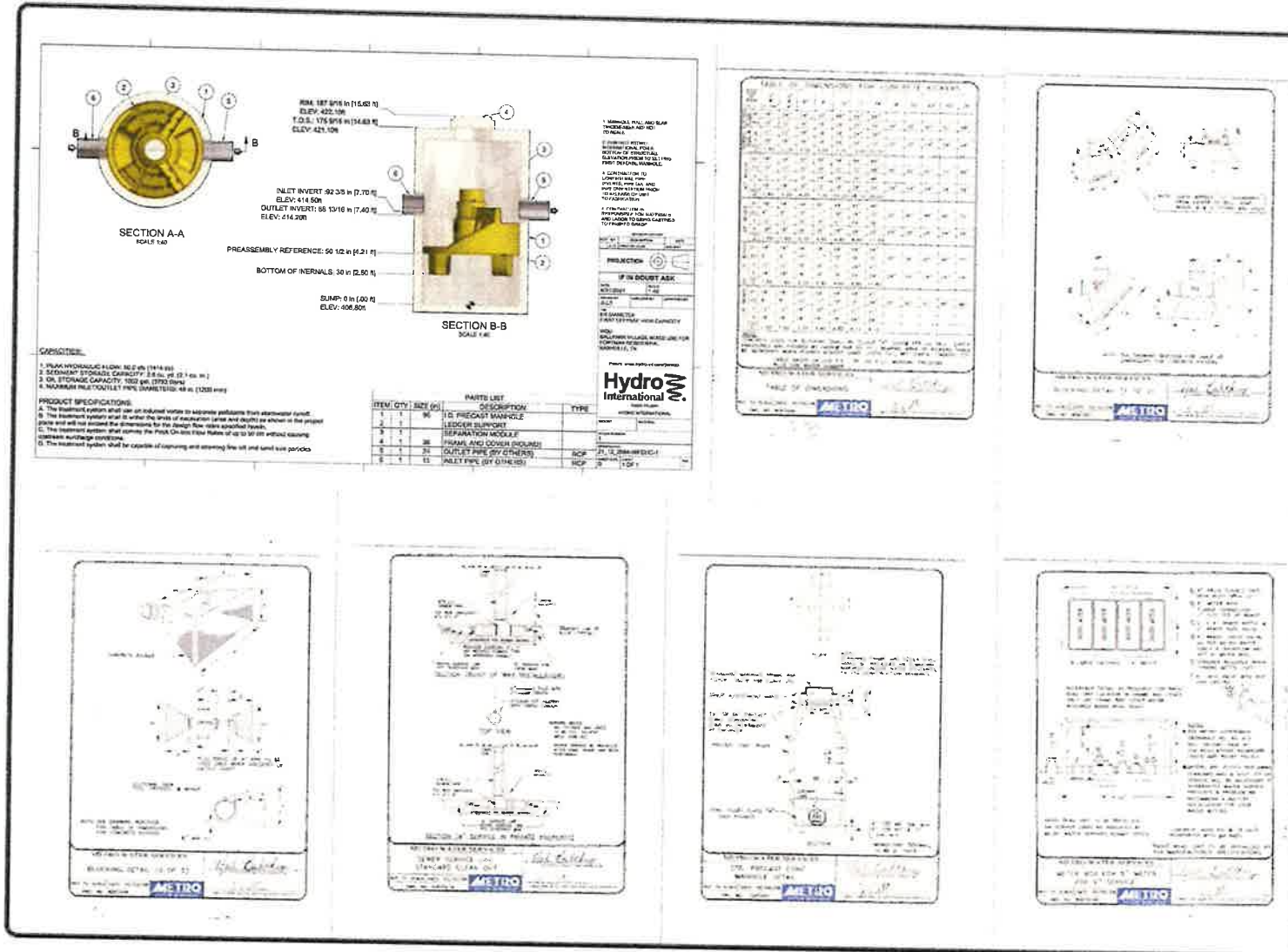
DATE: 2009

PROJECT: BALLPARK VILLAGE MIXED-USE

LOCATION: 1900 BROADWAY, NASHVILLE, TN 37203

SCALE: AS SHOWN

NOTE: CIVIL DWGS ARE 24" X 36"
THIS IS SHOWN AT FULL SCALE



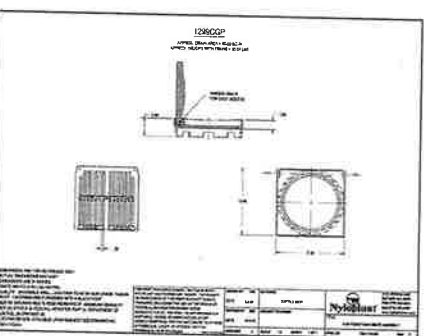
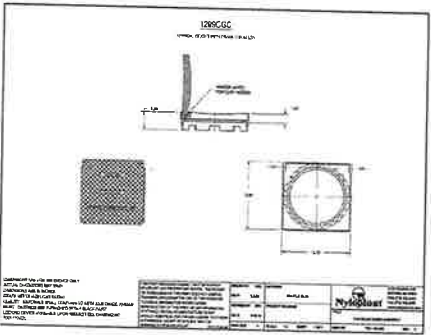
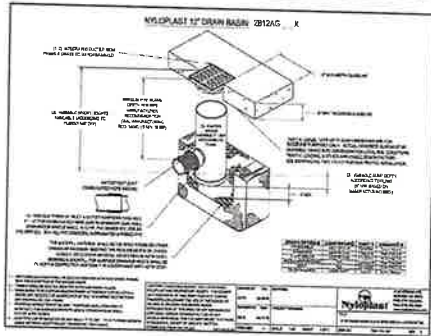
BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE: 2028
PROJECT: BALLPARK VILLAGE MIXED-USE
SHEET: C5.2
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 11/15/2023

CIVIL DETAILS

C5.2

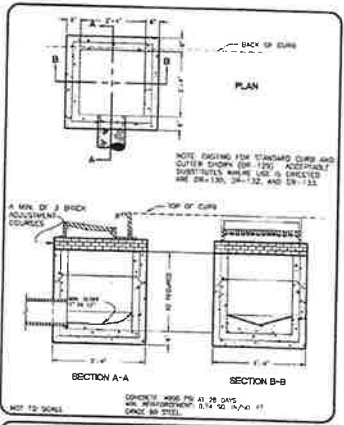
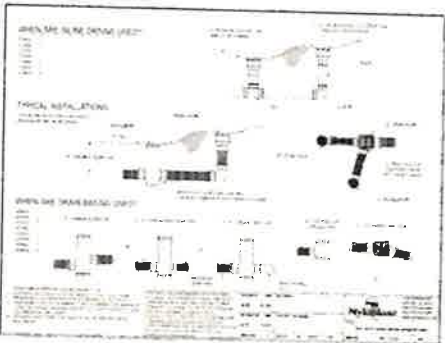
NOTE: CIVIL DWGS ARE 24" x 36"
THIS IS SHOWN AT FULL SCALE



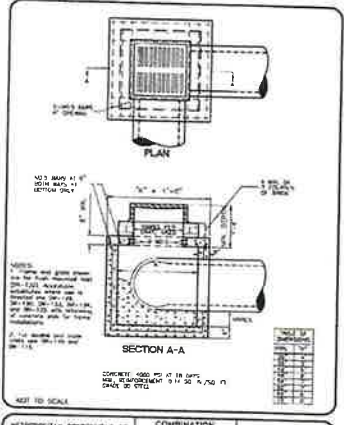
**Minimum Angle Between Adapters
for Drain Basins & HP Manholes**

ADAPTER SIZE	MANHOLE SIZE	MINIMUM ANGLE
12"	18"	45°
12"	24"	45°
12"	30"	45°
12"	36"	45°
12"	42"	45°
12"	48"	45°
12"	54"	45°
12"	60"	45°
12"	66"	45°
12"	72"	45°
12"	78"	45°
12"	84"	45°
12"	90"	45°
12"	96"	45°
12"	102"	45°
12"	108"	45°
12"	114"	45°
12"	120"	45°
12"	126"	45°
12"	132"	45°
12"	138"	45°
12"	144"	45°
12"	150"	45°
12"	156"	45°
12"	162"	45°
12"	168"	45°
12"	174"	45°
12"	180"	45°
12"	186"	45°
12"	192"	45°
12"	198"	45°
12"	204"	45°
12"	210"	45°
12"	216"	45°
12"	222"	45°
12"	228"	45°
12"	234"	45°
12"	240"	45°
12"	246"	45°
12"	252"	45°
12"	258"	45°
12"	264"	45°
12"	270"	45°
12"	276"	45°
12"	282"	45°
12"	288"	45°
12"	294"	45°
12"	300"	45°
12"	306"	45°
12"	312"	45°
12"	318"	45°
12"	324"	45°
12"	330"	45°
12"	336"	45°
12"	342"	45°
12"	348"	45°
12"	354"	45°
12"	360"	45°

* This chart does not apply when using an Earthflow® or A&M® Basin



METROPOLITAN GOVERNMENT OF
HARSHFIELD AND JARVIS COUNTY
DEPARTMENT OF PUBLIC WORKS
SINGLE INLET
(PRECAST)
DWG. NO. DR-105
ISS: 06/10/00 DATE: 12/11/00 REVIS: 02/08/00



METROPOLITAN GOVERNMENT OF
HARSHFIELD AND JARVIS COUNTY
DEPARTMENT OF PUBLIC WORKS
COMBINATION
INLET
(PRECAST)
DWG. NO. DR-120
ISS: 06/10/00 DATE: 12/11/00 REVIS: 02/08/00



BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF HARSHFIELD, JARVIS COUNTY, MISSISSIPPI

20171 2028
CIVIL DETAILS
C5.3

NOTE: CIVIL DWGS ARE 24" X 36"
THIS IS SHOWN AT FULL SCALE

DATE	ISSUED FOR	BY
	DESIGN DEVELOPMENT	
	PERMITTING	
	CONSTRUCTION	
	AS-BUILT	

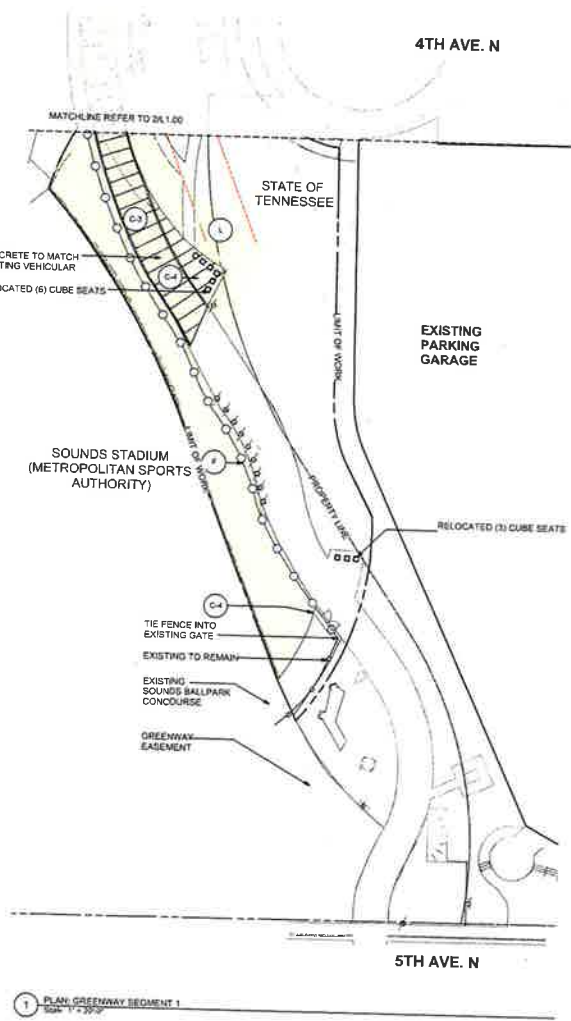
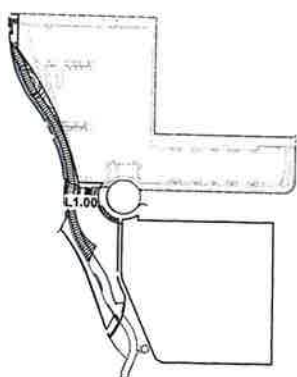


2 PLAN, GREENWAY SEGMENT 2
SCALE: 1" = 25'

LEGEND

- C-1 CONCRETE PAVEMENT A - PEDESTRIAN
- C-3 CONCRETE PAVEMENT C - VEHICULAR
- C-4 CONCRETE PAVEMENT D - VEHICULAR
- P-1 CONCRETE PAVERS- MIX A
- P-2 CONCRETE PAVERS- MIX B
- P-4 CONCRETE BAND
- PA PLANTING AREA, REFER TO LANDSCAPE PLANS
- L LAWN, REFER TO LANDSCAPE PLANS
- A-1 BIKE RACK
- A-2 TRASH AND LITTER RECEPTACLES
- F FENCE
- CUBE SEATING
- INTERPRETIVE SIGNAGE

KEY PLAN



1 PLAN, GREENWAY SEGMENT 1
SCALE: 1" = 25'

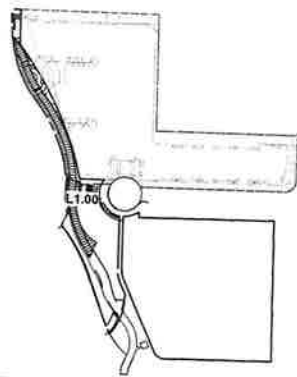


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	50	172204.22	172204.22

GENERAL NOTES

1. The Contractor shall take field measurements and verify field conditions and shall coordinate with the contract documents before commencing activities. Errors, inconsistencies, or omissions discovered shall be reported to the Landscape Architect at once. In the event of any discrepancies and / or errors found in the drawings, or if problems are encountered during construction, the Contractor shall be required to notify the Landscape Architect before proceeding with the work. If the Landscape Architect is not notified, the Contractor shall take responsibility for the cost of any revisions that may be required.
2. The Contractor shall verify dimensions of as-built conditions, and notify the Landscape Architect in writing of any discrepancies. All information shown on the construction documents is based on survey information and / or the original construction documents.
3. All construction activities shall be completed in full compliance with the American with Disabilities Act (ADA) and Architectural and Transportation Barriers Compliance Board, Uniformed Architectural Barriers Act (ABA) Accessibility Guidelines, proposed rule, November 1999, as has been adopted by laws.
4. The Contractor Shall Obtain All Permits Required For Demolition And Construction And Contact Tennessee One Call Three Days Prior To Excavation.
5. CAD Files Will Be Provided As A Courtesy To Aerial Contractor With Field Staking And Layout.

KEY PLAN



2 PLAN GREENWAY SEGMENT 2
Scale: 1" = 20' 0"

1 PLAN GREENWAY SEGMENT 1
Scale: 1" = 20' 0"



DYNAMIK
DESIGN

CONSULTANT
Landscape Planning, Inc.



