

Pillow + Merritt  
A Micro-Housing Project

Preliminary Specific Plan  
January 08, 2021





**DEVELOPER: Core Development**  
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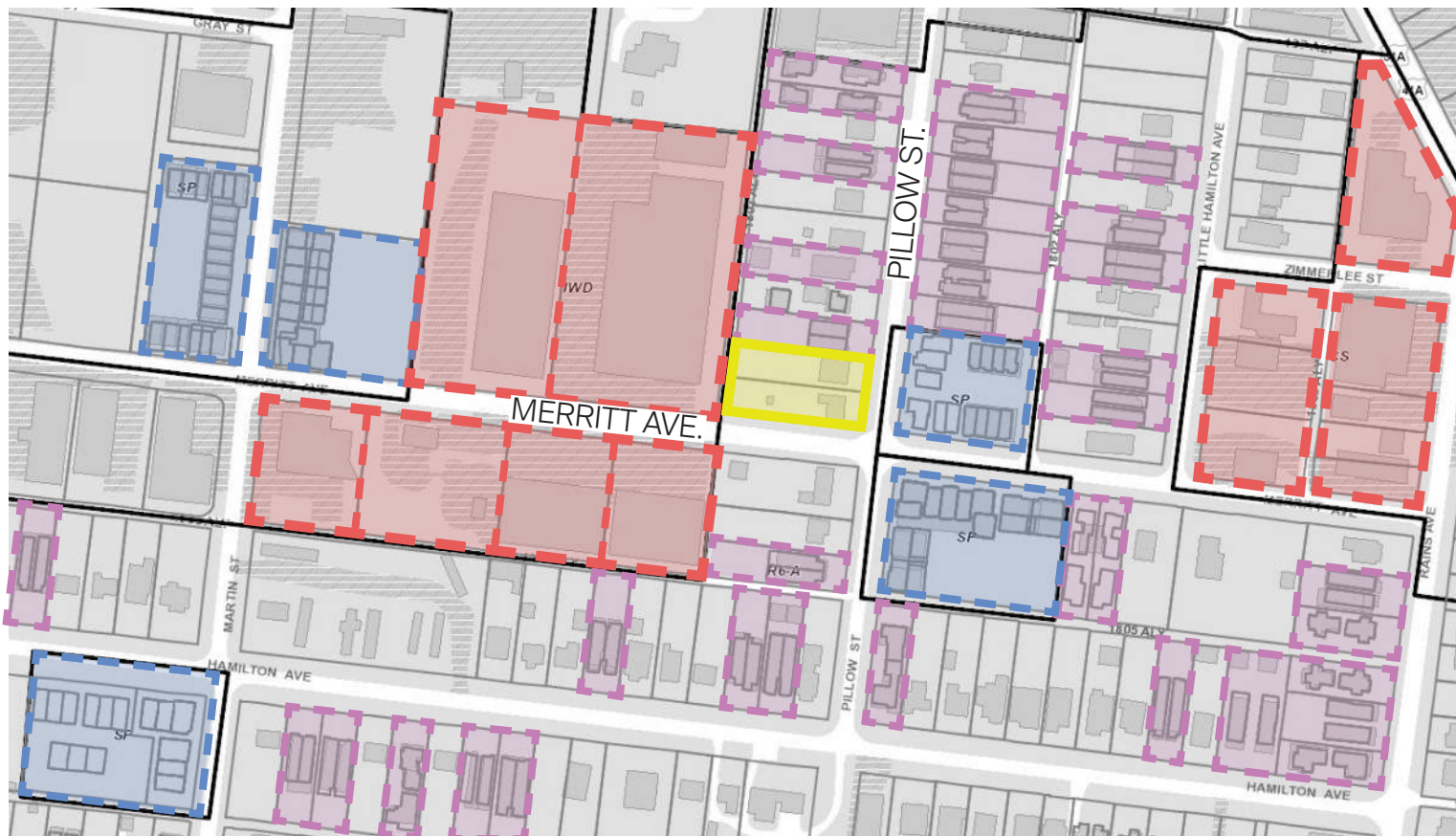
**ARCHITECT/APPLICANT: HASTINGS**  
Chris Davis - [cdavis@hastingsarchitecture.com](mailto:cdavis@hastingsarchitecture.com)  
225 Polk Avenue, Suite 100  
Nashville, TN 37203

CONTEXT MAP

Case No. 2020SP-052-001







PROPOSED DEVELOPMENT ———  
 COMMERCIAL DEVELOPMENT - - - - -  
 MULTIFAMILY DEVELOPMENT - - - - -  
 DUPLEX/TOWNHOMES - - - - -



EXISTING CONDITIONS Case No. 2020SP-052-001

### Zoning Analysis

**Acreeage** 1321 Pillow St. - # 10507013400 0.23 acres (9,550 SF)  
 Current Owner - ORRALL, ROBERT E. & CHRISTINE LEVERONE & JUSTINE  
 1323 Pillow St. - # 10507013500 0.23 acres (9,550 SF)  
 Current Owner - RUSSELL, NATHANIEL WAYNE  
**0.46 acres (19,100 SF)**

**Council District** 17: Colby Sledge

**Existing Zoning** R6-A

**MCSP requirements** Merritt Ave. is designated as a Urban Mixed-Use Local Street (T4-M-LS2), and has a designated right-of-way width of 56' total. Pillow St. is not designated. \*\*The alley will also need to be increased from 15', as Metro Public Works requires alleys be a minimum of 20' wide.

**Planning Policies** Within the Nashville Community Character Manual, these properties are designated as T4 Urban Neighborhood Evolving (T4-NE). This policy application of T4-NE promotes housing choice by integrating a mixture of building types, including single-family, detached accessory dwelling units, plex houses, townhouses, and flats.

