

07.27.2022, R1-08.16.2022

PRELIM. SP#2022SP-059-001

CHESTNUT STREET - MIXED-USE PROJECT

426-464 CHESTNUT STREET - WEDGEWOOD HOUSTON, NASHVILLE , TN

PURPOSE STATEMENT

THE PURPOSE OF THIS SP IS TO REZONE 4 PARCELS TOTALING 2.50 ACRES FROM IR-INDUSTRIAL RESTRICTIVE TO SP TO ALLOW FOR A MIXED-USE DEVELOPMENT.

PROPOSED ZONING BULK REQUIREMENTS

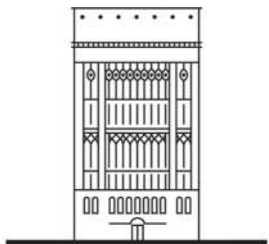
FAR - 2.5 MAX (PARKING EXCLUDED)
MAXIMUM HEIGHT- PER DRAWINGS
SETBACKS - PER DRAWINGS
FALLBACK ZONING - MUL-A-NS

SITE SUMMARY - 109,271 SF - 2.50 ACRES

426 CHESTNUT STREET - 17,546 SF - 0.40 ACRES
446 CHESTNUT STREET - 63,698 SF - 1.46 ACRES
0 CHESTNUT STREET - 21,021 SF - 0.48 ACRES
464 CHESTNUT STREET - 7,006 SF - 0.16 ACRES

COUNCIL DISTRICT #: 17

COUNCIL MEMBER: COLBY SLEDGE



**A D V E N T U R O U S
J O U R N E Y S**

PROPERTY OWNERS:

NASHVILLE PHASE III PROPERTY HOLDER 2 LLC (629-255-0913)
429 CHESTNUT ST. NASHVILLE, TN 37203

NASHVILLE PHASE III PROPERTY HOLDER 1 LLC (629-255-0913)
133 N JEFFERSON ST., 4TH FLOOR CHICAGO, IL 60661

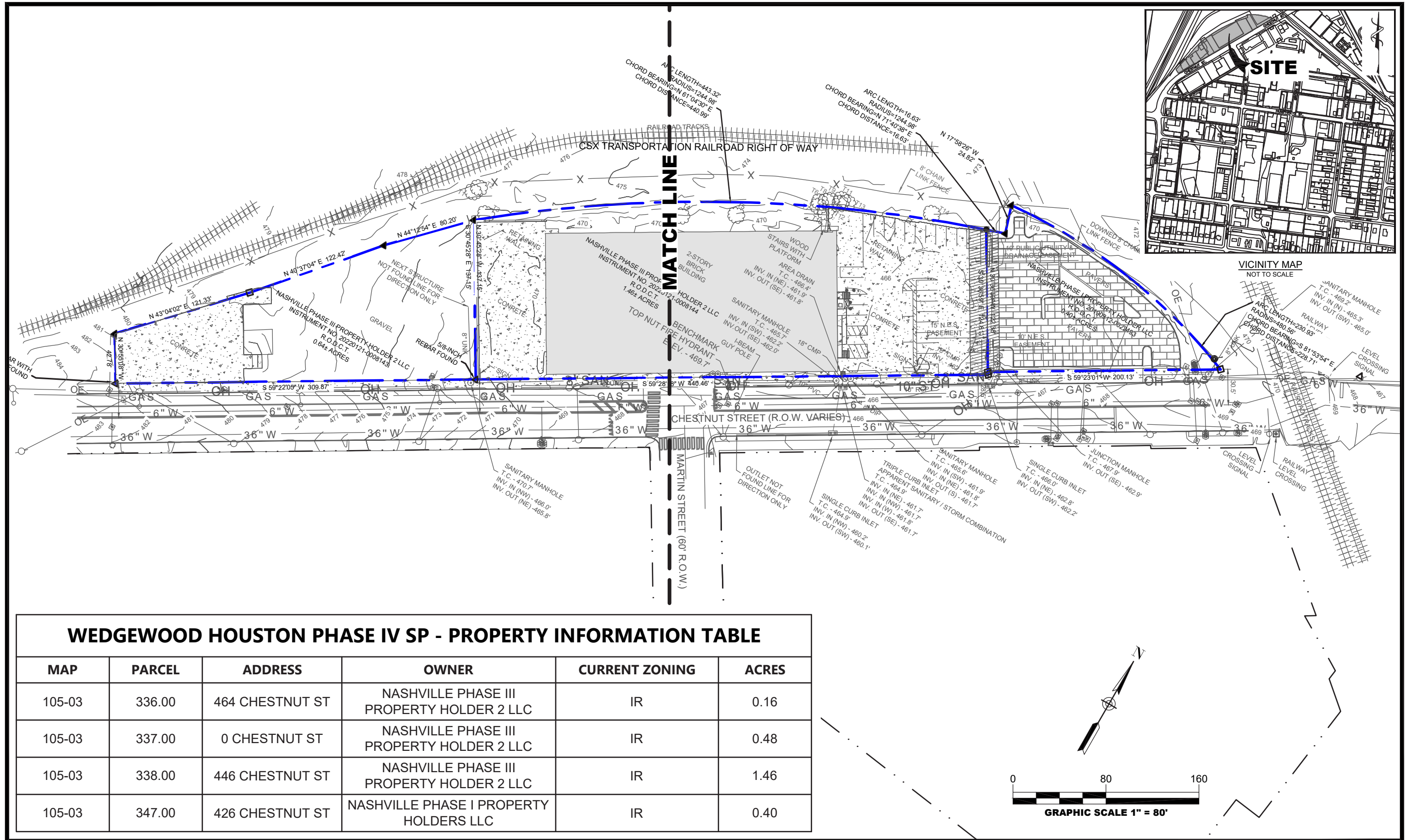
DESIGN PROFESSIONALS:

BARGE CAUTHEN & ASSOCIATES (615-356-9911)
6606 CHARLOTTE PIKE, SUITE 210 NASHVILLE, TN 37209

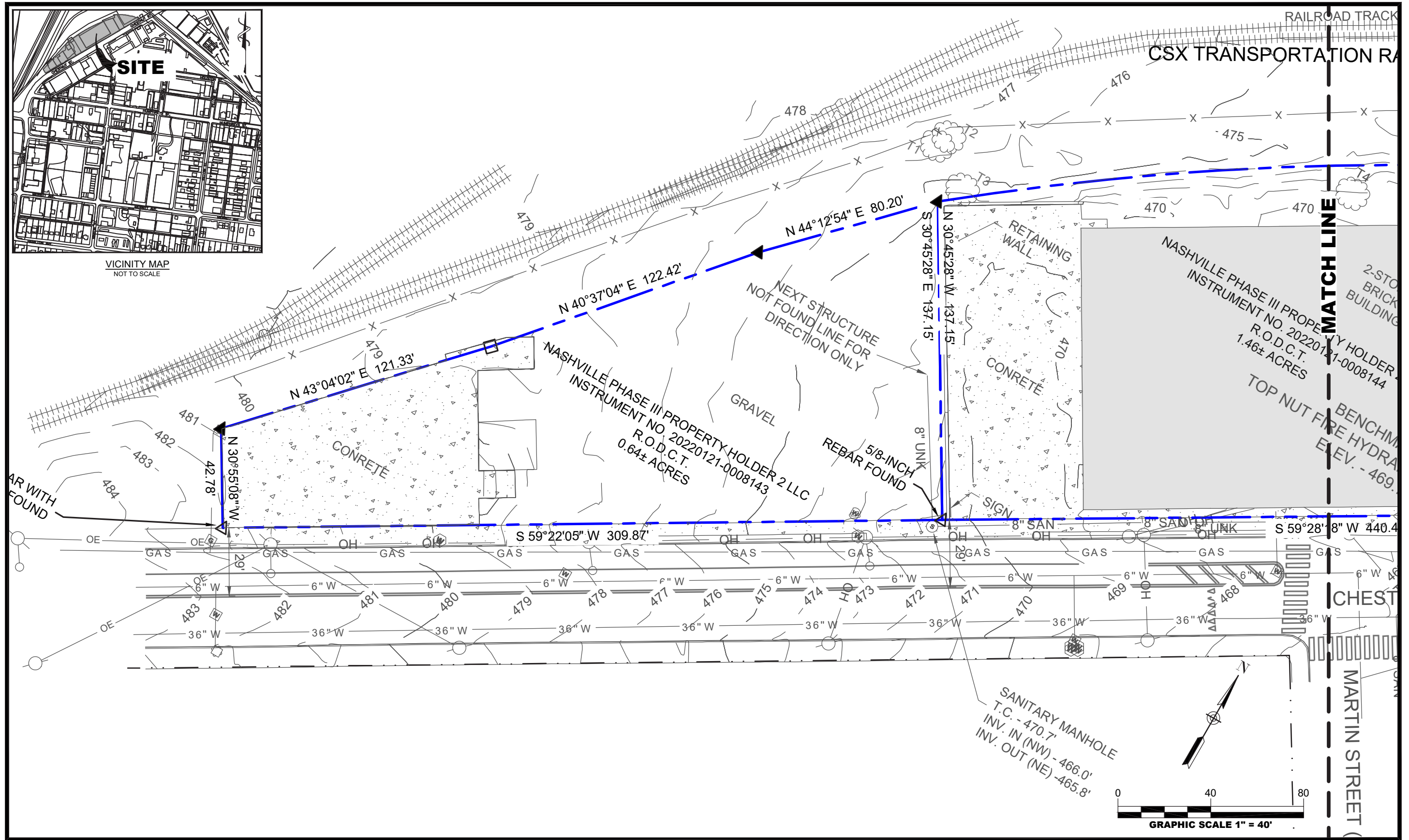
HODGSON DOUGLAS LANDSCAPE ARCHITECTS (615-327-4447)
507 MAIN ST. NASHVILLE, TN 37206

HARTSHORNE PLUNKARD ARCHITECTURE (312-226-4488)
315 W. WALTON CHICAGO, IL 60610



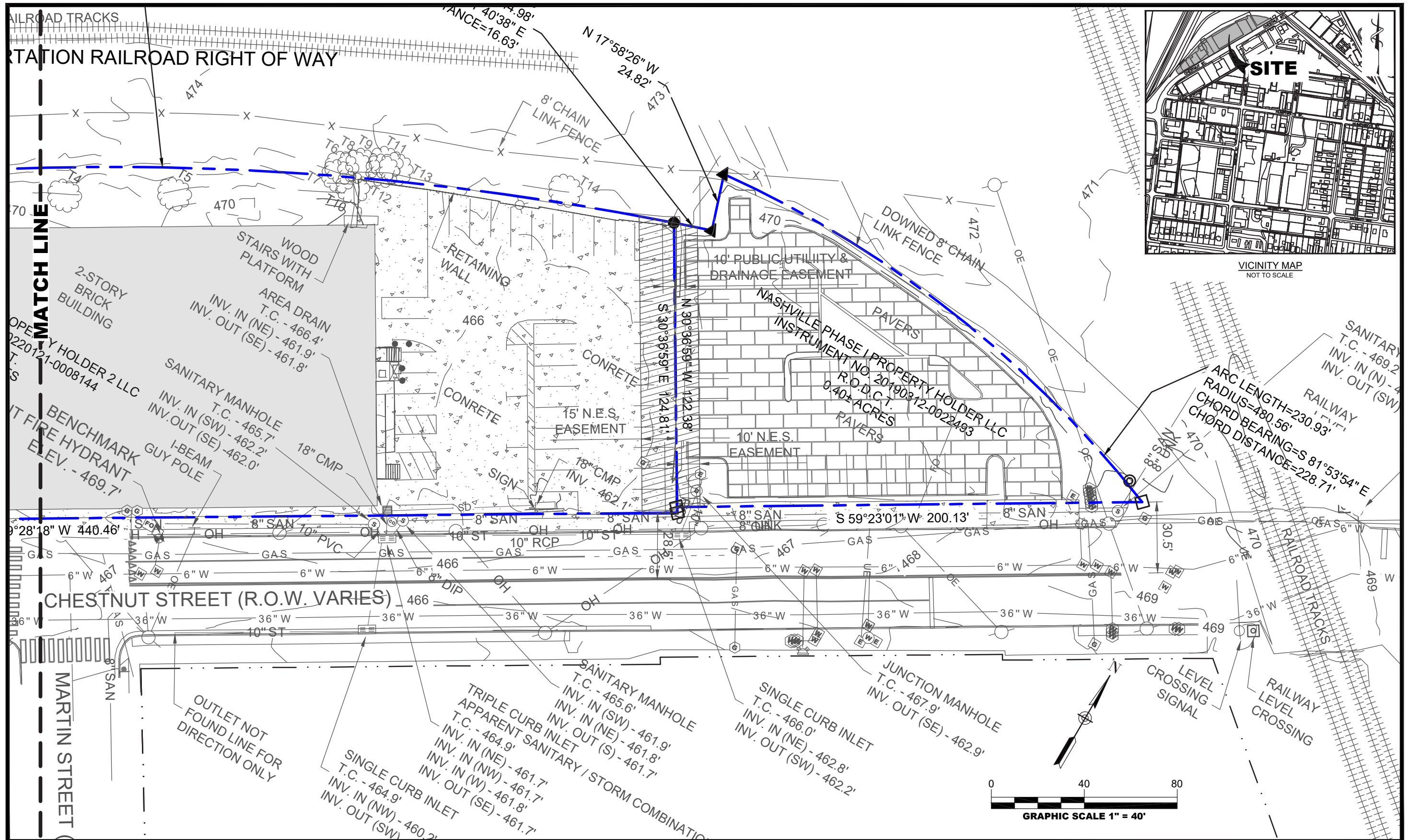


SURVEY EXHIBIT



ENLARGED SURVEY EXHIBIT - PLAN WEST

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ENLARGED SURVEY EXHIBIT - PLAN EAST

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WEDGEWOOD-HOUSTON & CHESTNUT HILL PLANNING STUDY

CHARACTER AREA 1 - NORTH WEDGEWOOD-HOUSTON

-MUL-A-NS PROPOSED ZONING PER PLANNING STUDY GUIDELINES

- 3 - 4 STORIES IN HEIGHT
- 45 - 60 FT IN HEIGHT

- INCREASED HEIGHT OVER 3-4 STORIES MAY BE APPROPRIATE WHEN:

1. PROVIDING ACTIVE USES AND ENHANCED STREETSCAPING
2. COMBINED WITH ADAPTIVE REUSE OF OTHER PARTS OF THE SITE
3. ACCOMPANIED BY URBAN INDUSTRIAL USES
4. LOCATED IN LOWER LYING AREAS

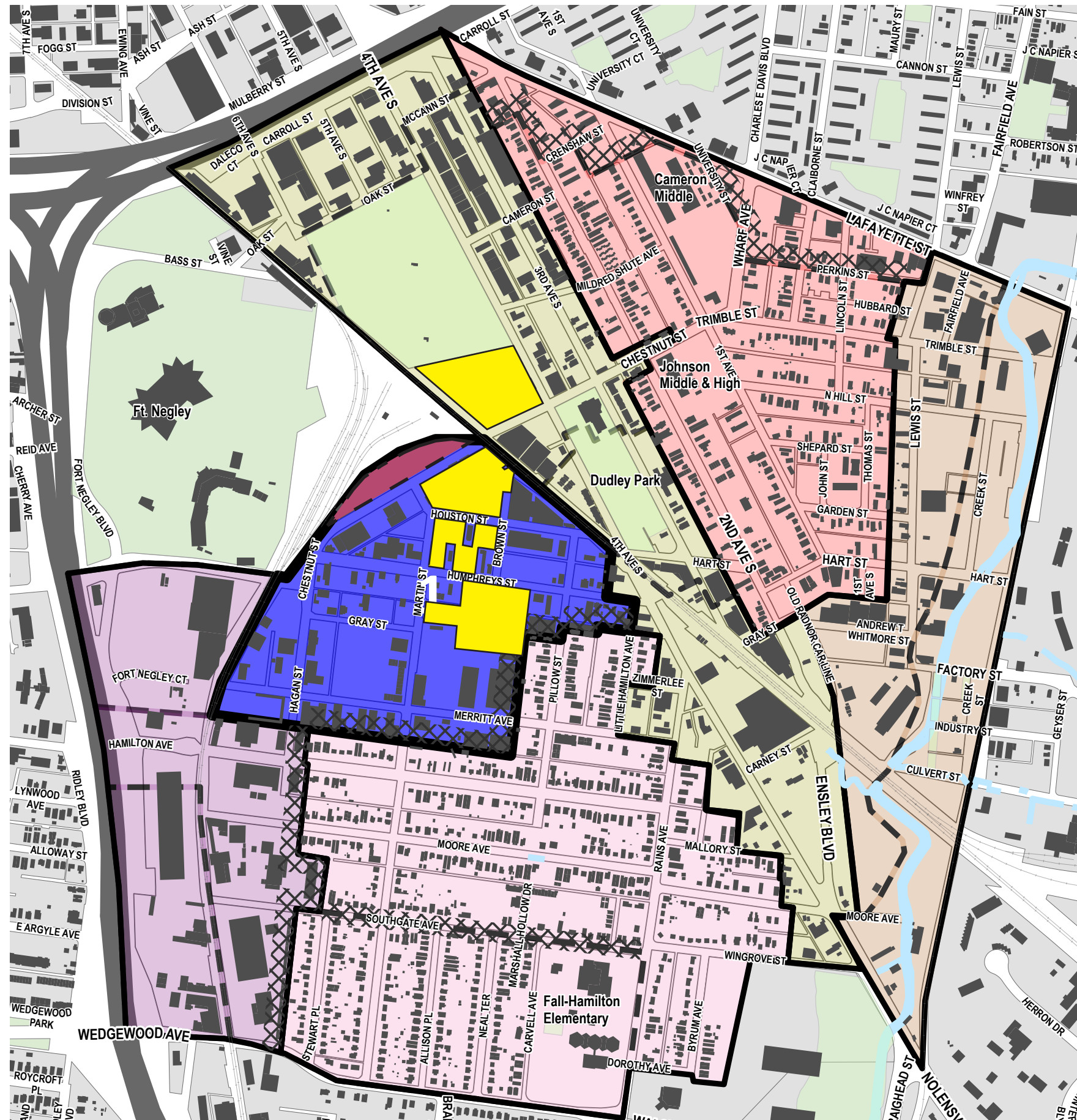
- THE URBAN GRID, VARIETY OF USES, AND NEW DENSE HOUSING CREATE A VIBRANT WALKABLE COMMERCIAL NEIGHBORHOOD THAT ADDS SERVICES TO THE BROADER COMMUNITY.

- ADAPTIVE REUSE OF EXISTING BUILDINGS IS ENCOURAGED. WHEN ADAPTIVE REUSE IS NOT POSSIBLE, NEW CONSTRUCTION SHOULD REFLECT AND RESPOND TO THE SURROUNDING INDUSTRIAL BUILDINGS.

- CROSS-SUBSIDIZE CUSTOMER-FACING MAKER USERS. NEW DEVELOPMENT IN THIS AREA SHOULD CONTINUE TO SEEK TO INCORPORATE MAKER AND ARTISAN SPACES AS REDEVELOPMENT OCCURS.