PROJECT NUMBER: PWR00201
MARKVILLE, TN
BALLPARK VILLAGE MIXED-USE
CLIENT

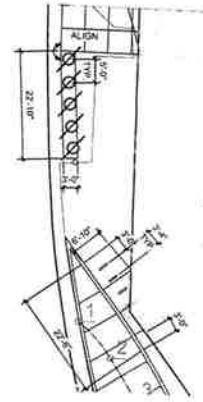
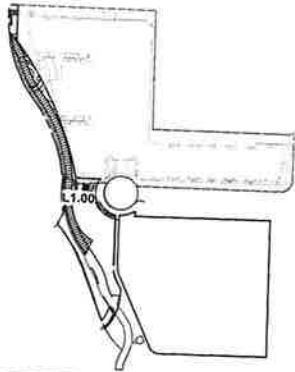
DATE	BY	DESCRIPTION

TITLE
LAYOUT PLAN - GREENWAY
SHEET NUMBER
L2.00

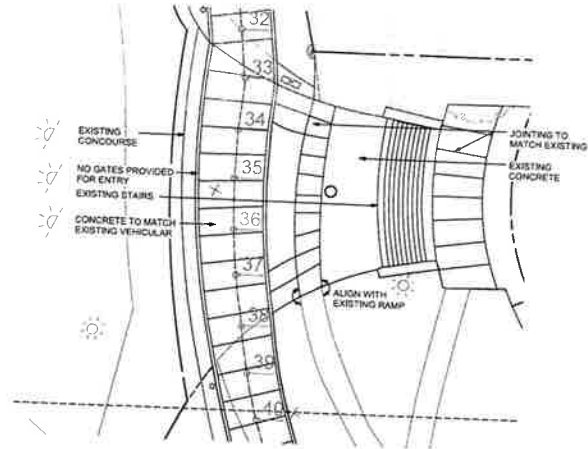
GENERAL NOTES

1. The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements, conditions, and other information know to the Contractor with the contract documents before commencing activities. Errors, omissions, or omission discovered shall be reported to the Landscape Architect at once. In the event of any discrepancies and / or errors found in the drawings, or if problems are encountered during construction, the Contractor shall be required to notify the Landscape Architect before proceeding with the work. If the Landscape Architect is not notified, the Contractor shall take responsibility for the cost of any revisions that may be incurred.
2. The Contractor shall verify dimensions of as-built conditions, and notify the Landscape Architect in writing of any discrepancies. All information shown on the construction documents is based on survey information and / or the original construction documents.
3. All construction activities shall be completed in full compliance with the American with Disabilities Act (ADA) and Architectural and Transportation Barriers Compliance Board, Federal Register 36CFR parts 1190 and 1191, Accessibility guidelines for buildings and facilities; Architectural Barriers Act (ABA) Accessibility Guidelines; proposed rule, November 1999, as has been adopted by Metro.
4. The Contractor Shall Obtain All Permits Required For Demolition And Construction And Contact Tennessee One Call Three Days Prior To Excavation.
5. CAD Files Will Be Provided As A Courtesy To Assist Contractor With Field Staking And Layout.

KEY PLAN



2 PLAN GREENWAY ENLARGEMENT
Scale: 1" = 1'-0"



1 PLAN GREENWAY ENLARGEMENT
Scale: 1" = 1'-0"



DYNAMIK
DESIGN

1801 PINEHURST DUNWOODY RD
ATLANTA, GA 30328
DYNAMIK@DYNAMIKDESIGN.COM



CONSULTANT



SEAL

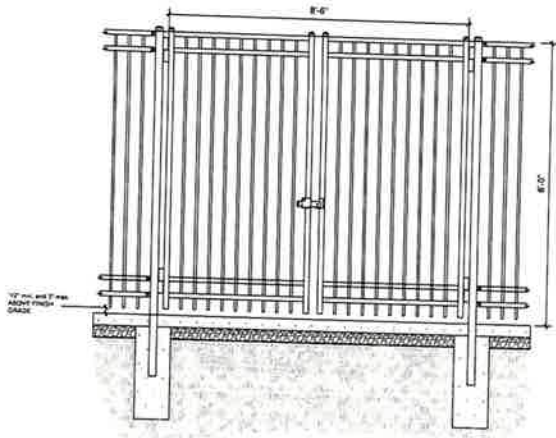
MEMPHIS, TN
BALLPARK VILLAGE MIXED-USE
CLIENT

PROJECT NUMBER: P190030.01

DATE	REVISION	BY	CHKD

TITLE
LAYOUT PLAN - GREENWAY

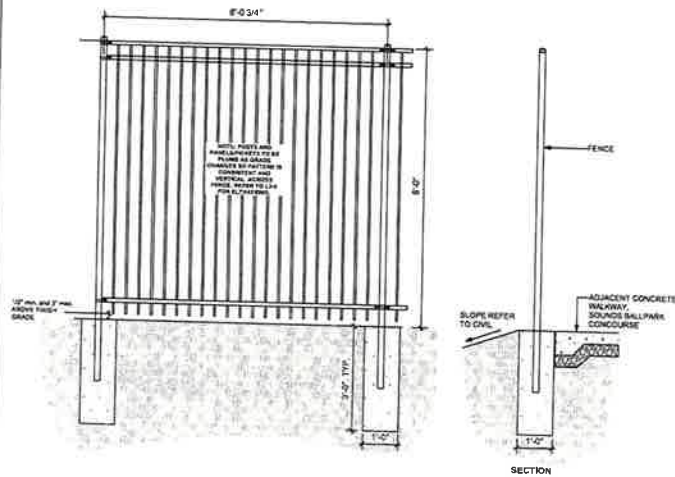
SHEET NUMBER
L2.01



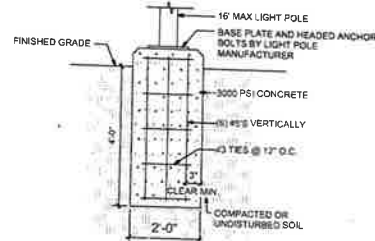
9 DETAIL: 8' SECURITY GATE
Scale: 3/4" = 1'-0"

MANUFACTURER: AMERISTAR
PRODUCT: MONTAGE COMMERCIAL (8' HT)
FINISH: TO MATCH EXISTING
COLOR: TO MATCH EXISTING

SUBMIT SHOP DRAWINGS FOR DETAILING, GRADE RELATIONSHIP AND POST LOCATION REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. AMERISTAR FENCE.



8 DETAIL: 8' SECURITY FENCE
Scale: 3/4" = 1'-0"



NOTES:
1. PROVIDE SHOP DRAWINGS STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF TENNESSEE FOR ALL POSTS, CONNECTIONS, FOOTINGS, CONNECTIONS, FOOTINGS & CONNECTION W/ LIGHT POLE MANUFACTURER

7 DETAIL: LIGHT POLE BASE ON GRADE
Scale: 3/4" = 1'-0"

BIKE RACK
MANUFACTURER: LANDSCAPE FORMS
PRODUCT: IDEA BIKI RACK
MATERIAL AND FINISH: POWDERCOAT ALUMINUM
INSTALLATION: SURFACE MOUNT
NOTE: ALLOWANCE OF 16"
REPRESENTATIVE PHOTO

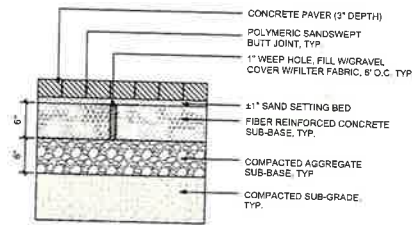


6 REPRESENTATIVE PHOTO: (A-1) BIKE RACK

TRASH / RECYCLE RECEPTACLE
MANUFACTURER: LANDSCAPE FORMS
PRODUCT: CHASSI PARK LITTER & RECYCLING
MATERIAL AND FINISH: POWDERCOAT ALUMINUM
INSTALLATION: SURFACE MOUNT
NOTE: ALLOWANCE OF 16"
REPRESENTATIVE PHOTO



5 REPRESENTATIVE PHOTO: (A-2) TRASH / RECYCLE RECEPTACLE



NOTES
1. PAVING PATTERN TO MATCH BALLPARK VILLAGE MIXED-USE PAVING

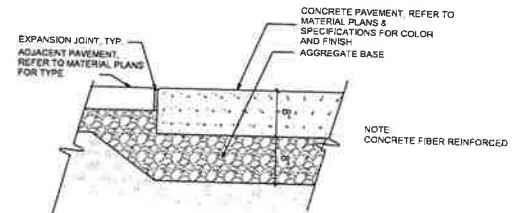
4 SECTION: CONCRETE PAVER AT GRADE
Scale: 1/2" = 1'-0"



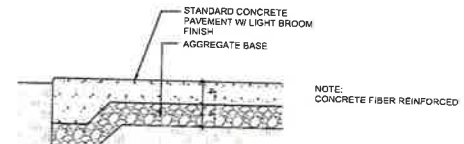
EXISTING GREENWAY

C-3 INTERGRAL COLOR VEHICULAR CONCRETE TO MATCH EXISTING
C-4 INTERGRAL COLOR VEHICULAR CONCRETE TO MATCH EXISTING

NOTE: SEE MATERIAL PLANS FOR LOCATION

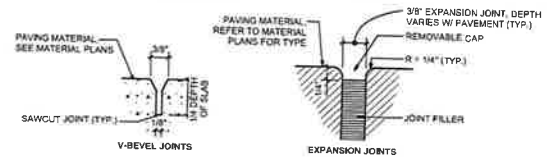


3 DETAIL: VEHICULAR CONCRETE PAVEMENT AT GRADE
Scale: 1/2" = 1'-0"



2 DETAIL: PED. CONCRETE PAVEMENT AT GRADE
N.T.S.

NOTE: REFER TO PAVING LAYOUT AND JOINTING PLAN FOR JOINT LOCATIONS



1 SECTION: CONCRETE JOINTS
Scale: 1:1

CONSENT, JOINDER AND SUBORDINATION AGREEMENT

THIS CONSENT, JOINDER AND SUBORDINATION AGREEMENT is entered into by MFP Baseball, LLC, a Delaware limited liability company ("**Tenant**"), as the tenant of the "Property" (as that term is defined in the Agreement for Grant of Easement for Conservation Greenway (the "**Agreement**") which this Consent, Joinder and Subordination Agreement is attached) under that certain lease agreement, by and between MFP Baseball, LLC and The Sports Authority of the Metropolitan Government of Nashville and Davidson County dated December 19, 2013 (the "Lease"). Tenant consents to the execution and delivery of the Agreement and agrees that its interest under the Lease is and will be subordinate to the rights created under the Agreement.

Tenant has executed this Consent, Joinder and Subordination Agreement by its duly authorized representative as of the ____ day of _____, 2021.

By: _____
Name:
Title: Officer

STATE OF _____)
)
COUNTY OF _____)

On this the ____ day of _____, 2021, before me personally appeared _____, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he/she executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

NOTARY PUBLIC

My Commission Expires: _____

UPON RECORDING RETURN TO:

Tom Cross
Department of Law
108 Metro Courthouse
PO Box 196300
Nashville, Tennessee 37219

GREENWAY PARTICIPATION AGREEMENT AND DECLARATION OF COVENANTS

This **GREENWAY PARTICIPATION AGREEMENT AND DECLARATION OF COVENANTS** (this "Agreement") is made and entered into this ____ day of _____, 2021, by and between **THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY** ("Metro"), and **PR GERMANTOWN, LLC**, a Delaware Limited Liability Company ("Portman"). (Metro and Portman are sometimes collectively referred to as the "Parties".)

BACKGROUND STATEMENT:

A. Metro is the owner of an easement estate with respect to certain property which is a part of the Metro greenway system, as more particularly described on **Exhibit "A"**, attached hereto and incorporated herein (the "Greenway"), as evidenced by the Agreement for Grant of Easement for Conservation Greenway, dated _____ and recorded as Instrument Number _____, RODC.

B. Portman is the owner of that certain parcel of real property more particularly described on **Exhibit "B"**, attached hereto and incorporated herein ("Portman's Property").

C. Pursuant to the terms and conditions of this Agreement, Portman proposes to assist Metro in the construction of improvements within a portion of the Greenway (the "Greenway Improvements"), as such improvements are shown on the plans and specifications attached hereto as **Exhibit "C"** (the "Plans") and the ongoing care and maintenance of the Greenway Improvements in a certain area, as shown on **Exhibit "D"** (the "Maintenance Area").

For good and valuable consideration, the receipt, adequacy and sufficiency of which are hereby acknowledged, the Parties do hereby covenant and agree as follow:

1. **Right of Entry.** Portman is hereby granted the right to enter the Greenway to perform the construction of the Greenway Improvements and to perform any and all activities necessary to operate and maintain the Greenway Improvements in the Maintenance Area.



2. Duties of Construction and Maintenance. Portman agrees to construct the Greenway Improvements in accordance with the Plans. From and after the completion of the Greenway Improvements, Portman will keep, maintain, repair and replace, as necessary, the Greenway Improvements within the Maintenance Area in good order, condition and state of repair, at the expense of Portman. Whenever Portman performs any construction or maintenance required under this Agreement, the work will be done expeditiously and in a good, lien free and workmanlike manner and in accordance with all applicable laws, codes, rules, statutes and regulations. The work will be carried out in a manner so as to cause the least amount of disruption to any business operations being conducted on the surrounding land as is reasonably practicable.

3. Insurance. During the life of this Agreement, Portman shall obtain and furnish to Metro an insurance certificate, evidencing a policy or policies of Commercial General Liability Insurance that is in effect providing coverage for injuries to persons as well as damage to property in an amount not less than One Million and 00/100 dollars (\$1,000,000.00) combined single limit, which shall name Metro and the State of Tennessee as an additional insureds.

4. Notices. All notices required or permitted to be given under this Agreement will be given personally, by overnight courier, or by certified mail, return receipt requested. Such notices will be deemed effectively received upon receipt, if personally delivered, one (1) day after the deposit with a reputable overnight courier, or three (3) days after the deposit with the United States mail, postage prepaid.

All notices given to Metro will be at the following address:

Director of Law
Department of Law
108 Metro Courthouse
PO Box 196300
Nashville, Tennessee 37219

and to Portman at the following address:

PR Germantown, LLC
c/o Portman Residential, LLC
303 Peachtree Center Avenue NE
Suite 575
Atlanta, GA 30303
Attn: Marc Brambrut

with a copy to:

Jeff Greenway
General Counsel
Portman Holdings, LLC
303 Peachtree Center Avenue NE
Suite 575
Atlanta, GA 30303

And to

Troutman Pepper Hamilton Sanders LLP
600 Peachtree Street, N.E., Suite 3000
Atlanta, GA 30308

Attn: Michael Wall
michael.wall@troutman.com

5. Run with the Land; Governing Law. This Agreement will be recorded in the real property records of Davidson County, Tennessee. The rights, easements and obligations established in this Agreement will run with the Maintenance Area. This Agreement is and will be binding upon Metro, its successors in title and upon Portman, and its successors and assigns and successors in title. This Agreement will be governed by and construed in accordance with the laws of the State of Tennessee.

6. Termination by Metro. For purposes of this Agreement, the “Effective Date” shall be the date of its final approval by the Metropolitan Council. After the fifth anniversary of the Effective Date, Metro may terminate this Agreement upon 30 days’ written notice to Portman at the address written above or to the then-current owner of Portman’s Property.

7. List of Exhibits. The following exhibits are attached to and made a part of this Agreement:

- Exhibit A: The Greenway
- Exhibit B: Portman’s Property
- Exhibit C: The Plans
- Exhibit D: Maintenance Area

[Signatures begin on the following page]

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed as of this 4th day of October, 2021.

METRO:

METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON
COUNTY

By:
Name:
Title:

PORTMAN:

PR GERMANTOWN, LLC, a Delaware limited liability
company

By: Portman Residential, LLC, a Delaware limited liability
company, its Manager

By: A. Jefferson Greenway
Name: Jeff Greenway
Title: Authorized Signatory

STATE OF TENNESSEE)
)
COUNTY OF DAVIDSON)

On this the ____ day of _____, 2021, before me personally appeared _____, who acknowledged himself to be the _____ of **THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**, and that he, as such _____, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

NOTARY PUBLIC

My Commission Expires: _____

Georgia

STATE OF TENNESSEE)

COUNTY OF DAVIDSON) Fulton

Personally appeared before me, Yvonne Hammac, a Notary Public of said county and state, Jeff Greenway, the Authorized Signatory of Portman Residential, LLC, a Delaware limited liability company, the Manager of PR GERMANTOWN, LLC, a Delaware limited liability company, the within named owner, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that he executed the within instrument for the purposes therein contained by signing the name of the company by himself as Authorized Signatory.

Witness my hand and seal, at office, this day of 4th day of October, 2021.