Additionally, parcels are included in the **'Wedgewood - Houston and Chestnut Hill Planning Study'**, adopted October 2019, Character Area 2, Subdistrict 2a (SPA 11-WHCH-1). In order to achieve a rezoning, properties would be subject to the guidance of this Planning Study.

These properties are within Area 2, Subdistrict 2a: South Wedgewood-Houston. This Subdistrict has experienced a significant amount of infill residential development over the last decade. In many cases one-story single family homes are being demolished and two, taller homes are built in their place. Infill on larger parcels is frequently in the form of townhomes or courtyard developments. This area should continue to evolve to allow flexibility in housing types to address affordability. Neighborhood-scale retail could be appropriate at prominent corners.

**Policy Building Height** Typical Heights, as outlined within the special-policy are as follows:

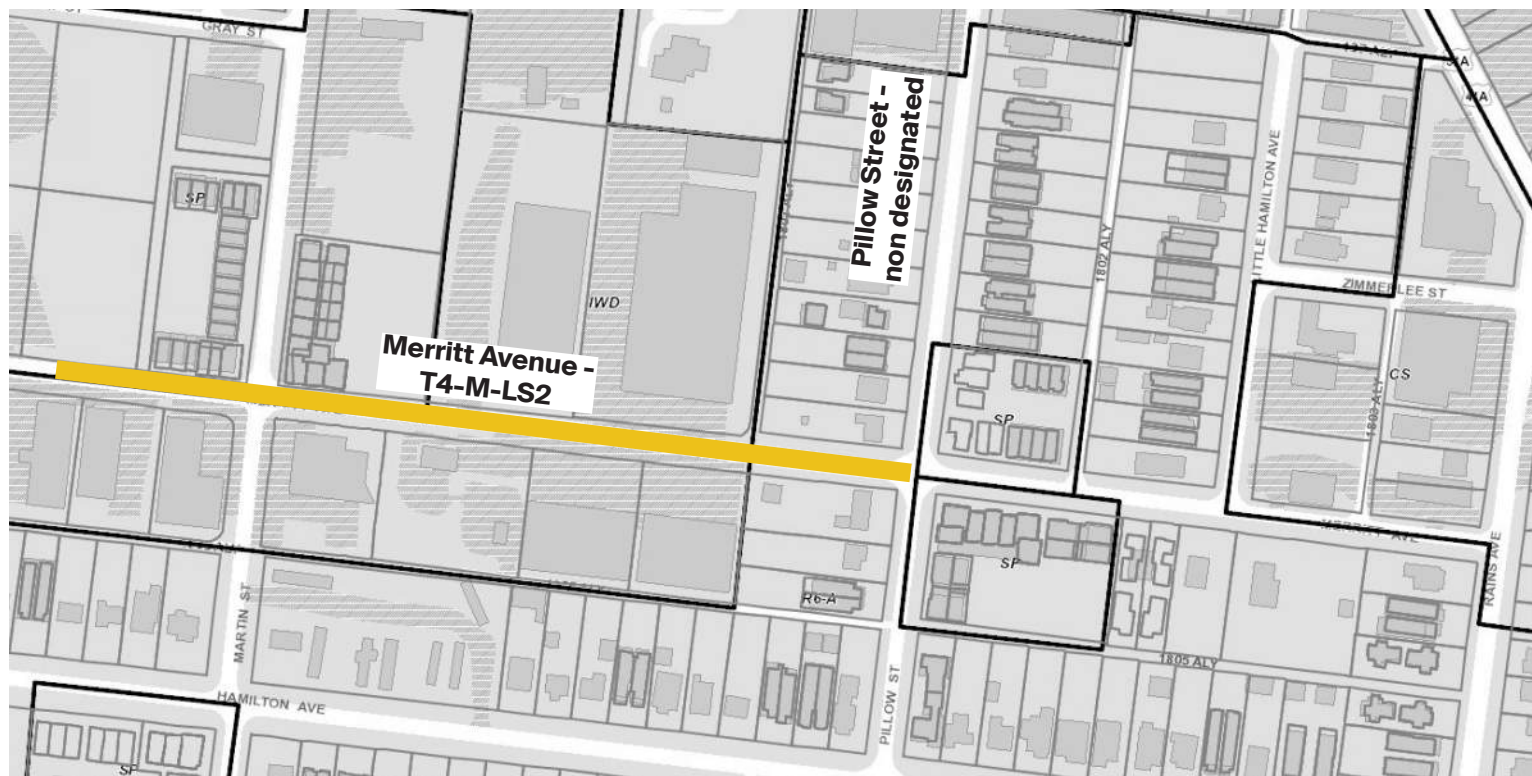
- Plex or Manor = 3 stories
- House Court = 3 stories
- Townhouse = 3 stories
- Flats = 3-4 stories
- Live/Work = 3-4 stories (within a Neighborhood Center)
- Mixed Use = 3-4 stories (within a Neighborhood Center)

**Policy Supported Re-zonings** The Special Policy for North Wedgewood-Houston supports re-zonings to:

- R6-A, RM15-A, RM20-A, RM40-A
- SP's based on these zones
- With MUN-A or Design-based zoning being the recommended maximum zoning in this Subdistrict in locations designated as Neighborhood Centers.

