



| REV. | DESCRIPTION | DATE |
|------|-------------|------|
| | | |
| | | |
| | | |
| | | |

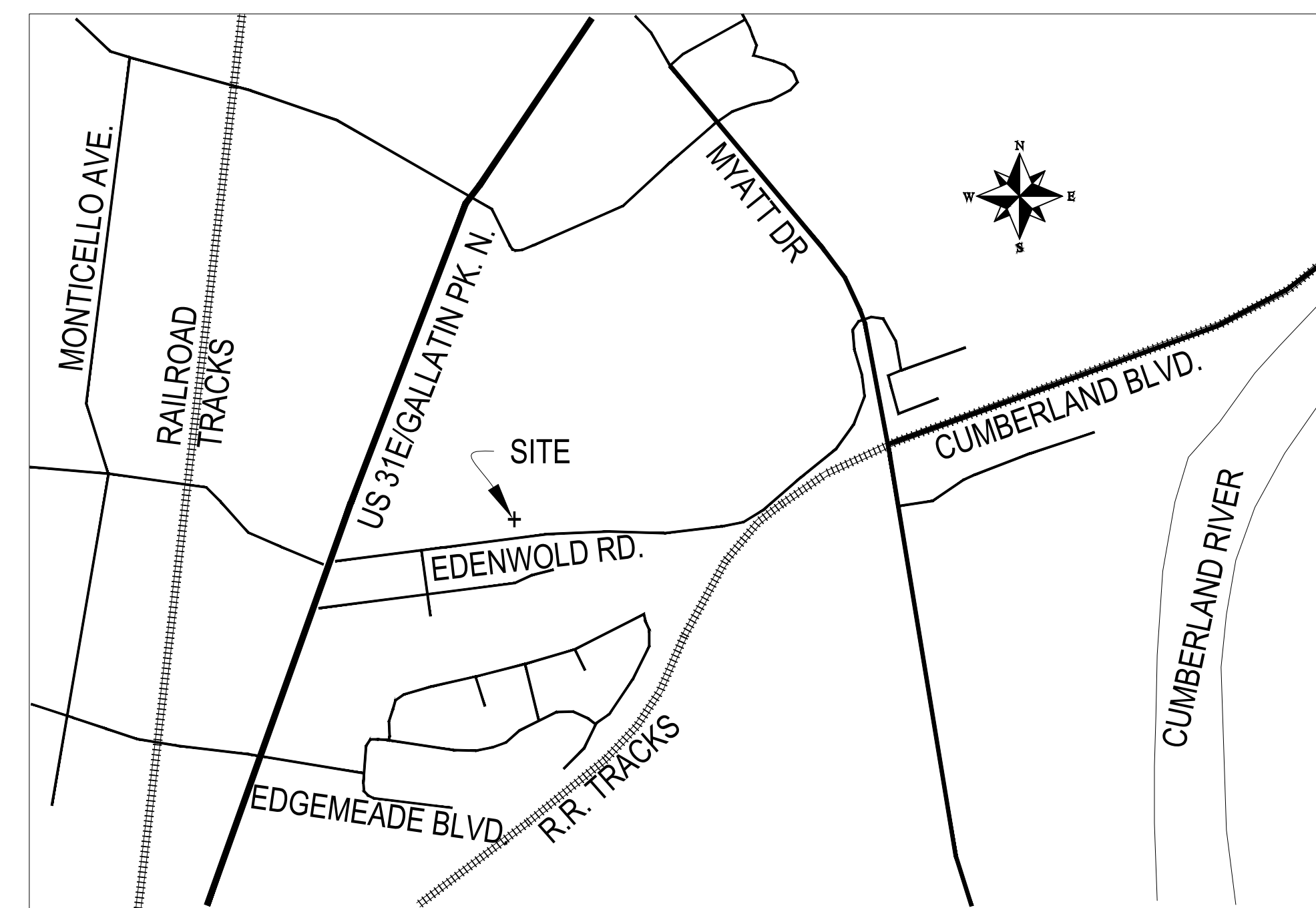
DESIGNED BY: A.K.
DRAWN BY: R.L.
SCALE: N.T.S.
PROJECT NO. 1912-01
DATE: 12/17/2021
ISSUED FOR:
FOR PERMIT

DRAWING TITLE:
COVER SHEET

CASE NO. 2022SP-003-001
CV

- THE PURPOSE OF THE SITE PLANS IS TO ADD AN AUTOMOBILE REPAIR & WAREHOUSE BUILDING & PARKING.
- THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- LANDSCAPING TREE DENSITY REQUIREMENTS PER LANDSCAPING ARCHITECT: (SEE SHEETS L-1.2)
PROJECT TREE DENSITY REQUIRED = 17.1 TDU
TOTAL TREE DENSITY UNITS PROVIDED = 17.5 TDU

The specific plan (SP) district is an alternative zoning process that may permit any land uses, mixture of land uses, and alternative development standards, of an individual property or larger area, to achieve consistency with the general plan. In return, a SP district requires the specific plan to be designed such that, at a minimum, the location, integration and arrangement of land uses, buildings, structures, utilities, access, transit, parking, and streets collectively avoid monotony, promote variety, and yield a context sensitive development. The specific plan cannot vary Section 17.40.055 (inclusionary housing incentive) and must comply with the building, fire and life safety codes adopted by the metropolitan government.



VICINITY MAP
NOT TO SCALE

EDENWOLD SP (2022SP-003-001)

AUTOMOBILE REPAIR / WAREHOUSE

LOT 3 RIVERGATE STATION SEC4

400 EDENWOLD ROAD

MADISON, TENNESSEE 37115

SWGR # 2020043843

CONSTRUCTION NOTES

1. NO SET OF CONTRACT DOCUMENTS IS EXHAUSTIVE OR PERFECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR AND INSTALL ALL MATERIAL CALLED FOR IN THE CONTRACT DOCUMENTS PER LOCAL CODE REQUIREMENT AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. THE CONTRACTOR'S INSTALLATION SHALL INCLUDE ALL REQUIRED ROUGH-INS, DUCTWORK, PIPING OR ELECTRICAL WIRING INCLUDING DEVICES (GAGES, VALVES, DISCONNECTS, STARTERS, ETC.) NEEDED FOR ALL SYSTEMS TO BE COMPLETE AND ALL FULLY OPERATIONAL WHETHER OR NOT SHOWN OF NOTED ON THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR'S BID SHALL INCLUDE ALL SUCH ITEMS REASONABLY INFERRED OR REQUIRED FOR COMPLETE SYSTEMS. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PROMPTLY OF ANY CONFLICT BETWEEN BUILDING CODES AND/OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE CONTRACT DOCUMENTS.
4. NO DEVIATIONS OR ADJUSTMENTS SHALL BE MADE TO THE CONTRACT DOCUMENTS WITHOUT COORDINATION AND THE APPROVAL OF THE DESIGN ENGINEER. ANY SUCH APPROVED DEVIATIONS OR ADJUSTMENTS TO THE CONTRACT DOCUMENTS SHALL BE MARKED ON A SET OF RECORD DRAWINGS BY THE CONTRACTOR. THE RECORD AS-BUILT DRAWINGS SHALL BE TURNED OVER TO THE DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION.

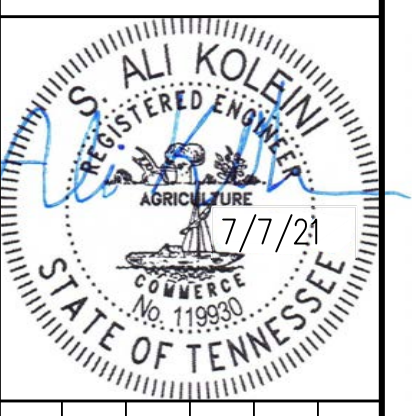
GENERAL NOTES

1. THE CONTRACTORS SHALL INSURE THAT ALL CONSTRUCTION LOADS DO NOT EXCEED THE DESIGN LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS AND THAT THESE LOADS ARE NOT PUT ON THE STRUCTURAL MEMBERS PRIOR TO THE TIME THAT ALL FRAMING MEMBER AND THEIR CONNECTIONS ARE IN PLACE.
2. THE OWNER AND CONTRACTOR SHALL EXAMINE THE STRUCTURE AND INFORM THE STRUCTURAL ENGINEER IN WRITING OF ANY LOADS NOT LISTED ABOVE. NO RESERVE LOAD CAPACITY EXIST FOR CONVERSION TO OTHER USES IF NOT NOTED ABOVE.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, HORIZONTAL AND VERTICAL DIMENSIONS AND COORDINATION OF ARCHITECTURAL AND STRUCTURAL DRAWINGS. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. SEE STRUCTURAL DRAWINGS FOR ELEVATION NOT SHOWN AND FOR EXACT LOCATIONS OF ALL SLAB DEPRESSIONS. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL SECTIONS WITH THE ARCHITECTURAL SECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO FABRICATING OR INSTALLING STRUCTURAL MEMBERS.
5. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. THE DETAILS SHOWN ON THE STRUCTURAL DRAWINGS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN ALL AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS.
7. INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING AND ADVISE THE ENGINEER OF ALL INTERFERENCES.

| DRAWING INDEX | |
|---------------|--|
| SITE PLAN SET | |
| SHEET # | DESCRIPTION |
| CV | COVER SHEET |
| C1.1 | SITE & UTILITIES LAYOUT PLAN |
| C2.0 | SITE GRADING AND DRAINAGE PLAN & NOTES |
| L-1.1 | LANDSCAPING PLAN |
| L-1.2 | LANDSCAPING NOTES |
| A3 | BUILDING ELEVATIONS |