Yvonne Hammac
Notary Public



My Commission Expires: July 13, 2025

EXHIBIT "A"
THE GREENWAY

BALLPARK VILLAGE GREENWAY EASEMENT

BEING A GREENWAY EASEMENT LYING IN NASHVILLE, DAVIDSON COUNTY, TENNESSEE, SAID EASEMENT IS LOCATED ON THE PROPERTY AS CONVEYED TO METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, OF RECORD AS 201504270037659, R.O.D.C.T. (REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE) AND SHOWN AS LOT 1 ON THE PLAT ENTITLED, "SULPHUR DELL BALLPARK" OF RECORD AS INSTRUMENT NUMBER 201504140032948, R.O.D.C.T. SAID EASEMENT IS BOUNDED ON THE EAST BY 5TH AVENUE NORTH, ON THE SOUTH BY 4TH AVENUE NORTH AND ON THE EAST BY 3RD AVENUE NORTH AND BEING MORE PARTICULARLY DESCRIBED, BY METES AND BOUNDS, AS FOLLOWS:

BEGINNING AT AN IRON ROD (OLD) IN THE WESTERLY RIGHT-OF-WAY LINE OF 3RD AVENUE NORTH, AT THE NORTHEASTERLY CORNER OF SULPHUR DELL LAND, LLC, OF RECORD AS INSTRUMENT NUMBER 201506300062982, R.O.D.C.T., AND SHOWN AS LOT 3 ON THE PLAT ENTITLED, "SULPHUR DELL BALLPARK" OF RECORD AS INSTRUMENT NUMBER 201504140032948, R.O.D.C.T., AT THE SOUTHEASTERLY CORNER OF SAID METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, BEING LOT 1 OF SAID SULPHUR DELL BALLPARK, AND BEING THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED EASEMENT;

THENCE, LEAVING SAID RIGHT-OF-WAY WITH SAID LOT 3, FOR THE NEXT THREE CALLS:

- 1) SOUTH 62°31'16" WEST, 67.12 FEET TO AN IRON ROD (OLD);
- 2) WITH A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 25°29'41", A RADIUS OF 722.36 FEET, AN ARC LENGTH OF 321.43 FEET, WITH A BEARING AND DISTANCE OF SOUTH 37°21'23" WEST, 318.78 FEET TO AN IRON ROD (OLD);
- 3) SOUTH 27°21'24" EAST, 62.59 FEET TO AN IRON ROD (OLD), IN THE NORTHERLY RIGHT-OF-WAY LINE OF 4TH AVENUE NORTH;

THENCE, WITH SAID 4TH AVE N, WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 83°37'14", A RADIUS OF 45.00 FEET, AN ARC LENGTH OF 65.68 FEET, WITH A BEARING AND DISTANCE OF SOUTH 62°38'48" WEST, 60.00 FEET TO A POINT IN THE EASTERLY LINE OF METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, OF RECORD AS INSTRUMENT NUMBER 201312190128377, R.O.D.C.T. AND SHOWN AS LOT 4 OF SAID SULPHUR DELL BALLPARK;

THENCE, LEAVING SAID RIGHT-OF-WAY WITH SAID LOT 4 FOR THE NEXT FIVE CALLS:

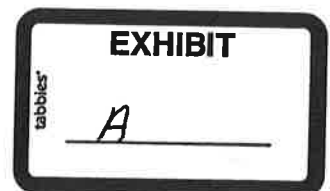
- 1) NORTH 27°21'12" WEST, 31.36 FEET TO A POINT;
- 2) SOUTH 62°38'48" WEST, 18.67 FEET TO A POINT;
- 3) WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 28°30'45", A RADIUS OF 262.59 FEET, AN ARC LENGTH 130.67 FEET, WITH A BEARING AND DISTANCE OF SOUTH 47°33'21" WEST, 129.33 FEET TO A POINT;
- 4) SOUTH 29°43'56" WEST, 107.29 FEET TO A POINT;
- 5) WITH A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 42°06'14", A RADIUS OF 171.43 FEET, AN ARC LENGTH OF 125.98 FEET, WITH A BEARING AND DISTANCE OF SOUTH 52°24'37" WEST, 123.16 FEET TO A POINT IN THE EASTERLY RIGHT-OF-WAY OF 5TH AVENUE NORTH;

THENCE, WITH SAID 5TH AVE N, NORTH 27°21'15" WEST, 46.52 FEET TO A POINT;

THENCE, LEAVING SAID RIGHT-OF-WAY AND CROSSING SAID METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, OF RECORD AS 201504270037659, R.O.D.C.T. AND SHOWN AS LOT 1 ON THE PLAT ENTITLED, "SULPHUR DELL BALLPARK" OF RECORD AS INSTRUMENT NUMBER 201504140032948, R.O.D.C.T., FOR THE NEXT NINE CALLS:

- 1) NORTH 44°24'23" EAST, 133.32 FEET TO A POINT;
- 2) NORTH 42°09'15" EAST, 93.68 FEET TO A POINT;
- 3) WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 19°05'30", A RADIUS OF 315.00 FEET, AN ARC LENGTH OF 104.96 FEET, WITH A BEARING AND DISTANCE OF NORTH 32°36'30" EAST, 104.48 FEET TO A POINT;
- 4) NORTH 23°03'45" EAST, 11.09 FEET TO A POINT;
- 5) WITH A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 50°53'28", A RADIUS OF 300.00 FEET, AN ARC LENGTH OF 266.47 FEET, WITH A BEARING AND DISTANCE OF NORTH 52°08'34" EAST, 257.79 FEET TO A POINT;
- 6) NORTH 26°35'10" EAST, 68.72 FEET TO A POINT;
- 7) NORTH 34°02'57" EAST, 66.63 FEET TO A POINT;
- 8) WITH A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 20°51'00", A RADIUS OF 205.00 FEET, AN ARC LENGTH OF 74.60 FEET, WITH A BEARING AND DISTANCE OF NORTH 52°05'46" EAST, 74.19 FEET TO A POINT;
- 9) NORTH 62°31'16" EAST, 16.43 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY LINE OF 3RD AVENUE NORTH;

THENCE, WITH SAID RIGHT-OF-WAY LINE, SOUTH 27°10'24" EAST, 31.95 FEET TO THE POINT OF BEGINNING AND CONTAINING 35,000 SQUARE FEET OR 0.80 ACRES, MORE OR LESS.



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHD BRG	CHORD
C1	25°29'41"	722.36'	321.43'	S37°21'23"W	318.78'
C2	83°37'14"	45.00'	65.68'	S62°38'48"W	60.00'
C3	28°30'45"	262.59'	130.67'	S47°33'21"W	129.33'
C4	42°06'14"	171.43'	125.98'	S52°24'37"W	123.16'
C5	19°05'30"	315.00'	104.96'	N32°36'30"E	104.48'
C6	50°53'28"	300.00'	266.47'	N52°08'34"E	257.79'
C7	20°51'00"	205.00'	74.60'	N52°05'46"E	74.19'

LOT 1
SULPHUR DELL BALLPARK
PLAT INSTRUMENT
NUMBER
201504140032948,
R.O.D.C.T.

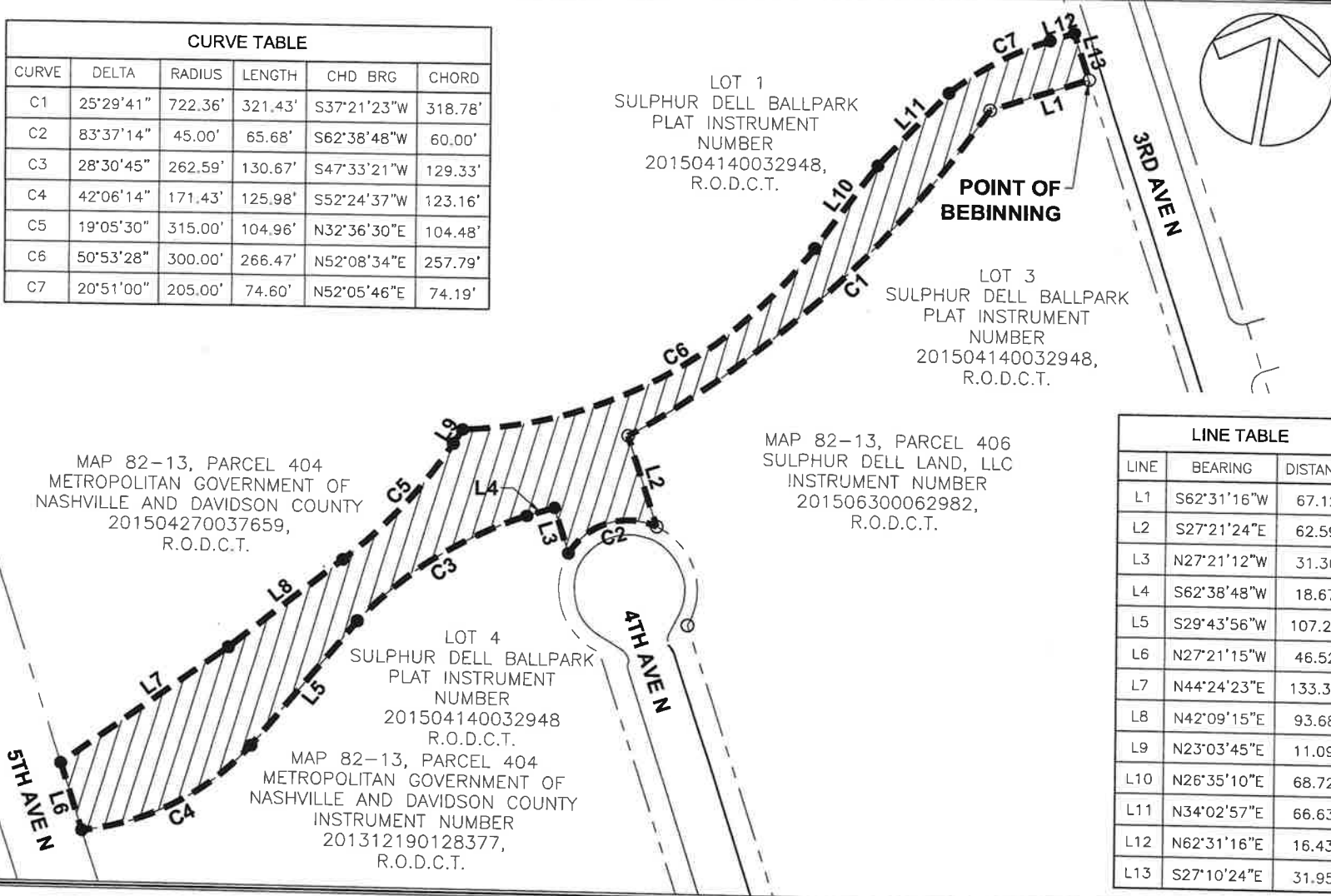
LOT 3
SULPHUR DELL BALLPARK
PLAT INSTRUMENT
NUMBER
201504140032948,
R.O.D.C.T.

MAP 82-13, PARCEL 406
SULPHUR DELL LAND, LLC
INSTRUMENT NUMBER
201506300062982,
R.O.D.C.T.

MAP 82-13, PARCEL 404
METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY
201504270037659,
R.O.D.C.T.

LOT 4
SULPHUR DELL BALLPARK
PLAT INSTRUMENT
NUMBER
201504140032948
R.O.D.C.T.

MAP 82-13, PARCEL 404
METROPOLITAN GOVERNMENT OF
NASHVILLE AND DAVIDSON COUNTY
INSTRUMENT NUMBER
201312190128377,
R.O.D.C.T.



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S62°31'16"W	67.12'
L2	S27°21'24"E	62.59'
L3	N27°21'12"W	31.36'
L4	S62°38'48"W	18.67'
L5	S29°43'56"W	107.29'
L6	N27°21'15"W	46.52'
L7	N44°24'23"E	133.32'
L8	N42°09'15"E	93.68'
L9	N23°03'45"E	11.09'
L10	N26°35'10"E	68.72'
L11	N34°02'57"E	66.63'
L12	N62°31'16"E	16.43'
L13	S27°10'24"E	31.95'

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE, TENNESSEE
CHATTANOOGA COUNTY, TENNESSEE
OFFICE: 615.259.4400
FAX: 615.259.4401
WWW.RAGANSMITH.COM

**BALLPARK VILLAGE
GREENWAY EASEMENT**
19 JUNIOR GILLIAM WAY, NASHVILLE,
DAVIDSON COUNTY, TENNESSEE
EXHIBIT

DATE: MARCH 22, 2021
DESIGNED: TJS
DRAWN: TJS
SCALE: 1" = 100'
JOB NO.: 20171
WK. ORDER: 2028

EXHIBIT "B"

PORTMAN'S PROPERTY

LAND LOCATED IN DAVIDSON COUNTY, TENNESSEE, BEING LOT 3, AS SHOWN ON THE PLAT ENTITLED RESUBDIVISION OF SULPHUR DELL BALLPARK, OF RECORD IN INSTRUMENT NO. 201504140032948, REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE COMPLETE AND ACCURATE LEGAL DESCRIPTION.

Being part of the same property conveyed to PR Germantown LLC, a Delaware limited liability company, by deed from Sulphur Dell Land, LLC, a Tennessee limited liability company, of record in Instrument No. 20210628-0087557, Register's Office for Davidson County, Tennessee.

EXHIBIT "C"

THE PLANS

VOLUME 1 CONSTRUCTION DOCUMENTS

BALLPARK VILLAGE - GREENWAY NASHVILLE, TENNESSEE

OCTOBER 5, 2021



SITE DATA

PROPERTY INFORMATION

STREET ADDRESS: 3RD AVE NASHVILLE TN 37219
 PROPERTY OWNER:
 PARCEL ACRES:
 PARCEL ID:
 COUNCIL DISTRICT NUMBER:
 DISTRICT COUNCIL MEMBER:

ZONING INFORMATION

ZONING CLASSIFICATION:
 ZONING OVERLAY DISTRICT:
 COMM CHARACTER POLICY:

OWNER / DEVELOPER

MARC BRAMBULT & BRITTANI SANDERS
 PORTMAN RESIDENTIAL
 303 PEACHTREE CENTER AVE SUITE #675
 ATLANTA, GEORGIA 30303
 (404) 514-9400
 mbrambult@portmanresidential.com
 bsanders@portmanresidential.com

CALL THREE WORKING DAYS
 BEFORE YOU DIG.
 1-800-351-1111
 IN NASHVILLE: 366-1987



ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004,

INDEX OF SHEETS

GENERAL

11 000	COVER SHEET
11D000	DEMCO PLAN

CIVIL

11C0 1	CIVIL NOTES
11C0.2	EXISTING CONDITIONS
11C1.1	SITE LAYOUT PLAN
11C2.1	INITIAL EROSION CONTROL PLAN
11C3.1	SITE GRADING, DRAINAGE, & EROSION CONTROL PLAN
11C3.2	PUBLIC STORM SEWER REROUTE
11C3.3	FINAL EROSION CONTROL PLAN
11C4.1	SITE UTILITY PLAN
11C5 1	CIVIL DETAILS
11C5 2	CIVIL DETAILS
11C5 3	CIVIL DETAILS

LANDSCAPE

11L100	MATERIAL PLAN
11L200	LAYOUT PLAN
11L300	LAYOUT PLAN
11L300	HARDSCAPE DETAILS
11L301	HARDSCAPE DETAILS
11L400	LANDSCAPE PLAN
11L410	LANDSCAPE DETAILS
11L500	IRRIGATION PLAN
11L510	IRRIGATION DETAILS
11L511	IRRIGATION DETAILS
11L600	LIGHTING PLAN
11L601	PHOTOMETRICS PLAN
11L700	SPECIFICATIONS
11L701	SPECIFICATIONS
11L702	SPECIFICATIONS

PREPARED BY:



CONTACT: BRIAN PHELPS
 B.PHELPS@HAWKINSPARTNERS.COM

CIVIL ENGINEER
 RAGAN-SMITH ASSOCIATES, INC.
 315 WOODLAND ST.
 NASHVILLE, TN 37208
 CONTACT: MICKY DOBSON
 MDOBSON@RAGANSMITH.COM