**Notes**



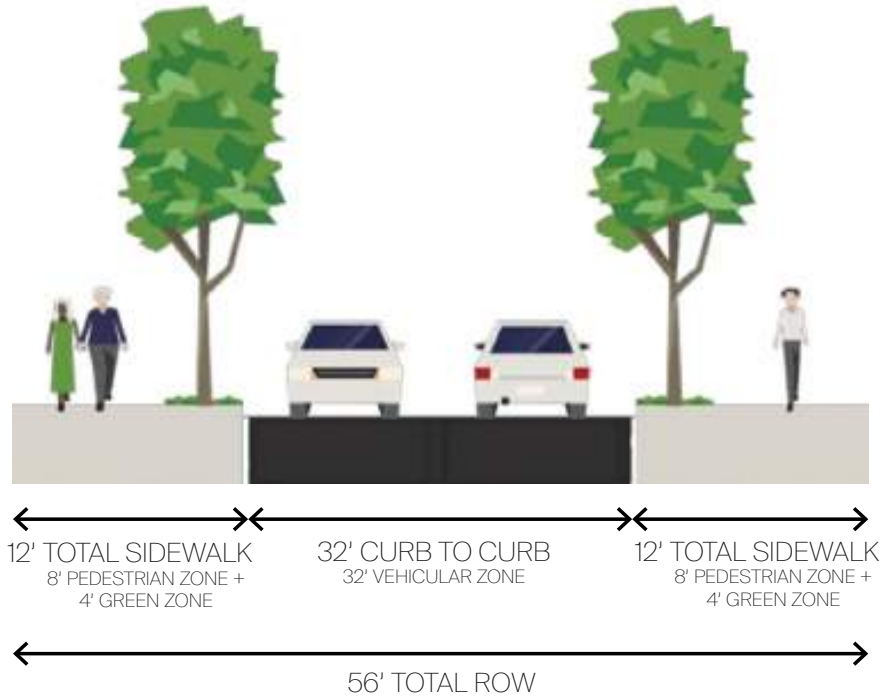


**MCSP Designations**

In order to make Nashville walkable and accessible to multiple modes of transportation, additional dedication of right-of-way(s) may be required. Upon development, this property will be responsible for providing half of the updated right-of-way designation from the street centerline.

**Merritt Avenue**

Merritt Ave. is set to have an updated right-of-way of 56' total, and is designated as a Urban Mixed-Use Local Street (T4-M-LS2). This includes two travel lanes, a 4' planting area, and an 8' sidewalk. The survey provided by the client on 12/2019 shows a right-of-way section on Merritt of 50', which would require an additional dedication of 3'.



MERRITT AVENUE RIGHT-OF-WAY

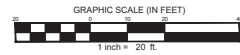
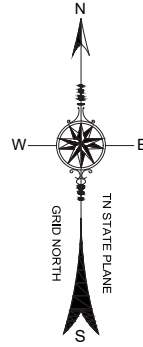
**Pillow Street**

Pillow Street is not designated in the MCSP. It is currently a 50' right-of-way consisting of two travel lanes, with no sidewalks except at the intersection of Merritt Avenue where on street parking and a 5' sidewalk are provided. It is assumed no additional right-of-way dedication will be required.

**Alleyways**

All Metro alleyways are required to be at least 20' wide. The alley to the west is currently shown to be 13'-6" wide currently and is unimproved. An additional 3'-6" will need to be dedicated to the right-of-way when the alley improvements are made.