HATCH KEY

-  NEW AJCP SITE
-  EXISTING AJCP PROJECT



WHICH PLANNING STUDY

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WEDGEWOOD-HOUSTON

NASHVILLE WAREHOUSE CO.
 2015SP-092-003
 - ZONE 4B
 - MUL-A UNDERLYING
 - FAR ALLOWED = 1.0
 - RES. EXCLUDED
 - HEIGHT 5-10 STORIES

MARTIN & GRAY
 2019SP-071-001
 - ZONE 1
 - MUL-A UNDERLYING
 - FAR ALLOWED = 2.5
 - RES. EXCLUDED
 - HEIGHT 5-6 STORIES

THE FINERY
 2014SP-016-001
 - ZONE 1
 - MUG-A UNDERLYING
 - FAR ALLOWED = 3.0
 - RES. EXCLUDED
 - HEIGHT 5-6 STORIES

640 MERRITT AVE.
 2019SP-018-002
 - ZONE 1
 - MUN-A UNDERLYING
 - FAR ALLOWED = 2.5
 - RES. EXCLUDED
 - HEIGHT 5-6 STORIES

PHASE III
 2020SP-010-001
 - ZONE 1
 - MUL-A-NS UNDERLYING
 - FAR ALLOWED = 2.5
 - RES. INCLUDED
 - HEIGHT 4-6 STORIES

HATCH KEY
 NEW AJCP SITE
 ADJACENT SP (N.I.C.)
 WHICH UDO BOUNDARY



NEIGHBORHOOD DENSITY & HEIGHT ANALYSIS

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WEDGEWOOD-HOUSTON

-ZONE 1 OF NEIGHBORHOOD PLANNING GUIDE.

-MUL-A-NS PROPOSED ZONING PER NEIGHBORHOOD PLANNING GUIDE.

- 1.0 FAR
- 3 - 4 STORIES IN HEIGHT
- 45 - 60 FT IN HEIGHT

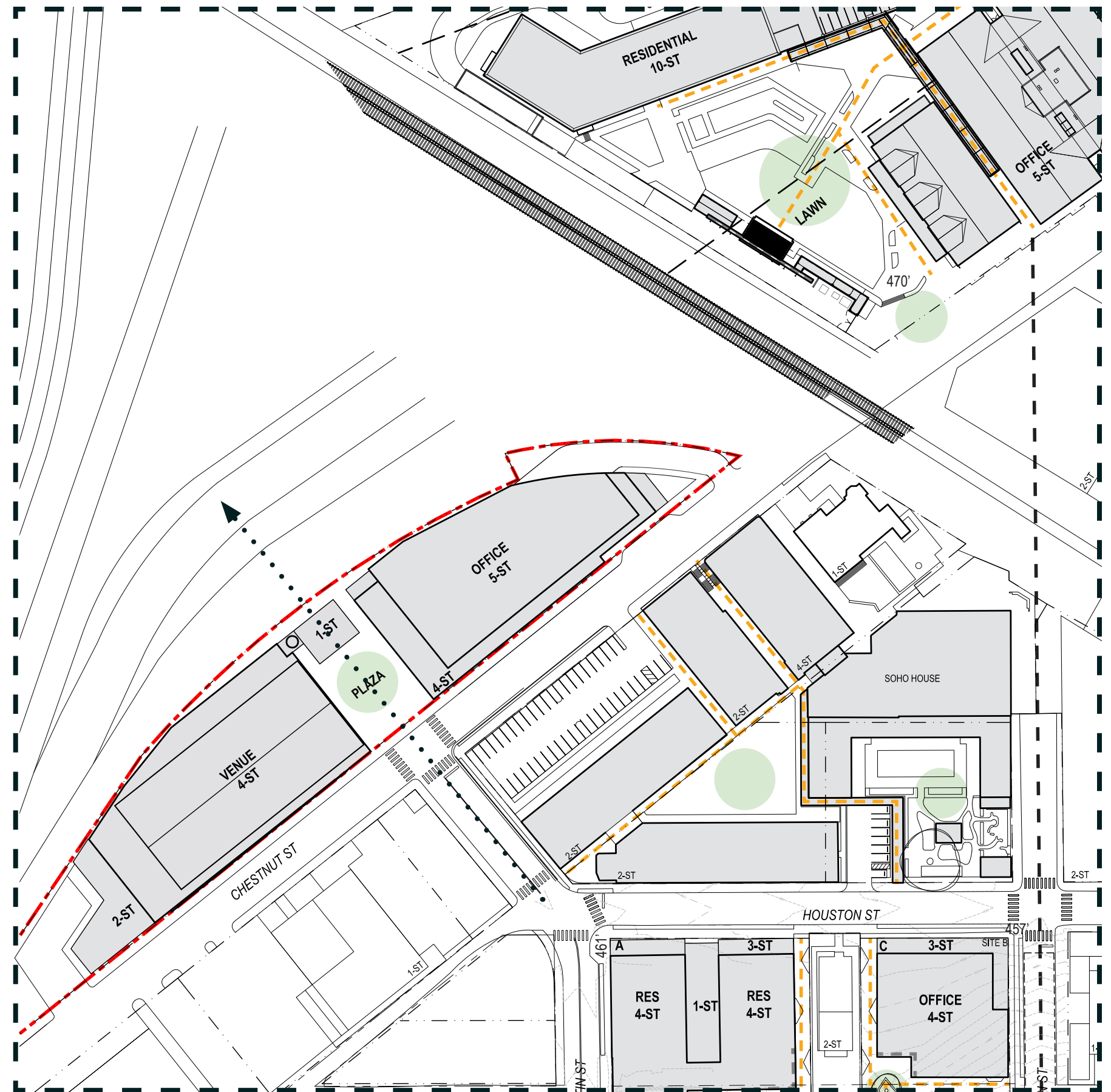
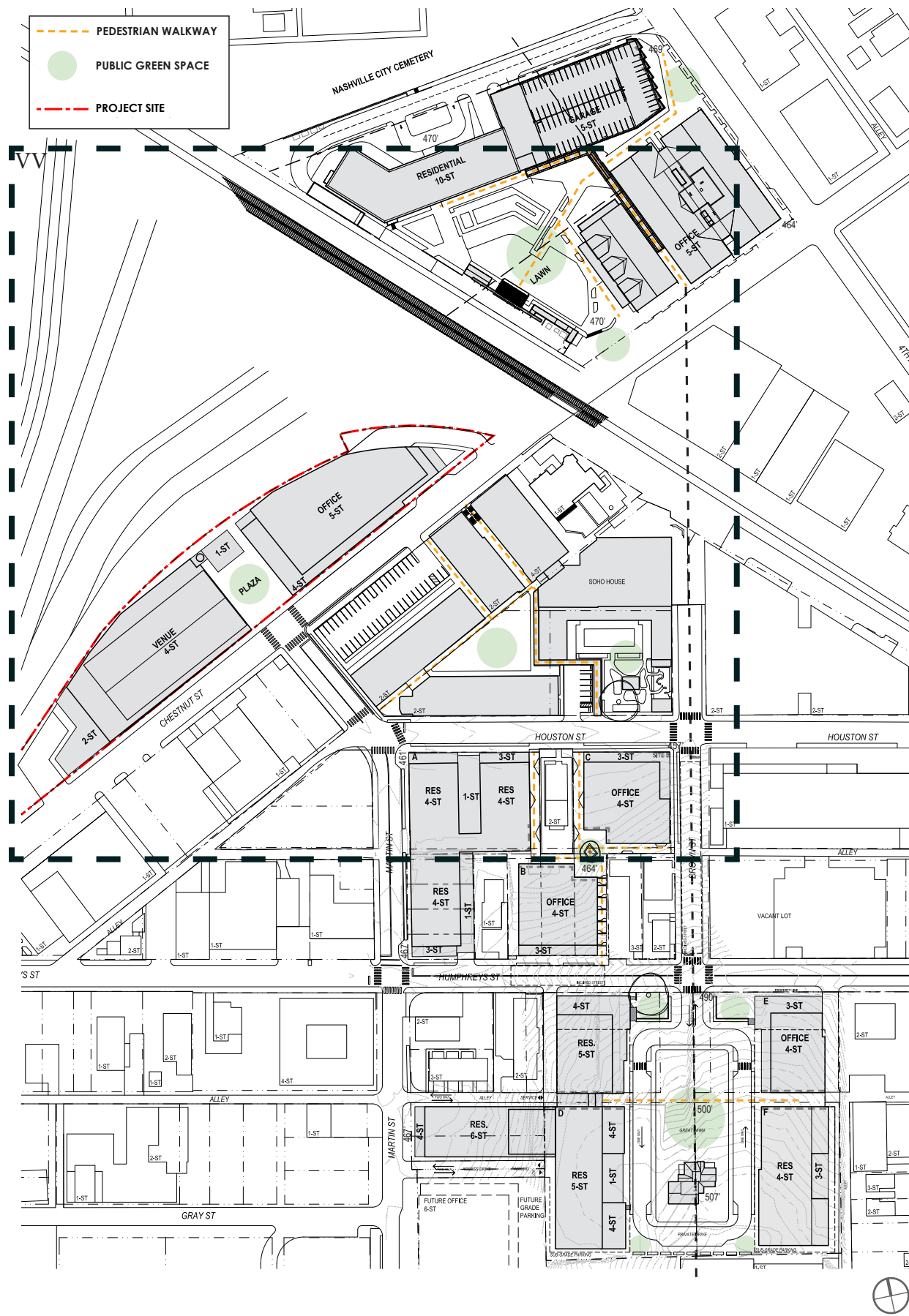
SITE 109,271 SF Site Area

MUL-A-NS FALLBACK ZONING
 FAR = 2.5
 4-5 STORIES
 INCREASED HEIGHT BEYOND 3-4 STORIES AT SELECT BUILDINGS MEETING CONDITIONS OF THE WHICH PLANNING STUDY

HATCH KEY

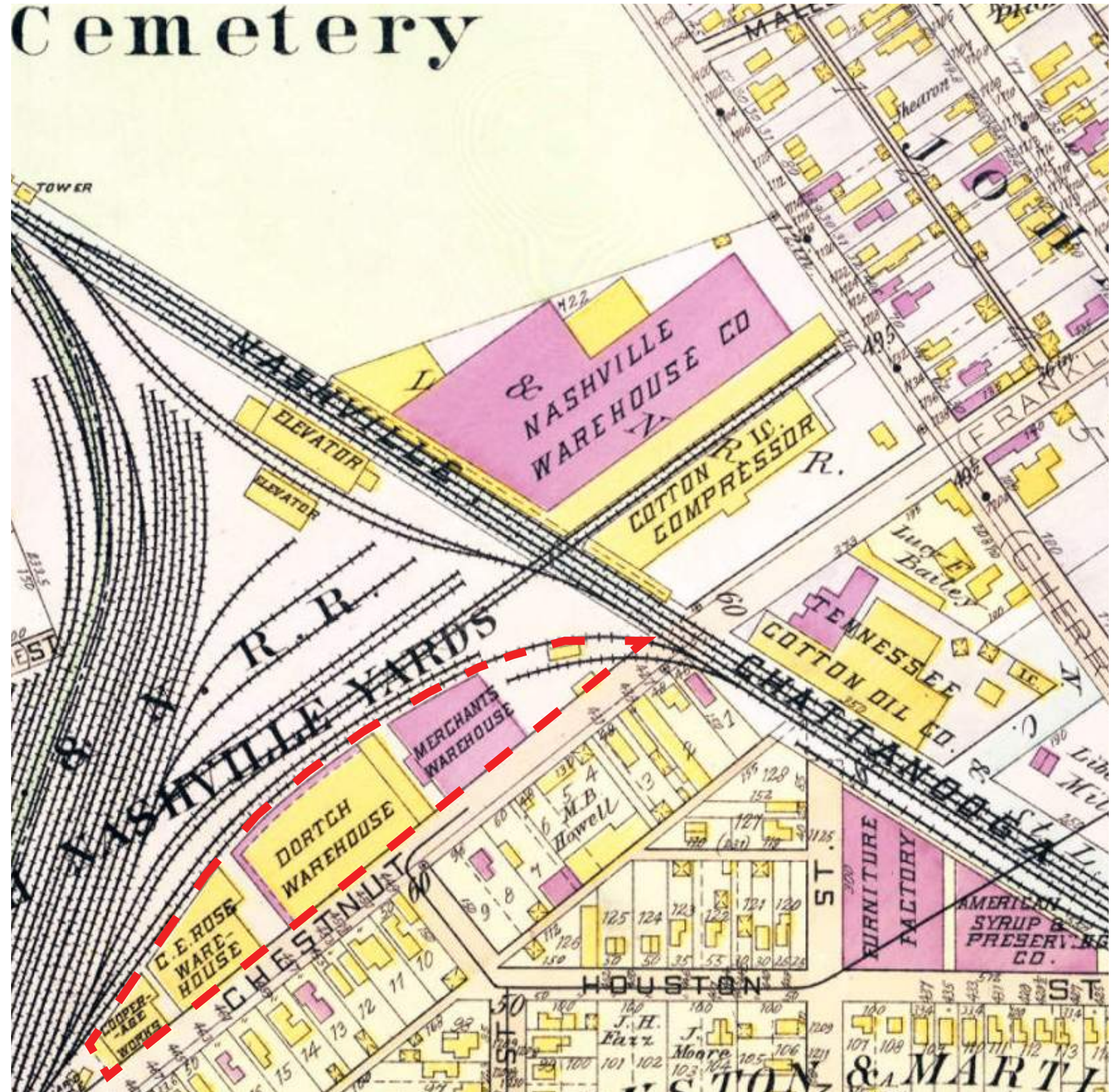
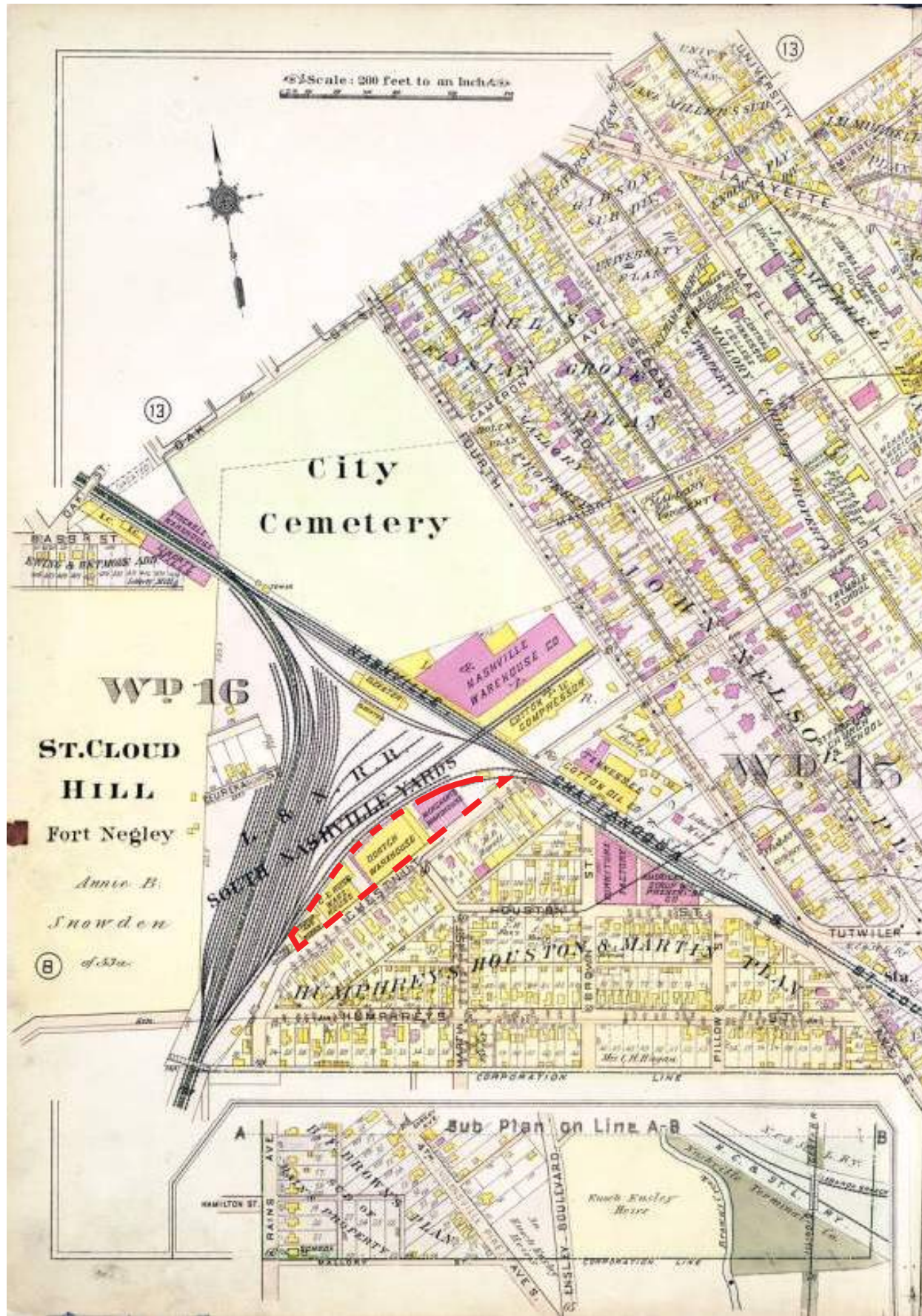
- NEW AJCP SITE
- EXISTING AJCP PROJECT
- ADJACENT SP (N.I.C.)