DYNAMIK DESIGN

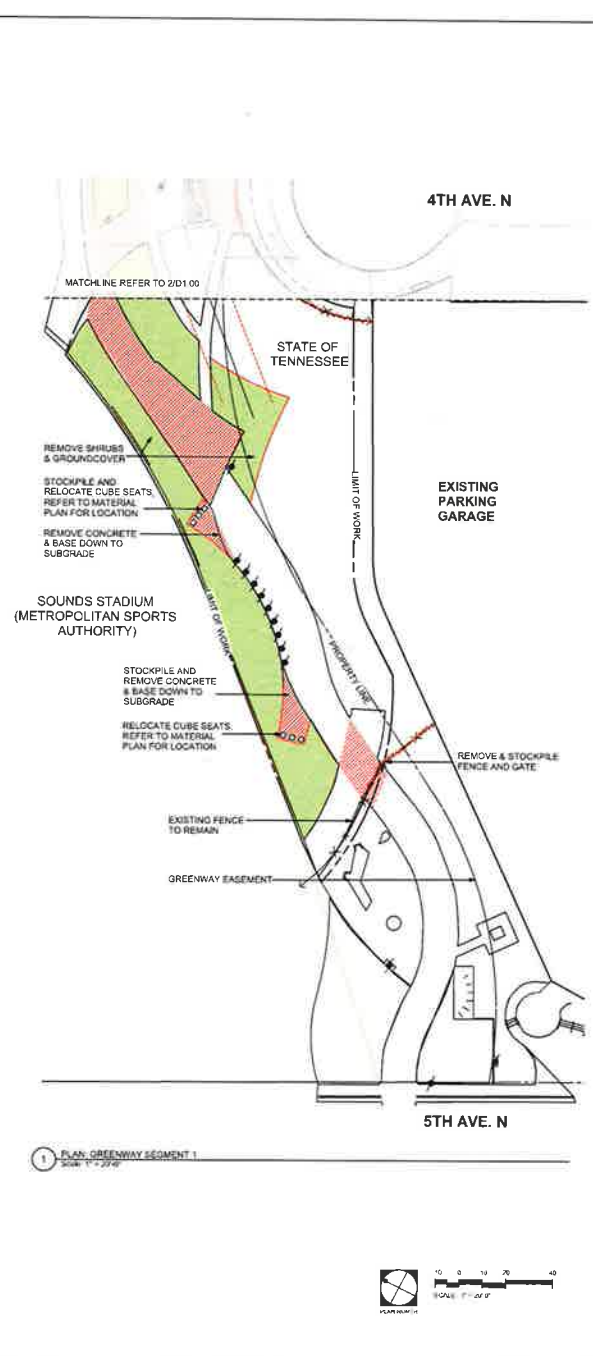
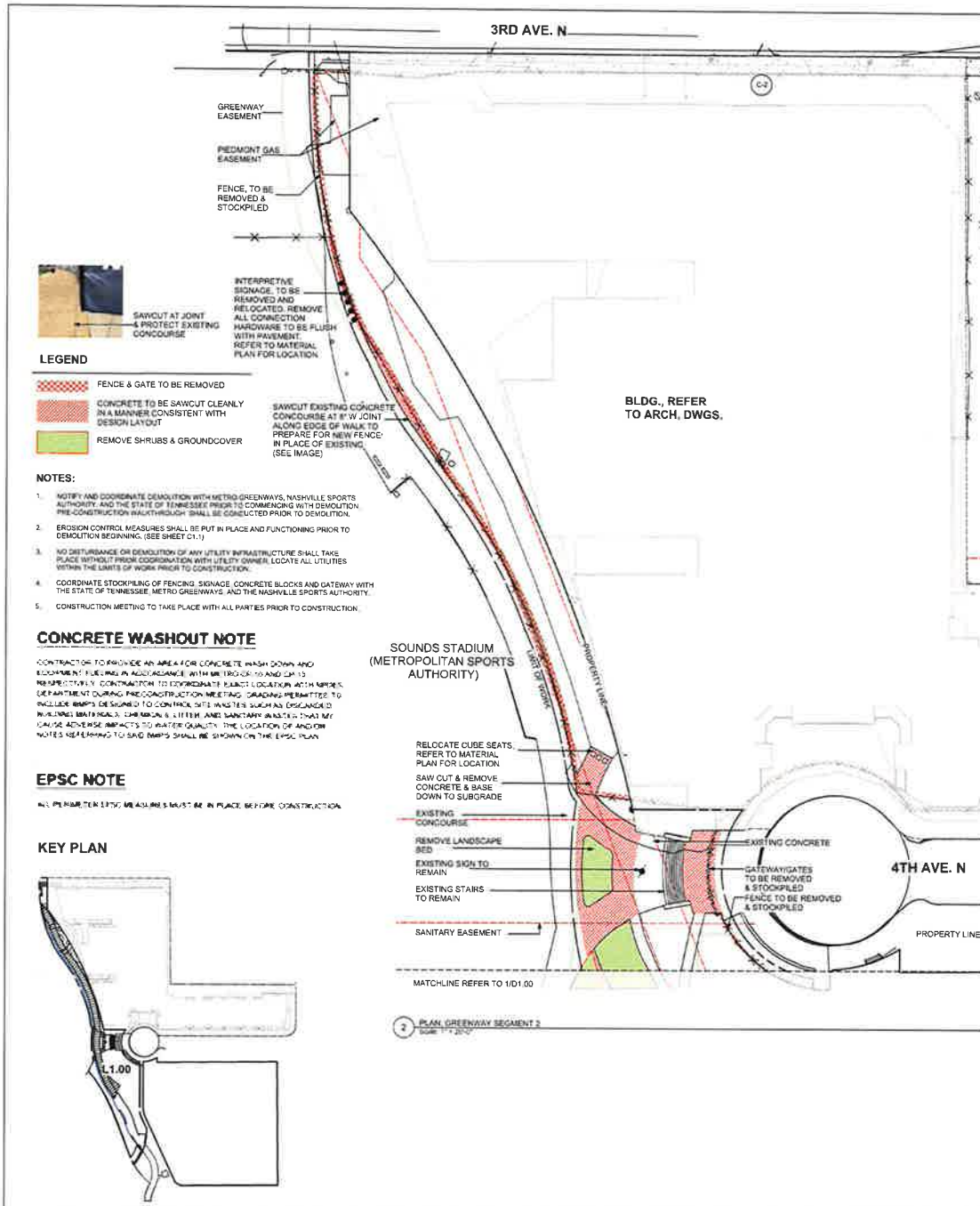
280 PEACHES BLVD WOODBY RD
 BUILDING C SUITE 200
 FLEMING, TN 37062-9830
 TEL: 615.379.3333
 DYNAMIKDESIGN.COM



PROJECT NUMBER: AM0826-01
 NASHVILLE, TN
BALLPARK VILLAGE MIXED-USE
 CLIENT:

DATE	ISSUED FOR	BY

TITLE
COVER SHEET - GREENWAY
 SHEET NUMBER:
0.00



DYNAMIK DESIGN

8505 WESTVILLE BLVD, SUITE 200
ATLANTA, GA 30328
(770) 453-1888
WWW.DYNAMIKDESIGN.COM

Consultant: **Gordon Partners, Inc.**

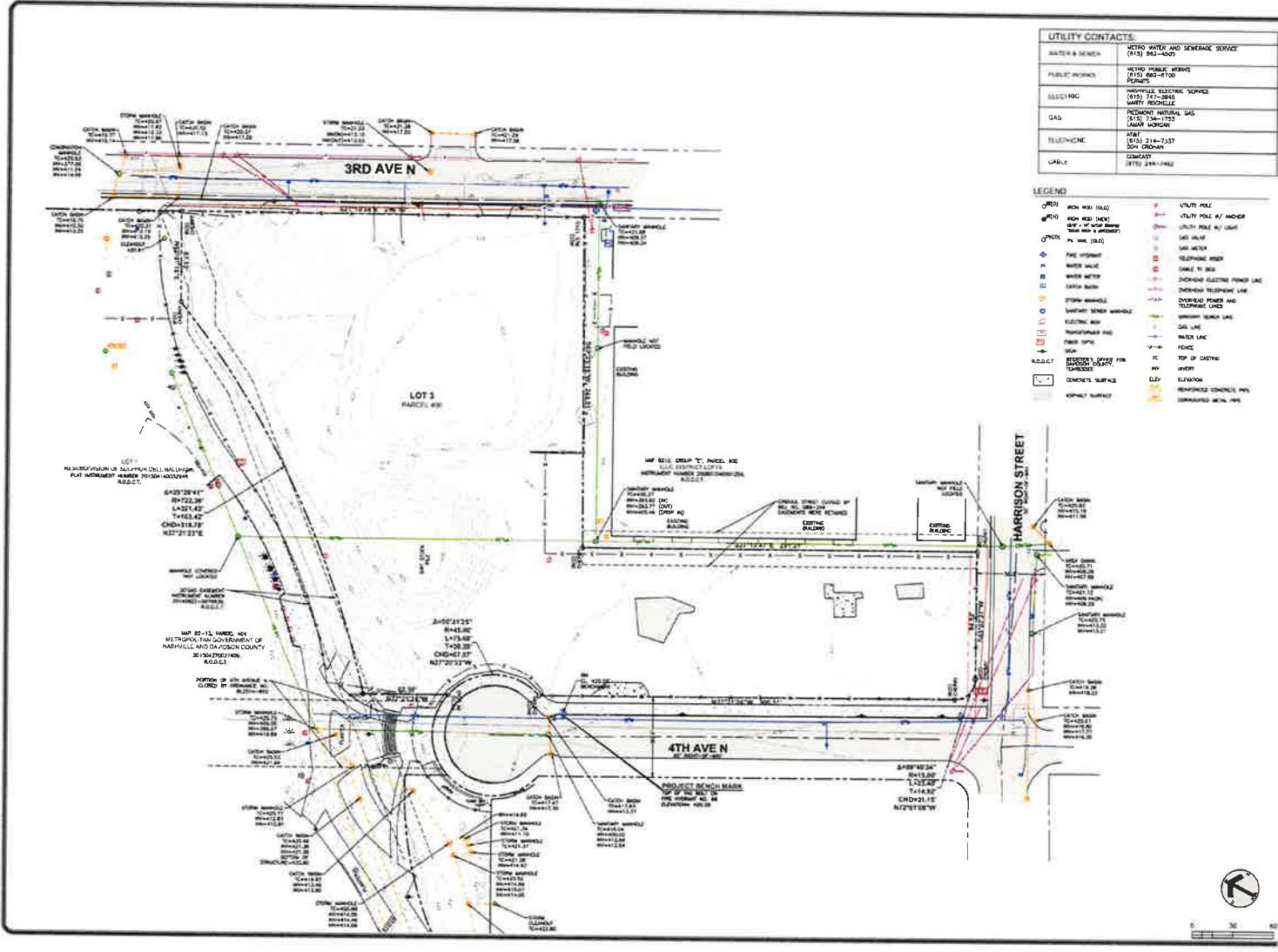
Project Number: PW180301
 Nashville, TN
 Client: **BALLPARK VILLAGE MIXED-USE**

NO.	REVISION	DATE	BY
1	ISSUE FOR PERMIT	02/14/2018	JK
2	ISSUE FOR PERMIT	03/15/2018	JK
3	ISSUE FOR PERMIT	04/10/2018	JK
4	ISSUE FOR PERMIT	05/01/2018	JK
5	ISSUE FOR PERMIT	05/22/2018	JK
6	ISSUE FOR PERMIT	06/07/2018	JK
7	ISSUE FOR PERMIT	06/27/2018	JK
8	ISSUE FOR PERMIT	07/26/2018	JK
9	ISSUE FOR PERMIT	08/15/2018	JK
10	ISSUE FOR PERMIT	09/05/2018	JK
11	ISSUE FOR PERMIT	09/25/2018	JK
12	ISSUE FOR PERMIT	10/15/2018	JK
13	ISSUE FOR PERMIT	10/25/2018	JK
14	ISSUE FOR PERMIT	11/05/2018	JK
15	ISSUE FOR PERMIT	11/15/2018	JK
16	ISSUE FOR PERMIT	11/25/2018	JK
17	ISSUE FOR PERMIT	12/05/2018	JK
18	ISSUE FOR PERMIT	12/15/2018	JK
19	ISSUE FOR PERMIT	12/25/2018	JK
20	ISSUE FOR PERMIT	01/05/2019	JK
21	ISSUE FOR PERMIT	01/15/2019	JK
22	ISSUE FOR PERMIT	01/25/2019	JK
23	ISSUE FOR PERMIT	02/05/2019	JK
24	ISSUE FOR PERMIT	02/15/2019	JK
25	ISSUE FOR PERMIT	02/25/2019	JK

TITLE: **DEMO PLAN - GREENWAY**

SHEET NUMBER: **D1.00**

© 2020 DYNAMIK DESIGN



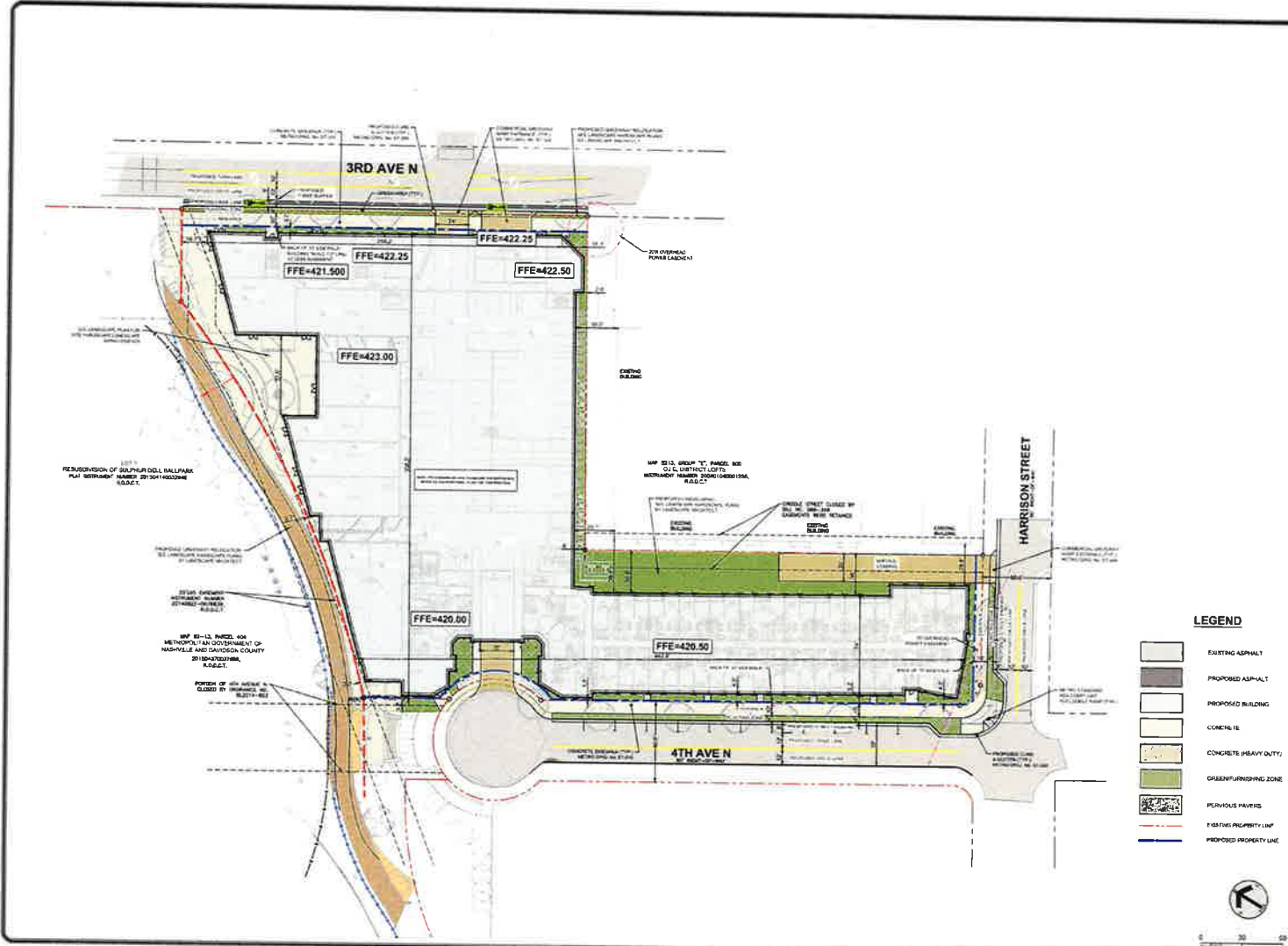
BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL

OFFICE OF ASSISTANT ENGINEER/PROJECT ENGINEER

PROJECT NO. 2020
 20171
 DATE: SEPTEMBER 25, 2020
 SHEET: C0.2
 EXISTING CONDITIONS



NOTE: CIVIL DWGS ARE 3/4"=1'-0"
THIS IS SHOWN AT FULL SCALE



RAGAN SMITH
 ARCHITECTS
 1000 W. 10TH ST. SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 WWW.RAGANSMITH.COM

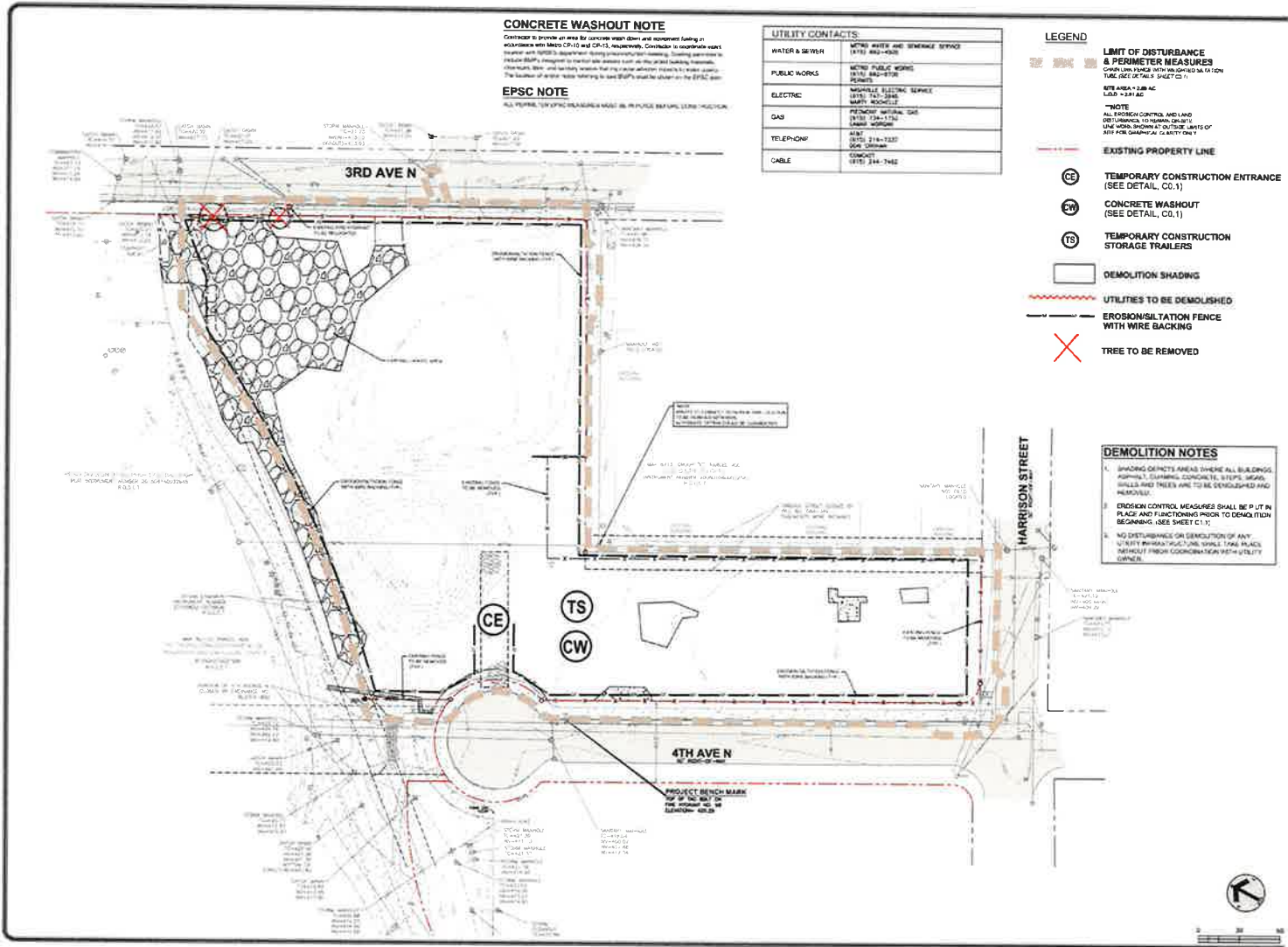


BALLPARK VILLAGE MIXED-USE
 FOR
PORTMAN RESIDENTIAL
 CITY OF DENVER | DENVER COUNTY, THIRDEASY

DATE: 2008
 2017
 2018
 2019
 2020
 2021
 2022
 2023
 2024
 2025
 2026
 2027
 2028
 2029
 2030

SITE LAYOUT PLAN
C1.1

NOTE: CIVIL DWGS ARE 24"x36"
 THIS IS SHOWN AT FULL SCALE



CONCRETE WASHOUT NOTE

Contractor to provide an area for concrete wash down and equipment washing at construction site. Washout area shall be located on-site. Contractor to coordinate with the City of Nashville's Department of Public Works regarding washout area location. Washout area shall be located on-site. Contractor to coordinate with the City of Nashville's Department of Public Works regarding washout area location. Washout area shall be located on-site. Contractor to coordinate with the City of Nashville's Department of Public Works regarding washout area location.

EPSC NOTE

All erosion control measures shall be in place before any earth excavation.

UTILITY CONTACTS:	
WATER & SEWER	METRO WATER AND SEWERAGE SERVICE (615) 862-4200
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700
ELECTRIC	NASHVILLE ELECTRIC SERVICE LEVEL: 743-2342 EMERGENCY SERVICE: 743-2342
GAS	PEOPLES GAS (615) 294-7100 EMERGENCY SERVICE: 294-7100
TELEPHONE	AT&T (615) 218-7327
CABLE	COMCAST (615) 344-7462

LEGEND

- EXISTING PROPERTY LINE
- CE TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL, C0.1)
- CW CONCRETE WASHOUT (SEE DETAIL, C0.1)
- TS TEMPORARY CONSTRUCTION STORAGE TRAILERS
- DEMOLITION SHADING
- UTILITIES TO BE DEMOLISHED
- EROSION/SILTATION FENCE WITH WIRE BACKING
- TREE TO BE REMOVED

DEMOLITION NOTES

1. SHADING DEMONSTRATES AREAS WHERE ALL BUILDINGS, APARTS, CURBS, CONCRETE, STEPS, BRICKS, BILLS AND TREES ARE TO BE DEMOLISHED AND REMOVED.
2. EROSION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION BEGINNING (SEE SHEET C1.1).
3. NO DISTURBANCE OR DEMOLITION OF ANY UTILITIES SHALL OCCUR UNTIL THE UTILITIES OWNER IS NOTIFIED.



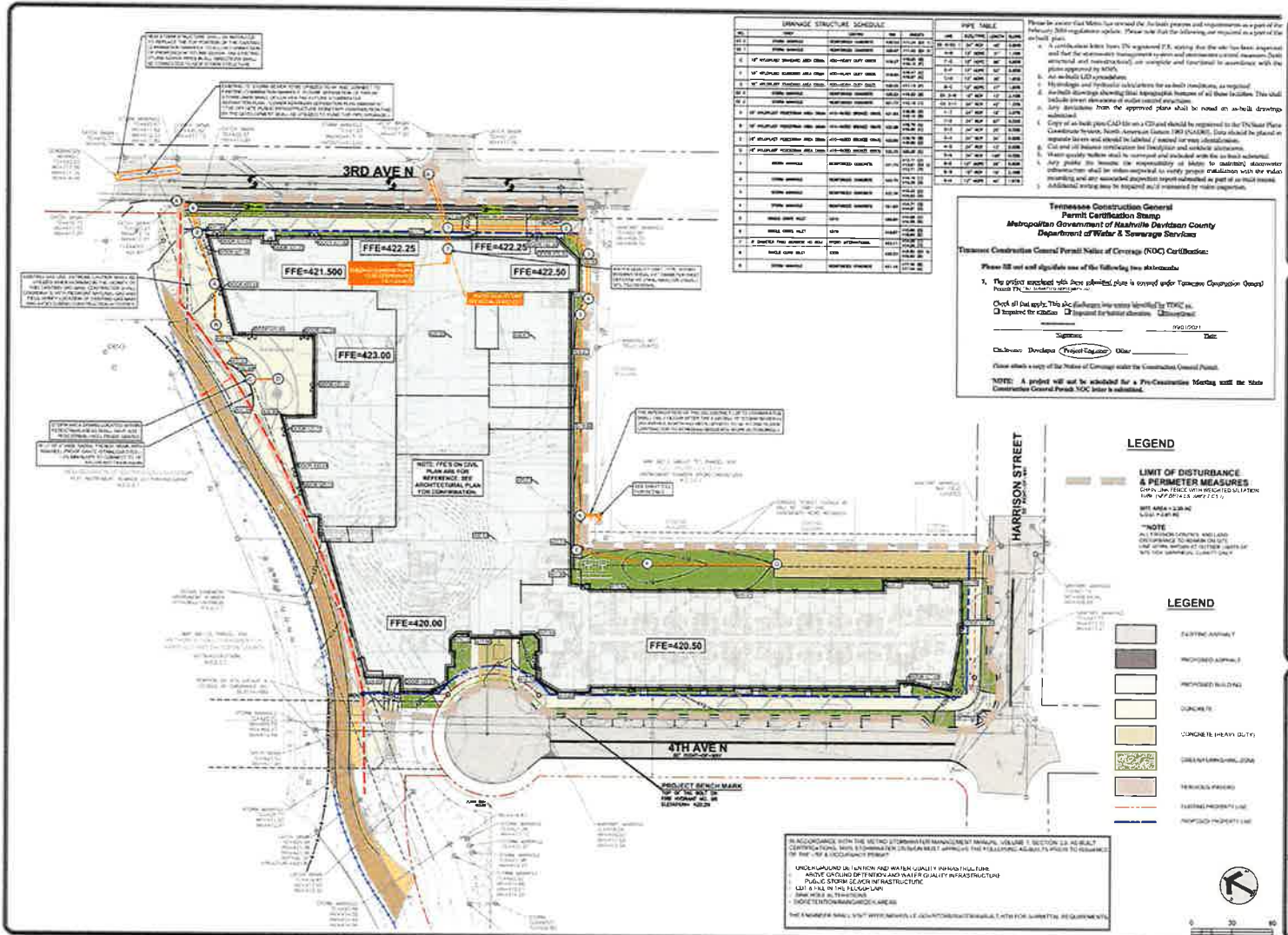
BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO. OF SHEETS	2026	1
DATE	2017	08/01
PROJECT	PORTMAN RESIDENTIAL	
OWNER	THE PORTMAN GROUP	
DESIGNER	HOK	
DATE	2017	08/01
SCALE	AS SHOWN	
PROJECT NO.	2017-08-01	

INITIAL EROSION CONTROL PLAN

C2.1

NOTE: CIVIL DWGS ARE 24"X36"
THIS IS SHOWN AT FULL SCALE



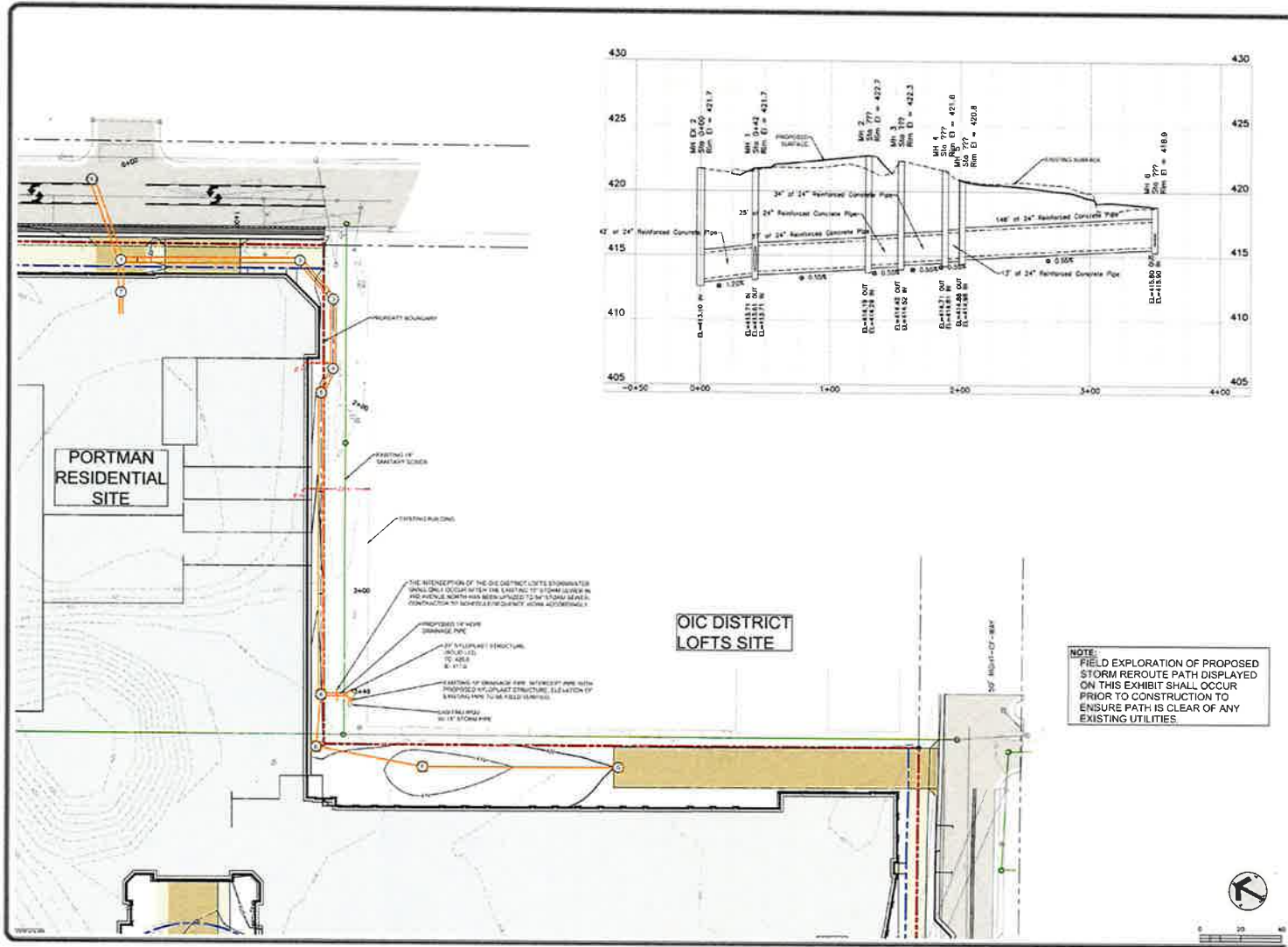
RAGAN SMITH
REGISTERED PROFESSIONAL ENGINEER
NO. 26006
TENN. STATE BOARD OF PROFESSIONAL ENGINEERS

BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE

PROJECT NO. 20171
NO. 20171
DATE: 10/12/17

SITE GRADING, DRAINAGE & EROSION CONTROL PLAN
C3.1

NOTE: CIVIL DWGS ARE 24"x36"
THIS IS SHOWN AT FULL SCALE



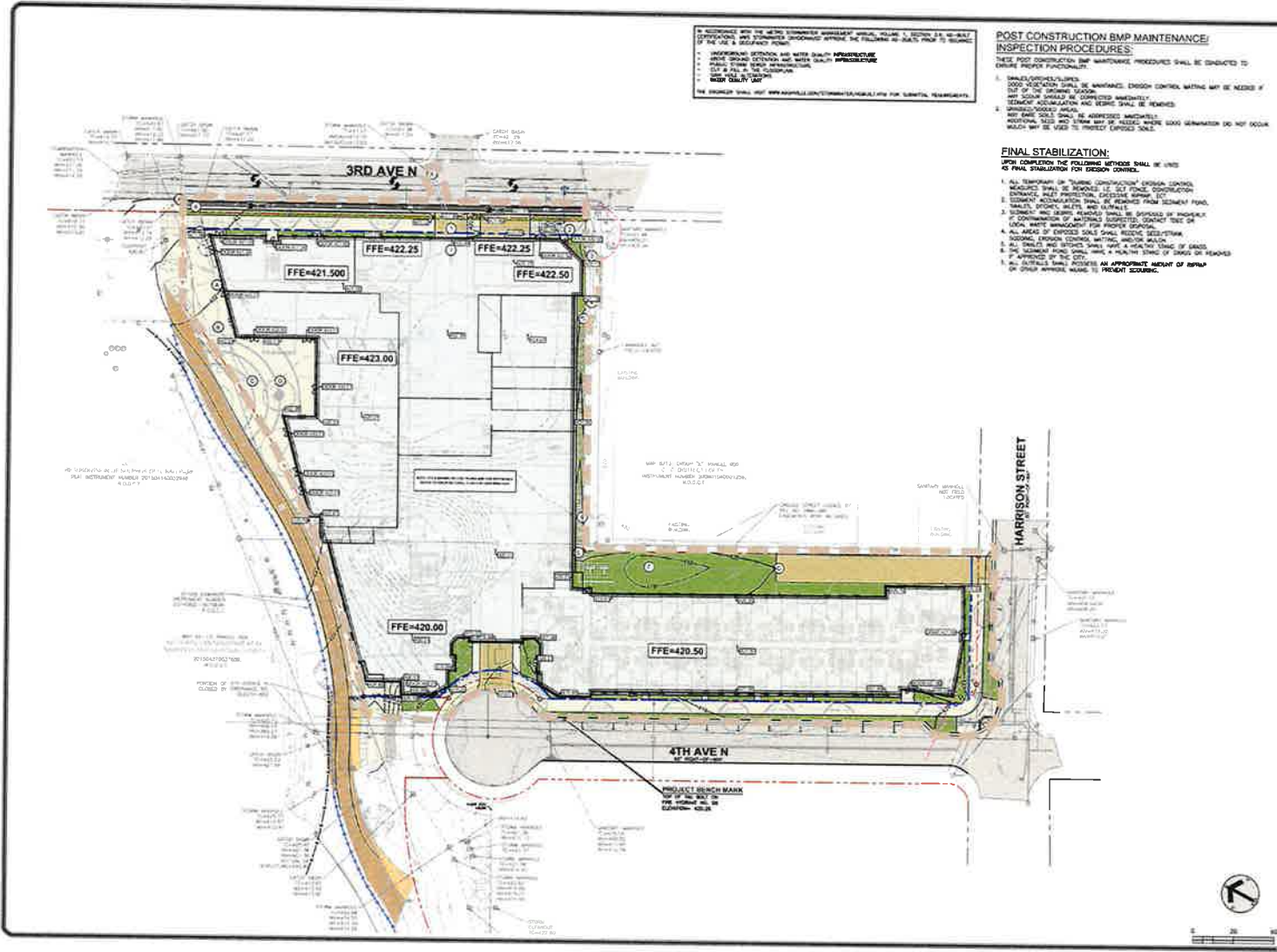
BALLPARK VILLAGE MIXED-USE
FOR
PORTMAN RESIDENTIAL
CITY OF MILWAUKEE, WISCONSIN

NO. 2028	DATE	2028
20171	NO. 2028	DATE
20171	NO. 2028	DATE
20171	NO. 2028	DATE

PUBLIC STORM SEWER REROUTE

C3.2

NOTE: CIVIL DWGS ARE 24"x36"
THIS IS SHOWN AT FULL SCALE



AS INDICATED BY THE METRIC DIMENSIONAL SYSTEM, ALL DIMENSIONS SHALL BE IN METERS. DIMENSIONS SHALL BE SHOWN TO THE NEAREST MILLIMETER. DIMENSIONS SHALL BE SHOWN TO THE NEAREST MILLIMETER. DIMENSIONS SHALL BE SHOWN TO THE NEAREST MILLIMETER.

UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN METERS. DIMENSIONS SHALL BE SHOWN TO THE NEAREST MILLIMETER. DIMENSIONS SHALL BE SHOWN TO THE NEAREST MILLIMETER.

THE DESIGN SHALL BE APPROVED BY THE CITY OF MINNEAPOLIS FOR CONSTRUCTION.

POST CONSTRUCTION BMP MAINTENANCE/ INSPECTION PROCEDURES:

POST CONSTRUCTION BMP MAINTENANCE PROCEDURES SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY.

1. SCHEDULED MAINTENANCE: SCHEDULED MAINTENANCE SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY. SCHEDULED MAINTENANCE SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY.
2. INSPECTION PROCEDURES: INSPECTION PROCEDURES SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY. INSPECTION PROCEDURES SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY.

FINAL STABILIZATION:

FINAL STABILIZATION SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY. FINAL STABILIZATION SHALL BE CONDUCTED TO ENSURE PROPER FUNCTIONALITY.

1. ALL TEMPORARY OR "TOURNE" CONSTRUCTION EROSION CONTROL MEASURES SHALL BE REMOVED OR DEMOLISHED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED OR DEMOLISHED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
2. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.
3. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.
4. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.
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7. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.
8. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.
9. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.
10. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS EROSION CONTROL MANUAL.



BALLPARK VILLAGE MIXED-USE FOR PORTMAN RESIDENTIAL

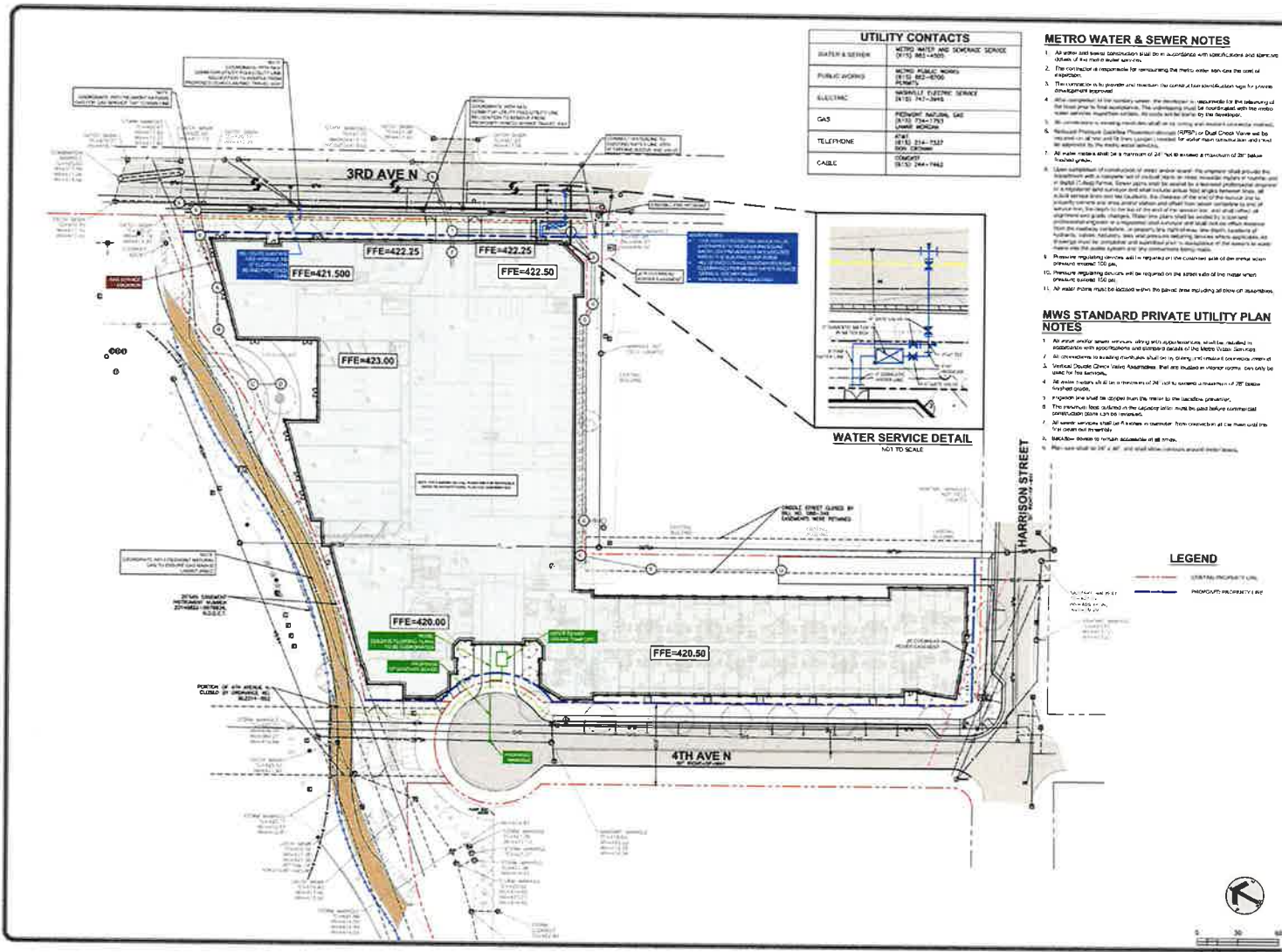
CITY OF MINNEAPOLIS, MINNESOTA

20171
 2008
 2017
 2018
 2019
 2020
 2021
 2022
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 2040

FINAL EROSION CONTROL PLAN

C3.3

NOTE: CIVIL DWGS ARE 24"x36"
 THIS IS SHOWN AT FULL SCALE



UTILITY CONTACTS	
WATER & SEWER	METRO WATER AND SEWERAGE SERVICE (MWS) 317-541-4400
PUBLIC WORKS	MUNICIPAL ENGINEERING DEPARTMENT (MED) 832-8506
ELECTRIC	MINNAPARC ELECTRIC SERVICE (MES) 747-3495
GAS	PEDESTAL NATURAL GAS (PNG) 754-1793
TELEPHONE	NETEL 214-7337
CABLE	COMCAST 813-311-7442

- ### METRO WATER & SEWER NOTES
- All water and sewer construction shall be in accordance with specifications and standards of the Metro Water and Sewer Service.
 - The contractor is responsible for obtaining the Metro Water and Sewer Service's approval for all utility work.
 - The contractor is responsible for obtaining the Metro Water and Sewer Service's approval for all utility work.
 - All construction of the water and sewer system is to be in accordance with the Metro Water and Sewer Service's standards. All work shall be done in accordance with the Metro Water and Sewer Service's standards.
 - All construction of the water and sewer system is to be in accordance with the Metro Water and Sewer Service's standards. All work shall be done in accordance with the Metro Water and Sewer Service's standards.
 - All water mains shall be a minimum of 24" and shall be installed in accordance with the Metro Water and Sewer Service's standards.
 - All sewer mains shall be a minimum of 24" and shall be installed in accordance with the Metro Water and Sewer Service's standards.
 - All construction of the water and sewer system is to be in accordance with the Metro Water and Sewer Service's standards. All work shall be done in accordance with the Metro Water and Sewer Service's standards.
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- ### MWS STANDARD PRIVATE UTILITY PLAN NOTES
- All water and sewer construction shall be in accordance with specifications and standards of the Metro Water and Sewer Service.
 - All construction of the water and sewer system is to be in accordance with the Metro Water and Sewer Service's standards. All work shall be done in accordance with the Metro Water and Sewer Service's standards.
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BALLPARK VILLAGE MIXED-USE
 FOR
PORTMAN RESIDENTIAL
OFFICE: 1000 BROADWAY, SUITE 1000, DENVER, CO 80202

DATE	2017.1	2017.1	2017.1	2017.1	2017.1
NO.	001	002	003	004	005
DESCRIPTION	PRELIMINARY	REVISED	REVISED	REVISED	REVISED
BY	J. SMITH	J. SMITH	J. SMITH	J. SMITH	J. SMITH
CHECKED BY	J. SMITH	J. SMITH	J. SMITH	J. SMITH	J. SMITH
DATE	2017.1	2017.1	2017.1	2017.1	2017.1

SITE UTILITY PLAN
C4.1

NOTE: CIVIL DWGS ARE 24"x36"
THIS IS SHOWN AT FULL SCALE

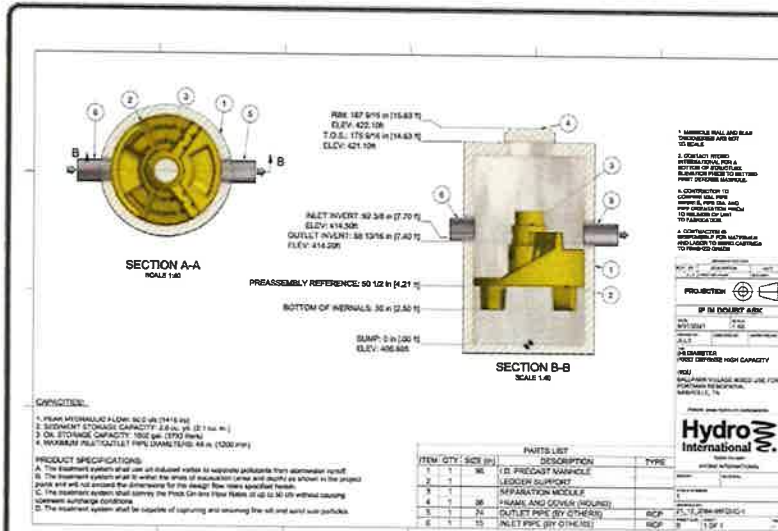
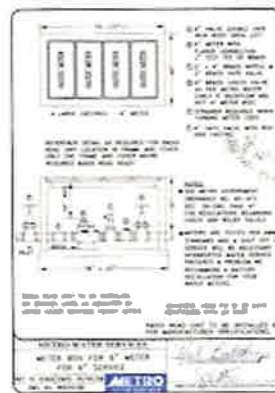
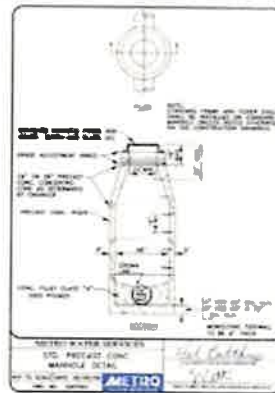
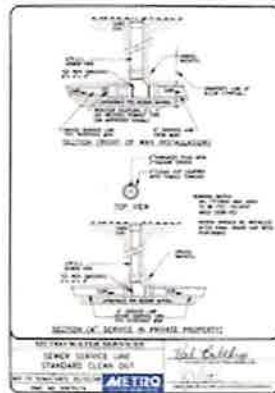
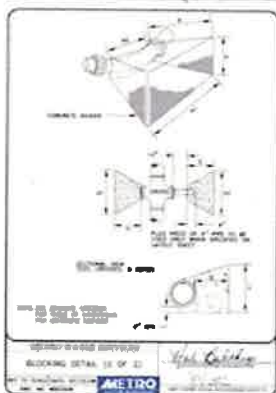
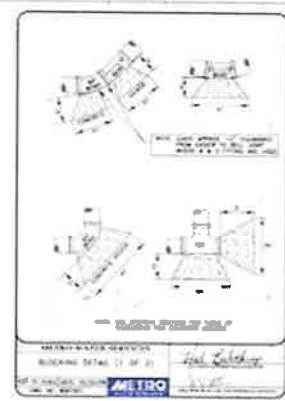


TABLE OF DIMENSIONS FOR CONCRETE BLOCKS

ITEM	QTY.	SIZE (IN)	DESCRIPTION	TYPE
1	1	36"	(1) PRECAST MANHOLE	
2	1		(1) SLOSH SUPPORT	
3	1		(1) SEPARATION MODULE	
4	1	36"	(1) FRAME AND COVER (ROUND)	
5	1	72"	(1) OUTLET PIPE (BY OTHERS)	SDP
6	1	12"	(1) INLET PIPE (BY OTHERS)	SDP

TABLE OF DIMENSIONS

METRO



BALLPARK VILLAGE MIXED-USE
 FOR
PORTMAN RESIDENTIAL

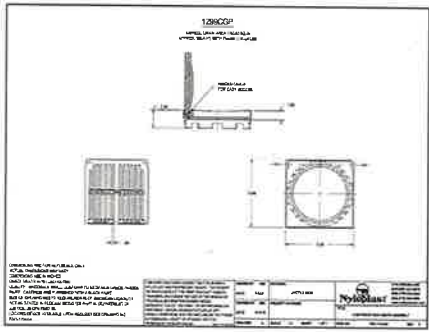
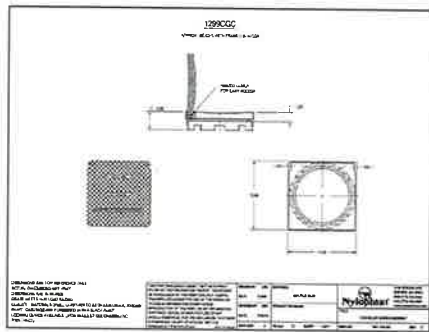
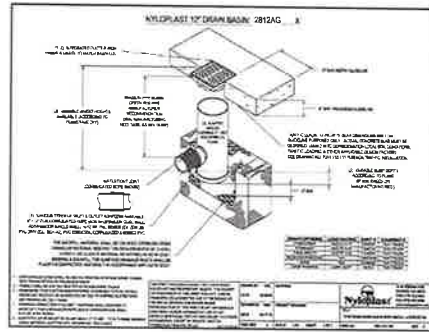
CITY OF MARSHALL, DALLAS COUNTY, TEXAS