CODE SUMMARY

APPLICABLE CODES
This List is Provided As A Convenience To The Contractor And Is Not To Be Considered To Be All Inclusive Of Codes And Regulations That May Apply To The Work. The Contractor Shall Comply With All Applicable Codes, Standards, Regulations, And Laws.
All code books are available from the model code organizations and are available for review at the office of The Metropolitan Clerk.
List of code editions adopted by the Metro Government:
- 2012 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS*
- 2012 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL AMENDMENTS*
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2009 ICC/ANSI A-117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- 2012 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS*
- 2012 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS*
- 2012 INTERNATIONAL FUEL GAS CODE WITH LOCAL AMENDMENTS*
- 2011 NATIONAL ELECTRICAL CODE WITH LOCAL AMENDMENTS**
- 2012 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS**
- 2012 LIFE SAFETY CODE (NFPA 101) WITH LOCAL AMENDMENTS***
NFPA 101 is to be used in addition to the 2012 International Fire Code for new and existing State of Tennessee and Metropolitan Government of Nashville owned buildings, and for the following new and existing occupancies as defined in the NFPA 101 Life Safety Code 2012 edition:
1. Educational occupancies
2. Day Care occupancies
3. Residential board and care occupancies
4. Health Care occupancies.
1998 METROPOLITAN COMPREHENSIVE ZONING ORDINANCE***
* See Chapter 16 of Metro Code of Laws for local code amendments.
** See Chapter 10 of Metro Code of Laws for adopted and local amendments.
*** See Chapter 17 of Metro Code of Laws for zoning text.



| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |

| REV. | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |

DEVELOPMENT / SITE DATA

- THE PURPOSE OF THIS SITE PLAN IS TO ADD AN AUTOMOBILE REPAIR & WAREHOUSE USE BUILDING & PARKING
- SUBJECT PROPERTY IS PARCEL ID: 03410012100 & PRESENTLY ZONED CS, BUT APPLYING FOR SP. THE INTENDED USE OF A BUILDING SHELL OR AN AUTOMOBILE SERVICE CENTER IS PERMITTED.
- THE SUBJECT PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN BASED ON INFORMATION TAKEN FROM F.E.M.A FLOOD ZONE MAP # 47037C0137H EFFECTIVE DATE: 4/5/2017 Zone X
- MINIMUM REQUIRED SETBACKS:

| | | |
|---------------|-----|--------------------|
| a. FRONT | 15' | EDENWOOD RD. |
| b. RIGHT SIDE | 0' | PARCEL 03406000300 |
| c. LEFT SIDE | 0' | PARCEL 03409017600 |
| d. REAR | 20' | PARCEL 03409017200 |
- LOT AREA: 47,259 SQ. FT. 1.08 ± ACRE
- PROPOSED SITE COVERAGE:

| | |
|--------------------------------|----------------|
| a. BUILDING AREA | 13,400 SQ. FT. |
| b. ASPHALT PARKING & SIDEWALKS | 20,665 SQ. FT. |
| c. LANDSCAPE | 13,194 SQ. FT. |
- PARKING TABULATION:

| | |
|------------------------------------|--|
| a. AUTOMOBILE REPAIR / WAREHOUSE | 2 SPACES + 4 PER SERVICE BAYS / 1 PER 2,500 S.F. |
| b. WAREHOUSE | 6,700 / 2,500 = 2,680 3 SPACES REQUIRED |
| c. AUTOMOBILE REPAIR = 2 PLUS | 6 SERVICE BAYS X 4 = 26 26 SPACES REQUIRED |
| d. TOTAL PARKING SPACES REQUIRED = | 29 SPACES REQUIRED |
- PARKING PROVIDED:

| | |
|--------------------|--------------------|
| a. STANDARD SPACES | 29 SPACES |
| b. COMPACT SPACES | 0 SPACES |
| c. ADA SPACES | 2 SPACES |
| TOTAL PROVIDED: | 31 SPACES PROVIDED |
- PROPOSED BUILDING EAVE HEIGHT 24 FT. ABOVE ADJACENT GRADE < 35'
- MAX FLOOR AREA RATIO (FAR) 0.284 = 28.4% < 60.0%
- MAX IMPERVIOUS AREA RATIO (ISR) 0.721 = 72.1% < 90.0%
- LANDSCAPE AREA RATIO (LAR) 0.279 = 27.9% > 10.0%
- PLEASE SEND ALL CORRESPONDENCE TO ENGINEER:
ALI KOLEINI, P.E.
3360 SAWTELLE BLVD. #101, LOS ANGELES, CA 90066
PHONE: (615) 347-7903

GENERAL NOTES

- THE CONTRACTOR IS TO CHECK AND VERIFY ALL BOUNDARY SURVEY, CORNERS, SETBACKS MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR SAME.
- ALL TREES, STUMPS, OBSTRUCTIONS, ETC. REMOVE FROM THE RIGHT-OF-WAY AND BORROW AREAS ARE TO BE DISPOSED OF BY CONTRACTOR AS APPROVED BY THE OWNER, SO AS TO CAUSE NO POLLUTION TO THE ENVIRONMENT.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS, AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK AND SHALL BEAR THE COST OF REPLACING SAME.
- CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS, ETC. WHICH ARE TO REMAIN AND NOT BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS, AND PAY LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
- THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF HIS WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- THE CONTRACTOR SHALL PROVIDE SUCH BRACING, SHEETING AND SHORING, BLASTING PROTECTION WARNING LIGHTS AND BARRICADES, ETC. AS MANY AS MAY BE NECESSARY FOR THE PROTECTION SHALL COMPLY WITH ALL APPLICABLE SAFETY STATUTES AND RULES REQUIRING CERTAIN OF LIFE AND PROPERTY FOR HIS OWN EMPLOYEES AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL PROVIDE PROTECTIVE PERSONAL APPAREL, SUCH AS HARD HATS, EAR PLUGS, EYE SHIELDS, PROTECTIVE SHOES, ETC. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY OR LIABILITY FOR ACTIONS TAKEN BY THE CONTRACTOR ENDANGERING LIFE AND PROPERTY.
- THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT EACH OF THE UTILITY COMPANIES AND TENNESSEE "ONE CALL" (800) 351-1111 PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF APPROACH TO SUCH LINES.
- THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT DURING CONSTRUCTION UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBstantiate OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR'S AUTHORIZED FIELD REPRESENTATIVE SHALL CONTACT TENNESSEE ONE CALL 800-351-1111 FOR MARKING ALL UTILITY LINES LOCATIONS BEFORE PERFORMING ANY DIGGING.
- ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO AS-BUILT APPROVALS.

| Development Summary | |
|-------------------------------------|--|
| • Council District Number | 10 |
| • Council District Council Member | Zach Young |
| • Owners Of Record | Nouri, Alreza |
| • Owners Of Record Address | 7217 Autumn Crossing Way, Brentwood, TN 37027 |
| • Owners Of Record Phone Number | 615-915-0260 |
| • Overlay District Name | N/A |
| • PUD Name | Lot 3 Rivergate Station Sec 4 |
| • Design Professional | 2/8/2021 Name: Ali Koleini, P.E. Address: 3360 Sawtelle Blvd. #101, Los Angeles, CA 90066 Phone Number: 615-347-7903 Office Number: 615-299-7388 |
| • us.FEMA FIRM Community Map Number | 47037C0137H |
| • us.FEMA FIRM Community Map Date | 4/5/2017 |
| • us.FEMA FIRM Flood Zone | Zone X |

LEGEND

- Existing Iron Rod I.R.(O)
- Existing Conc. Mon. C.M.(O)
- Iron Rod (Set) I.R.(N)
- ⊗ Water Valve
- ⊗ Water Meter
- ⊗ Fire Hydrant
- ⊗ Utility Pole
- ⊗ Anchor / guy wire
- W- Water Line
- GAS- Gas Line
- OHL- Overhead Utility Line
- CMP Corrugated Metal Pipe
- RCP Reinforced Concrete Pipe
- SS Sanitary Sewer
- R.O.W. Right of Way
- † Hose Bibb (H.B.)
- Clean-Out