NEIGHBORHOOD ZONING ANALYSIS



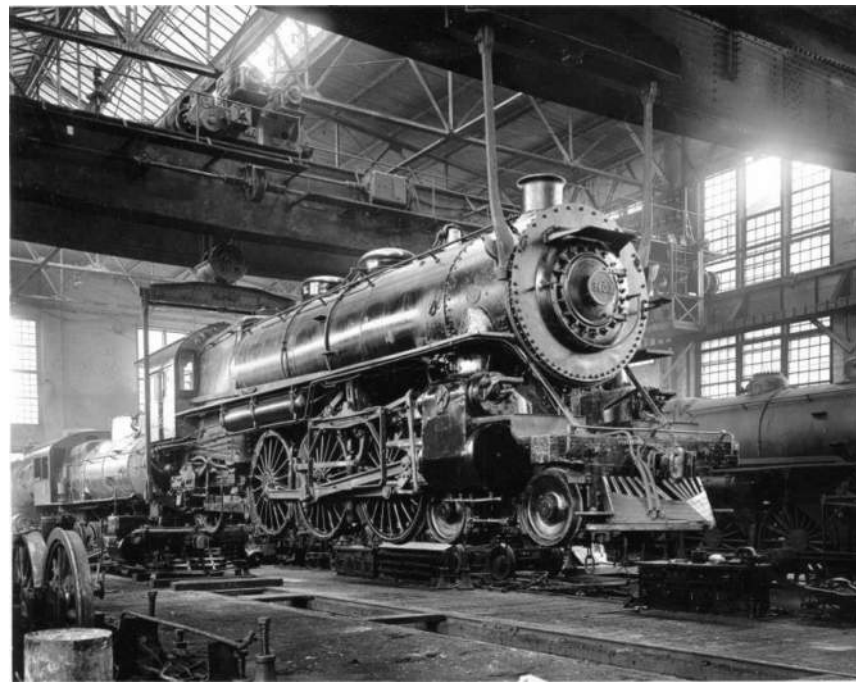
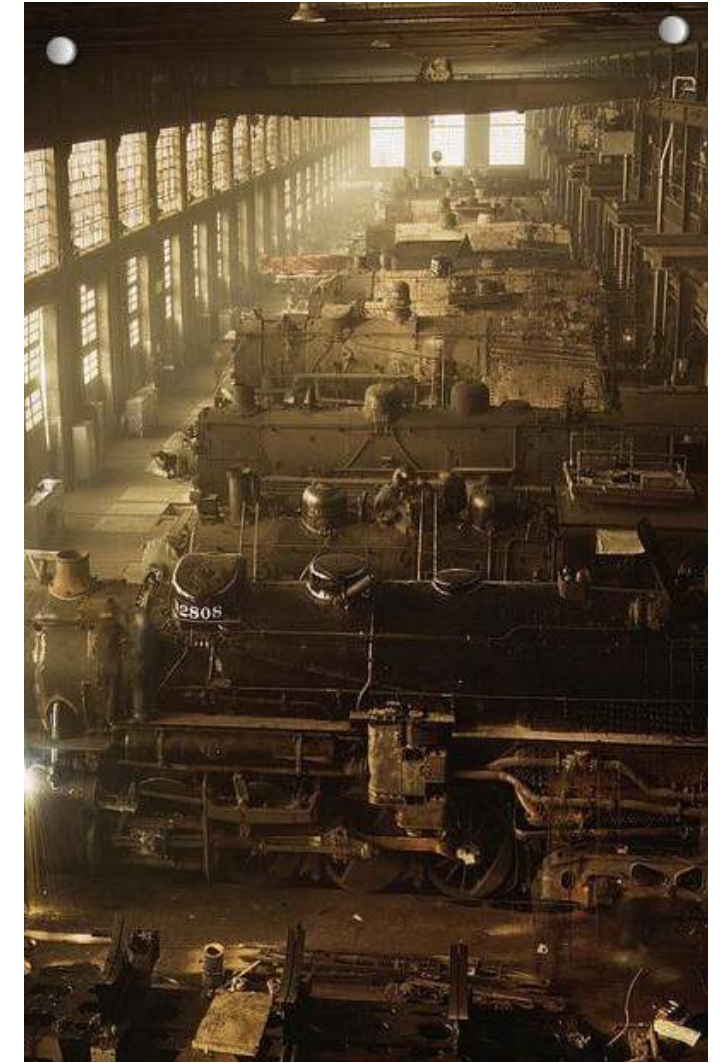
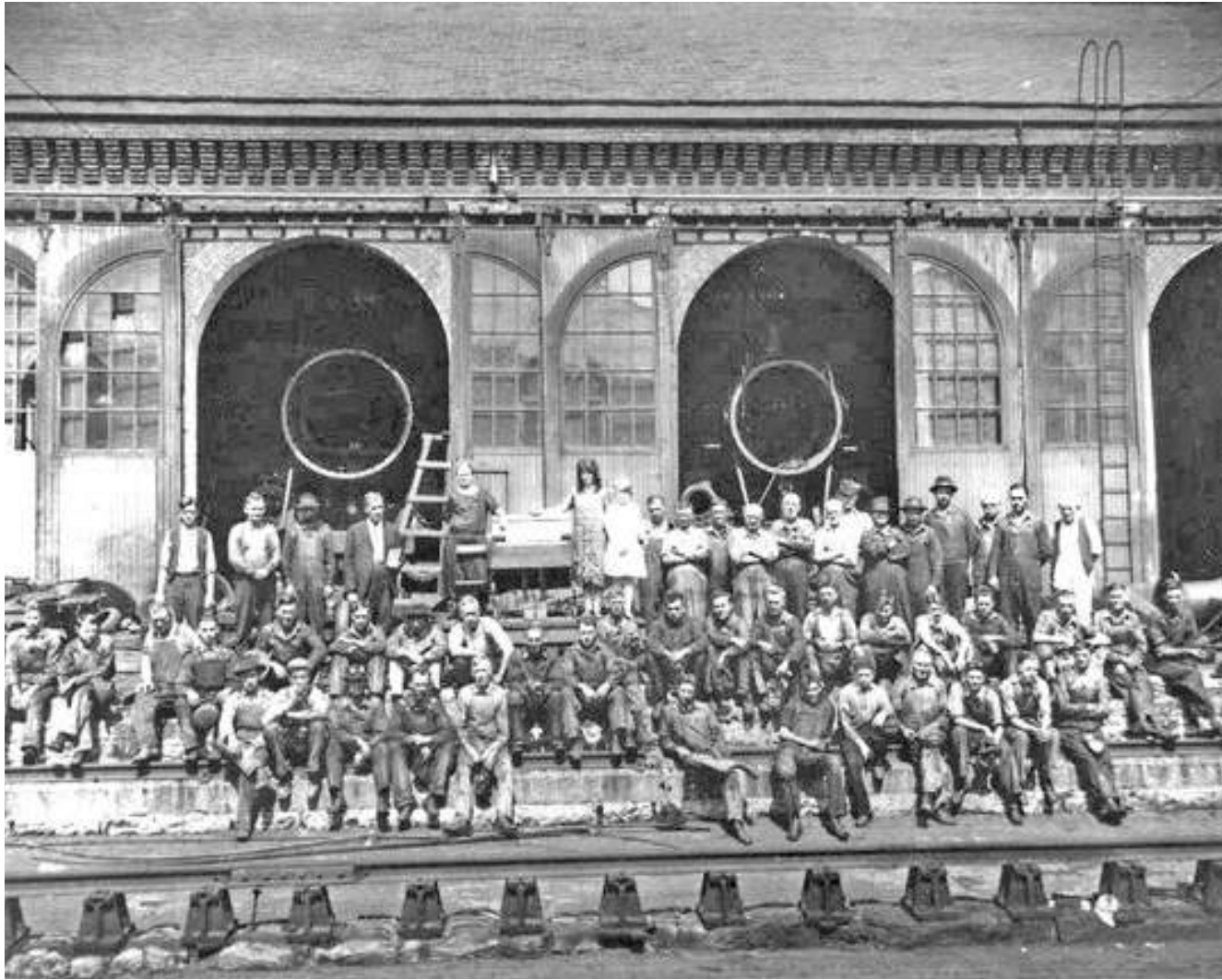
NEIGHBORHOOD LEVEL SITE PLAN

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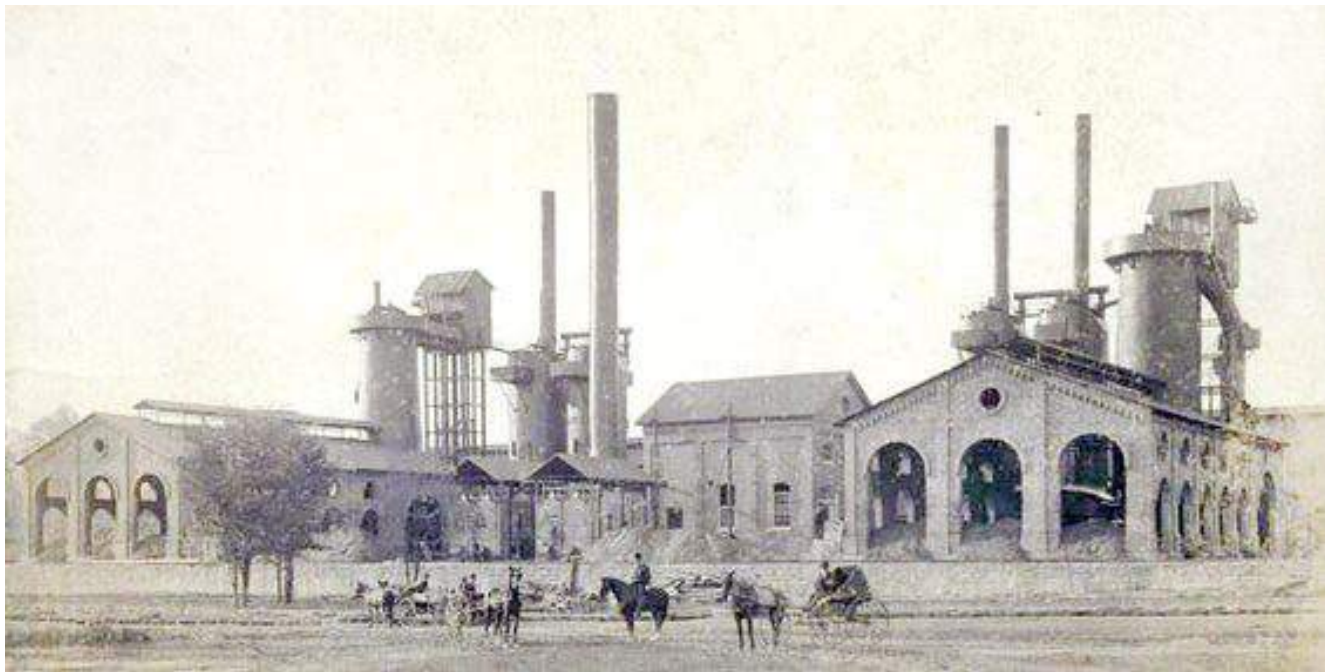
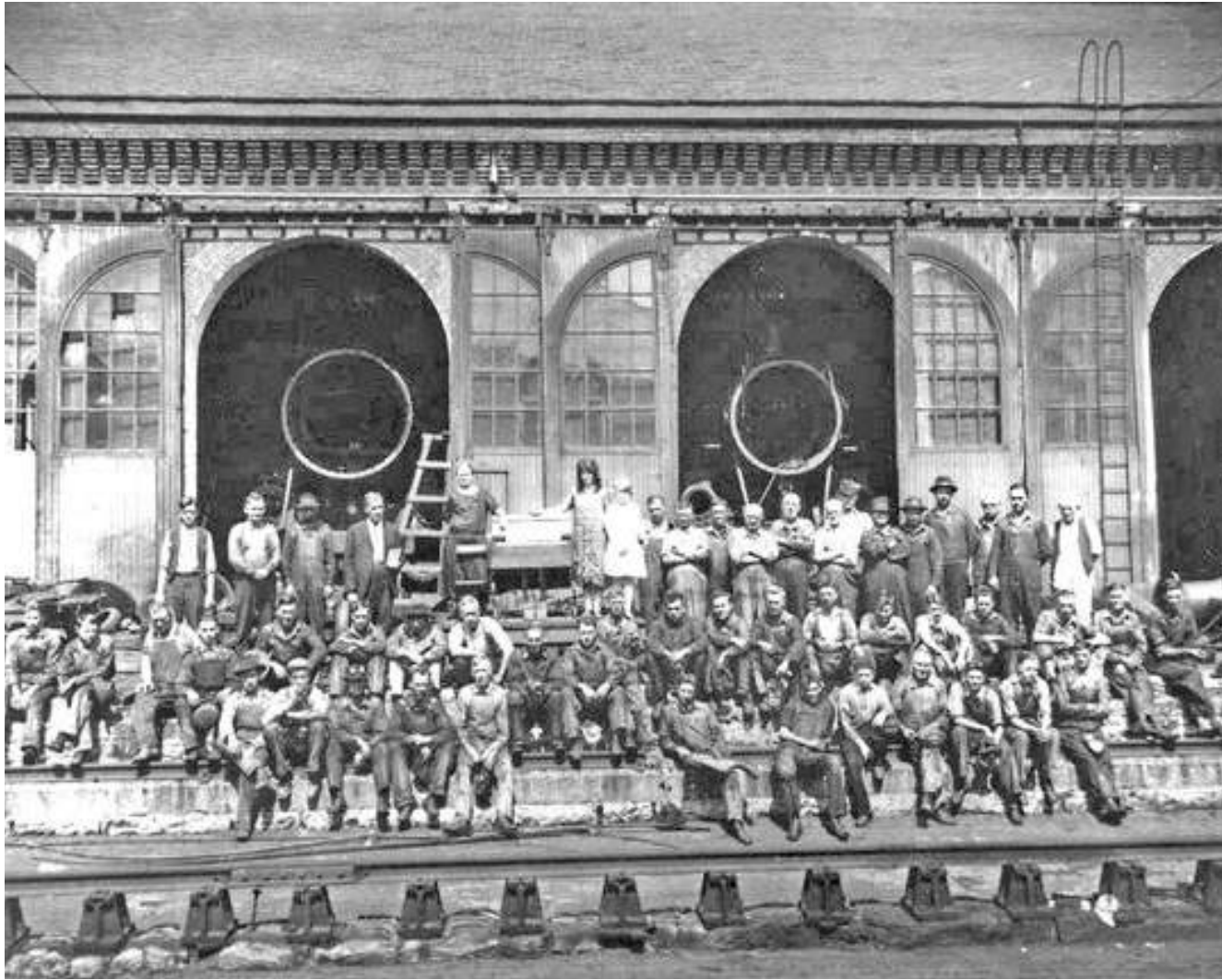
SITE HISTORY - NASHVILLE ATLAS 1908

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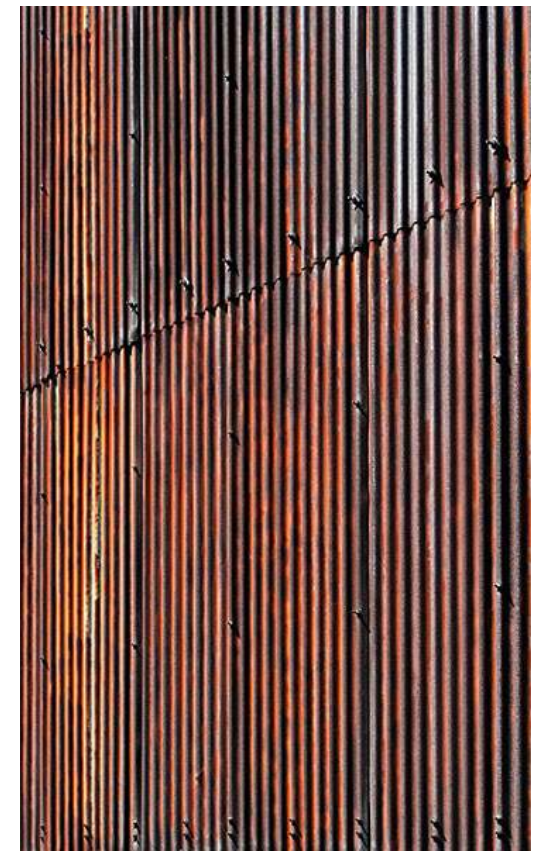
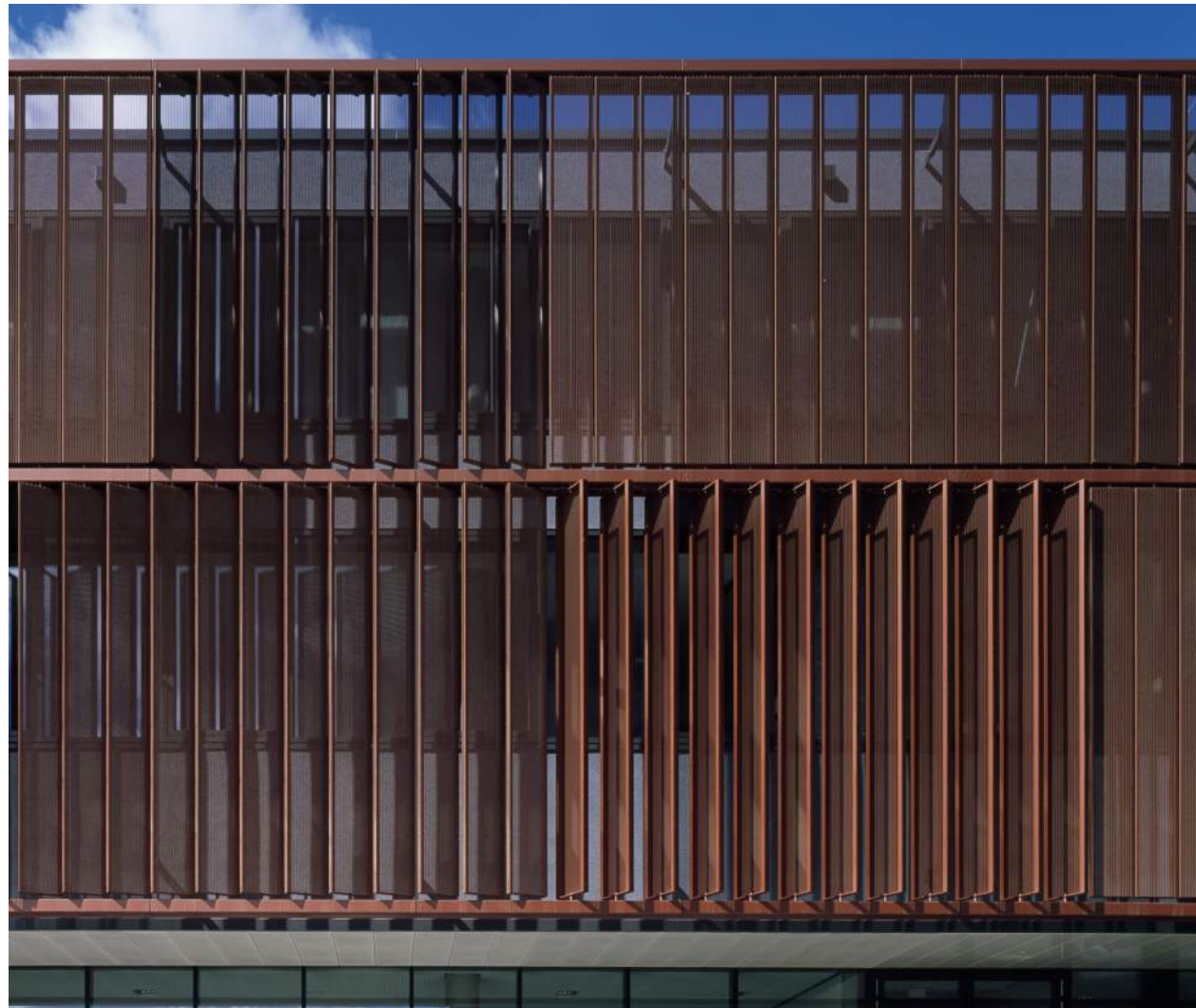
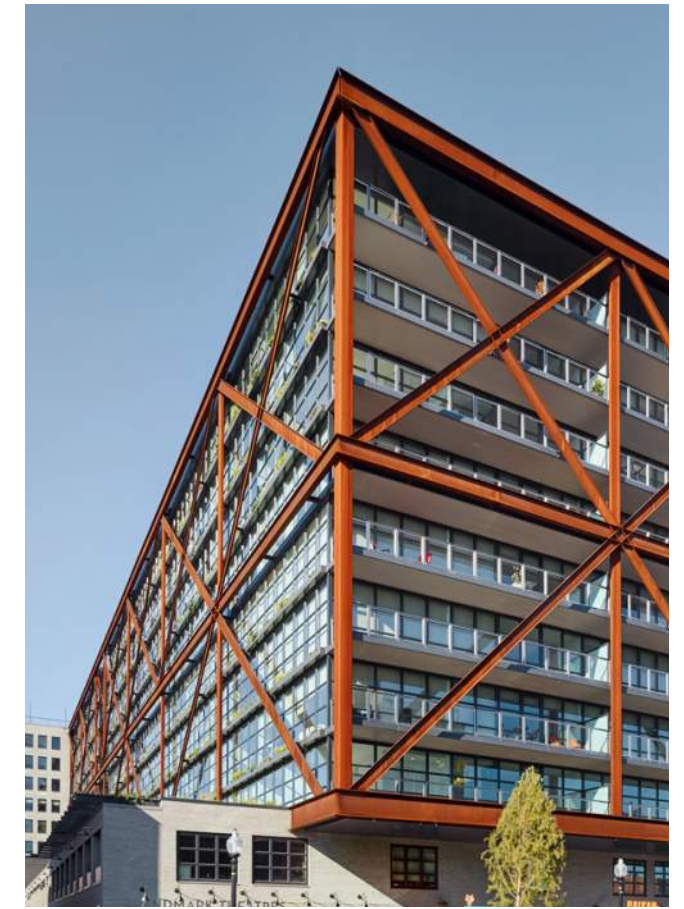
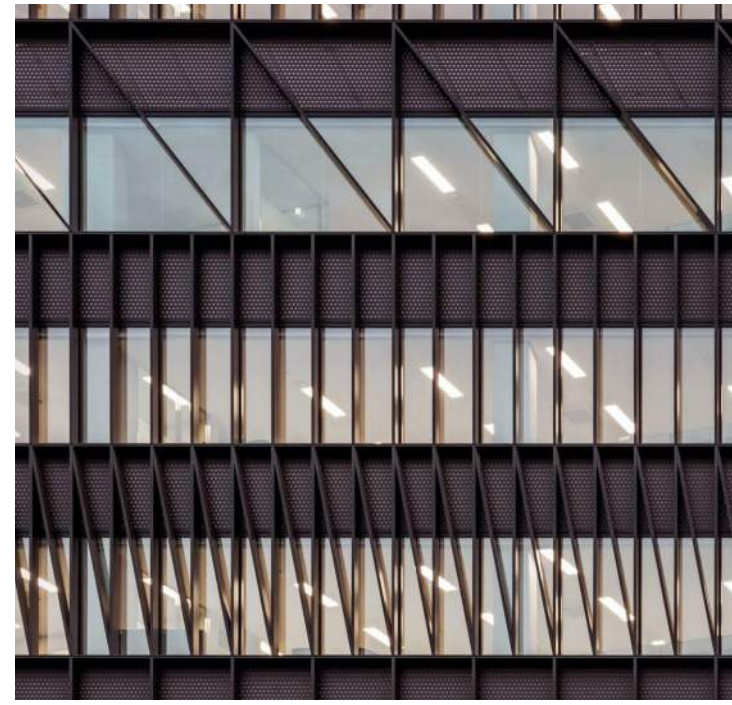
PRECEDENT IMAGES - VENUE HISTORIC PRECEDENT - TRAIN WORKSHOP