DATE: 11/20/2017
 DRAWN BY: J. G. [Signature]
 CHECKED BY: J. G. [Signature]
 APPROVED BY: J. G. [Signature]

CIVIL DETAILS

C5.2

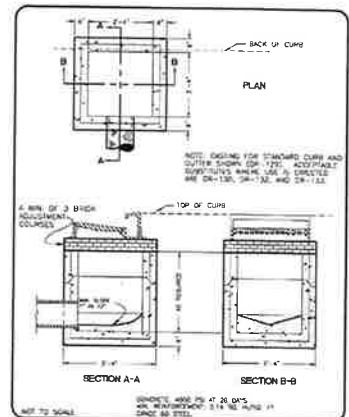
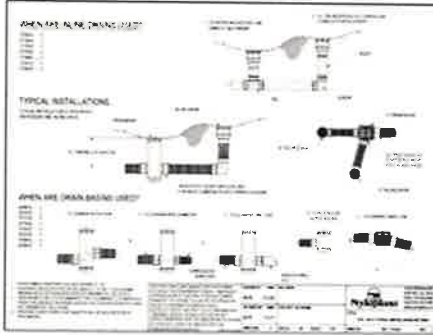
NOTE: CIVIL DWGS ARE 24"x36"
 THIS IS SHOWN AT FULL SCALE



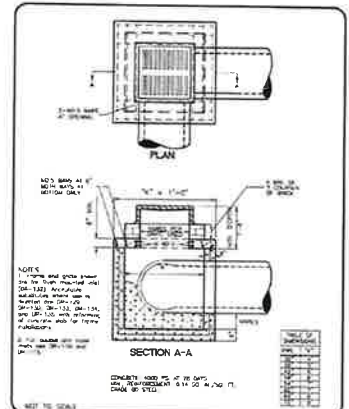
**Minimum Angle Between Adapters
 for Drain Basins & HP Manholes**

DR. SIZE	ADAPTER SIZE	MIN. ANGLE
12"	12"	30°
15"	12"	30°
18"	12"	30°
21"	12"	30°
24"	12"	30°
30"	12"	30°
36"	12"	30°
42"	12"	30°
48"	12"	30°
54"	12"	30°
60"	12"	30°
66"	12"	30°
72"	12"	30°
78"	12"	30°
84"	12"	30°
90"	12"	30°
96"	12"	30°
102"	12"	30°
108"	12"	30°
114"	12"	30°
120"	12"	30°
126"	12"	30°
132"	12"	30°
138"	12"	30°
144"	12"	30°
150"	12"	30°
156"	12"	30°
162"	12"	30°
168"	12"	30°
174"	12"	30°
180"	12"	30°
186"	12"	30°
192"	12"	30°
198"	12"	30°
204"	12"	30°
210"	12"	30°
216"	12"	30°
222"	12"	30°
228"	12"	30°
234"	12"	30°
240"	12"	30°
246"	12"	30°
252"	12"	30°
258"	12"	30°
264"	12"	30°
270"	12"	30°
276"	12"	30°
282"	12"	30°
288"	12"	30°
294"	12"	30°
300"	12"	30°

* This chart does not apply when using an EndOutlet® or AAA-B-Bunch.



METROPOLITAN GOVERNMENT OF BIRMINGHAM AND JACKSON COUNTY DEPARTMENT OF PUBLIC WORKS
 DWG. NO. DR-105
 SINGLE INLET (PRECAST)
 DATE: 02/08/00
 REVISIONS: 02/08/00

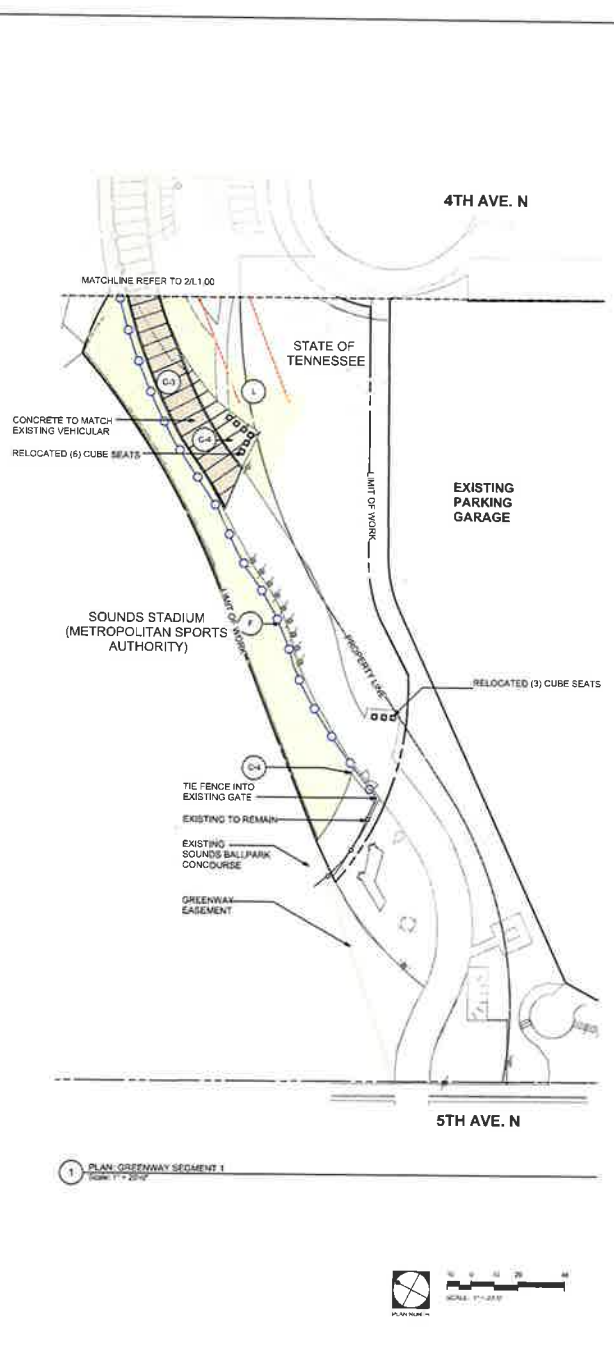
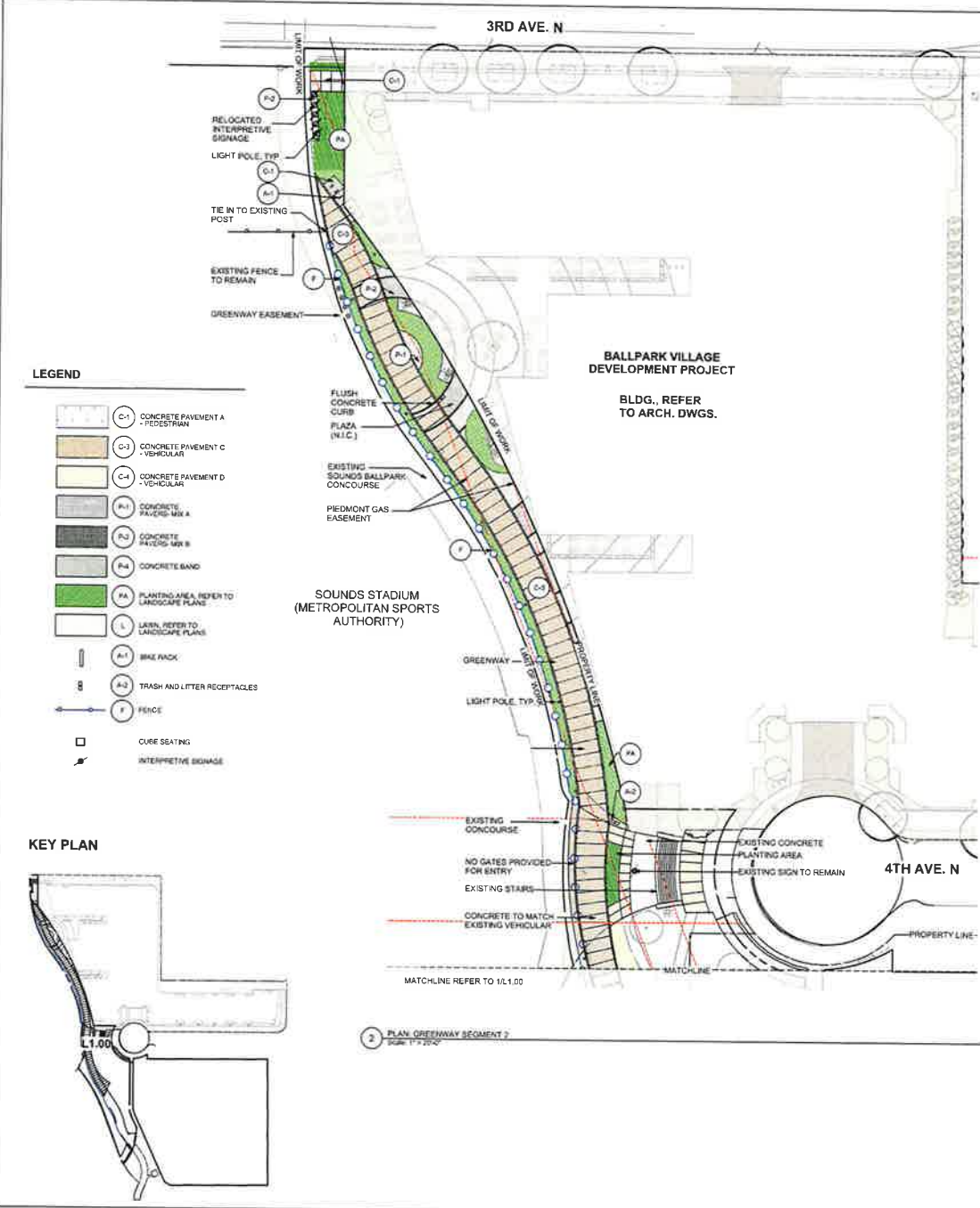


METROPOLITAN GOVERNMENT OF BIRMINGHAM AND JACKSON COUNTY DEPARTMENT OF PUBLIC WORKS
 DWG. NO. DR-120
 CONCRETE INLET (PRECAST)
 DATE: 02/08/00
 REVISIONS: 02/08/00



BALLPARK VILLAGE MIXED-USE
 FOR
PORTMAN RESIDENTIAL
 CITY OF NASHVILLE, DEWENEE COUNTY, TENNESSEE

CIVIL DETAILS
 C5.3



DYNAMIK DESIGN

5801 PEACHTREE DUNWOODY RD
ATLANTA, GA 30320
TELEPHONE 878-0588
DYNAMIKDESIGN.COM

Paulson Partners, Inc.

CONSULTANT



PROJECT NUMBER: PH10005421

NASHVILLE, TN

BALLPARK VILLAGE MIXED-USE

CLIENT

DATE	DESCRIPTION	BY	CHK
	ISSUING RELEASE		
	PROJECT REVIEW		
	DESIGN REVIEW		
	CONSTRUCTION ADMINISTRATION		
	AS-BUILT		

TITLE

MATERIAL PLAN - GREENWAY

SHEET NUMBER

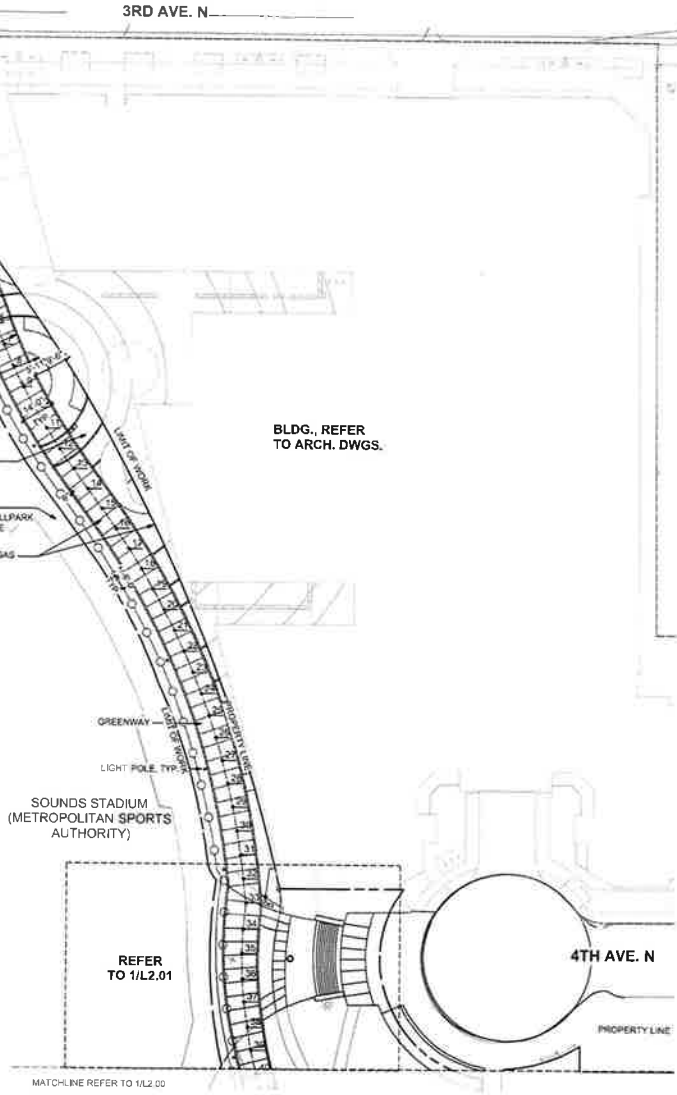
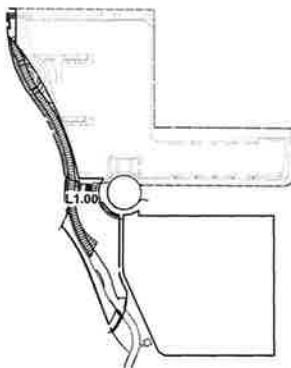
L1.00

PREFILE	ID	NORTHING	EASTING
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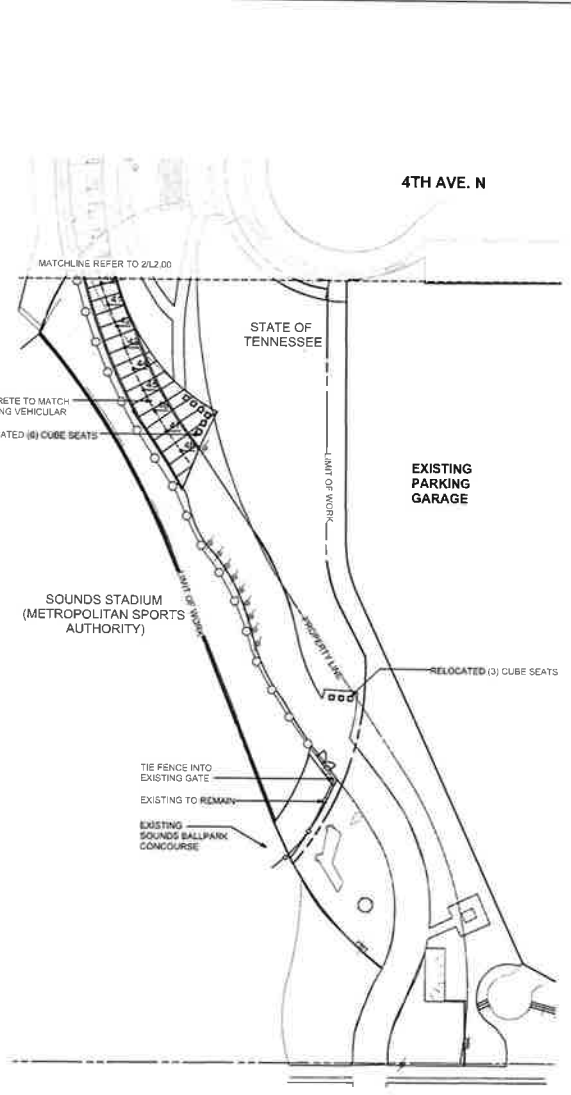
GENERAL NOTES

- The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements, conditions, and other information known to the Contractor with the contract documents before commencing activities. Errors, omissions, or omissions discovered shall be reported to the Landscape Architect as soon as possible. In the event of any discrepancies and/or errors found in the drawings, or if problems are encountered during construction, the Contractor shall be required to notify the Landscape Architect before proceeding with the work. If the Landscape Architect is not notified, the Contractor shall have responsibility for the cost of any revisions that may be incurred.
- The Contractor shall verify dimensions of as-built conditions, and notify the Landscape Architect in writing of any discrepancies. All information shown on the construction documents is based on survey information and/or the original construction documents.
- All construction activities shall be completed in full compliance with the American with Disabilities Act (ADA) and Architectural and Transportation Barriers Compliance Board Federal Register 36CFR parts 1190 and 1191, Accessibility guidelines for buildings and facilities; Architectural Barriers Act (ABA) Accessibility Guidelines; proposed rule, November 1999, as has been adopted by Metro.
- The Contractor Shall Obtain All Permits Required For Demolition And Construction And Contact Tennessee One Call Three Days Prior To Excavation.
- CAD Files Will Be Provided As A Courtesy To Assist Contractor With Field Staking And Layout.