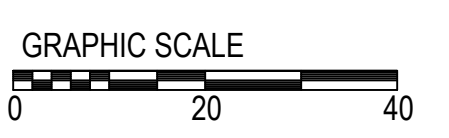
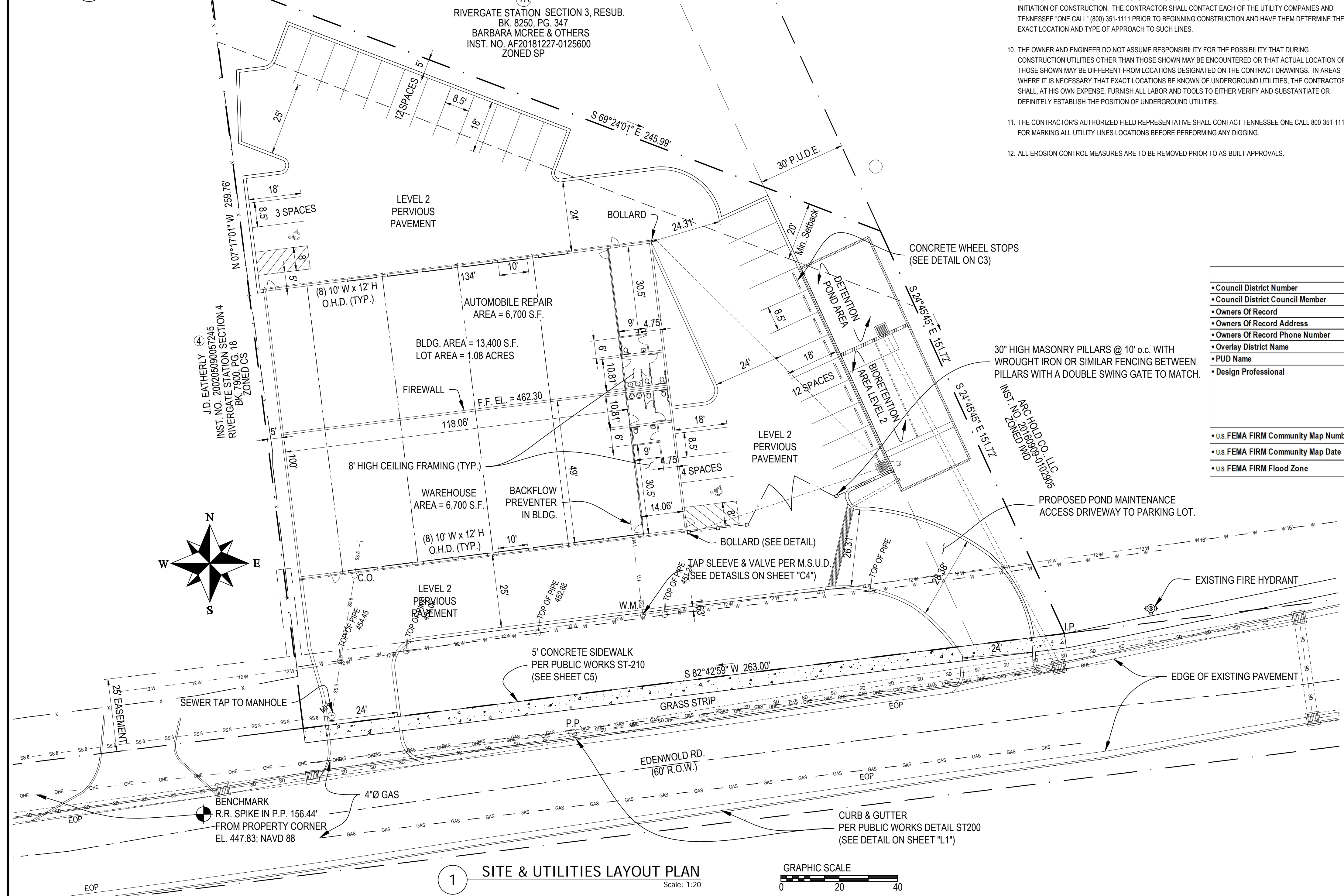
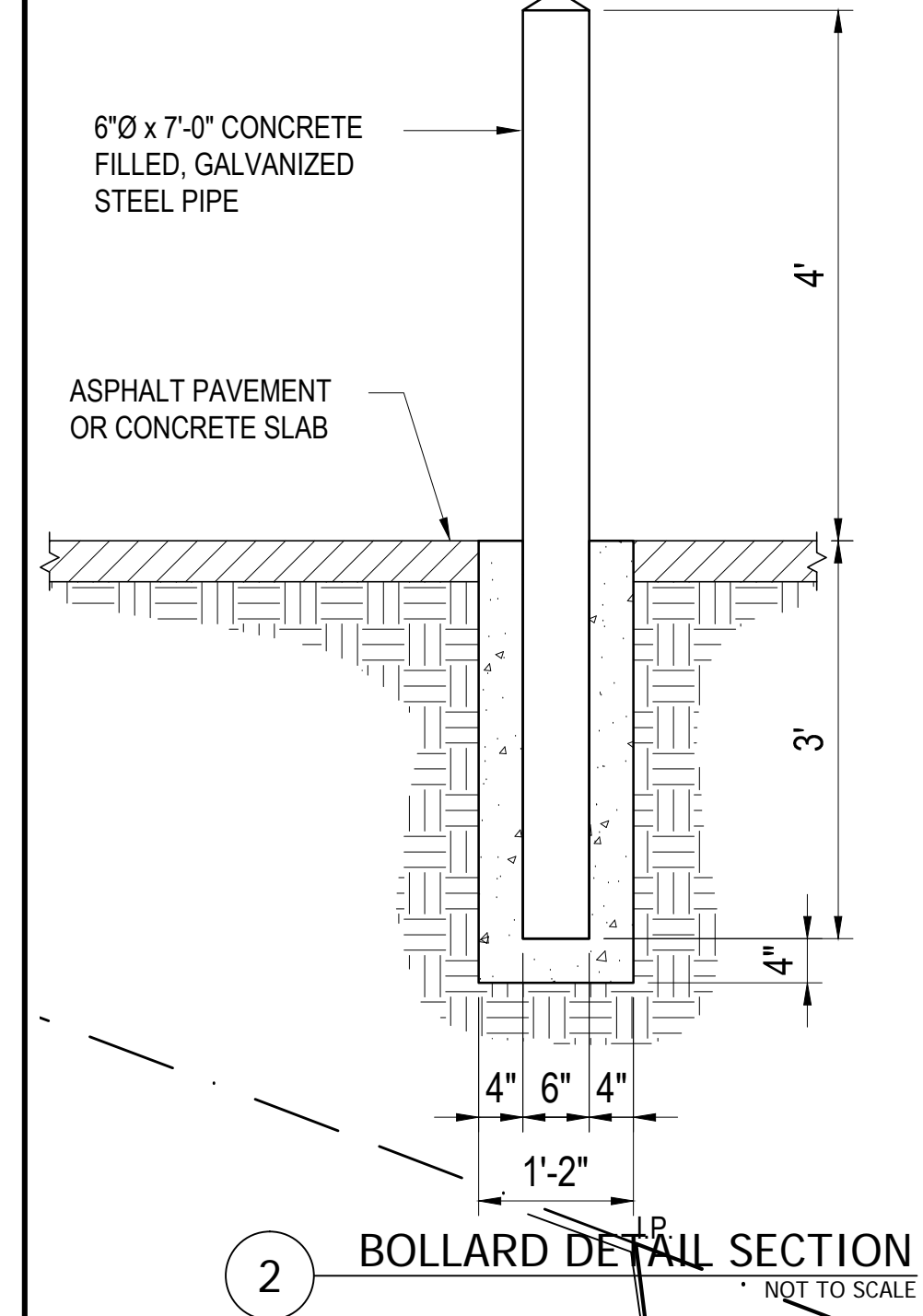
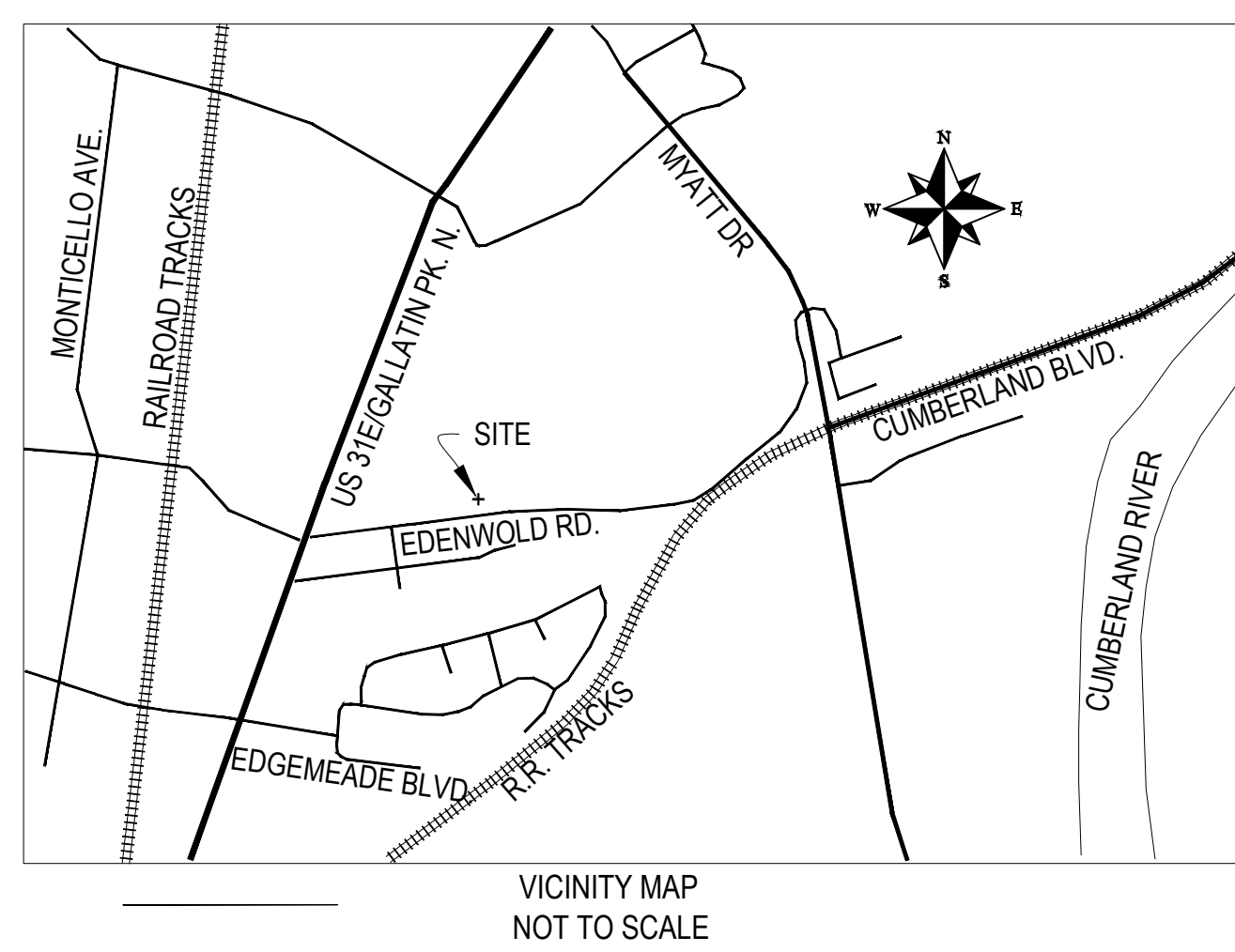
LINETYPE LEGEND