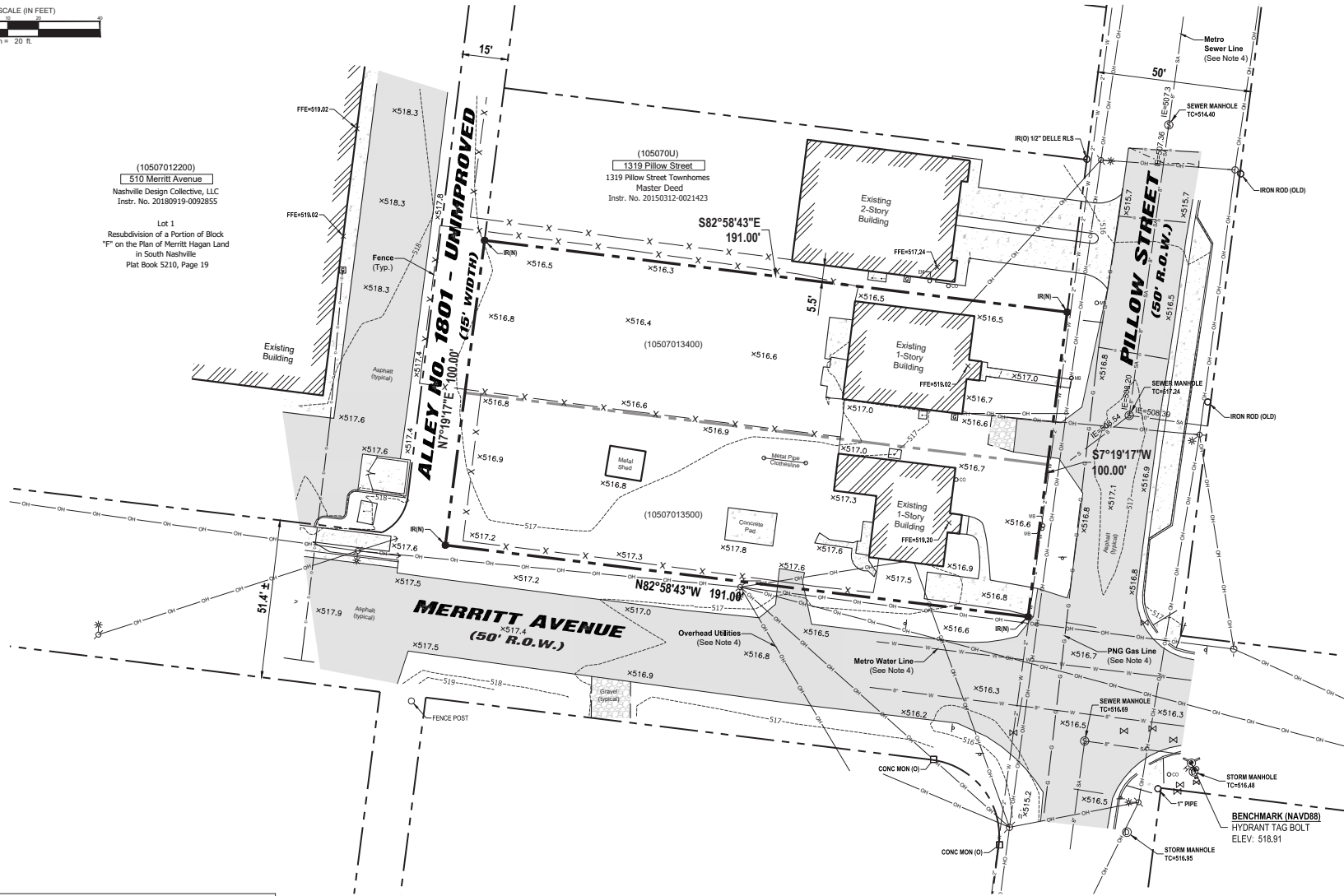




OWNERS TABLE			
PARCEL ID	OWNER(S)	DEED REFERENCE	ADDRESS
10507013400	ROBERT E. ORRALL	20131119-0119144	1321 PILLOW ST.
	CHRISTINE LEVERONE ORRALL		
	JUSTINE ORRALL		
10507013500	NATHANIEL WAYNE RUSSELL	Deed Book 6762, Page 545	1323 PILLOW ST.

(10507012200)  
510 Merritt Avenue  
Nashville Design Collective, LLC  
Instr. No. 20180919-0092855

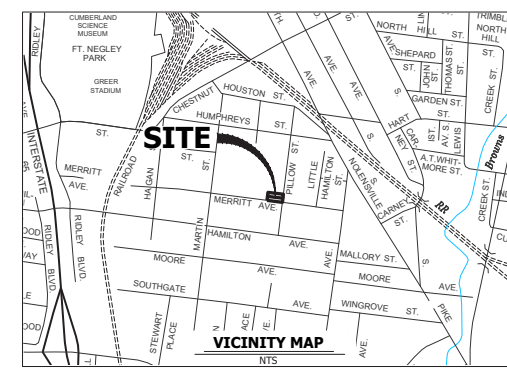
Lot 1  
Resubdivision of a Portion of Block  
"F" on the Plan of Merritt Hagan Land  
in South Nashville  
Plat Book 5210, Page 19



SYMBOL LEGEND			
Symbol	Denotes	Symbol	Denotes
○	IRON ROD (OLD)	○	SIGN POST
●	IRON ROD (NEW)	○	FENCE POST
⊕	BENCHMARK	—x—	FENCE
⊙	STORM MANHOLE	—OH—	OH (OVERHEAD UTILITY LINE)
⊙	SEWER MANHOLE	—W—	WATER LINE
⊙	CLEAN OUT	—SA—	SANITARY SEWER LINE
⊙	FIRE HYDRANT	—ST—	STORMWATER LINE
⊙	WATER METER	—G—	NATURAL GAS LINE
⊙	WATER VALVE	---	PROPERTY/PARCEL LINE
⊙	GAS VALVE	---	MAJOR ELEVATION LINE
⊙	GAS METER	---	MINOR ELEVATION LINE
⊙	UTILITY POLE	x825.22	SPOT ELEVATION
⊙	UTILITY POLE WITH LIGHT		
		ASPHALT PATTERN	
		BUILDING PATTERN	
		CONCRETE PATTERN	
		GRAVEL PATTERN	

ALWAYS CALL 811 BEFORE YOU DIG!  
IT'S FREE. IT'S EASY. AND IT'S THE LAW!  
DIG - DRILL - BLAST - BORE  
CALL 811, OR (800) 351-1111  
(615) 367-1110  
TENNESSEE - ONE CALL CENTER

Rev.	Date	Revision Description



**TOTAL AREA**  
1321 Pillow Street - 9,550 ± square feet  
1323 Pillow Street - 9,550 ± square feet  
**19,100 ± square feet or 0.438 acres more or less**

**DEED REFERENCE**  
(See "Owners Table")

**PLAT REFERENCE**  
1323 Pillow Street - Being the southerly 50 feet of the easterly part of Block "F" on the Plan of the Merritt-Hagan Land in South Nashville of record in Minute Book N, Page 241, County Court, Davidson County, Tennessee.  
1321 Pillow Street - Land in Davidson County, Tennessee, being the northerly 50 feet of the southerly 100 feet of the easterly part of Block "F" on the plan of the Merritt-Hagan Land in South Nashville, as of record in Minute Book "N", page 241, County Court for said County.

- SURVEYOR'S NOTES**
- This Property is located in the 17th Council District of Davidson County Tennessee.
  - Bearings, Elevations and Coordinates shown are based on Tennessee State Plane NAD83 (NAVD88)
  - The property is located in areas designated as "Zone X" (areas determined to be outside the 0.2% annual chance floodplain) as noted on the current FEMA Firm Community Panel. Map Number: 47037C0244H Map Revised: April 5, 2017
  - Utilities shown hereon were taken from visible structures and other sources available to me at this time. Verification of existence, size, location and depth should be confirmed with the appropriate utility sources.
  - A Title Report was not provided for the preparation of this survey. Therefore, this survey is subject to the findings of an accurate title search.
  - No Stream determinations were provided to this surveyor. Therefore, this survey does not address the existence or non-existence of any Waters of the State, stream buffers or wetlands.
  - This survey does not address the owner of any fence nor address any adverse claim of ownership of any adjoining property. Removal of any property line fence should be coordinated with adjacent owner.
  - Property is currently Zoned "R6-A". Setbacks to be determined by Metro Codes Administration.
  - This survey was prepared for the exclusive use of the persons or entities named on the certification hereon. Said certificate does not extend to any unnamed person or entity without an express re-certification by the surveyor.

**GPS Notes:**

- The (TDOT) Tennessee Geodetic Reference Network was used for this survey
- GPS locations used for this survey were established using a VRS network consisting of multiple reference stations
- GPS data was collected with a Spectra Precision 80 receiver
- This survey was prepared without the use of a scale factor. Except in the instance of initial survey control, all distances or coordinates were derived from measurements taken by a total station. Coordinates used for the initial survey control were generated with the use of GPS observations and used as the basis for the coordinate system used for this survey.
- The date of this survey is: 11/23/2019.