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PRECEDENT IMAGES - PRECEDENT - VENUE ENCLOSURE

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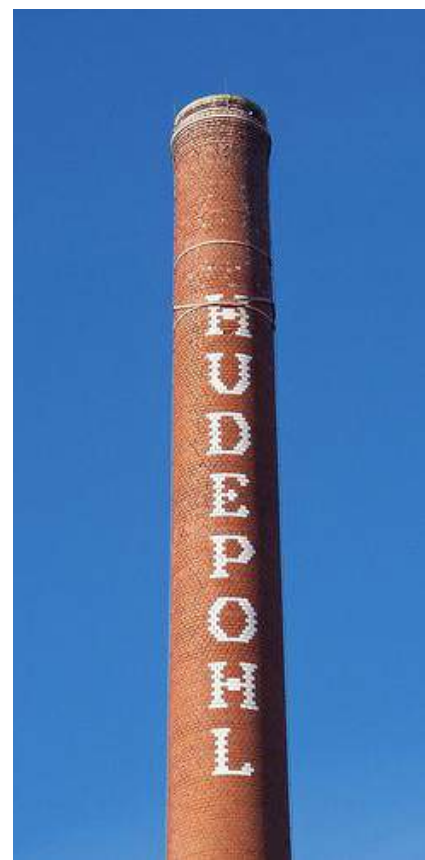
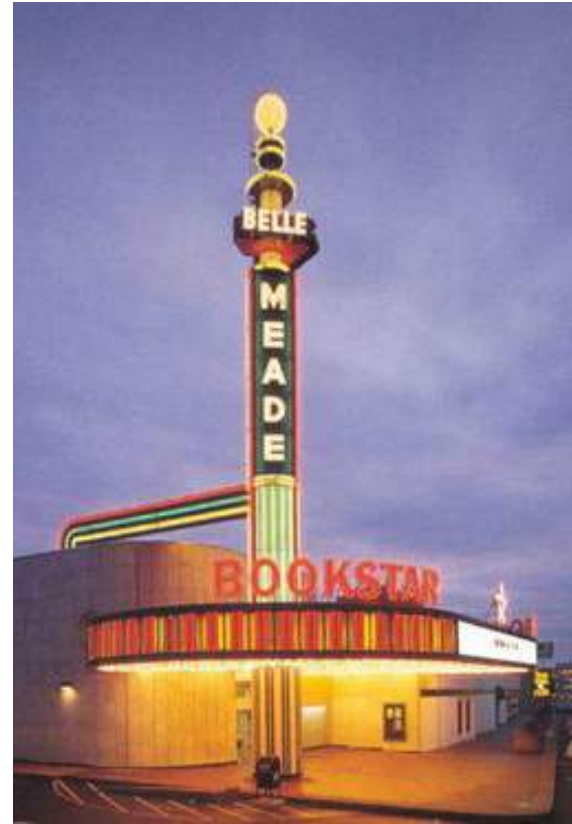


PRECEDENT IMAGES - OFFICE BUILDING ENCLOSURE

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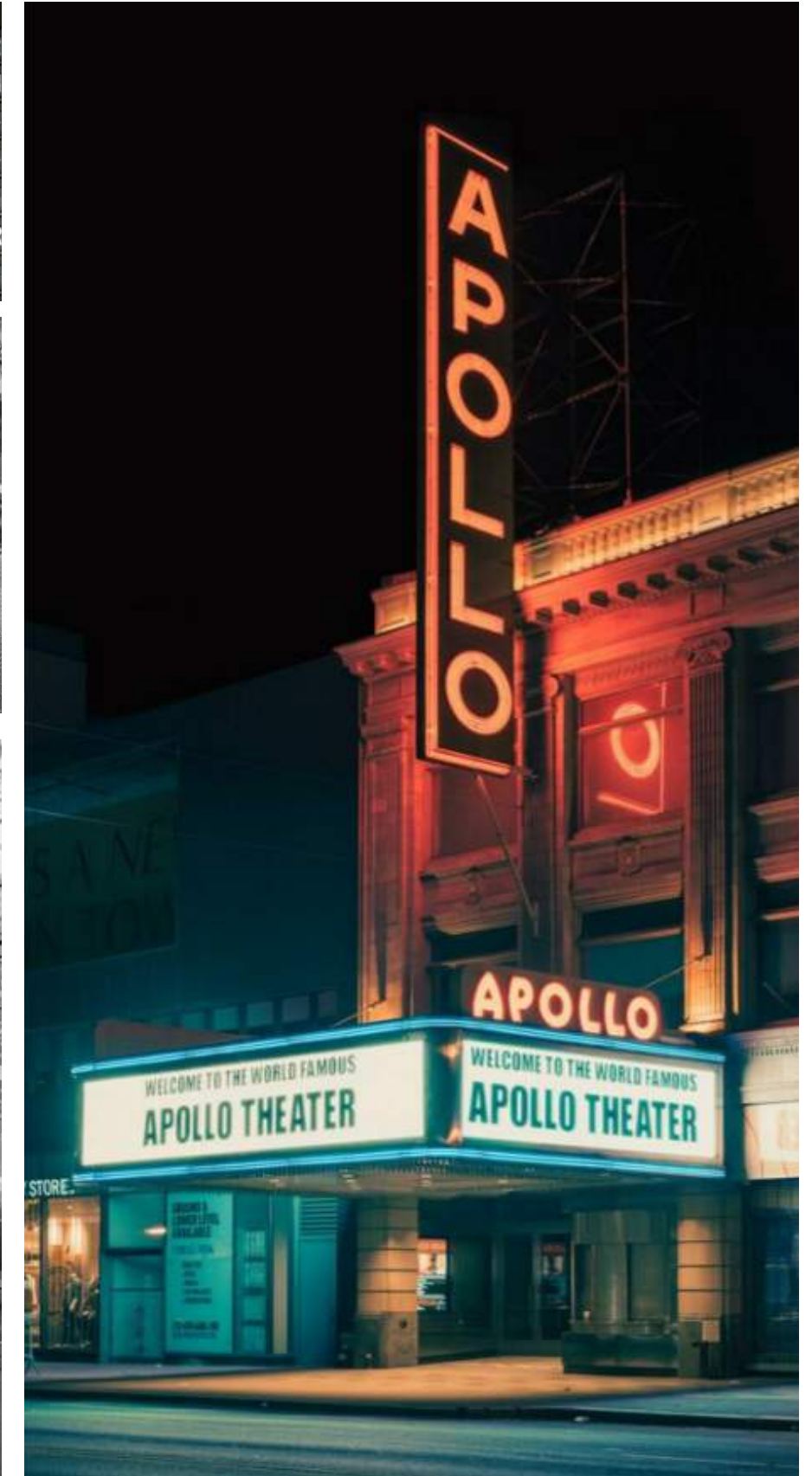
EXPANDED NEIGHBORHOOD - VERTICAL SIGNAGE



Time	Number	Train
1:55	6537	METRO-NOR
2:02	3626	SHORE LIN
2:11	163	REGIONAL
2:38	164	REGIONAL
2:50	464	REGIONAL
2:55	6541	METRO-NOR
3:38	82	REGIONAL



IMMEDIATE NEIGHBORHOOD - MARQUEE AND SIGNAGE



PRECEDENT - SCALES OF PLACEMAKING

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BUFFER AT TRACKS



PAVILION AT PLAZA

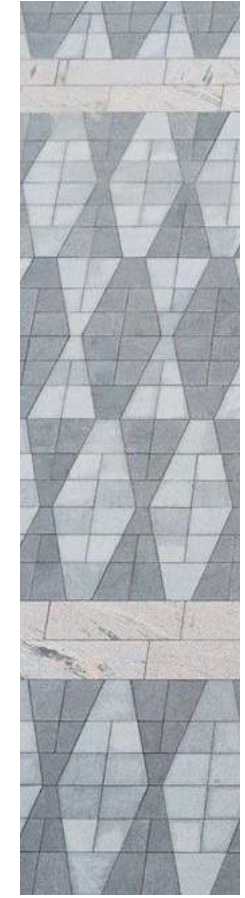
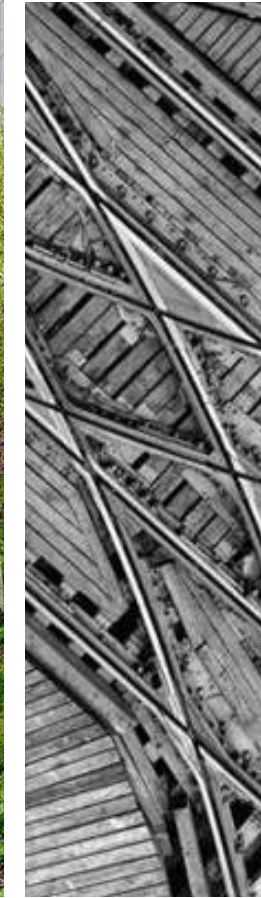


PROGRAMMING:

- BOX OFFICE
- MERCHANDISING
- CAFE OR F&B USE
- OCCUPIABLE ROOF TERRACE

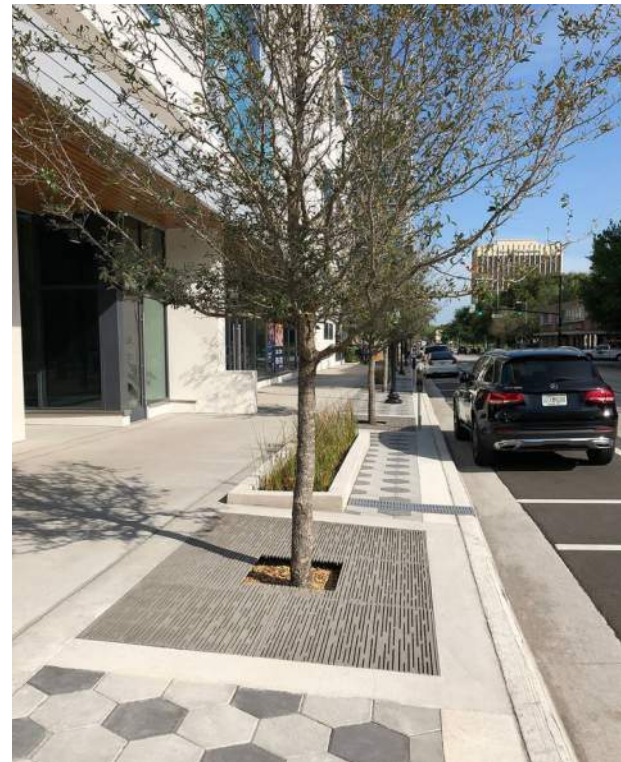
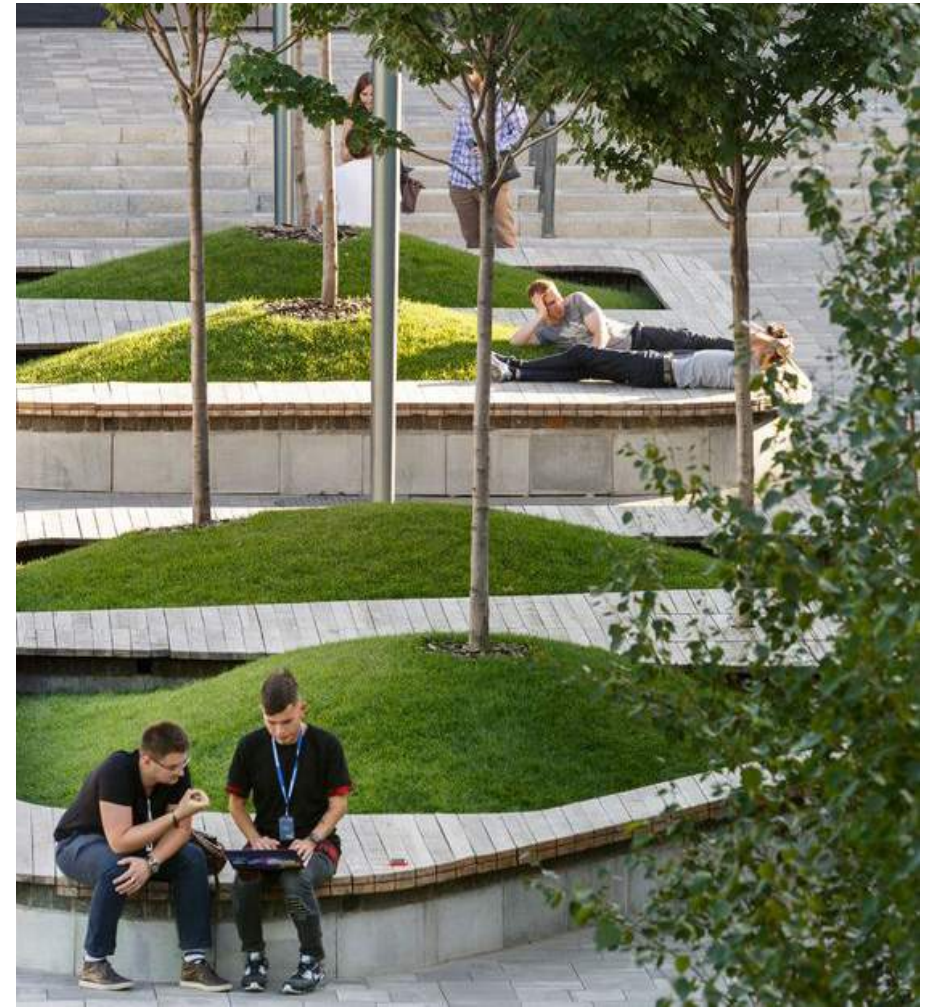


PLAZA INSPIRATION



PRECEDENT IMAGES - CENTER PLAZA AND PAVILLION

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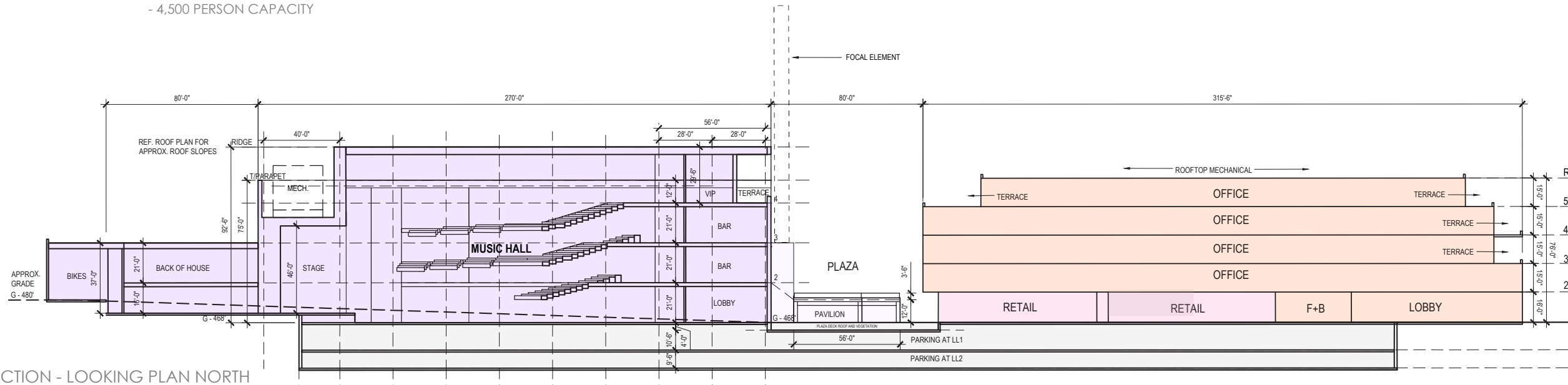


LANDSCAPE - CONCEPT IMAGES

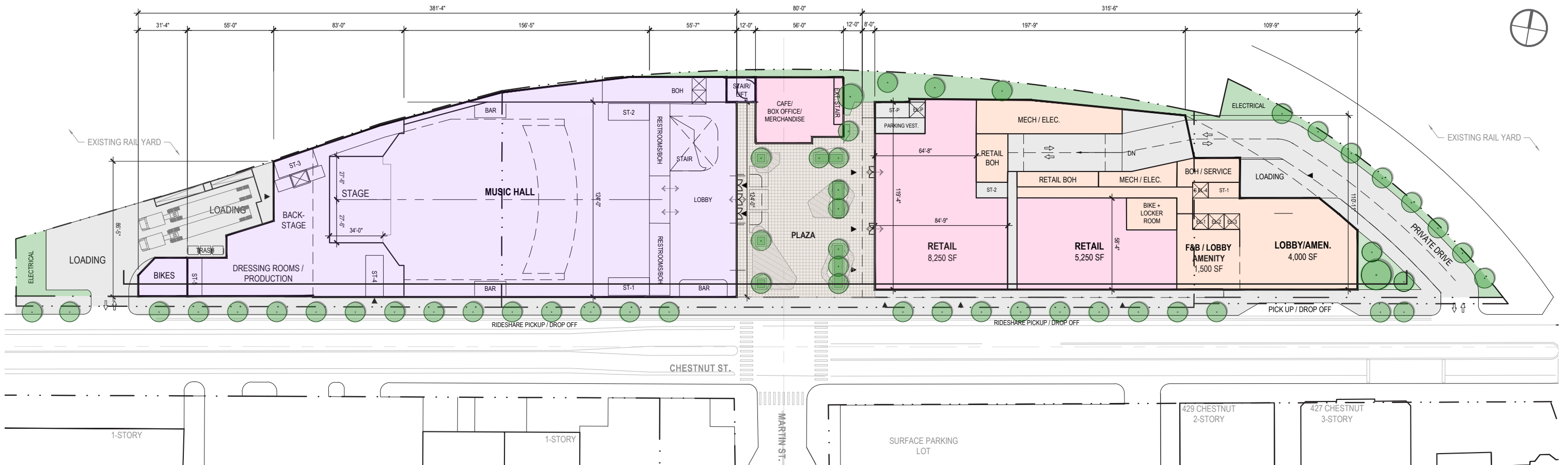
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PHASE IV - BUILDING DATA

TOTAL SITE AREA = 109,271 GSF	PERFORMANCE VENUE = 111,500 GSF	OFFICE BUILDING (EAST)= 153,000 GSF	GARAGE BUILDING (SUBGRADE)= 135,540 GSF
FAR AREA = 264,500 GSF	- MUSIC HALL = 109,300 GSF	- OFFICE USE = 139,500 GSF	- PARKING SPACES = 350 PARKING SPACES
FAR = 2.42 FAR (2.50 MAX)	- PAVILION RETAIL = 2,200 GSF	- RETAIL USE = 13,500 GSF	*PARKING EXCLUDED FROM FAR
	- 4,500 PERSON CAPACITY		