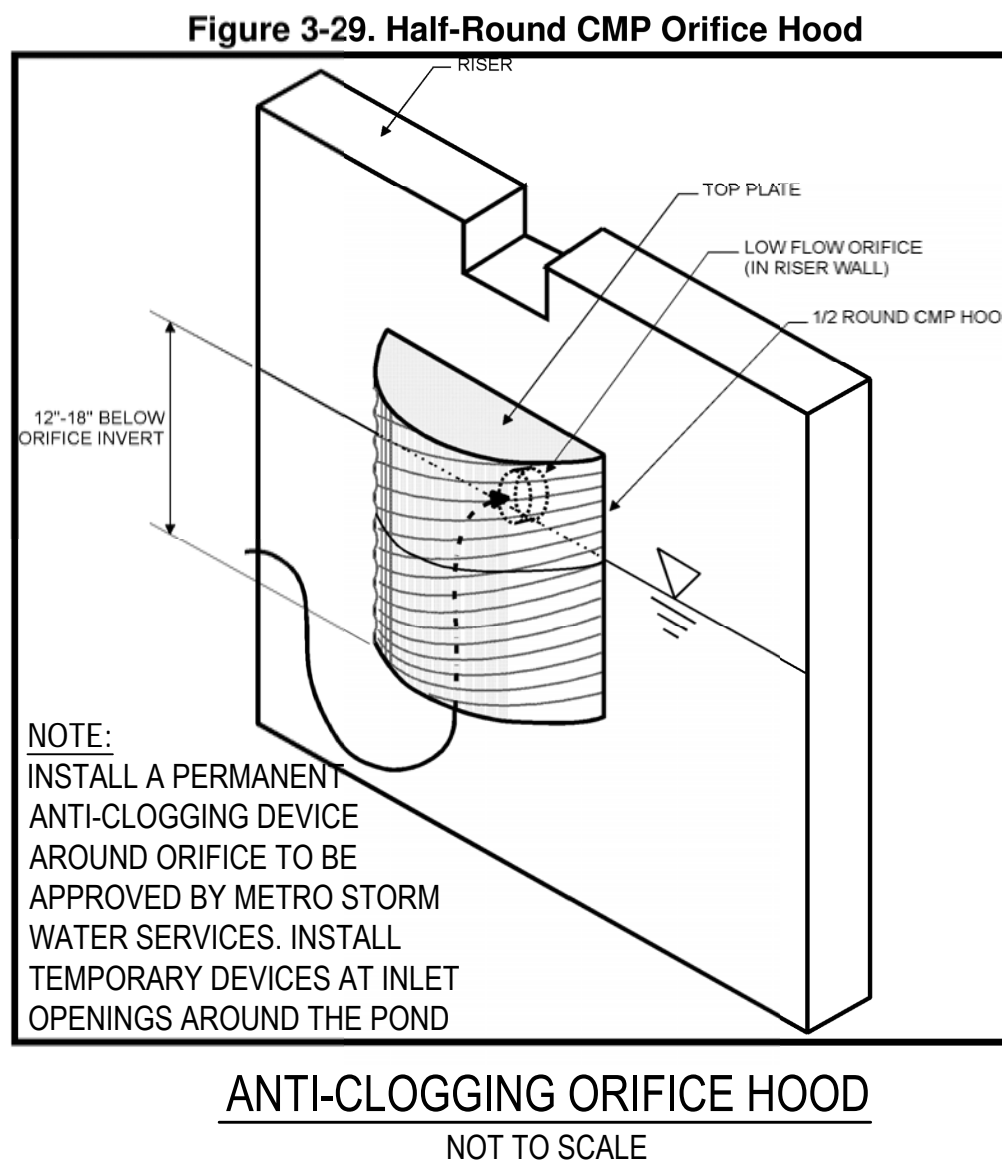
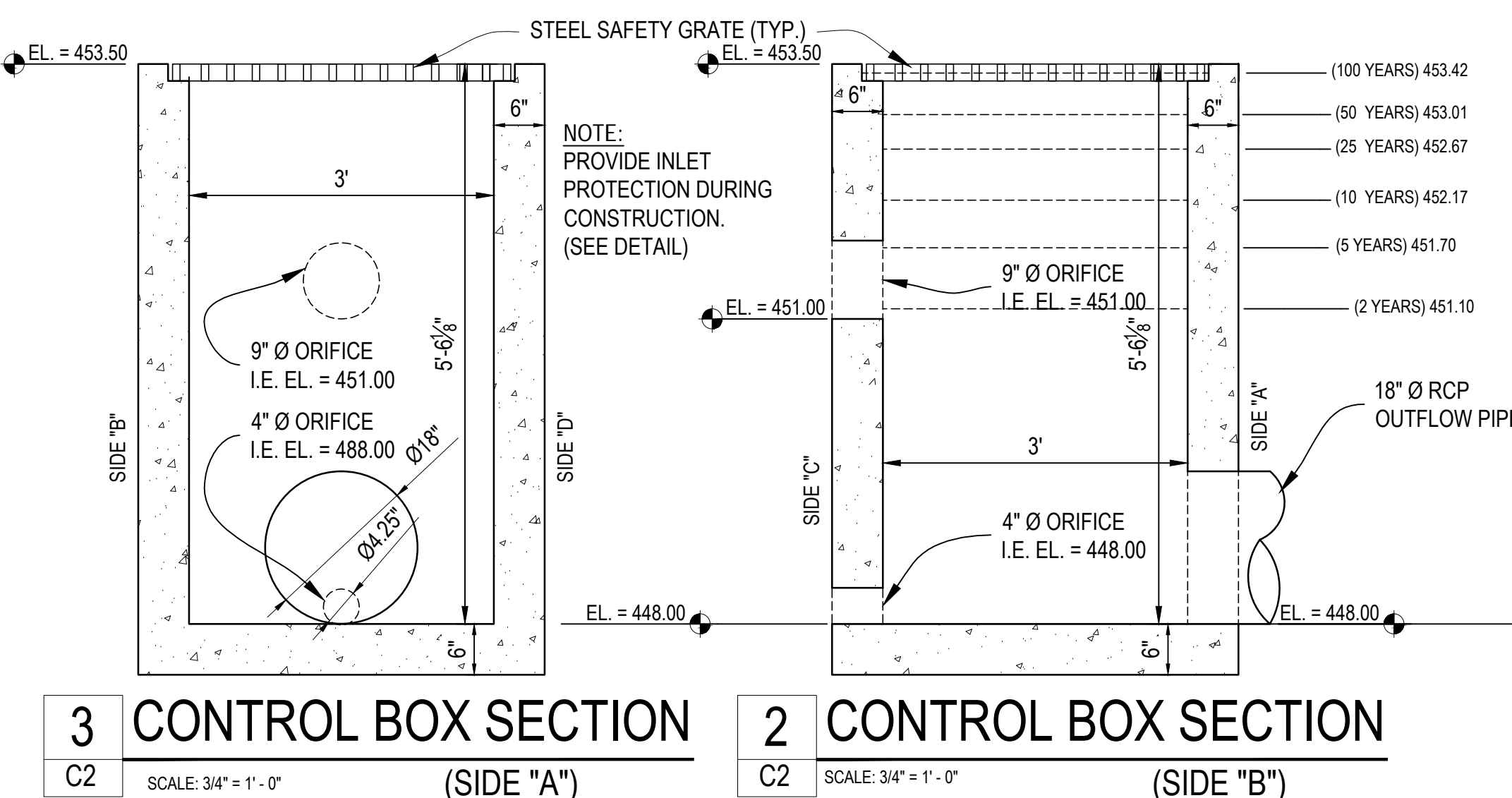
| | | |
|-------------------------|------|-----|
| PROPERTY LINE | --- | --- |
| 1" WATER | 1W | --- |
| WATER | W | --- |
| FENCING | X | --- |
| OVERHEAD ELECTRIC | OHE | --- |
| SANITARY SEWER | SS | --- |
| 6" SANITARY SEWER | SS 6 | --- |
| STORM DRAIN PIPE | SD | --- |
| SEDIMENT TUBES | ST | --- |
| BUILDING OUTLINE | --- | --- |
| SILT FENCING | SF | --- |
| RIGHT OF WAY | --- | --- |
| EXISTING MINOR CONTOURS | --- | --- |
| EXIST. MAJOR CONTOURS | --- | --- |
| PROPOSED CONTOURS | --- | --- |
| CENTER OF ROAD | --- | --- |

AS-BUILT NOTE:
IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOORPLAN
- SINK HOLE ALTERATIONS
- BIRETENTION AREA
- PERVIOUS PAVEMENT

 THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.





GRADING / EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR KEEPING DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER METHODS.
- ALL CUT AND FILL AREAS SHALL HAVE A MINIMUM OF 6" TOP SOIL. SHALL RECEIVE 12 POUNDS PER 1000 S.F. OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS).
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND LOCATION OF EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- ANY ACCESS ROAD TO THE SITE SHALL BE BASED ON CRUSHED ASTM #1 STONE, 100' LONG BY 20' WIDE AND 6" DEEP.
- THE PLACING AND SPREADING IF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT TO HORIZONTAL LAYERS OF 8" LIFTS.
- THE FILL MATERIALS TO BE FREE OF ROOTS, SOD, FROZEN SOIL OR DECOMPOSABLE MATERIALS.
- FILL TO BE COMPACTED TO A MINIMUM IF 95% STANDARD PROCTOR.
- ALL WORK TO BE PERFORMED AND COMPLETED IN ABSOLUTE COMPLIANCE WITH THE RULES AND REGULATIONS AS SET FORTH IN THE DAVIDSON COUNTY / METRO SPECIFICATIONS.
- CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS AND PAY ANY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. CONTRACTOR SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE LAWS AND ORDINANCES OR REGULATIONS RELATING TO HIS PORTION OF THE WORK.
- ANY RETAINING WALL GREATER THAN 30" IN HEIGHT WILL REQUIRE A PEDESTRIAN BARRIER FOR SAFETY. SEE DETAIL SHEET FOR GUARDRAIL DETAIL.
- ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO AS-BUILT APPROVALS.
- USE S150 STRAW BLANKETS FOR 3:1 GRADE SLOPES. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND / OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPSC PLAN.
- STEEP SLOPES ARE TO BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

STORM WATER POLLUTION PREVENTION NOTES (TENNESSEE)