**SURVEYOR'S CERTIFICATE**  
To: Core Development Services

I hereby certify that this survey was actually made on the ground under my direct supervision, using the latest recorded deeds, and other information; and that this survey exceeds the minimum requirements for a Category 1 Urban Land Survey pursuant to Chapter 0820-3, Section .05 of the Department of Insurance Standards of Practice for Land Surveyors; and that this survey is true and correct to the best of my knowledge and belief.

G. Scott Carter, TN RLS # 2391

1711 Hayes Street  
Nashville, TN 37203  
clint@elliotts.com  
(615) 490-3236

**CLINT ELLIOTT SURVEY**

**Boundary & Topographic Survey**  
of  
**1321 & 1323 Pillow Street**  
Nashville, Davidson County, Tennessee 37203



Issue Date: 12-04-19  
Project ID: 1321/1323 Pillow St.  
Drafted By: BB/JT  
Field Crew: JL

Sheet Title:  
**Boundary & Topographic Survey**  
Sheet No.  
**V-1.00**

The specific plan for Pillow + Merritt is intended to **address key issues**, as laid out in the **Wedgewood-Houston & Chestnut Hill Planning Study**<sup>1</sup>, of:

**affordability and displacement**<sup>2</sup> by providing a multifamily development made up of primarily **micro units** (units smaller than 500 sf). The Pillow + Merritt SP would provide a pathway for residents to **remain into the neighborhood** at a price point that is currently unavailable thus promoting **socioeconomic diversity** that is currently endangered.

1 - [https://www.nashville.gov/Portals/0/SiteContent/Planning/docs/subarea11/WedgeHoustonChestnutHill/WHCH\\_AdoptedDraft.pdf](https://www.nashville.gov/Portals/0/SiteContent/Planning/docs/subarea11/WedgeHoustonChestnutHill/WHCH_AdoptedDraft.pdf)