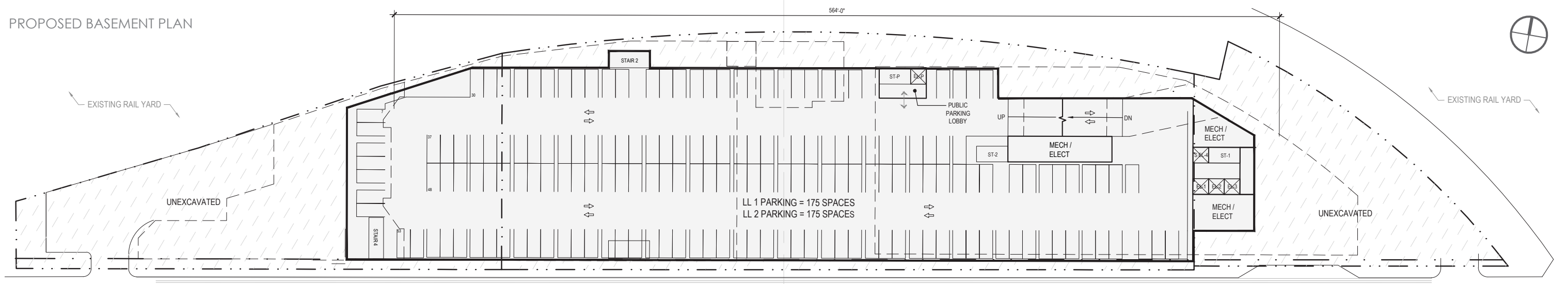
PROPOSED SECTION - LOOKING PLAN NORTH



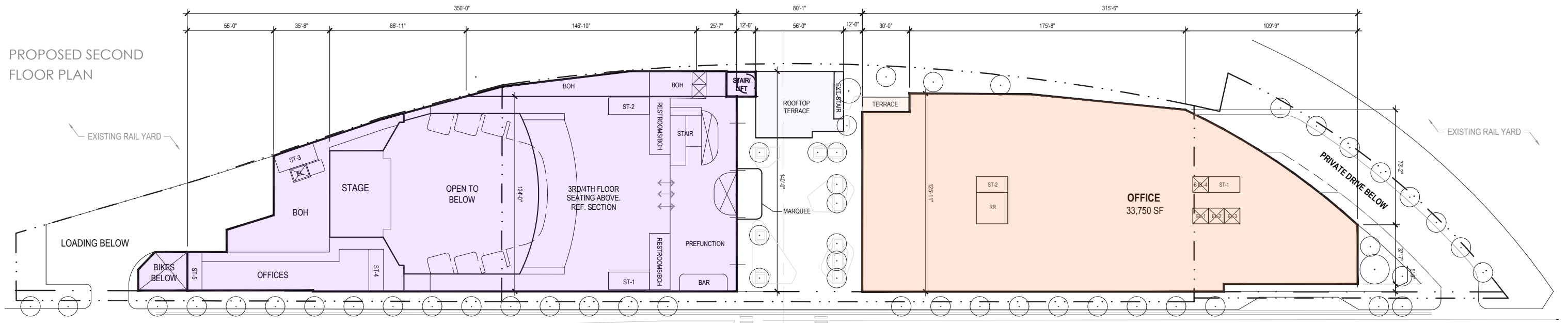
PROPOSED GROUND FLOOR PLAN

GROUND FLOOR PLAN AND SECTION

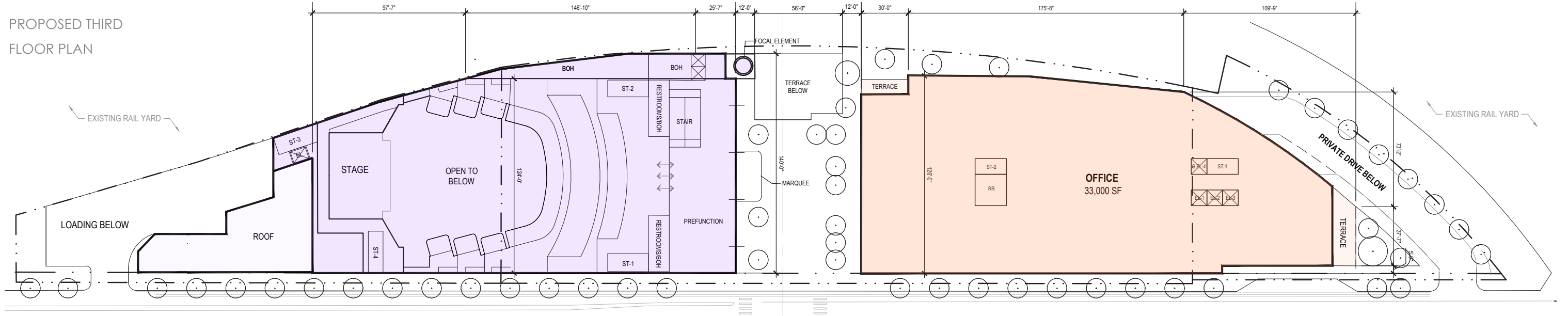
PROPOSED BASEMENT PLAN



PROPOSED SECOND FLOOR PLAN

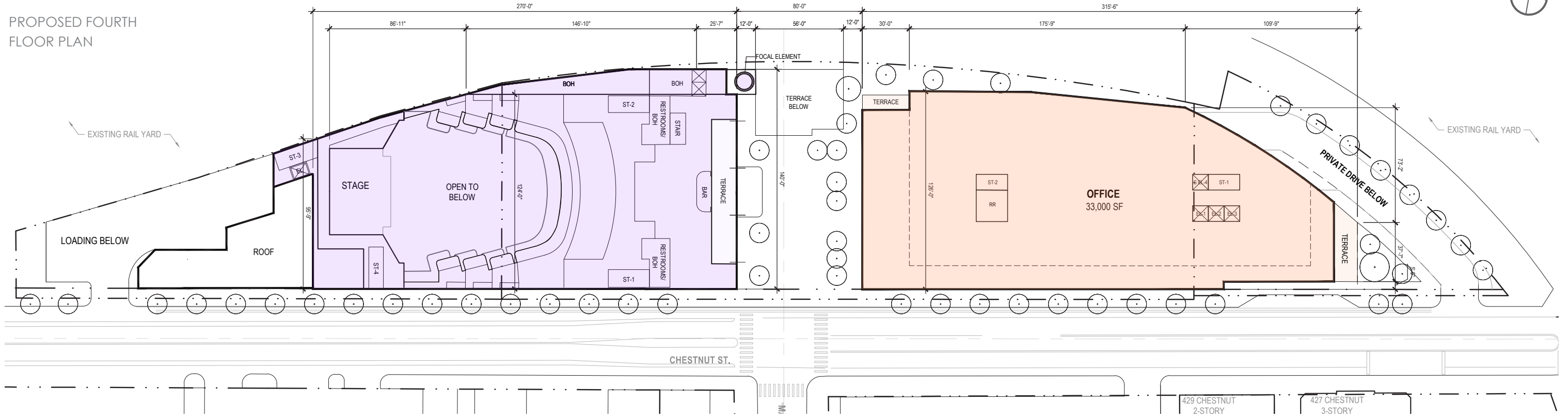


PROPOSED THIRD FLOOR PLAN

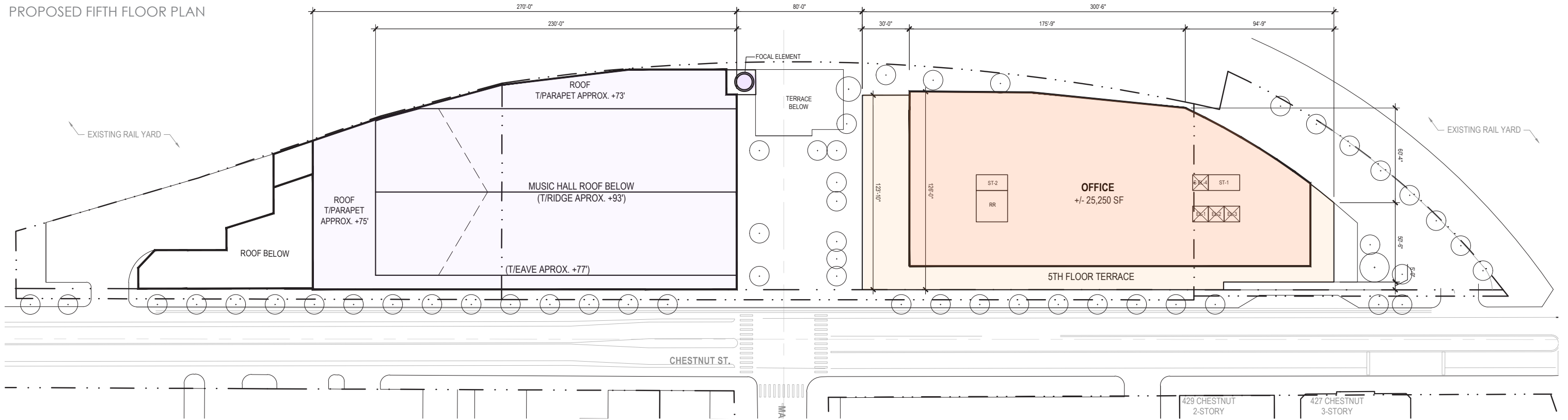


PROPOSED FLOOR PLANS

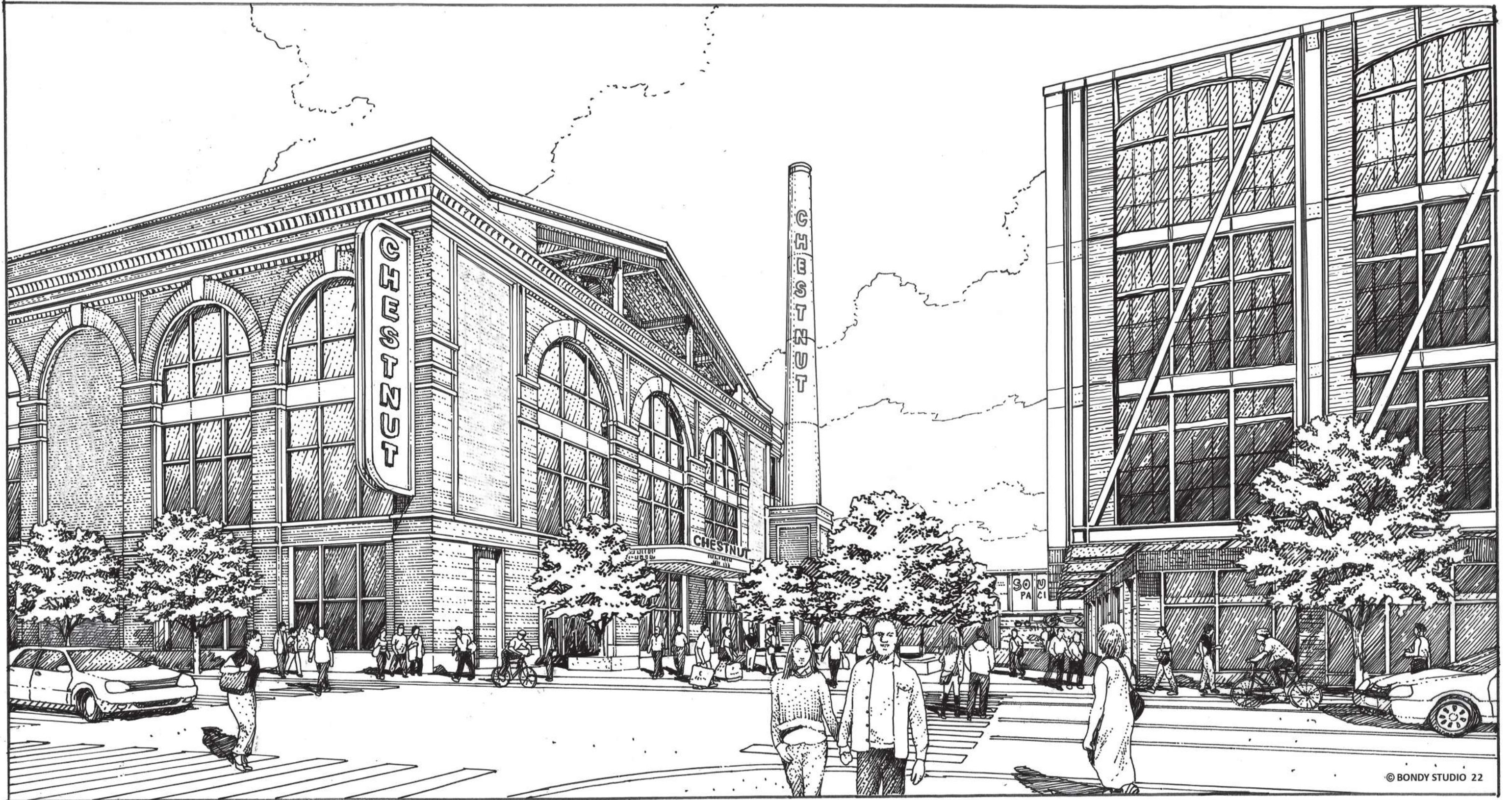
PROPOSED FOURTH FLOOR PLAN



PROPOSED FIFTH FLOOR PLAN



PROPOSED FLOOR PLANS



VENUE FROM MARTIN ST WITH TREES AT PLAZA

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© BONDY STUDIO 21

AERIAL VIEW LOOKING NORTH

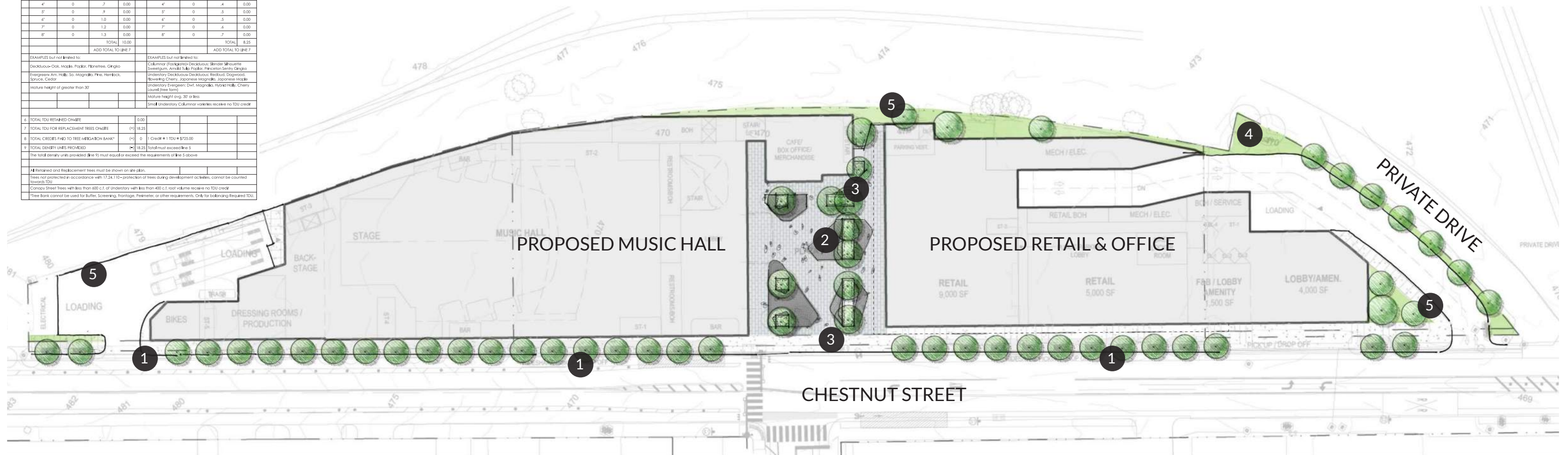
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TREE DENSITY UNIT

TREE DENSITY UNIT (TDU) WORKSHEET (ORDINANCE #4-104) REV. SEPT. 2019									
DATE: 2022-07-22									
MAP: [] PARCEL: []									
APPLICATION NUMBER: []									
PROJECT NAME: WEHO Phase 4									
ADDRESS: 448 CHESTNUT ST., NASHVILLE, TN 37203									
1. ACREAGE (AREA OF PARCEL INCLUDING BUILDING(S)) 2.5									
2. MINUS BUILDING COVERAGE AREA (-) 2.0									
3. EQUALS ADJUSTED ACREAGE (=) 0.50									
4. MULTIPLY BY REQUIRED TREE DENSITY UNIT PER ACRE (CHOOSE ONE) (x) 22 ALL BUT SINGLE FAMILY AND 1 & 2 FAMILY 14 SINGLE FAMILY AND 1 & 2 FAMILY									
5. REQUIRED TDU FOR PROJECT (R) 11.00 (R) 7.00									
MEMORANDUM (TREES) RETAINED									
DBH	# OF TREES	VALUE	TDU	DBH	# OF TREES	VALUE	TDU		
8"	0	3.22	0.00	8"	0	3.22	0.00		
10"	0	4.0	0.00	10"	0	4.0	0.00		
12"	0	4.8	0.00	12"	0	4.8	0.00		
14"	0	5.6	0.00	14"	0	5.6	0.00		
16"	0	6.4	0.00	16"	0	6.4	0.00		
18"	0	7.2	0.00	18"	0	7.2	0.00		
20"	0	8.0	0.00	20"	0	8.0	0.00		
22"	0	8.8	0.00	22"	0	8.8	0.00		
24"	0	9.6	0.00	24"	0	9.6	0.00		
*GREATER THAN 24" EQUALS DBH X .5 PER INCH									
TOTAL 0.00				TOTAL 0.00					
ADD TOTAL TO LINE 6				ADD TOTAL TO LINE 6					
REPLACEMENT TREES - LARGE & MEDIUM CANOPY TREES									
DBH	# OF TREES	VALUE	TDU	DBH	# OF TREES	VALUE	TDU		
24"	0	8.4	0.00	42"	0	23.1	0.00		
26"	0	9.1	0.00	44"	0	26.1	0.00		
28"	0	9.8	0.00	46"	0	27.6	0.00		
30"	0	10.5	0.00	48"	0	28.8	0.00		
32"	0	11.2	0.00	50"	0	30.0	0.00		
34"	0	11.9	0.00	52"	0	31.2	0.00		
36"	0	12.6	0.00	54"	0	32.4	0.00		
38"	0	13.3	0.00	56"	0	33.6	0.00		
40"	0	14.0	0.00	58"	0	34.8	0.00		
TOTAL 0.00				TOTAL 0.00					
ADD TOTAL TO LINE 6				ADD TOTAL TO LINE 6					
REPLACEMENT TREES - LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES AND STREET TREES									
DBH	# OF TREES	VALUE	TDU	DBH	# OF TREES	VALUE	TDU		
2"	20	.5	10.00	2"	33	.25	8.25		
3"	0	.6	0.00	3"	0	.3	0.00		
4"	0	.7	0.00	4"	0	.4	0.00		
5"	0	.9	0.00	5"	0	.5	0.00		
6"	0	1.0	0.00	6"	0	.5	0.00		
7"	0	1.2	0.00	7"	0	.6	0.00		
8"	0	1.3	0.00	8"	0	.7	0.00		
TOTAL 10.00				TOTAL 8.25					
ADD TOTAL TO LINE 7				ADD TOTAL TO LINE 7					
EXAMPLES but not limited to:									
Deciduous - Oak, Maple, Poplar, Pine, Red Oak, White Oak, Dogwood, Sweetgum, Live Oak, Pecan, Sycamore, Magnolia, Red Maple, White Maple, Red Birch, Yellow Birch, Black Birch, Paper Birch, Sweet Birch, Spruce, Cedar					Columnar (Fragaria) - Deciduous - Shreve, Shreve, Sweetgum, Amel, Big Poplar, Pinon, Sycamore, Ginkgo, Understory Deciduous - Dogwood, Redwood, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple, Understory Evergreen - Dill, Magnolia, Hybrid Holly, Cherry (except tree form)				
Mature height of greater than 30'					Mature height orig. 30' or less				
					Small Understory Columnar varieties receive no TDU credit				
6. TOTAL TDU RETAINED ON-SITE 0.00									
7. TOTAL TDU FOR REPLACEMENT TREES ON-SITE (*) 18.25									
8. TOTAL CREDITS PAID TO TREE MITIGATION BANK** (-) 0 Credit = 1 TDU = \$750.00									
9. TOTAL DENSITY UNITS PROVIDED (R) 18.25 (Total must exceed line 5)									
*The total density units provided (line 9) must equal or exceed the requirements of line 5 above									
Retained and Replacement trees must be shown on site plan.									
Trees not protected in accordance with 17.24.110 - protection of trees during development activities, cannot be counted towards TDU									
Canopy Street trees with less than 400 c.f.t. of Understory with less than 400 c.f.t. roof volume receive no TDU credit									
*Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter, or other requirements. Only for balancing Required TDU.									