- THE OWNER AND THE CONTRACTOR ARE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) TO DISCHARGE CONSTRUCTION ACTIVITY STORM WATER APPLICATION TO THE LOCAL TENNESSEE ENVIRONMENTAL ASSISTANCE CENTER AT LEAST 30 DAYS PRIOR TO BEGINNING CONSTRUCTION.
- ALL PERIMETER MEASURES MUST BE IN PLACE BEFORE GRADING.
- THE CONSTRUCTION ACTIVITY ANTICIPATED ON THIS PROJECT INCLUDES CLEARING, GRUBBING, GRADING, TOP SOILING AND SEEDING.
- THE APPROXIMATE TOTAL AREA OF THE SITE IS 1.08 ACRES. THE APPROXIMATE TOTAL AREA OF GRADING PROPOSED IS 1.13 ACRES DISTURBED.
- THE INCREASE IN POST-CONSTRUCTION IMPERVIOUS AREA IS 0.79 ACRES. THE ESTIMATED VOLUME OF RUNOFF FROM THE SITE DUE TO A ONE INCH RAINFALL IS 0.04 ACRE-FEET.
- THE ANTICIPATED FILL MATERIAL WILL CONSIST OF ON-SITE SOIL AND/OR SHOT ROCK MATERIALS.
- THE RECEIVING WATER/STORM SEWER OPERATOR IS METRO WATER SERVICES.
- CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE EXPOSURE TIME OF CLEARED SURFACE AREA. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONAL PRIOR TO EARTH MOVING OPERATIONS. ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, AND AT MAXIMUM 14 DAY CALENDAR DAYS IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL EXCEEDING 0.5 INCH WITHIN A 24 HOUR PERIOD.
- THE CONTRACTOR SHALL DESIGNATE IN WRITING THE NAME AND PHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE REMOVED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING. ALL GRADED AREAS EXPECTED TO REMAIN UNFINISHED FOR MORE THAN 15 CALENDAR DAYS SHALL BE COVERED WITH TEMPORARY GRASS, SOD, STRAW, MULCH OR FABRIC MATS. PERMANENT SOIL STABILIZATION SHALL BE INSTALLED WITHIN 15 CALENDAR DAYS OF FINAL GRADING.
- THE CONTRACTOR SHALL MAINTAIN RECORDS OF EROSION CONTROL INSPECTIONS AND REPAIRS FOR A MINIMUM OF 3 YEARS AFTER CONSTRUCTION COMPLETION.
- TEMPORARY SEEDING FOR TENNESSEE PROJECTS INCLUDE THE FOLLOWING OPTIONS:
 JAN 1 - MAY 1 ITALIAN RYE/KOREAN LESPEDEZA/SUMMER OATS
 MAY 1 - JULY 15 SUDAN OR STARR MILLET
 JULY 15 - JAN 1 BALBOA RYE/ITALIAN RYE
- MULCHING SHALL CONSIST OF LOOSE HAY OR STRAW APPLIED AT THE RATE OF 2 TONS/ACRE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT FROM TRAPS, SILT FENCES, SEDIMENT SWALES AND ETC. AS NECESSARY AND WHEN CAPACITY HAS BEEN REDUCED BY 50%.
- STOCKPILES SHALL BE STABILIZED AND PROTECTED FROM EROSION.
- THE CONTRACTOR IS TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13 RESPECTIVELY. THE CONTRACTOR IS TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.
- I CERTIFY UNDER PENALTY OF THE LAW THAT THESE STORM WATER POLLUTION PREVENTION PLANS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION, AND BY QUALIFIED PERSONNEL WHO PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTED FALSE INFORMATION, INCLUDING THE POSSIBILITY OF A FINE AND IMPRISONMENT.

Signature: *Ali Koh*
 Date: 12/17/21

| LEGEND | DATE |
|--------|-----------------------------|
| ○ | Existing Iron Rod I.R.(O) |
| □ | Existing Conc. Mon. C.M.(O) |
| ● | Iron Rod (Set) I.R.(N) |
| ⊗ | Water Valve |
| ⊕ | Water Meter |
| ⊙ | Fire Hydrant |
| ⊘ | Utility Pole |
| ← | Anchor / guy wire |
| -W- | Water Line |
| -GAS- | Gas Line |
| -OHL- | Overhead Utility Line |
| CMP | Corrugated Metal Pipe |
| RCP | Reinforced Concrete Pipe |
| SS | Sanitary Sewer |
| R.O.W. | Right Of Way |
| + | Hose Bibb (H.B.) |
| ○ | Clean-Out |

Tennessee Construction Permit Notice of Coverage (NOC) Certification:

I hereby certify that this project does not require coverage under Tennessee Construction General Permit. The Total Disturbed Area is: 1.13 acres.

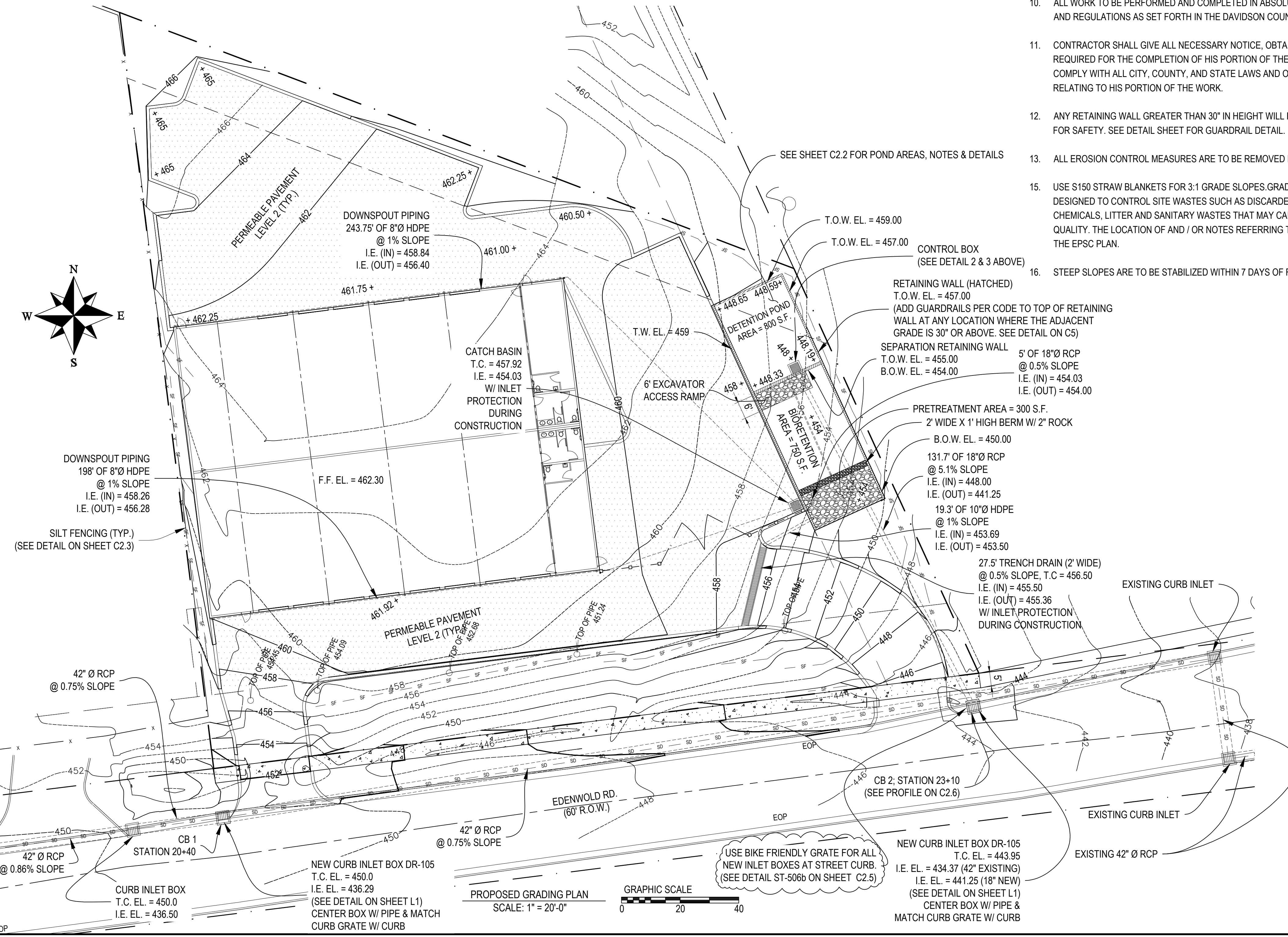
Check all that apply: This site discharges into waters identified by TDEC as:
 Impaired for siltation Impaired for habitat alterations Exceptional

Signature: *Ali Koh* Date: 12/17/2021

Circle one: Developer Project Engineer Other

Note: Projects of one (1) or more acres require State permit coverage, while projects of less than one (1) acres do not require State permit coverage. Also, projects of less than one (1) acre that are part of a total development project of one (1) acres require State permit coverage.