KEY PLAN



2 PLAN GREENWAY SEGMENT 2
Scale 1" = 25'-0"



1 PLAN GREENWAY SEGMENT 1
Scale 1" = 25'-0"



DYNAMIK DESIGN

5811 PEACHTREE DUNWOODY RD.
ATLANTA, GA 30328
TELEPHONE: 678-555-8830
DYNAMIKDESIGN.COM

Consultant: **Evolution Partners, Inc.**

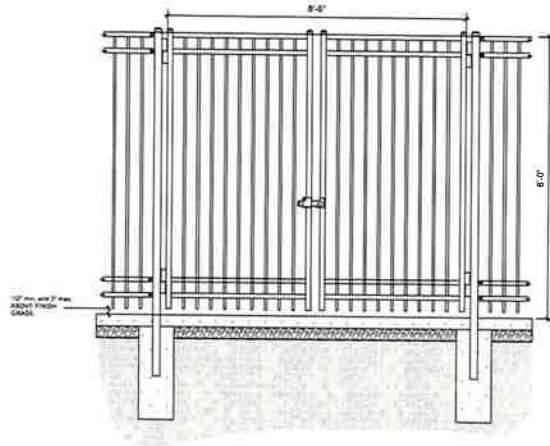


PROJECT NUMBER: PWR0000181
PROJECT NAME: BALLPARK VILLAGE MIXED-USE
CLIENT: NASHVILLE, TN

DATE	DESCRIPTION	BY	CHECKED
	ISSUED FOR PERMIT		
	ISSUED FOR CONSTRUCTION		
	ISSUED FOR RECORD		

TITLE: LAYOUT PLAN - GREENWAY

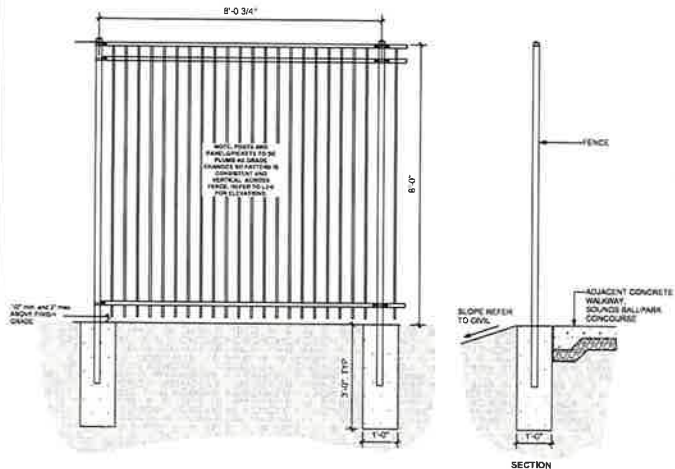
SHEET NUMBER: L2.00



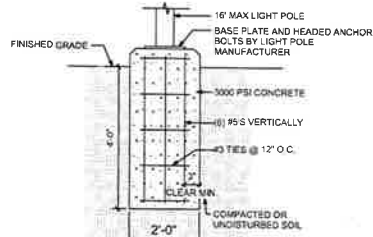
9 DETAIL: 8' SECURITY GATE
Scale: 3/4" = 1'-0"

MANUFACTURER: AMERISTAR
PRODUCT: MONTAGE COMMERCIAL (8' HT)
FINISH: TO MATCH EXISTING
COLOR: TO MATCH EXISTING

SUBMIT SHOP DRAWINGS FOR DETAILING, GRADE
RELATIONSHIP AND POST LOCATION REVIEW AND
APPROVAL BY LANDSCAPE ARCHITECT
INSTALL PER MANUFACTURER'S RECOMMENDATIONS,
AMERISTAR FENCE



8 DETAIL: 8' SECURITY FENCE
Scale: 3/4" = 1'-0"



7 DETAIL: LIGHT POLE BASE ON GRADE
Scale: 3/4" = 1'-0"

NOTES:
1. PROVIDE SHOP DRAWINGS STAMPED BY A
STRUCTURAL ENGINEER REGISTERED IN THE
STATE OF TENNESSEE; FOR ALL POSTS,
CONNECTIONS, FOOTINGS
2. COORDINATE BOLT PATTERN & CONNECTION
W/ LIGHT POLE MANUFACTURER



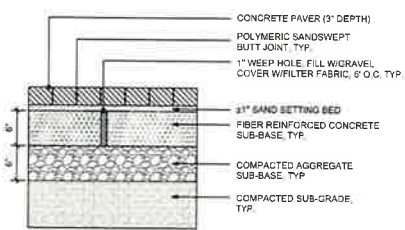
6 REPRESENTATIVE PHOTO: (A-1) BIKE RACK

BIKE RACK
MANUFACTURER: LANDSCAPE FORMS
PRODUCT: BOLA BIKE RACK
MATERIAL AND FINISH: POWDERCOAT
ALUMINUM
INSTALLATION SURFACE: MOUNT
NOTE: ALLOWANCE OF 10
REPRESENTATIVE PHOTO



5 REPRESENTATIVE PHOTO: (A-2) TRASH / RECYCLE RECEPTACLE

TRASH / RECYCLE RECEPTACLE
MANUFACTURER: LANDSCAPE FORMS
PRODUCT: CHASSI PARK LETTERS &
RECYCLING
MATERIAL AND FINISH: POWDERCOAT
ALUMINUM
INSTALLATION SURFACE: MOUNT
NOTE: ALLOWANCE OF 6
REPRESENTATIVE PHOTO



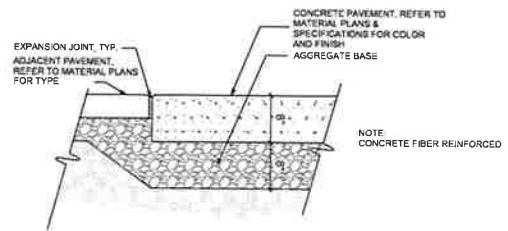
4 SECTION: CONCRETE PAVER AT GRADE
Scale: 1 1/2" = 1'-0"

NOTES:
1. PAVING PATTERN TO MATCH BALLPARK VILLAGE MIXED-USE
PAVING

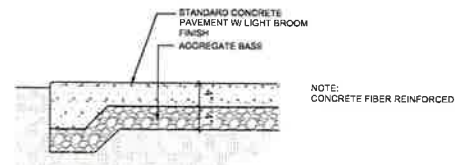


EXISTING GREENWAY

C-3 INTERGRAL COLOR VEHICULAR CONCRETE TO MATCH EXISTING
C-4 INTERGRAL COLOR VEHICULAR CONCRETE TO MATCH EXISTING
NOTE: SEE MATERIAL PLANS FOR LOCATION

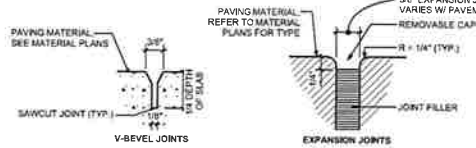


3 DETAIL: VEHICULAR CONCRETE PAVEMENT AT GRADE
Scale: 1 1/2" = 1'-0"



2 DETAIL: PED. CONCRETE PAVEMENT AT GRADE
N.T.S.

NOTE: REFER TO PAVING LAYOUT AND JOINTING PLAN FOR JOINT LOCATIONS



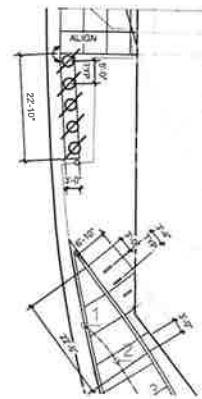
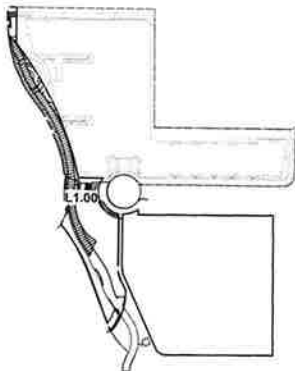
1 SECTION: CONCRETE JOINTS
Scale: 1:1

DATE	REVISION	BY	CHKD

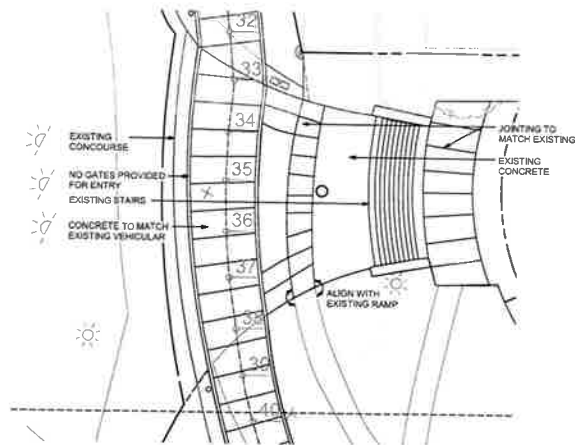
GENERAL NOTES

1. The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements, conditions, and other information known to the Contractor with the contract documents before commencing activities. Errors, omissions, or omissions discovered shall be reported to the Landscape Architect at once. In the event of any discrepancies and/or errors found in the drawings, or if problems are encountered during construction, the Contractor shall be required to notify the Landscape Architect before proceeding with the work. If the Landscape Architect is not notified, the Contractor shall take responsibility for the cost of any revisions that may be incurred.
2. The Contractor shall verify dimensions of as-built conditions, and notify the Landscape Architect in writing of any discrepancies. All information shown on the construction documents is based on survey information and is in the original construction documents.
3. All construction activities shall be completed in full compliance with the American with Disabilities Act (ADA) and Architectural and Transportation Barriers Compliance Board, Federal Register 36CFR parts 1190 and 1193, Accessibility guidelines for buildings and facilities, Architectural Barriers Act (ABA), Accessibility Guidelines, proposed rule, November 1990, as has been adopted by Meigs.
4. The Contractor Shall Obtain All Permits Required For Demolition And Construction And Contact Tennessee One Call Three Days Prior To Excavation.
5. CAD Files Will Be Provided As A Courtesy To Assist Contractor With Field Staking And Layout.

KEY PLAN



2 PLAN: GREENWAY ENLARGEMENT
Scale: 1" = 12'-0"



1 PLAN: GREENWAY ENLARGEMENT
Scale: 1" = 12'-0"



DYNAMIK
DESIGN

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BUILDING C, SUITE 250
TELEPHONE: 878-266-8800
DYNAMIKDESIGN.COM



CONSULTANT



PROJECT NUMBER: PMS2008.01
MUSKIELE, TN
BALLPARK VILLAGE MIXED-USE
CLIENT

DATE	REVISION	BY	CHKD

TITLE
LAYOUT PLAN - GREENWAY

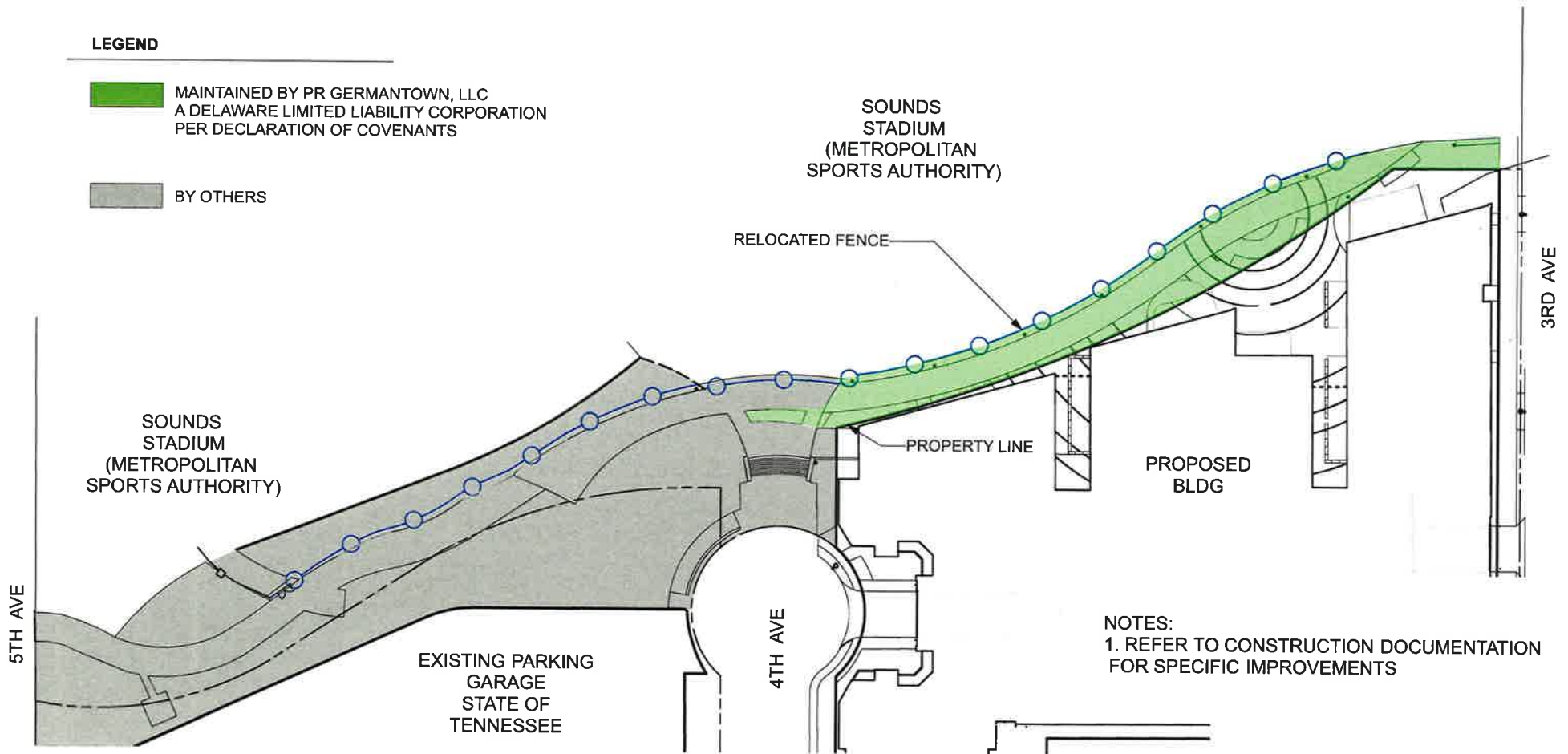
SHEET NUMBER
L2.01

EXHIBIT "D"
MAINTENANCE AREA

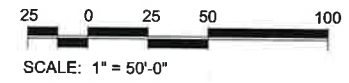
LEGEND

 MAINTAINED BY PR GERMANTOWN, LLC
A DELAWARE LIMITED LIABILITY CORPORATION
PER DECLARATION OF COVENANTS

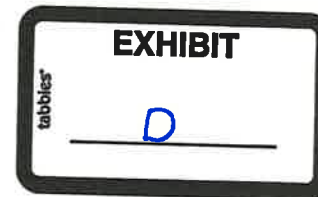
 BY OTHERS



NOTES:
1. REFER TO CONSTRUCTION DOCUMENTATION
FOR SPECIFIC IMPROVEMENTS



BALLPARK VILLAGE MIXED USE
NASHVILLE, TN
MAINTENANCE AGREEMENT • 10-04-2021
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