LEGEND

- 1 STREET TREE WITH TREE GRATE
- 2 PAVERS
- 3 RASIED PLANTER
- 4 BIORETENTION
- 5 PLANTING



CONCEPTUAL LANDSCAPE PLAN

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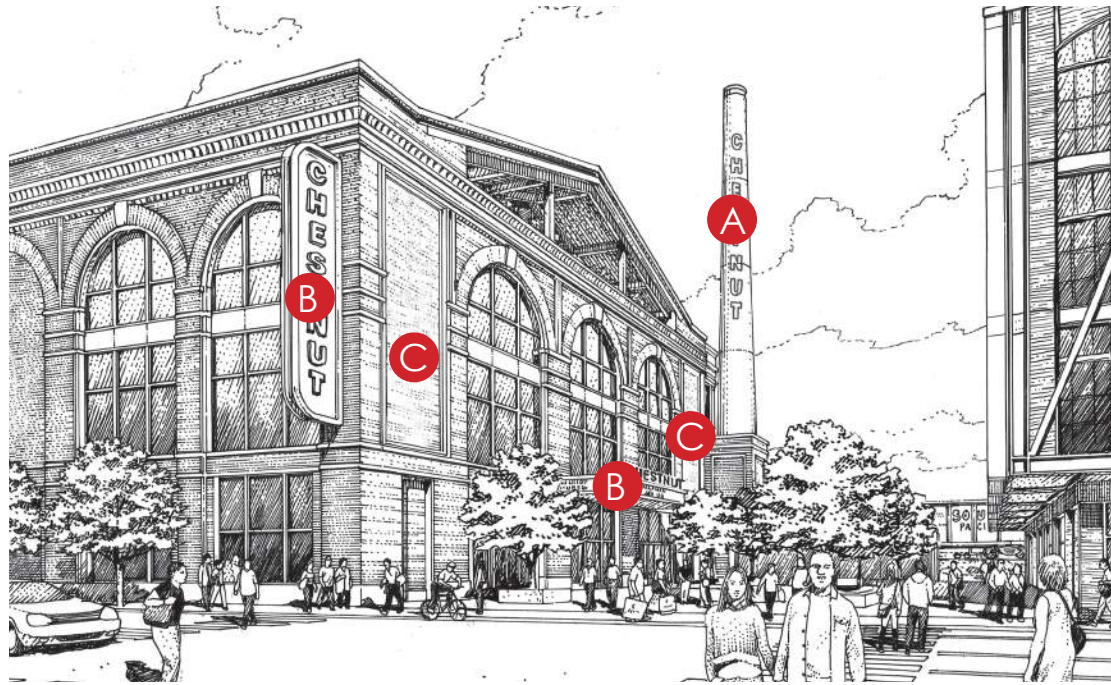


LEGEND

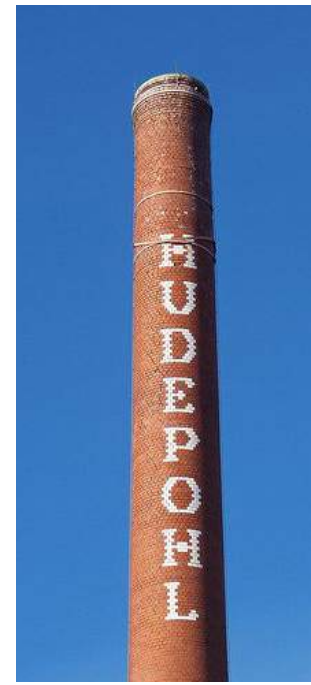
- 1 STREET TREE WITH TREE GRATE
- 2 PAVER TYPE 1
- 3 PAVER TYPE 2
- 4 RAISED PLANTER
- 5 BENCHES
- 6 PLANTING

CONCEPTUAL LANDSCAPE PLAN

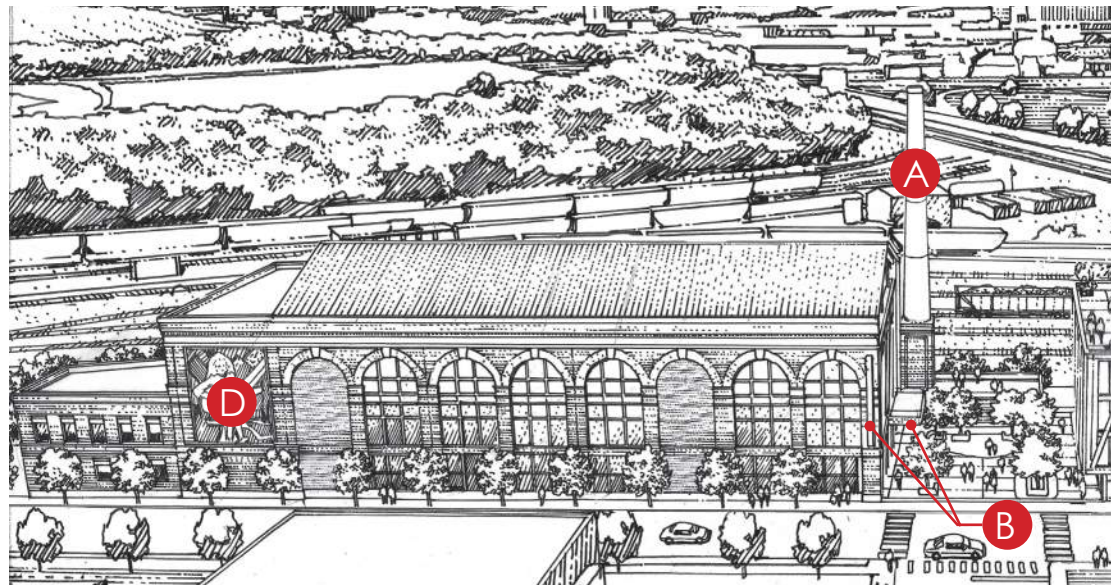
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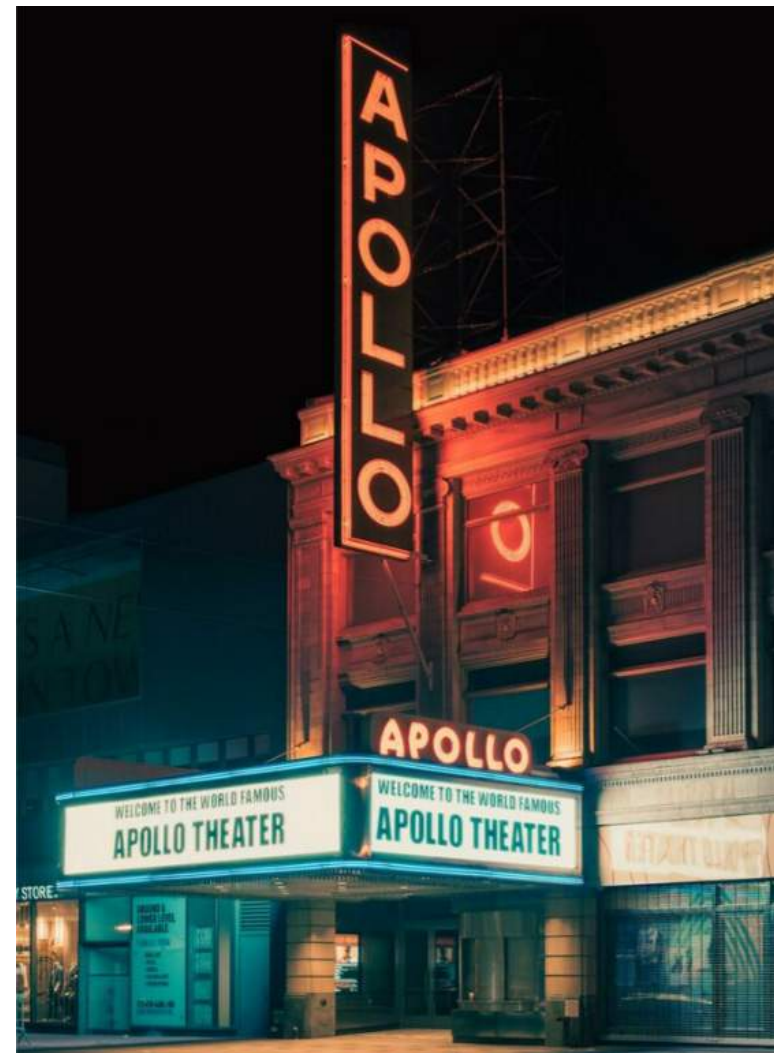
- A** FOCAL FEATURE
- PERMANENT SIGNAGE
- VENUE IDENTIFICATION
- NEIGHBORHOOD SCALE VISIBILITY



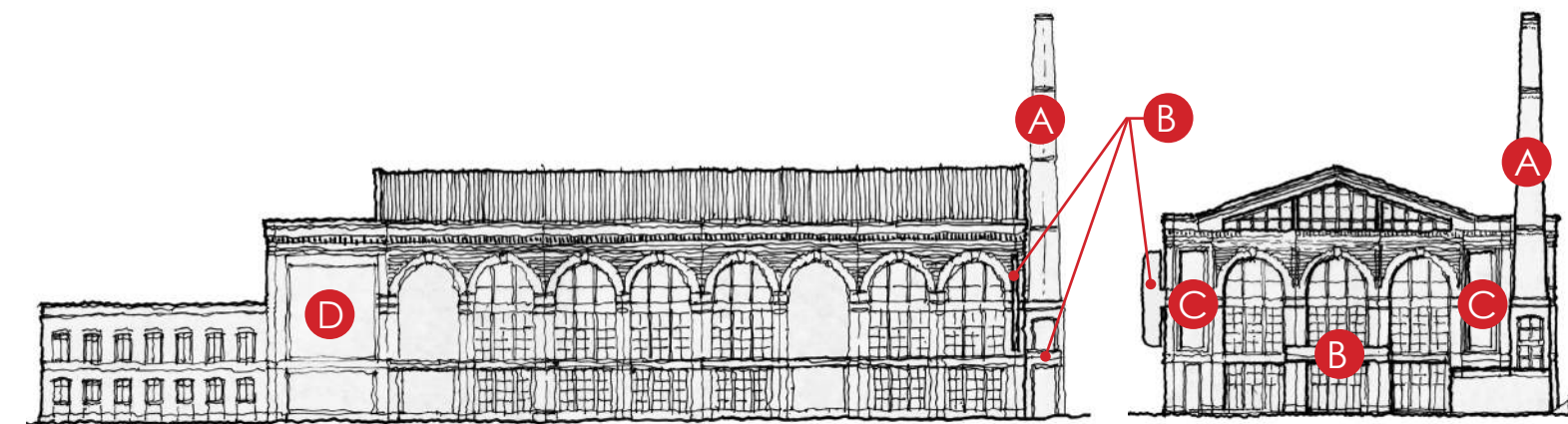
- C** BANNER OR SCREEN SIGNAGE
- TEMPORARY OR PERMANENT SIGNAGE
- VENUE/PERFORMER IDENTIFICATION
- STREET AND PLAZA SCALE VISIBILITY



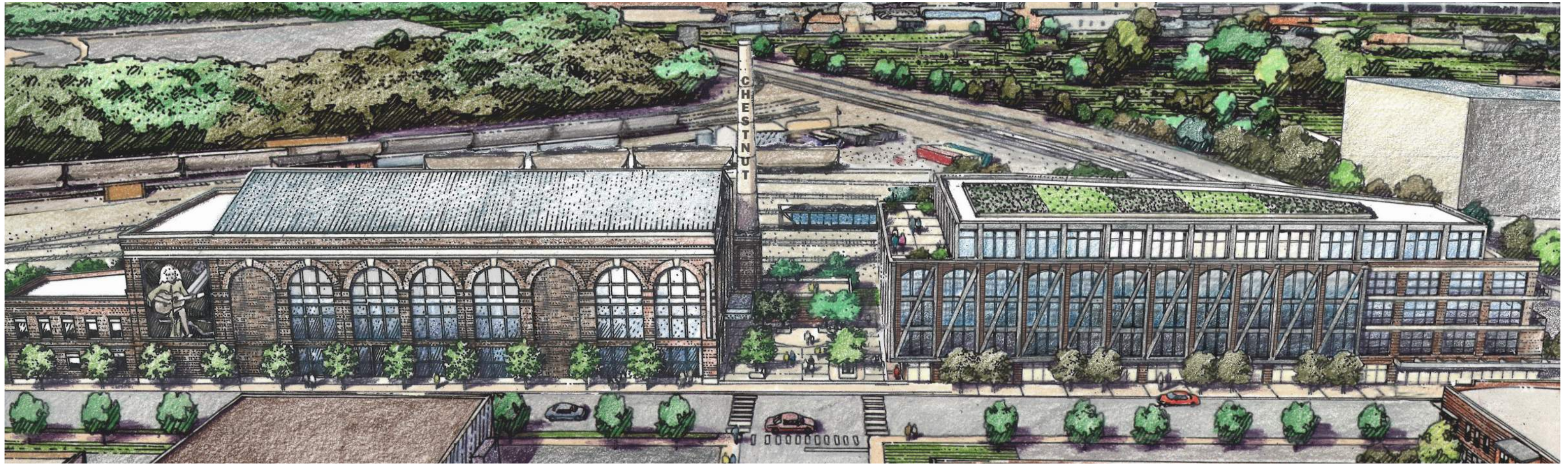
- B** MARQUEE SIGNAGE
- PERMANENT SIGNAGE WITH NAMING OPTIONS FOR SCHEDULED EVENTS
- VENUE IDENTIFICATION
- STREET AND PLAZA SCALE VISIBILITY



- D** MURAL OR CHANGING SIGNAGE
- TEMPORARY OR PERMANENT SIGNAGE
- VENUE/PERFORMER IDENTIFICATION OR UPCOMING SCHEDULE DISPLAY
- STREET SCALE VISIBILITY



SIGNAGE CONCEPTS - PRECEDENTS



WEDGEWOOD-HOUSTON & CHESTNUT HILL PLANNING STUDY - INCREASED HEIGHT BACKGROUND

INCREASED HEIGHT OVER 3-4 STORIES MAY BE APPROPRIATE WHEN:

1. PROVIDING ACTIVE USES AND ENHANCED STREETSCAPING:

THE PROJECT DESIGN WORKS TO PROVIDE ACTIVE USES ALONG THE CHESTNUT ST. FRONTAGE WHERE POSSIBLE, INCLUDING ALONG THE NEW CENTRAL PLAZA. OVER 12,000 SQUARE FEET OF GROUND FLOOR RETAIL USE IS INCLUDED IN THE CURRENT DESIGN TO ACCOMPANY THE VENUE AND OFFICE ENTRIES. SUB-GRADE PARKING, ACCESSED OFF A PERIMETER SERVICE DRIVE INCLUDING OFF STREET LOADING, MINIMIZES CURB CUTS AND ALLOWS FOR ADDITIONAL ACTIVE STREET FRONTAGE ALONG THE BUILDINGS FOCUSED AT THE MAIN INTERSECTION AT HUMPHREYS/MARTIN.

ENHANCED STREETSCAPING WILL BE PROVIDED THROUGHOUT THE ENTIRETY OF THE SITE, INCLUDING ADDITIONAL PUBLIC ROW, NEW STREET TREES, AND A NEW LANDSCAPED PEDESTRIAN PLAZA AT THE CENTER OF THE PROJECT ON AXIS WITH MARTIN STREET.

2. COMBINED WITH ADAPTIVE REUSE OF OTHER PARTS OF THE SITE.

THE CENTRAL PLAZA OF THE PROJECT IS INTENDED TO VISUALLY CONNECT TO THE RAIL LINE ADJACENT TO THE PROJECT SITE AND FEATURE VIEWS OF THE SKYLINE AND FORT NEGELY BEYOND. THE EXISTING INFRASTRUCTURE, BRICK/METAL CLAD WAREHOUSE AND EXISTING SURFACE PARKING DO NOT WARRANT REUSE IN THE CONTEXT IMPLIED IN THIS REQUIREMENT.

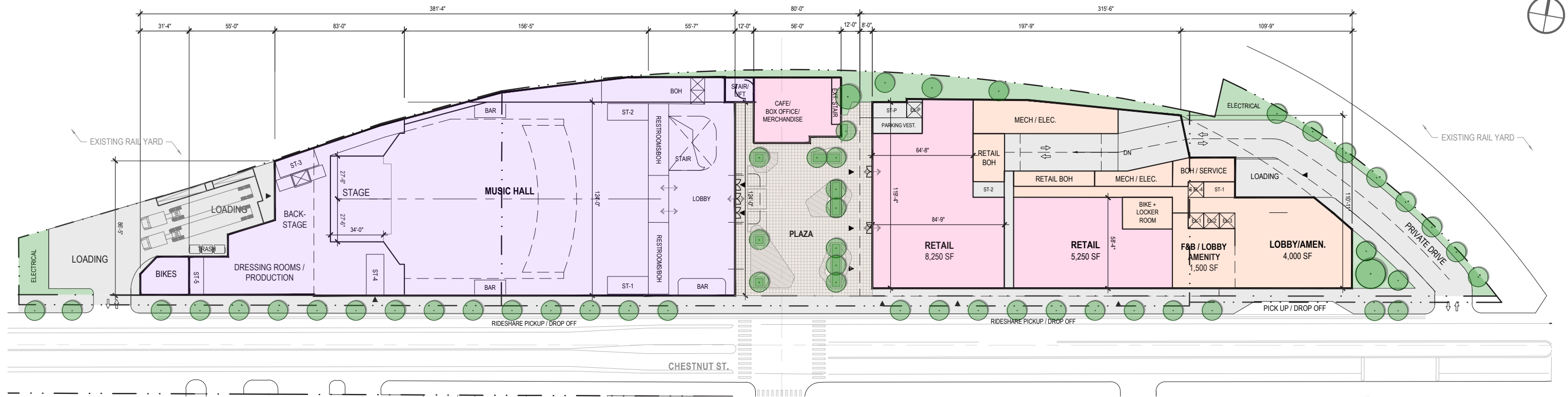
3. ACCOMPANIED BY URBAN INDUSTRIAL USES.

PER THE RESPONSE TO ITEM 1, THE EXTENSIVE RETAIL SPACE PROVIDED AT THE GROUND FLOOR OF THE PROJECT SITE WILL BE DESIGNED TO EASILY ACCOMMODATE CUSTOMER-FACING MAKER AND ARTISAN SPACES CONSISTENT WITH EXISTING DEVELOPMENT IN THE NEIGHBORHOOD. THESE SPACES COULD ALSO ACCOMMODATE AND SUPPORT CRITICAL NEIGHBORHOOD FOCUSED RETAIL WHERE APPLICABLE.

4. LOCATED IN LOWER LYING AREAS.

THE PROJECT SITE IS LOCATED NEAR THE LOWEST ELEVATIONS OF CHARACTER AREA 1 IN THE WHCH PLANNING STUDY. IT IS ALSO LOCATED FRONTING THE RAILROAD TRACKS, WITH THE SITE AND BUILDINGS SERVING AS A BOUNDARY EDGE OF THE NEIGHBORHOD AND A BUFFER BETWEEN THE RAILYARD SITE AND CHESTNUT ST.

PROPOSED HEIGHT BACKGROUND INFORMATION



CURRENT ZONING

IR - Industrial Restrictive

PROPOSED FALLBACK ZONING

MUL-A-NS Mixed Use Limited Alternative - No Short Term

Purpose Statement: The purpose of this SP is to Rezone 4 Parcels totaling 2.50 acres from IR-Industrial Restrictive to SP to allow for a Mixed-Use Development.