3 CONTROL BOX SECTION (SIDE "A")
 2 CONTROL BOX SECTION (SIDE "B")



AS-BUILT NOTE:
 IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:
 • UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
 • ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
 • PUBLIC STORM SEWER INFRASTRUCTURE
 • CUT & FILL IN THE FLOODPLAIN
 • SINK HOLE ALTERATIONS
 • BIORETENTION AREA
 • PERVIOUS PAVEMENT
 THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

| LINETYPE LEGEND | |
|-------------------------|------|
| PROPERTY LINE | --- |
| 1" WATER | 1 W |
| WATER | W |
| FENCING | X |
| OVERHEAD ELECTRIC | OHE |
| SANITARY SEWER | SS |
| 6" SANITARY SEWER | SS 6 |
| STORM DRAIN PIPE | SD |
| SEDIMENT TUBES | ST |
| BUILDING OUTLINE | --- |
| SILT FENCING | SF |
| RIGHT OF WAY | --- |
| EXISTING MINOR CONTOURS | --- |
| EXIST. MAJOR CONTOURS | --- |
| PROPOSED CONTOURS | --- |
| CENTER OF ROAD | --- |

3360 Sawtelle Blvd #101
 Los Angeles, CA 90066
 Phone: (615) 347 7903
 www.azimtech.com

PROJECT DESCRIPTION:
**LOT 3 RIVERGATE STATION SEC4
 SINGLE STORY METAL BUILDING**

400 EDENWOLD RD., MADISON, TN 37115 - PARCEL ID: 03410012100

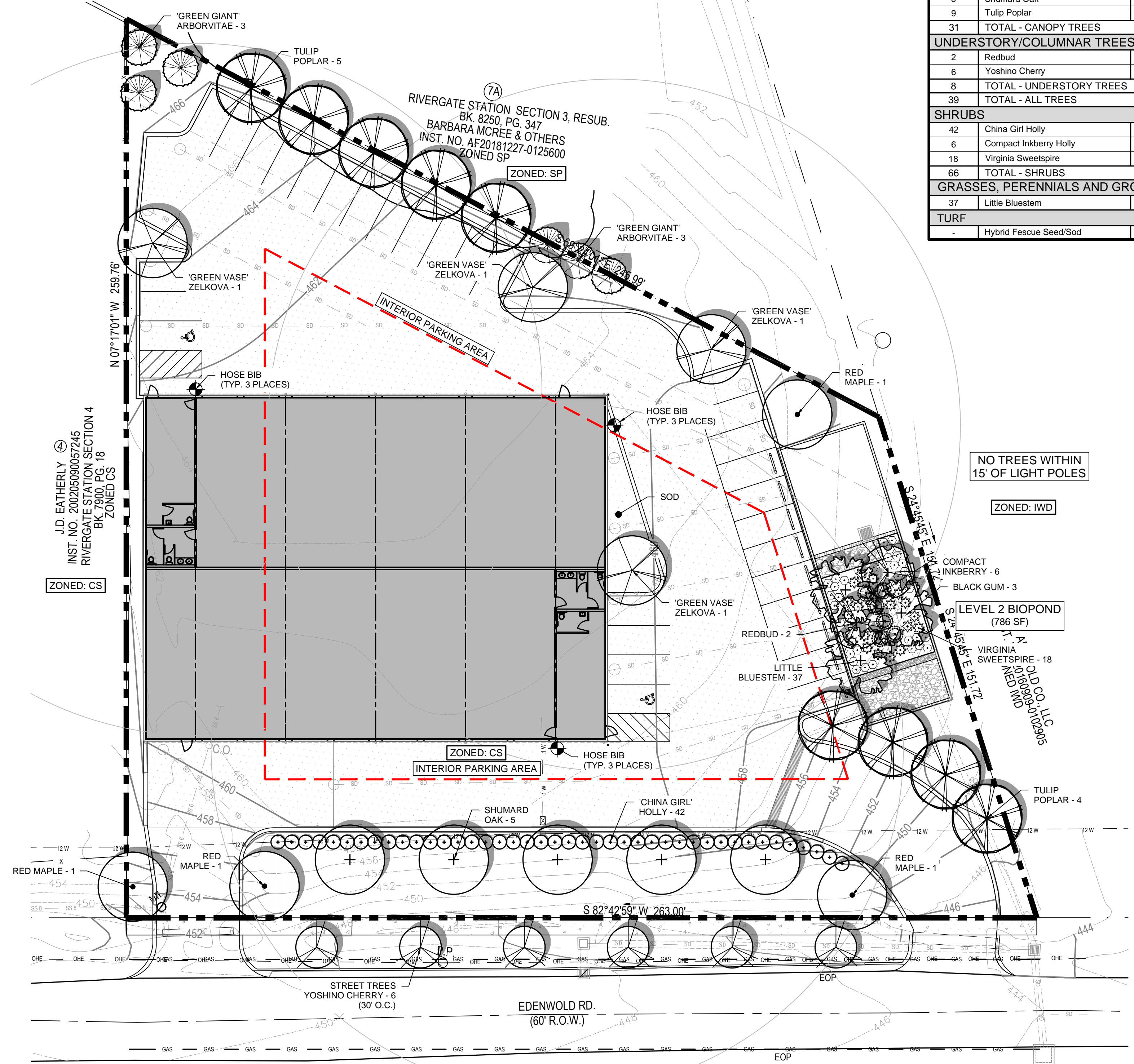
| DATE | DESCRIPTION | REV. |
|------|-------------|------|
| | | |
| | | |
| | | |

DESIGNED BY: A.K.
 DRAWN BY: R.L.
 SCALE: 1" = 20'
 PROJECT NO.: 1912-01
 DATE: 12/17/2021
 ISSUED FOR: FOR PERMIT
 DRAWING TITLE: SITE GRADING & DRAINAGE PLAN
 CASE NO. 2022SP-003-001

C2.0

LANDSCAPE NOTES:

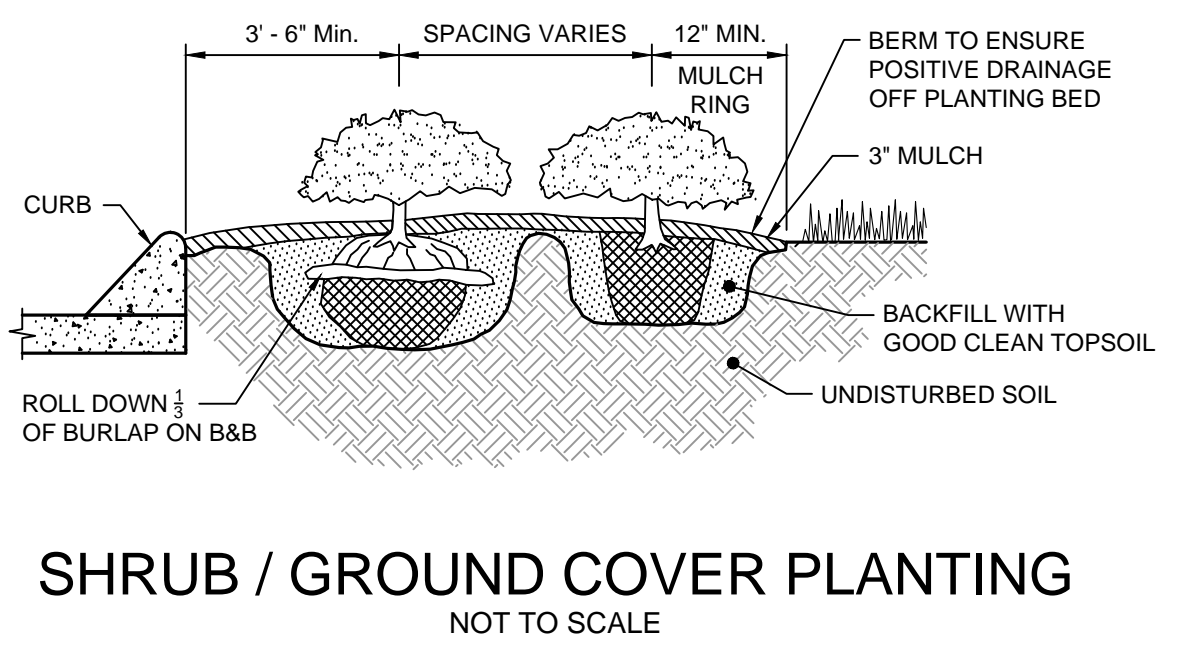
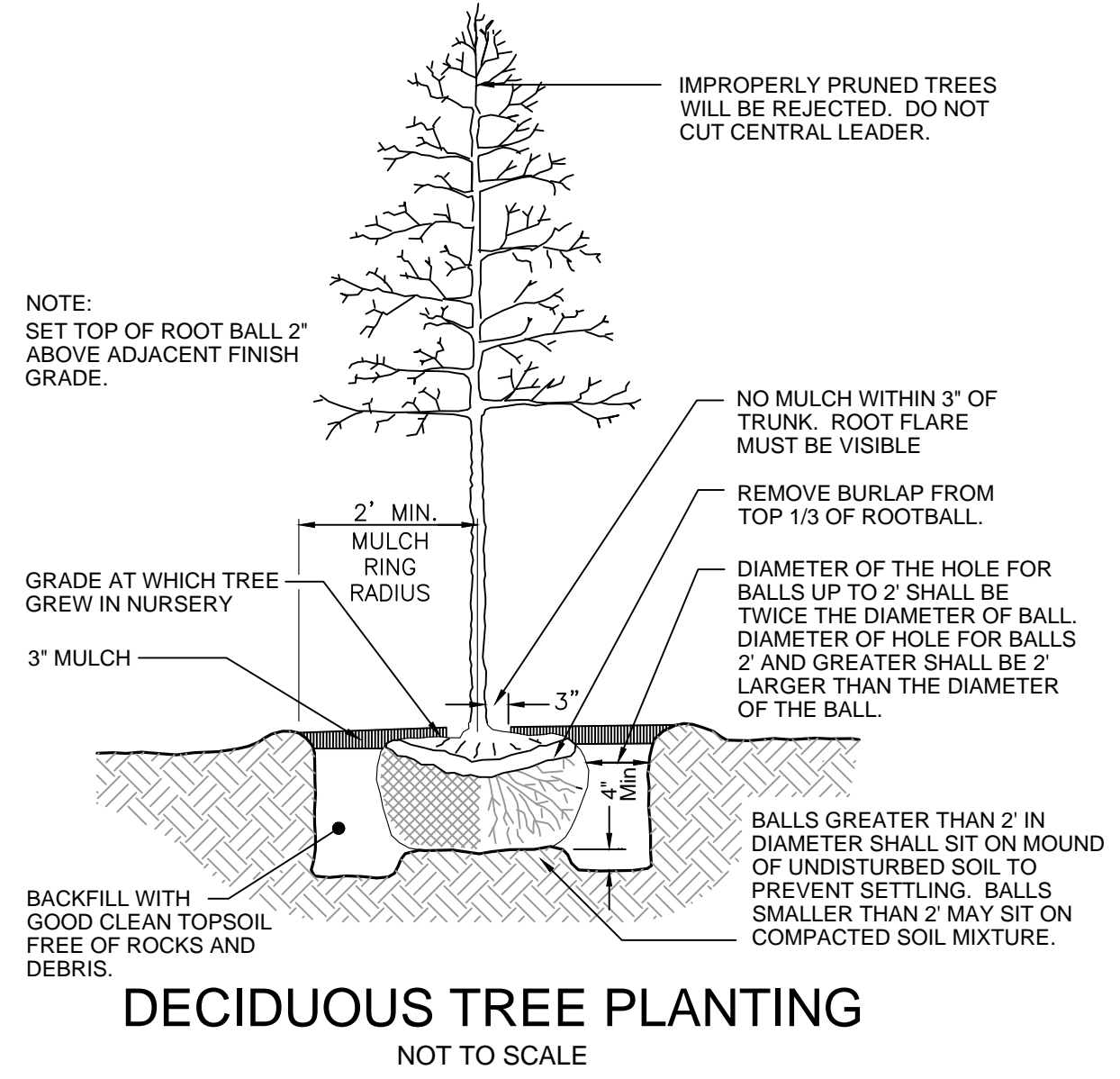
- WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRILINES OF TREES OUTSIDE THE LIMIT OF GRADING.
- THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z-60.1, LATEST EDITION, FOR SIZE AND QUALITY.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA LANDSCAPE DESIGN (615) 469-1222.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL DISTURBED AREAS MUST BE STABILIZED WITH SOD OR A PERMANENT STAND OF GRASS AT THE TIME A CERTIFICATE OF OCCUPANCY (CO) IS REQUIRED. ALL SLOPE 3:1 AND GREATER SHALL BE STABILIZED WITH SOD.
- SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
A. SAND SHALL BE CLEAN MASONRY SAND.
B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
- ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
- PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
- THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
- ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
- SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDING AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED. SEE CIVIL SHEETS FOR SEEDING, MATTING OR SODDING AREAS.
- CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
- IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
- ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
- REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
PLANTING DATES
SPRING: MARCH 15 - APRIL 15
FALL: OCTOBER 1 - NOVEMBER 30
- THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- LANDSCAPING SHALL BE WATERED USING HOSE BIBS AND YARD HYDRANTS.