2 - page 18, bullet point 1

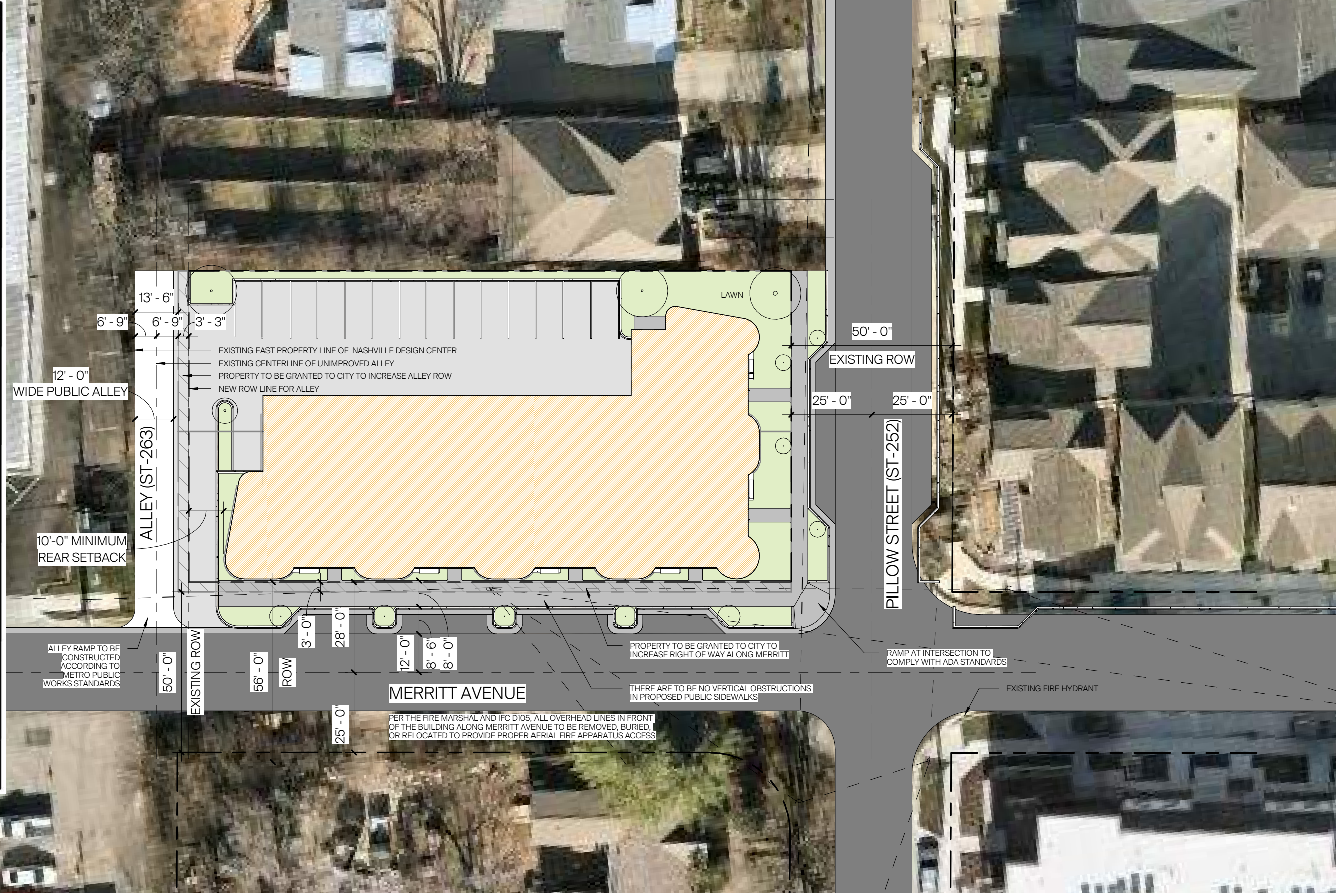
### Specific Plan Regulations

<b>Zoning</b>	SP
<b>Permitted Uses</b>	Multi-Family Residential; Home Occupation is permitted as an accessory use
<b>FAR</b>	Not applicable due to design based Specific Plan
<b>ISR</b>	0.80
<b>Maximum Unit Count</b>	39 units
<b>Build-to-Zone</b>	0-15 feet
<b>Maximum Height at the Build-to-Zone</b>	3 stories in 45 feet
<b>Step-back</b>	5 feet**
<b>Maximum Overall Height</b>	4 stories in 50 feet
<b>Minimum Rear Setback</b>	10 feet
<b>Minimum Side Setback</b>	none required
<b>Parking</b>	.75 space per residential unit***
<b>Glazing</b>	Glazing on the first floor of any public street frontage shall be a minimum of forty percent for nonresidential uses and a minimum of twenty-five percent for residential uses. Glazing on the upper floors of any public street frontage shall be a minimum of twenty-five percent.
<b>Raised Foundation</b>	No raised foundations will be required
<b>Sidewalk</b>	See attached site plan for sidewalk regulations

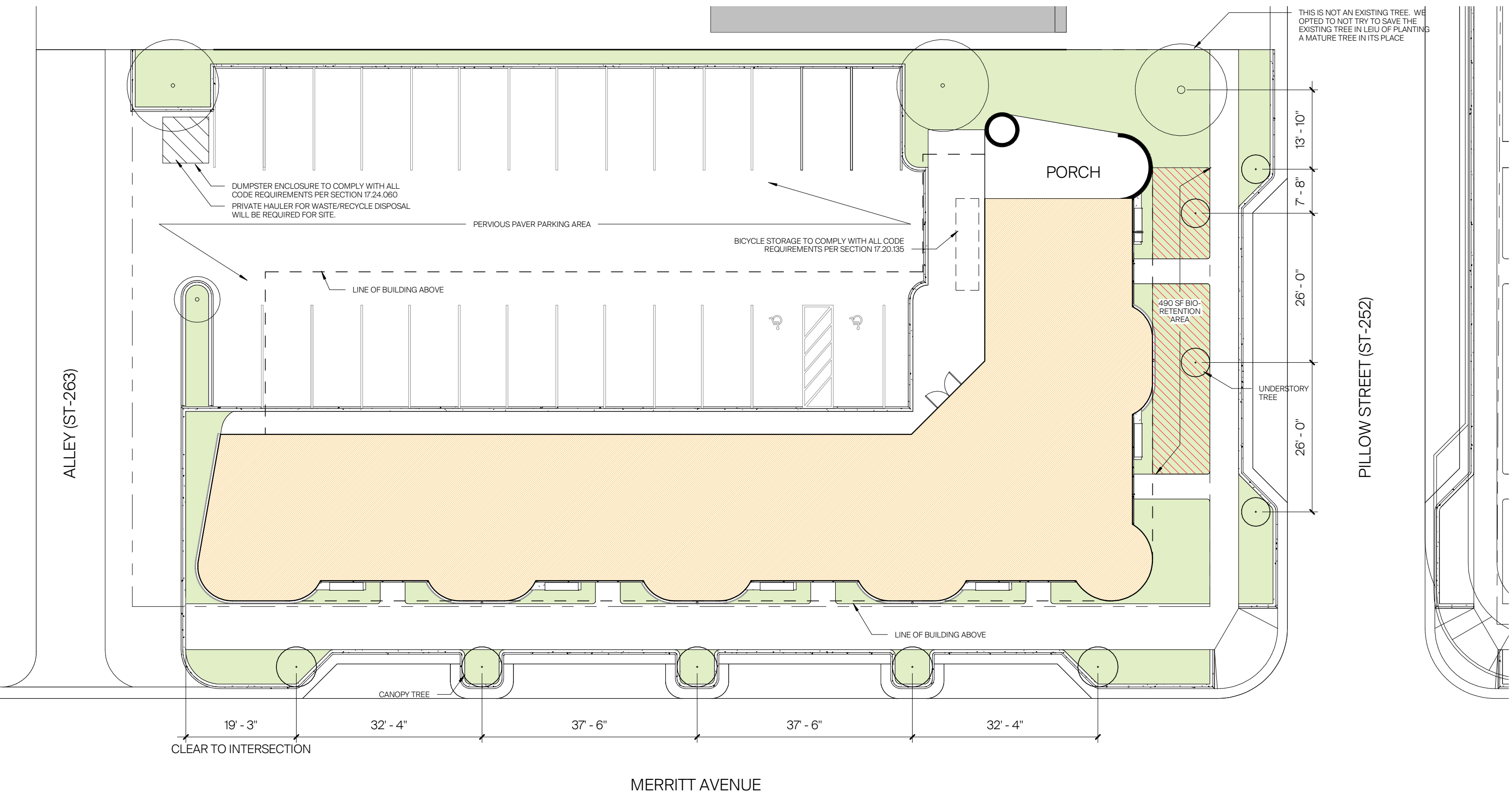
**Notes** \*\*Elements allowed within the step-back include eaves, gutters/downspouts, roof overhangs, railings, terrace partitions and structural elements such as columns.  
\*\*\*Parking count is calculated based on 1 space per unit with a 10% reduction for proximity to transit and a 10% reduction for sidewalk connectivity. An additional 5% reduction is assumed due to reduced parking demand based on micro-unit typology.