Unless otherwise specifically noted on this SP plan and/or included as a condition of Commission or Council approval, all development standards, regulations, and requirements of the MUL-A-NS zoning district as of the date of the applicable request or application shall apply to the properties contained in this SP.

Reference Civil Plan & Site Utilities sheets within the Preliminary SP submittal for additional notes.

SITE ZONING & REGULATIONS

CHESTNUT ST. - MIXED-USE PROJECT - PRELIMINARY SP 2022SP-059-001 - 07.27.2022, R1-08.16.2022

MODIFICATIONS TO THE SP

Minor modifications to the SP Plan may be approved by the Planning Commission or its designee based on final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this exacting ordinance, or add vehicular access points not currently present or approved.

DISTRICT REGULATIONS

Maximum FAR = 2.5

- Residential area is to be Included as Floor Area within the SP Boundary.
- Structured parking shall not be counted as Floor Area for the purpose of calculating FAR.

Maximum ISR = .90

Maximum Height = Stories, Building Elevations And Setbacks Per SP Proposal Site Plan, Elevations And Sections.

Residential Uses = 70 Units per acre based on cumulative acreage of land within the SP.

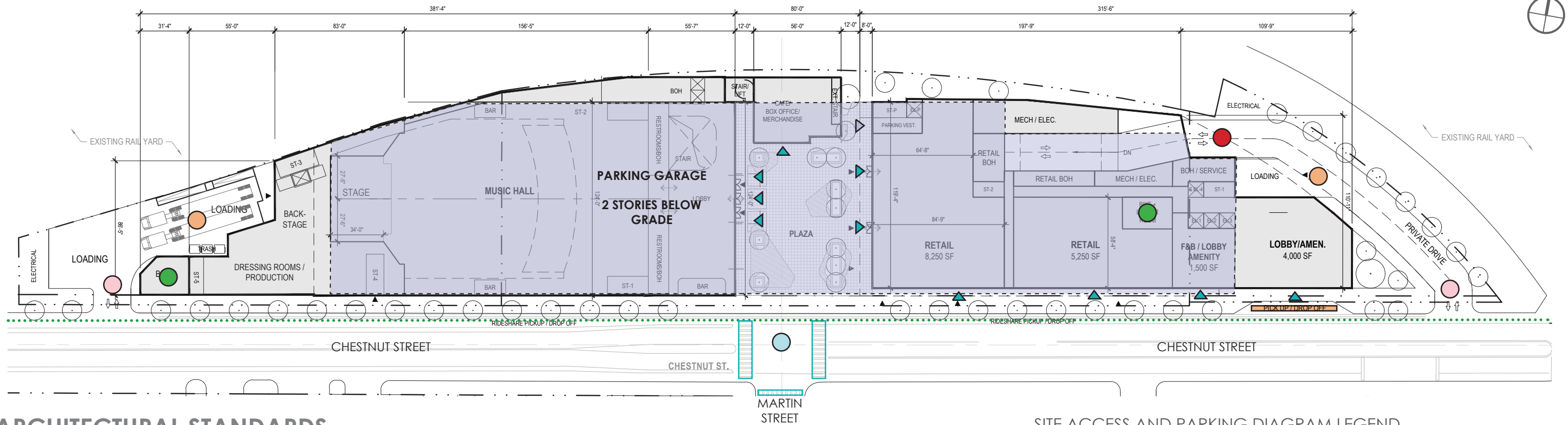
- 70 units x 6.13 acres = 175 Units Maximum

Build To Zone = 0 To 15 Feet.

Side And Rear Setback = 0 Feet, Per SP Proposal.

Permitted Uses = Reference Permit Use Tables On The Following Pages.

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.



ARCHITECTURAL STANDARDS

1. The architectural design of the buildings within the SP development sites is to be consistent with these standards as well as the general fabric and development pattern of the existing Wedgewood Houston neighborhood.
2. The East Office/Retail building shall provide a functional entry onto the street/sidewalk network or other public open space at frequent intervals to promote activity at the street level. Both buildings shall have at least one pedestrian entrance on a Principal Building Frontage fronting the street or central plaza. This entrance may be access to a lobby shared by individual tenants.
3. For new building frontage, a significant portion of the street level facade (ie doors and windows) shall be transparent to provide visual interest and pedestrian access. At ground floor locations along street frontage of the East Office/Retail Building, minimum 40% glazing is required from grade to 14 ft. Zones of transparency will be provided at glazed areas of the performance venue along the street as dictated by the interior program, lowering transparent areas below the required 40% glazing.
4. Masonry and metal materials were primarily used in the historic construction of the neighborhood and should continue to be prominent in new development work within the SP. Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability and detailing to historic materials.
5. Door and window openings in masonry facades should be recessed (2" minimum) rather than flush with the rest of the wall.
6. Large expanses of featureless materials are not appropriate. For building facades fronting streets and public open space, the width of any blank facade (without glazing) shall not exceed 30 feet. Masonry pilasters, masonry wall recesses or projections, and/or variations in material and color may be used to achieve this massing standard.
7. Vinyl siding, EIFS and untreated wood shall not be permitted. Tinted glass or colored glass may not be used for windows. Spandrel or fritted glazing at required areas is acceptable.
8. Refuse collection, recycling and ground level mechanical equipment shall be fully screened from public view by the combination of fences, walls and landscaping.
9. Roof-top equipment, skylights and roof penetrations located on or attached to the roof shall be located as to minimize their visibility from the street. Typically screening does not meet the requirement for "minimal visibility".

SITE ZONING & REGULATIONS

CHESTNUT ST. - MIXED-USE PROJECT - PRELIMINARY SP 2022SP-059-001 - 07.27.2022, R1-08.16.2022

SITE ACCESS AND PARKING DIAGRAM LEGEND

- VEHICULAR THREE WAY STOP SIGN AT HUMPHREYS ST. AND MARTIN ST. (TWO WAY)
 - VEHICULAR SITE ENTRY/EXIT WITH STOP SIGN FOR EGRESS. CHESTNUT ST. CROSS TRAFFIC DOES NOT STOP (TWO WAY)
 - PARKING GARAGE ENTRY/EXIT (TWO WAY)
 - OFF STREET LOADING AREA
 - BIKE PARKING
 - BELOW GRADE PARKING GARAGE EXTENT
 - CHESTNUT ST. BIKE LANE
 - CURB CUT LOADING ZONE FOR OFFICE DROP OFF
 - PEDESTRIAN CROSSWALKS AT CHESTNUT ST. AND MARTIN ST.
 - PRIMARY BUILDING USE ENTRY LOCATION
 - PUBLIC PARKING ACCESS
- NO EXISTING OR PROPOSED ON STREET PARKING AT CHESTNUT ST.

ACCESS & PARKING STANDARDS

10. Site access to be provided per SP plan, civil plans and the site access diagram.
11. Loading to occur off street at the locations highlighted. Loading access via curb cuts highlighted.
12. Minimum 350 shared parking spaces to be provided amongst the project site. Parking garage use is to be shared and available for public use as required for the occupancies provided within the SP development. Ref. shared parking analysis for additional information.
13. Bicycle parking per zoning code 17.20.135.

	USE ALLOWED	USE PROHIBITED
RESIDENTIAL USES		
Single-family	Y	
Two-family	Y	
Multi-family	Y	
Elderly housing	Y	
Mobile home dwelling		X
Accessory apartment		X
Accessory dwelling, detached		X
Boarding house	Y	
Consignment sale	Y	
Domesticated hens		X
Garage sale	Y	
Historic bed and breakfast homestay		X
Historic home events	Y	
Home occupation	Y	
Rural bed and breakfast homestay		X
Security residence		X
Short term rental property (STRP) Owner occupied		X

INSTITUTIONAL USES		
Correctional facility		X
Cultural center	Y	
Day care center (Up to 75)	Y	
Day care center (Over 75)	Y	
Day care home		X
Day care—Parent's day out	Y	
School day care	Y	
Monastery or convent	Y	
Orphanage	Y	
Religious institution	Y	

EDUCATIONAL USES		
Business school	Y	
College or university		X
Community education	Y	
Dormitory	Y	
Fraternity/sorority house		X
Personal instruction	Y	
Vocational school	Y	

	USE ALLOWED	USE PROHIBITED
OFFICE USES		
Alternative financial services	Y	
Financial institution	Y	
General office	Y	
Leasing/sales office	Y	

MEDICAL USES		
Animal hospital		X
Assisted-care living	Y	
Hospice	Y	
Hospital		X
Medical appliance sales	Y	
Medical office	Y	
Medical or scientific lab	Y	
Nonresidential drug treatment facility		X
Nursing home	Y	
Outpatient clinic	Y	
Rehabilitation services	Y	
Residence for handicapped, more than eight individuals	Y	
Veterinarian	Y	

COMMUNICATION USES		
Amateur radio antenna	Y	
Audio/video tape transfer	Y	
Communications hut	Y	
Multi-media production	Y	
Printing and publishing	Y	
Radio/TV studio	Y	
Satellite dish	Y	
Telecommunication facility	Y	

	USE ALLOWED	USE PROHIBITED
COMMERCIAL USES		
Animal boarding facility	Y	
ATM	Y	
Auction house	Y	
Automobile convenience	Y	
Automobile parking	Y	
Automobile repair		X
Automobile sales, new		X
Automobile sales, used	Y	
Automobile service		X
Bar or nightclub	Y	
Bed and breakfast inn	Y	
Beer and cigarette market	Y	
Boat storage		X
Business service	Y	
Carpet cleaning		X
Car wash	Y	
Community gardening (commercial)	Y	
Community gardening (noncommercial)	Y	
Custom assembly	Y	
Donation center, drop-off	Y	
Flea market	Y	
Funeral home	Y	
Furniture store	Y	
Grocery store	Y	
Home improvement sales	Y	
Hotel/motel	Y	
Inventory stock		X
Kennel/stable	Y	
Laundry plants		X
Liquor sales	Y	
Major appliance repair		X
Mobile storage unit		X
Mobile vendor		X
Nano brewery	Y	
Personal care services	Y	
Restaurant, fast-food	Y	
Restaurant, full-service	Y	
Restaurant, take-out	Y	
Retail	Y	
Self-service storage		X
Short term rental property (STRP)—Not owner occupied		X
Vehicular rental/leasing		X
Vehicular sales and service, limited	Y	
Wrecker service		X

	USE ALLOWED	USE PROHIBITED
INDUSTRIAL USES		
Artisan distillery	Y	
Asphalt plant		X
Building contractor supply		X
Compressor station		X
Concrete plant		X
Distributive business/wholesale	Y	
Fuel storage		X
Heavy equipment, sales and service		X
Hazardous operation		X
Manufacturing, Artisan	Y	
Manufacturing, heavy		X
Manufacturing, medium		X
Manufacturing, light		X
Microbrewery	Y	
Research service		X
Scrap operation		X
Tank farm		X
Tasting room	Y	
Warehouse	Y	

TRANSPORTATION USES		
Airport, medium or large commercial service		X
Airport/heliport		X
Boat dock (commercial)		X
Bus station/landport		X
Bus transfer station		X
Commuter rail		X
Helistop		X
Motor freight		X
Park and ride lot		X
Railroad station		X
Railroad yard		X
Water taxi station		X

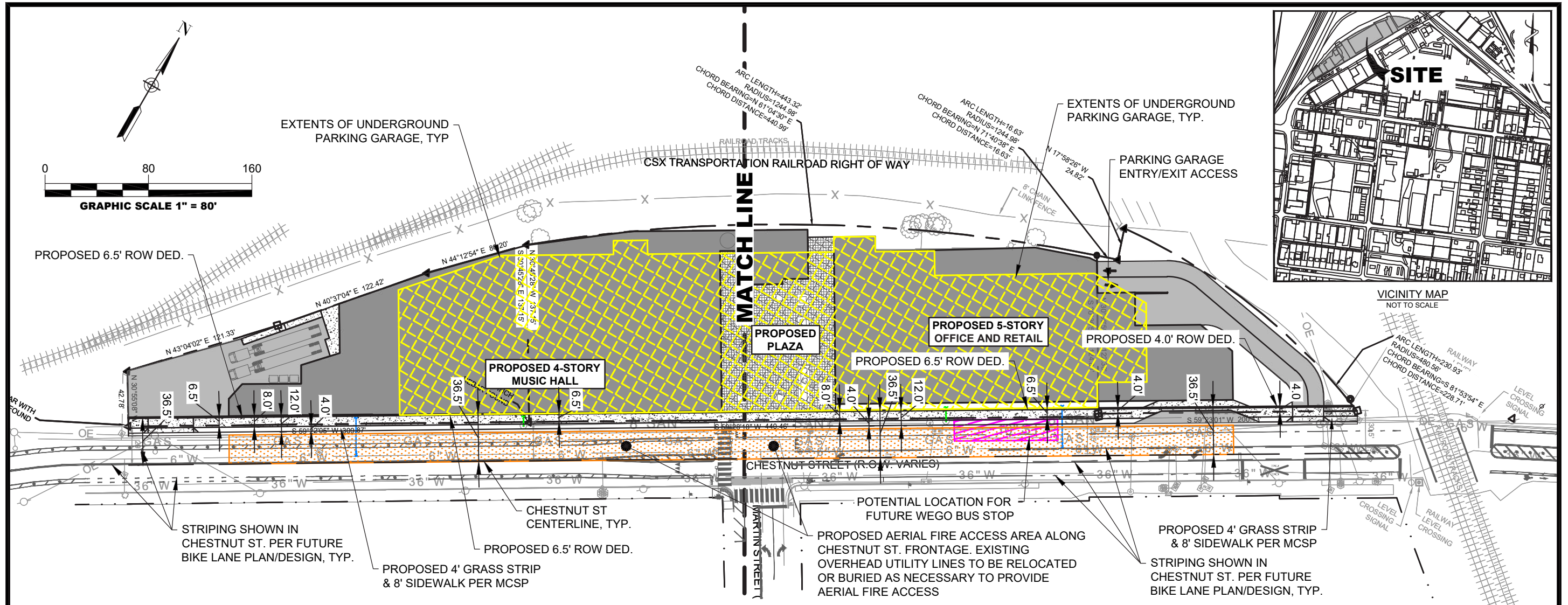
UTILITY USES		
Power/gas substation		X
Power plant		X
Reservoir/water tank	Y	
Safety services	Y	
Waste water treatment		X
Water/sewer pump station	Y	
Water treatment plant		X
Wind energy facility (small)	Y	
Wind energy facility (utility)		X

	USE ALLOWED	USE PROHIBITED
RECREATION & ENTERTAINMENT USES		
Adult entertainment		X
After hours establishment		X
Camp		X
Club	Y	
Commercial amusement (inside)	Y	
Commercial amusement (outside)	Y	
Country club		X
Drive-in movie		X
Driving range	Y	
Fairground		X
Golf course	Y	
Greenway	Y	
Park	Y	
Racetrack		X
Recreation center	Y	
Rehearsal hall	Y	
Sex club		X
Small outdoor music event	Y	
Stadium arena/convention center	Y	
Temporary festival	Y	
Theater	Y	
Theatre	Y	
Zoo		X

OTHER USES		
Agricultural activity		X
Cemetery		X
Domestic animals/wildlife		X
Mineral extraction		X
On-site agricultural sales		X
Pond/lake	Y	

WASTE MANAGEMENT USES		
Collection center		X
Construction/demolition landfill		X
Construction/demolition waste processing (project specific)		X
Medical waste		X
Recycling collection center		X
Recycling facility		X
Sanitary landfill		X
Waste transfer		X

PERMITTED USE TABLES



- NASHVILLE DEPARTMENT OF TRANSPORTATION NOTES:**
1. THE FINAL SITE PLAN / BUILDING PERMIT SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP FRONTAGE OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. WHERE FEASIBLE, VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
 2. PARKING RATIOS SHALL BE PROVIDED AT OR ABOVE THE REQUIREMENTS NOTED IN THIS DOCUMENT.
 3. REQUIRED RIGHT-OF-WAY WITHIN THE PROJECT SITE THAT IS IDENTIFIED AS NECESSARY TO MEET THE ADOPTED ROADWAY PLANS SHALL BE DEDICATED PRIOR TO BUILDING PERMIT SIGNOFF.
 4. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN, OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 5. THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP. THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC. ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS. STREET LIGHTING AND PEDESTRIAN FURNISHING ENHANCEMENTS TO BE COORDINATED WITH PLANNING AND PUBLIC WORKS DURING FINAL SP.
 6. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
 7. ALL SOLID WASTE AND RECYCLING COLLECTION FOR THE SITE WILL BE HANDLED BY A PRIVATE HAULER/SERVICE.
 8. ON-STREET PARKING RESTRICTIONS SHALL BE COORDINATED WITH PUBLIC WORKS, PLANNING, AND ALL OTHER APPLICABLE AGENCIES DURING FINAL SP REVIEW.

- NES NOTES:**
1. WHERE FEASIBLE, THIS DEVELOPMENT WILL BE SERVED WITH UNDERGROUND POWER AND PAD-MOUNTED TRANSFORMERS.
 2. NEW FACILITIES WILL NOT BE ALLOWED TO SIT IN OR PASS THROUGH BIORETENTION AREAS, BIOSWALES, AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN PAD-MOUNTED TRANSFORMER EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER.

- METRO WATER & SEWER NOTES:**
1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF METRO WATER SERVICES.
 2. FINAL WATER AND SEWER SERVICE LOCATIONS SHALL BE PROVIDED WITH FINAL SP PLAN SUBMITTAL.

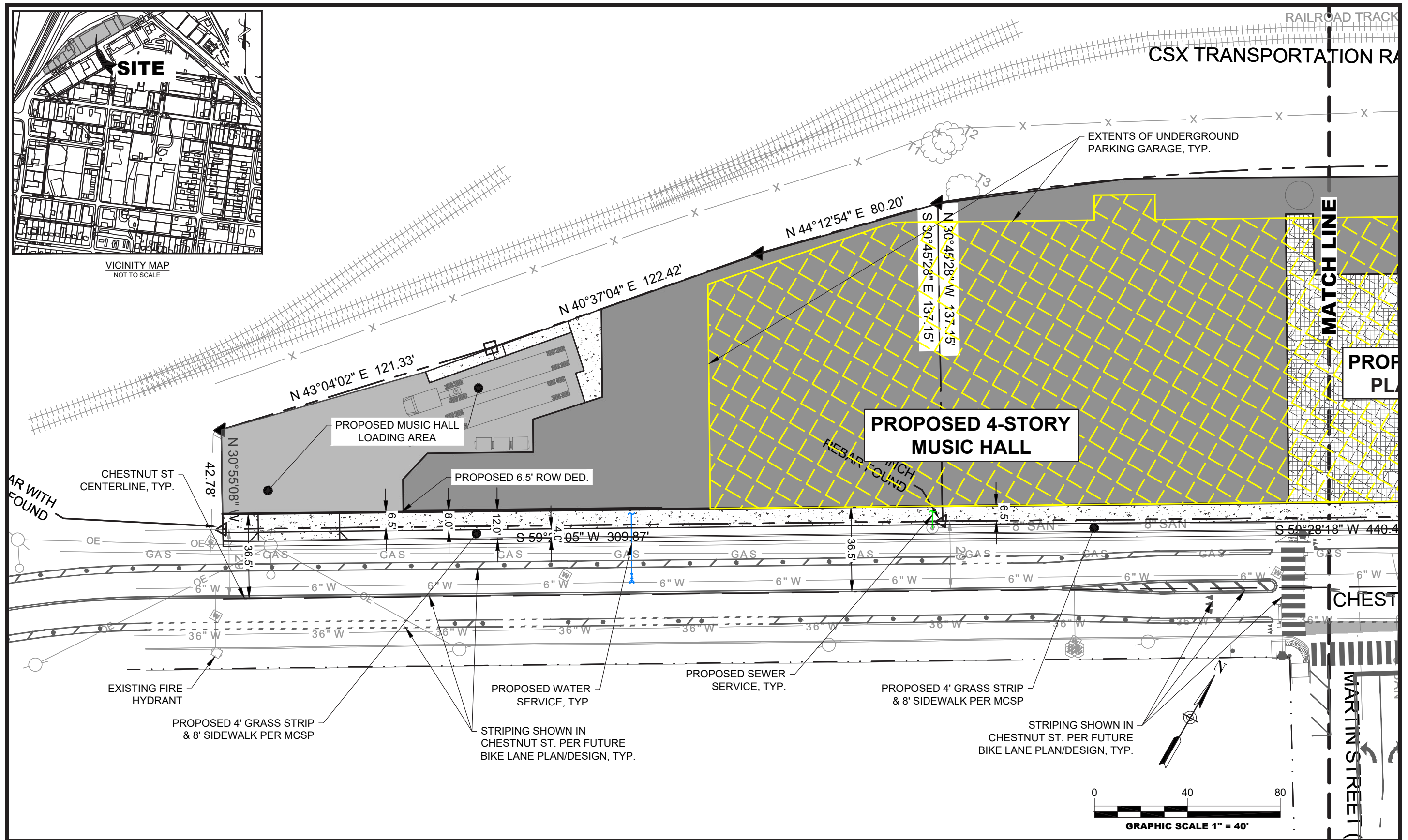
- LANDSCAPE NOTE:**
1. ALL FINAL SITE DEVELOPMENT SHALL MEET LANDSCAPE REQUIREMENTS OF THE LANDSCAPE SECTION OF THE METRO ZONING ORDINANCE, CHAPTER 17.24 "LANDSCAPING, BUFFERING AND TREE REPLACEMENT".