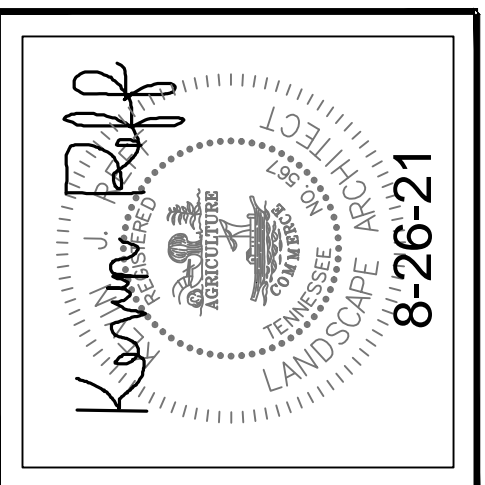
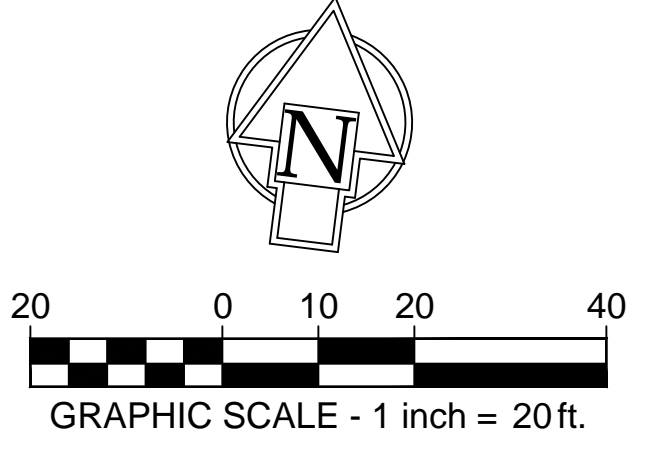
| PLANT SCHEDULE | | | | | | |
|---|---------------------------------|--|-----------|----------|---------|-----------------------------|
| QTY. | COMMON NAME | BOTANICAL NAME | HEIGHT | TRUNK | SPACING | COMMENTS |
| CANOPY TREES | | | | | | |
| 3 | Black Gum | Nyssa sylvatica | 10' - 12' | 2" Cal. | | B&B |
| 4 | 'Green Vase' Japanese Zelkova | Zelkova serrata 'Green Vase' | 10' - 12' | 2" Cal. | | B&B |
| 6 | 'Green Giant' Arborvitae | Thuja (standish x plicata) 'Green Giant' | 7' Min. | 2" Cal. | | Full to ground, well formed |
| 4 | Red Maple | Acer rubrum | 10' - 12' | 2" Cal. | | B&B |
| 5 | Shumard Oak | Quercus shumardii | 10' - 12' | 2" Cal. | | B&B |
| 9 | Tulip Poplar | Liriodendron tulipifera | 10' - 12' | 2" Cal. | | B&B |
| 31 | TOTAL - CANOPY TREES | | | | | |
| UNDERSTORY/COLUMNAR TREES | | | | | | |
| 2 | Redbud | Cercis canadensis | 8' - 10' | 2" Cal. | | B&B |
| 6 | Yoshino Cherry | Prunus x yedoensis | 8' - 10' | 2" Cal. | | B&B |
| 8 | TOTAL - UNDERSTORY TREES | | | | | |
| 39 | TOTAL - ALL TREES | | | | | |
| SHRUBS | | | | | | |
| 42 | China Girl Holly | Ilex x meserveae 'Mesog' | 24" Min. | 5 Gal. | 4' o.c. | Container |
| 6 | Compact Inkberry Holly | Ilex glabra 'Compacta' | 18" Min. | 3 Gal. | 3' o.c. | Container |
| 18 | Virginia Sweetspire | Itea virginica | 18" Min. | 3 Gal. | 4' o.c. | Container |
| 66 | TOTAL - SHRUBS | | | | | |
| GRASSES, PERENNIALS AND GROUND COVER | | | | | | |
| 37 | Little Bluestem | Schizachyrium scoparium | 1 Gal. | 24" o.c. | | |
| TURF | | | | | | |
| - | Hybrid Fescue Seed/Sod | Drought tolerant fescue blend | | | | |

| LANDSCAPE CALCULATIONS | | |
|---------------------------------------|------------|------------|
| SITE AREA: | 47,270 SF | (1.09 AC) |
| (SUBTRACT) BUILDING AREA: | -13,400 SF | (-0.31 AC) |
| ADJUSTED AREA: | 33,870 SF | (0.78 AC) |
| | REQUIRED | PROVIDED |
| TDU: (ADJUSTED AREA X 22) | 17.1 | |
| EXISTING TREES: (TDU) | - | 0 |
| PROPOSED TREES: (TDU) | | 17.5 |
| TREE BANK (1) TREES | | 0 |
| TOTAL TDU TREES: | 17.1 | 17.5 |
| INTERIOR PARKING SPACES: | - | 4 |
| 1 TREE / 15 SPACES: | 1 | 1 |
| INTERIOR PARKING AREA: | - | 5,550 SF |
| PLANTING AREA: (MIN.) | 8% | 8.0% |
| PLANTING AREA: (SQ. FT.) | 444 SF | 445 SF |
| PERIMETER YARDS: | YES | YES |
| BUFFER YARDS: | N/A | N/A |
| BIO-RETENTION AREA (LEVEL 2) - 786 SF | | |
| 1 TREE/400 SF | 2.0 | 5 |

PARCEL ID: 03410012100
 PERMIT #: T2021030312



KITA SUSTAINABLE DESIGNS, LLC HAS SERIOUS CONCERNS LOCATING TREES WITHIN THE R.O.W. TREES SHOWN IN THE R.O.W. ARE MANDATED BY NASHVILLE STREET TREE REQUIREMENTS. THE DESIGNER TAKES NO RESPONSIBILITY IN THE EVENT OF AN ACCIDENT DUE TO LIMITED VISIBILITY ALONG THE FRONTAGE.



400 EDENWOLD WAREHOUSE
 400 EDENWOLD ROAD
 NASHVILLE, TN

Kevin Reff, RLA
 KITA Sustainable Designs, LLC
 2101 Masters Drive
 Springfield, TN 37172
 (615) 469-1222 Ofc.
 (615) 594-7333 Cell.
 kreff@kitadesign.biz



| REV. | DATE | COMMENT |
|------|------|---------|
| | | |
| | | |
| | | |

LANDSCAPE PLAN

CASE NO. 2022SP-003-001
L-1.1
 1298-01

TREE DENSITY UNIT (TDU) WORKSHEET (Ordinance 94-1104) REV Sept-2019

| | |
|---------------------|------------------------------|
| Date | 8/26/2021 |
| Map | 34-10 Parcel: 121 3410012100 |
| Application number: | T2021030312 |
| Project Name | 400 Edenwold Warehouse |
| Address | 400 Edenwold Road, Nashville |

- 1 Acreage (area of parcel including building site)
- 2 Minus Building Coverage Area
- 3 Equals Adjusted Acreage
- 4 Multiply by Required Tree Density Unit per acre choose one
- 5 Required TDU for Project

| | | | |
|--------------|--|----|--------------------------------|
| 1.09 AC | 47,270 SF | | |
| (-) 0.31 AC | 13,400 SF | | |
| (=) 0.78 AC | 33,870 SF | | |
| (x) 22 | All but single Family and 1 & 2 Family | 14 | Single Family and 1 & 2 Family |
| (=) 17.1 TDU | | | |