- METRO PUBLIC WORKS NOTES:**
1. THE FINAL SITE PLAN / BUILDING PERMIT SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP FRONTAGE OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. WHERE FEASIBLE, VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
  2. PARKING RATIOS SHALL BE PROVIDED AT OR ABOVE THE METRO ZONING CODE UZO PARKING STANDARDS.
  3. ANY REQUIRED RIGHT-OF-WAY WITHIN THE PROJECT SITE THAT IS IDENTIFIED AS NECESSARY TO MEET THE ADOPTED ROADWAY PLANS SHALL BE DEDICATED.
  4. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN, OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE.
  5. THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP. THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC. ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS.
  6. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
  7. ALL SOLID WASTE AND RECYCLING COLLECTION FOR THE SITE WILL BE HANDLED BY A PRIVATE HALLER/SERVICE.
- DESIGN NOTES:**
1. WHERE FEASIBLE, THIS DEVELOPMENT WILL BE SERVED WITH UNDERGROUND POWER AND PAD-MOUNTED TRANSFORMERS.
  2. NEW FACILITIES WILL NOT BE ALLOWED TO SIT IN OR PASS THROUGH RETENTION AREAS, INCLUDING RAIN GARDENS, BIORETENTION AREAS, BIOSWALES, AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN PAD-MOUNTED TRANSFORMER EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER.
- FEMA NOTE:**
- THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS 0.2% ANNUAL CHANCE FLOOD HAZARD, ZONE X. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 47037C1244H, DATED APRIL 5, 2017.
- FIRE MARSHAL NOTES:**
1. NEW COMMERCIAL DEVELOPMENTS SHALL BE PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH THE 2006 EDITION OF NFPA 1 TABLE H.
  2. NO PART OF ANY BUILDING SHALL BE MORE THAN 500 FEET FROM A FIRE HYDRANT VIA A HARD SURFACE ROAD. METRO ORDINANCE 095.1541 SEC. 1568.020B.
  3. ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20 FEET MINIMUM WIDTH AND SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.
  4. IF MORE THAN THREE STORIES ABOVE GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
  5. THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP. THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC. ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS.
  6. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- LANDSCAPE NOTE:**
- THE PLAN SHALL COMPLY WITH ALL PROVISIONS OF THE LANDSCAPE PLAN IN CHAPTER 17.24 OF THE METRO NASHVILLE DAVIDSON CODE AND THE FINAL SITE PLAN WILL REFLECT THIS WITH THE SUBMITTAL OF A LANDSCAPE PLAN.
- STORMWATER NOTES:**
1. NOTE: ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  2. PRELIMINARY PLAN NOTE: THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
  3. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W IS 15" CMP).
  4. METRO WATER SERVICE SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
  5. ALL LOTS SHALL HAVE INDIVIDUAL WATER AND SEWER SERVICE.