- PLANNING NOTES:**
1. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 2. DESIGN AND LOCATION OF A BUS STOP ON CHESTNUT STREET TO BE COORDINATE WITH WEGO DURING FINAL SP REVIEW. THE BUS STOP IS TO BE DESIGNED AND CONSTRUCTED PER WEGO TRANSIT DESIGN GUIDELINES.
 3. SITE SOILS MAY INCLUDE MAURY, MIMOSA, AND STIVERSVILLE URBAN LAND COMPLEXES PER USDA NRCS WEB SOIL SURVEY.

- HISTORIC NOTES:**
1. DURING BLASTING, IF UTILIZED, A SEISMOLOGIST WILL BE ON SITE TO MONITOR POTENTIAL DAMAGE TO UNDERGROUND BURIAL VAULTS AND ABOVE GROUND MONUMENTS AT THE CITY CEMETERY AS WELL AS STONEMWORK AND STRUCTURES AT FORT NEGLEY.
 2. DURING EXCAVATION AN ARCHAEOLOGIST WILL BE ON SITE TO MONITOR FOR HUMAN REMAINS. IF HUMAN REMAINS ARE FOUND, HISTORICAL COMMISSION STAFF WILL BE CONSULTED TO IDENTIFY AN APPROPRIATE LOCATION AT THE CITY CEMETERY FOR REBURIAL.

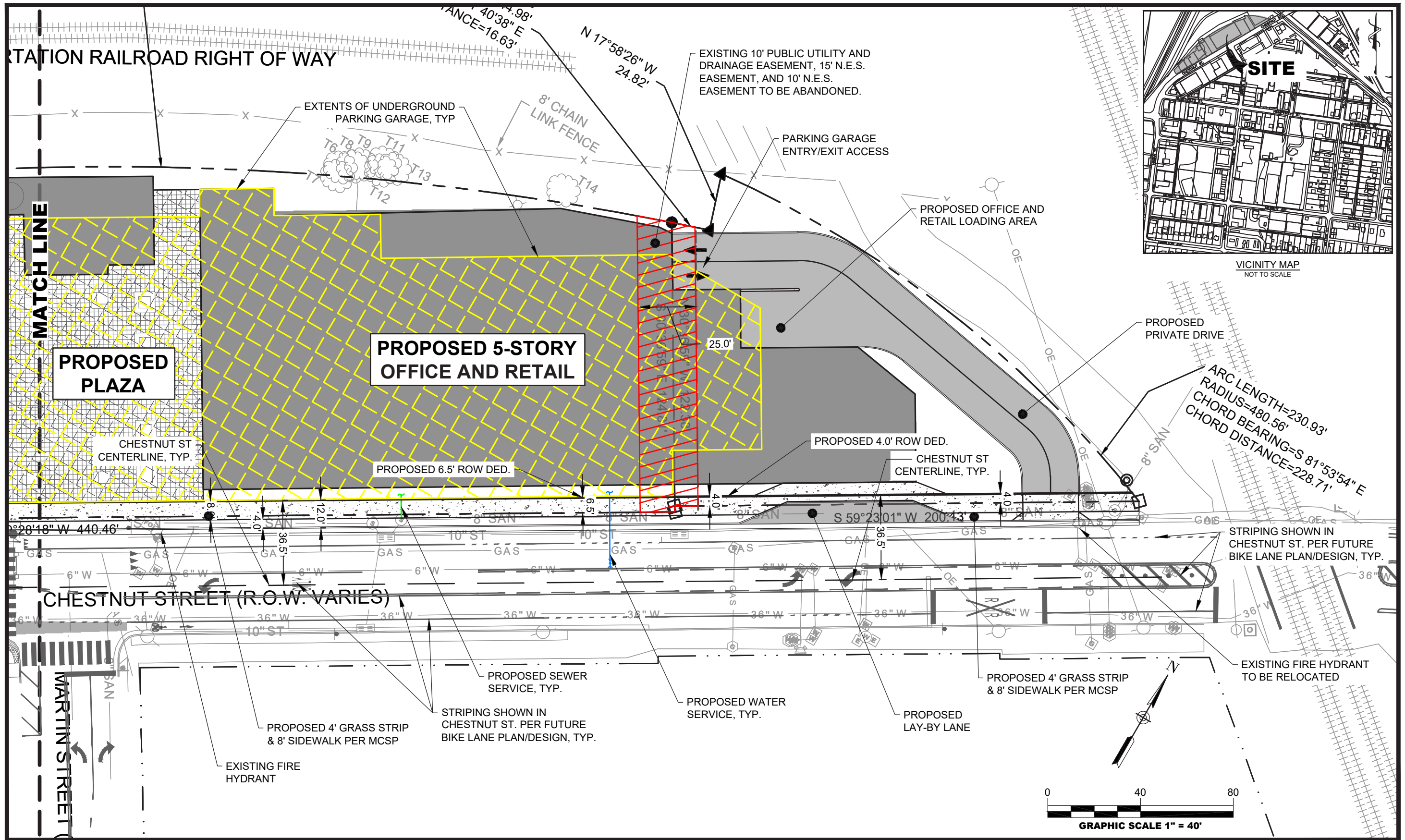
- FIRE MARSHAL NOTES:**
1. NEW COMMERCIAL DEVELOPMENTS SHALL BE PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH THE 2006 EDITION OF NFPA 1 TABLE H.
 2. NO PART OF ANY BUILDING SHALL BE MORE THAN 500 FEET FROM A FIRE HYDRANT VIA A HARD SURFACE ROAD. METRO ORDINANCE 095-1541 SEC. 1568.020B.
 3. ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20 FEET MINIMUM WIDTH AND SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.
 4. IF MORE THAN THREE STORIES ABOVE GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
 5. IF MORE THAN ONE STORY BELOW GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
 6. A FIRE HYDRANT SHALL BE PROVIDED WITHIN 100 FEET OF THE FIRE DEPARTMENT CONNECTION.
 7. FIRE HYDRANTS SHALL BE IN SERVICE BEFORE ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.
 8. OVERHEAD UTILITY LINES, AND OTHER VERTICAL OBSTRUCTIONS, TO BE BURIED OR RELOCATED AS NECESSARY ALONG STREET FRONTAGE TO PROVIDE REQUIRED AERIAL FIRE ACCESS PER IFC LATEST EDITION.

CIVIL PLAN & SITE UTILITIES



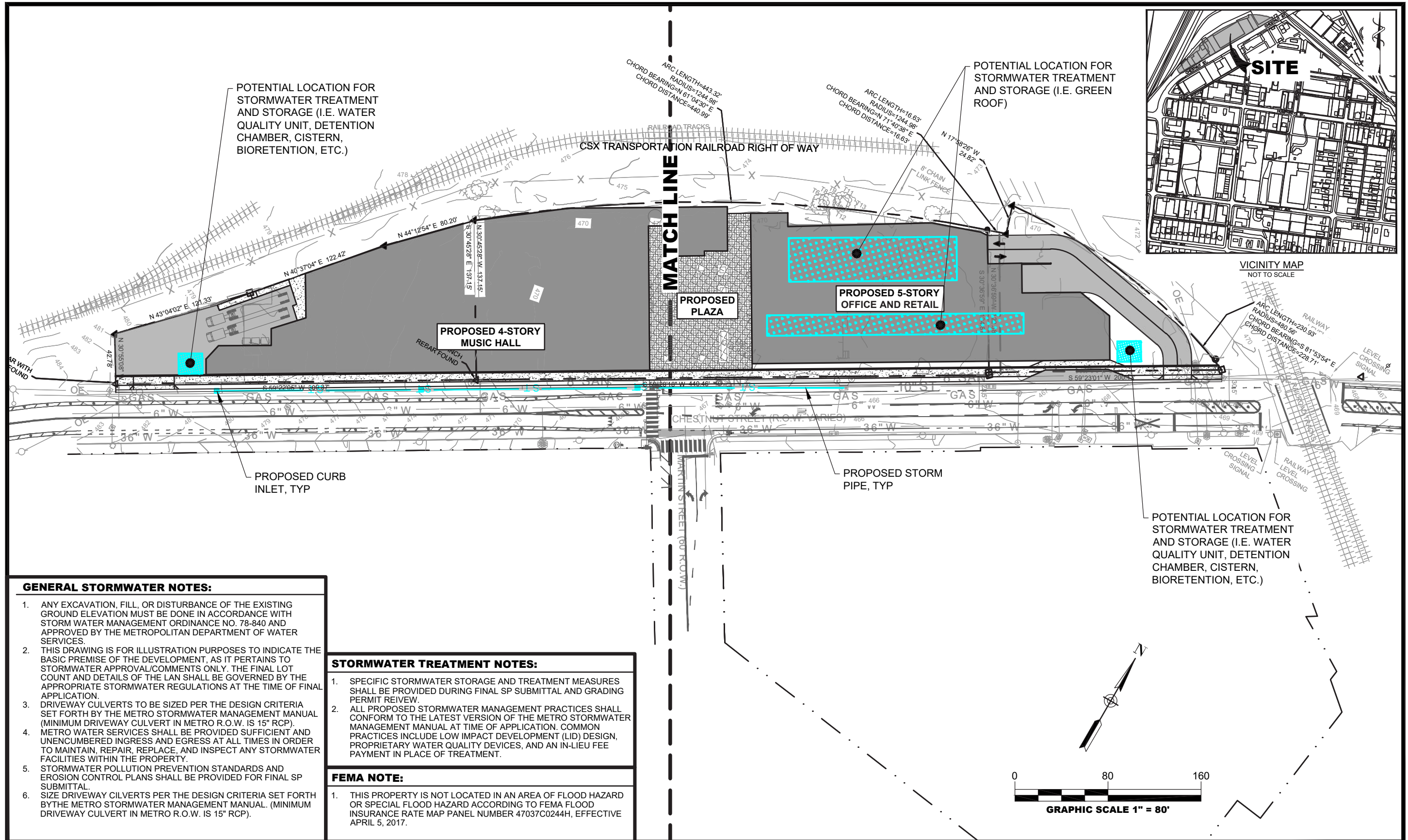
ENLARGED CIVIL PLAN & SITE UTILITIES - PLAN WEST

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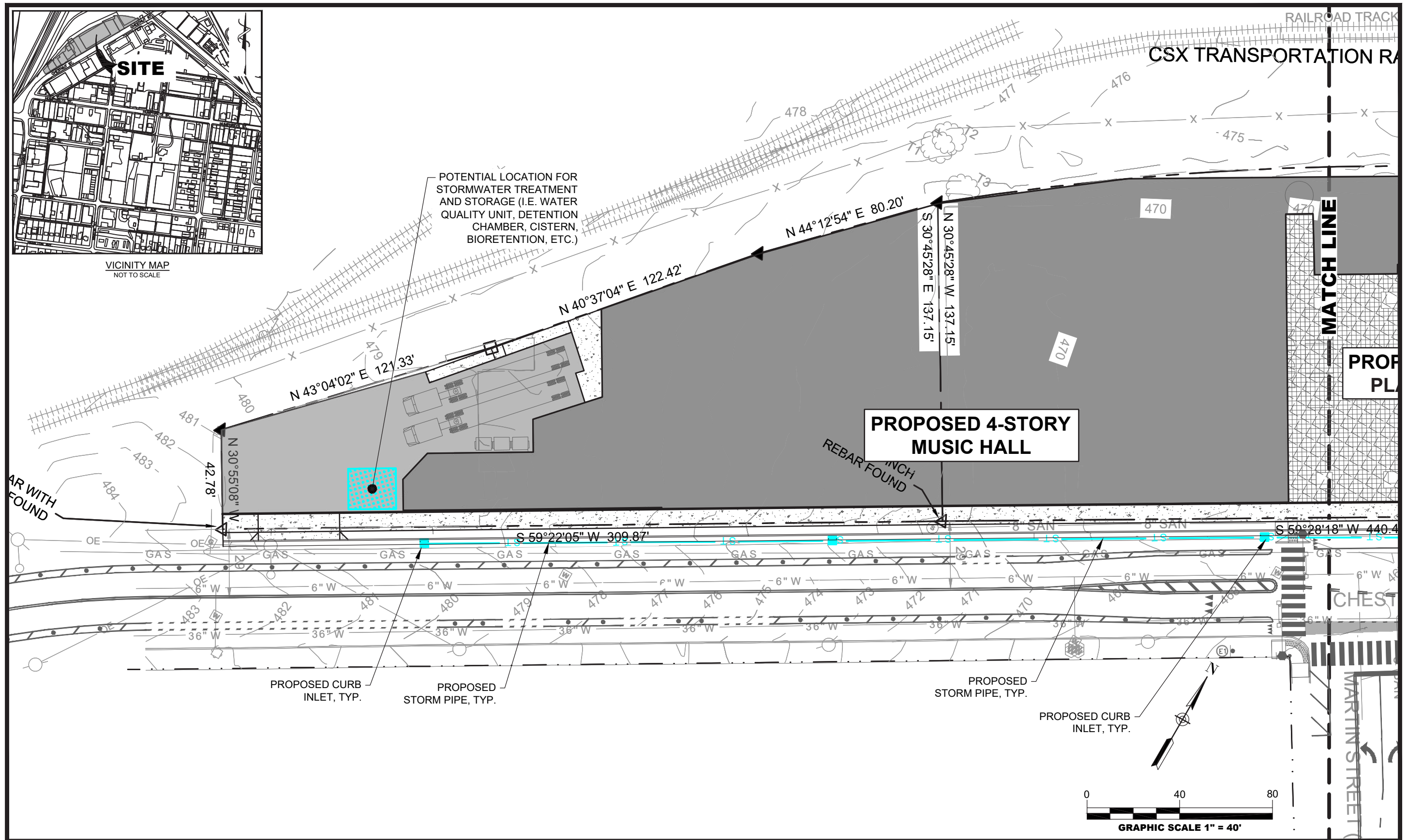


ENLARGED CIVIL PLAN & SITE UTILITIES - PLAN EAST

CHESTNUT ST. - MIXED-USE PROJECT - PRELIMINARY SP 2022SP-059-001 - 07.27.2022, R1-08.16.2022

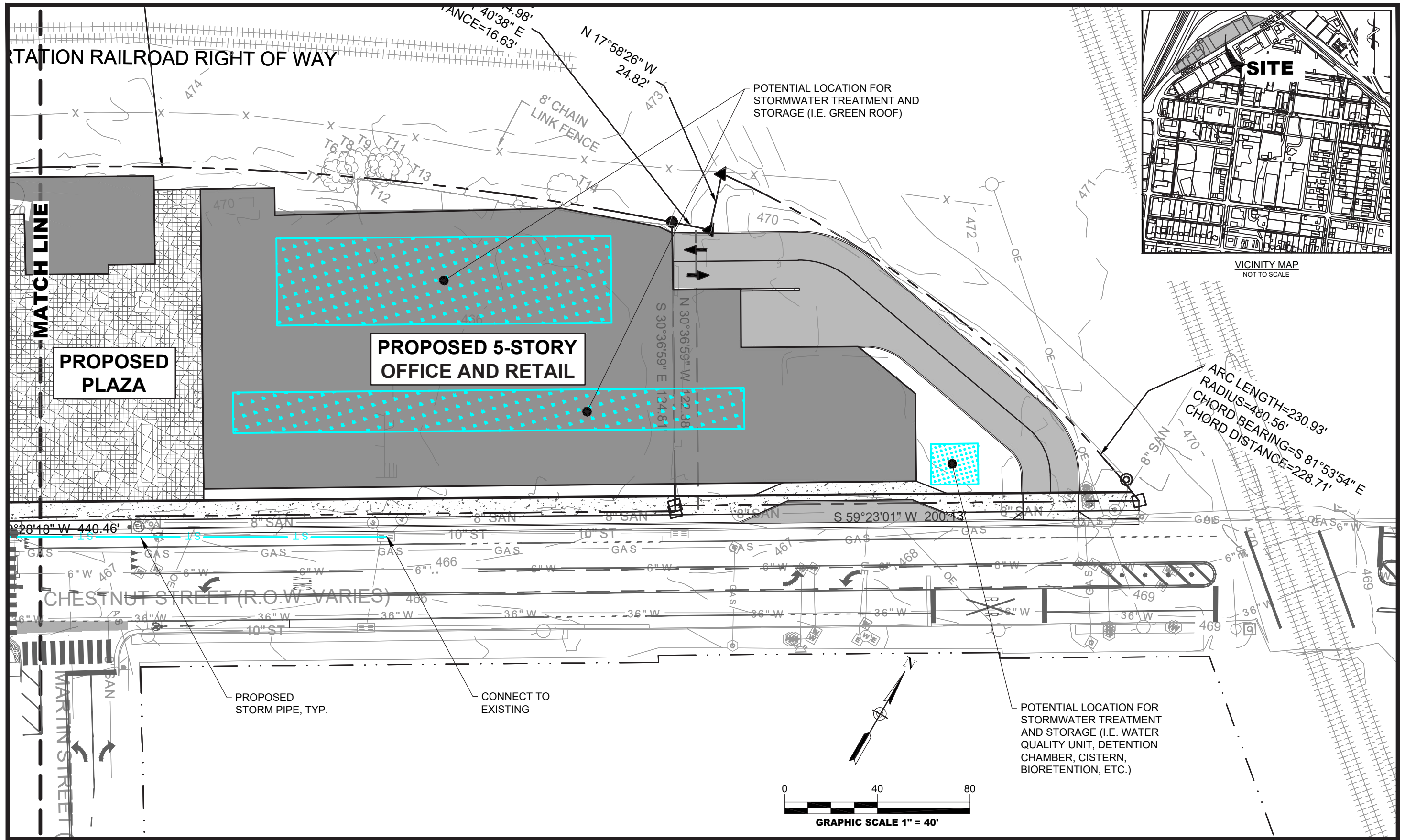


CIVIL STORMWATER & GRADING



ENLARGED CIVIL STORMWATER & GRADING - PLAN WEST

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ENLARGED CIVIL STORMWATER & GRADING - PLAN EAST

CHESTNUT ST. - MIXED-USE PROJECT - PRELIMINARY SP 2022SP-059-001 - 07.27.2022, R1-08.16.2022