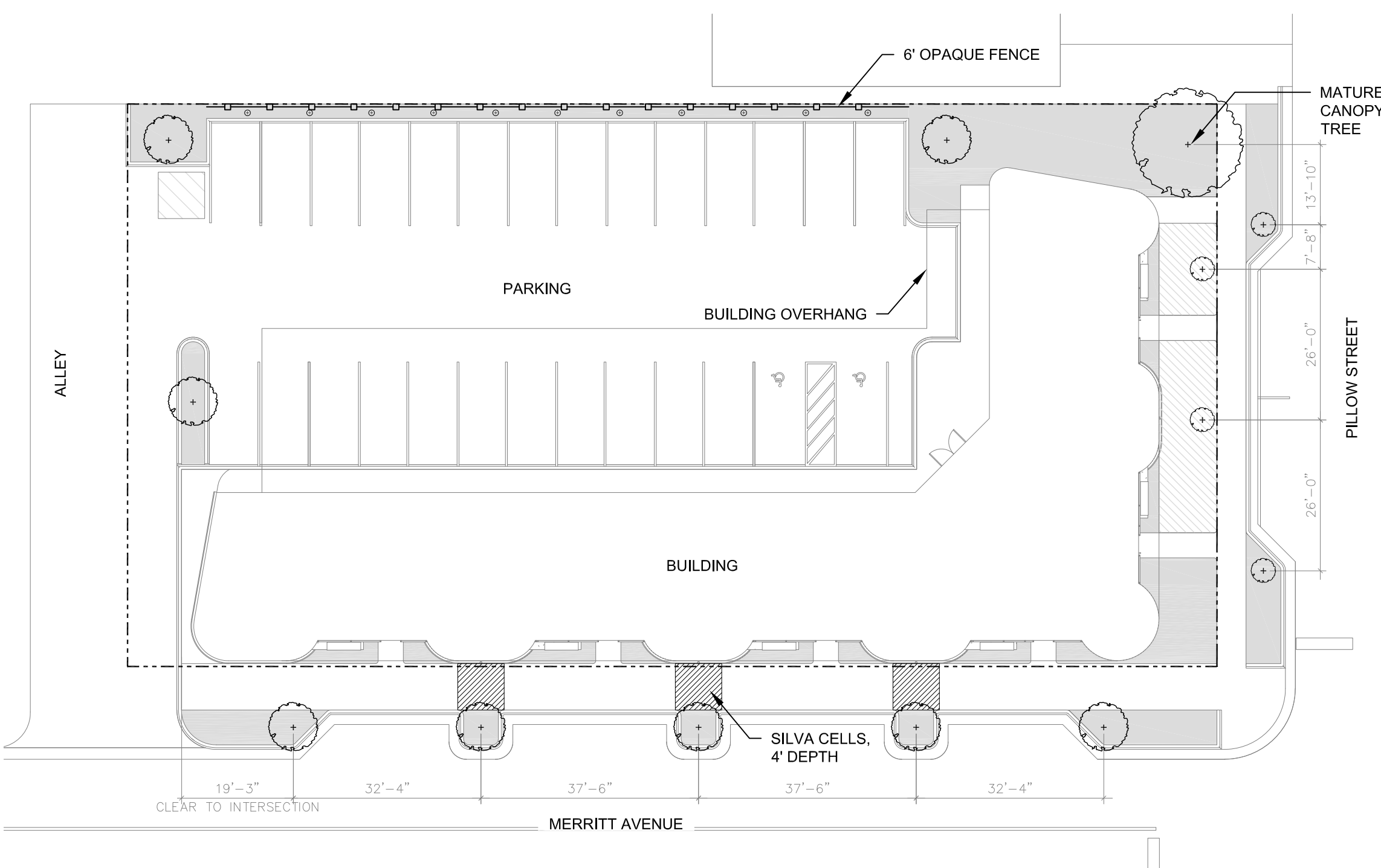




GROUND FLOOR PLAN Case No. 2020SP-052-001







- LEGEND
- PROPERTY LINE
  - CANOPY TREES: 2" CAL TREES
  - UNDERSTORY TREES: 2" CAL
  - PARTHENOCISSUS QUINQUEFOLIA, VIRGINIA CREEPER: 1 GAL (11)

- PLANTING NOTES:
1. ALL AREAS NOT COVERED BY BUILDINGS OR PAVEMENT AND WHICH HAVE BEEN GRADED OR OTHERWISE DISTURBED SHALL BE TOPSOILED AND SEEDED, UNLESS SHOWN OTHERWISE.
  2. ALL TREES OUTSIDE THE BUILDING AND PAVED AREAS SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION, UNLESS SPECIFICALLY DESIGNATED TO BE REMOVED. PRIOR TO REMOVAL, THE CONTRACTOR SHALL ARRANGE AN ON-SITE MEETING WITH THE LANDSCAPE ARCHITECT TO REVIEW THE CLEARING LIMIT LINES. VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR PLANT PITS.
  3. P.B. = PLANT BED. MULCH ALL PLANT BEDS TO A DEPTH OF 2". BEDS SHALL BE KEPT 1" MIN AWAY FROM TRUNK OF ALL TREES, SHRUBS, TREE FERNS, AND FOLIAGE OF ALL PERENNIALS.
  4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN IN THE DRAWINGS.
  5. CONTRACTOR SHALL REMOVE ALL HARD LUMPS OF CLAY, STONES OVER 1" IN DIAMETER, AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL, OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND PLANTING AREAS.
  6. ALL TREES SHALL CONFORM TO GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION).
  7. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO ORIGINAL GRADE PRIOR TO DIGGING.
  8. ALL PLANTS SHALL BE BALLED IN BURLAP OR CONTAINER GROWN UNLESS OTHERWISE NOTED IN THE PLANTING SCHEDULE.
  9. ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THEIR ARRIVAL ON THE SITE
  10. THE CONTRACTOR SHALL LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
  11. THE LAYOUT OF PLANTS IN THE FIELD IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  12. ALL TREES AND SHRUBS TO BE SELECTED FROM THE METRO NASHVILLE URBAN

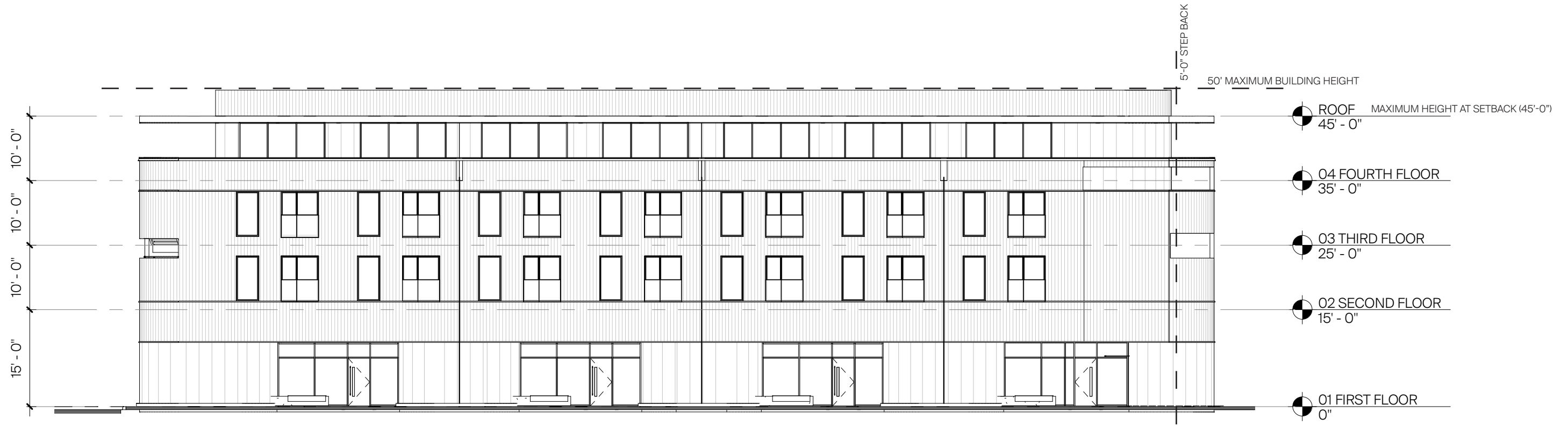
TDU Calculations				
SITE ACREAGE				0.46
BUILDING COVERAGE AREA	(-)			0.20
ADJUSTED ACREAGE	(=)			0.26
REQUIRED TDU PER ACRE	(X)			22
<b>REQUIRED TDU FOR PROJECT</b>	<b>(=)</b>			<b>5.72</b>
TREE TYPE	CALIPER	QUANTITY	VALUE	UNITS
CANOPY	6"	1	1.0	1
CANOPY	2"	8	0.5	4
UNDERSTORY	2"	4	0.25	1
<b>TOTAL TREE DENSITY UNITS PROVIDED</b>				<b>6</b>







EAST ELEVATION FROM PILLOW ST SCALE: 1/16" = 1'



SOUTH ELEVATION FROM MERRITT AVE SCALE: 1/16" = 1'