HERITAGE TREE(S) RETAINED

| DBH | # OF TREES | VAULE | TDU |
|--------------|------------|-------|-----|
| 8" | | x 3.2 | 0 |
| 10" | | x 4.0 | 0 |
| 12" | | x 4.8 | 0 |
| 14" | | x 5.6 | 0 |
| 16" | | x 6.4 | 0 |
| 18" | | x 7.2 | 0 |
| 20" | | x 8.0 | 0 |
| 22" | | x 8.8 | 0 |
| 24" | | x 9.6 | 0 |
| total | | | 0 |

add total to line 6

RETAINED TREE(S)

| DBH | # OF TREES | VAULE | TDU |
|--------------|------------|--------|-----|
| 24" | | x 8.4 | 0 |
| 26" | | x 9.1 | 0 |
| 28" | | x 9.8 | 0 |
| 30" | | x 10.5 | 0 |
| 32" | | x 11.2 | 0 |
| 34" | | x 11.9 | 0 |
| 36" | | x 12.6 | 0 |
| 38" | | x 13.3 | 0 |
| 40" | | x 20.0 | 0 |
| total | | | 0 |

add total to line 6

RETAINED TREE(S)

| DBH | # OF TREES | VAULE | TDU |
|--------------|------------|-------|-----|
| 6" | | x 1.8 | 0 |
| 8" | | x 2.4 | 0 |
| 10" | | x 3.0 | 0 |
| 12" | | x 3.6 | 0 |
| 14" | | x 4.2 | 0 |
| 16" | | x 4.8 | 0 |
| 18" | | x 5.4 | 0 |
| 20" | | x 6.0 | 0 |
| 22" | | x 6.6 | 0 |
| total | | | 0 |

add total to line 6

RETAINED TREE(S)

| DBH | # OF TREES | VAULE | TDU |
|--------------|------------|--------|-----|
| 42" | | x 23.1 | 0 |
| 44" | | x 26.1 | 0 |
| 46" | | x 27.6 | 0 |
| 48" | | x 28.8 | 0 |
| 50" | | x 30.0 | 0 |
| 52" | | x 31.2 | 0 |
| 54" | | x 35.1 | 0 |
| 56" | | x 36.4 | 0 |
| 58" | | x 37.7 | 0 |
| 60" | | x 42.0 | 0 |
| total | | | 0 |

add total to line 6

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES

| CAL | # OF TREES | VAULE | TDU |
|--------------|------------|-------|------|
| 2" | 31 | x 0.5 | 15.5 |
| 3" | | x 0.6 | 0 |
| 4" | | x 0.7 | 0 |
| 5" | | x 0.9 | 0 |
| 6" | | x 1.0 | 0 |
| 7" | | x 1.2 | 0 |
| 8" | | x 1.3 | 0 |
| total | | | 15.5 |

add total to line 7

EXAMPLES but not limited to:

Deciduous- Oak Maple, Poplar, Planetree, Ginko

Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar

Mature height greater than 30'

REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*

| CAL | # OF TREES | VAULE | TDU |
|--------------|------------|--------|-----|
| 2" | 8 | x 0.25 | 2 |
| 3" | | x 0.3 | 0 |
| 4" | | x 0.4 | 0 |
| 5" | | x 0.5 | 0 |
| 6" | | x 0.5 | 0 |
| 7" | | x 0.6 | 0 |
| 8" | | x 0.7 | 0 |
| total | | | 2 |

add total to line 7

EXAMPLES but not limited to:

Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo

Understory Deciduous - Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple

Understory Evergreen - Dwarf Magnolia, Hybrid Holly, Cherry Laurel (tree form)

Mature height avg. 30' or less.

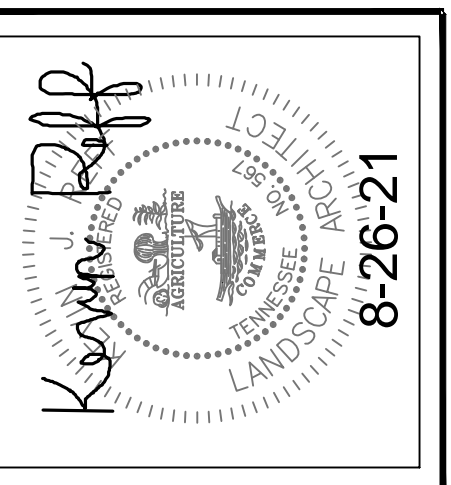
Small Understory Columnar varieties receive no TDU credit

| | |
|---|----------|
| 6 Total TUD Retained on-site | 0 |
| 7 Total TUD for Replacement Trees- On Site | (+) 17.5 |
| 8 Total Credits Paid to Tree Mitigation Bank* | (+) 17.5 |
| 9 Total Density Units Provided | (=) 17.5 |

| | |
|-----------------------------|----------|
| 1 Credit = 1 TDU = \$725.00 | |
| total must exceed lines 5 | 17.1 TDU |

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

All Retained and Replacement trees must be shown on site plan.
Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.
Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit.
* Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.



400 EDENWOLD WAREHOUSE
400 EDENWOLD ROAD
NASHVILLE, TN

Kevin Reff, RLA
KITA Sustainable Designs, LLC
2101 Masters Drive
Springfield, TN 37172
(615) 469-1222 Ofc.
(615) 594-7333 Cell.
kreff@kitadesign.biz



| REV. | DATE | COMMENT |
|------|------|---------|
| | | |
| | | |
| | | |
| | | |

LANDSCAPE NOTES

CASE NO. 2022SP-003-001
L-1.2
1298-01

Project Information

Energy Code: 2018 IECC
 Project Title: Building Shell Warehouse
 Location: Nashville, Tennessee
 Climate Zone: 4a
 Project Type: New Construction

Construction Site: 400 Edenwold Road, Madison, TN 37115
 Owner/Agent: Alireza Nouri, 7217 Autumn Crossing way, Brentwood, TN 37027, 6153344495, alicai5718@yahoo.com
 Designer/Contractor: Rolando Aquino, Azimtech Engineering Inc., 5890 Hwy. 41A, Joelton, TN 37080, 615299-7389, azimtech.eng@gmail.com

Additional Efficiency Package(s)

High efficiency HVAC. Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

| Building Area | Floor Area |
|------------------------------|------------|
| 1-Warehouse : Nonresidential | 13400 |

Envelope Assemblies

| Assembly | Gross Area or Perimeter | Cavity R-Value | Cont. R-Value | Proposed U-Factor | Budget U-Factor _{req} |
|---|-------------------------|----------------|---------------|-------------------|--------------------------------|
| Roof 1: Metal Building, Standing Seam, Double Insulation Layer with Thermal Blocks (c), [Bldg. Use 1 - Warehouse] | 13400 | 19.0 | 13.0 | 0.040 | 0.035 |
| Exterior Wall 1: Metal Building Wall, Double Layer Mineral Fiber (outer layer compressed at girt), [Bldg. Use 1 - Warehouse] | 3850 | 19.0 | 13.0 | 0.072 | 0.052 |
| Exterior Wall 2: Concrete Block ^(a) , Partially Grouted, Cells Empty, Normal Density, Furring Metal, [Bldg. Use 1 - Warehouse] | 5616 | 6.0 | 4.0 | 0.109 | 0.104 |
| Door 1: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse] | 21 | --- | --- | 0.035 | 0.610 |
| Door 1 copy 1: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse] | 21 | --- | --- | 0.035 | 0.610 |
| Door 1 copy 2: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse] | 21 | --- | --- | 0.035 | 0.610 |
| Door 1 copy 3: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse] | 21 | --- | --- | 0.035 | 0.610 |
| Door 5: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 1: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 2: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 3: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 4: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 5: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 6: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |

Project Title: Building Shell Warehouse Report date: 04/15/21
 Data filename: C:\Users\Engineering\Documents\Drawings\Projects\400 Edenwold Rd Ali Nouri Page 1 of 10
 Site\Documents\ComCheck 4-15-21.cck

| Assembly | Gross Area or Perimeter | Cavity R-Value | Cont. R-Value | Proposed U-Factor | Budget U-Factor _{req} |
|--|-------------------------|----------------|---------------|-------------------|--------------------------------|
| Door 5 copy 7: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 8: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 9: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 10: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 11: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 12: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 13: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 14: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Door 5 copy 15: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse] | 120 | --- | --- | 0.035 | 0.179 |
| Floor 1: Slab-On-Grade/Unheated, [Bldg. Use 1 - Warehouse] (b) | 468 | --- | --- | 0.730 | 0.540 |

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
 (b) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.
 (c) Thermal spacer block with minimum R-3.5 must be installed above the purlin/batt, and the roof deck secured to the purlins.

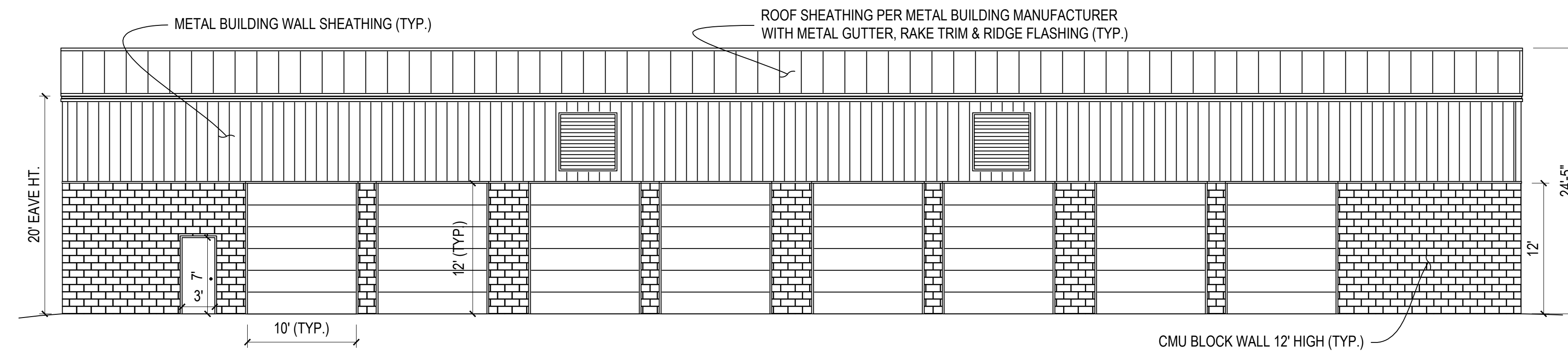
Envelope PASSES: Design 4% better than code

Envelope Compliance Statement

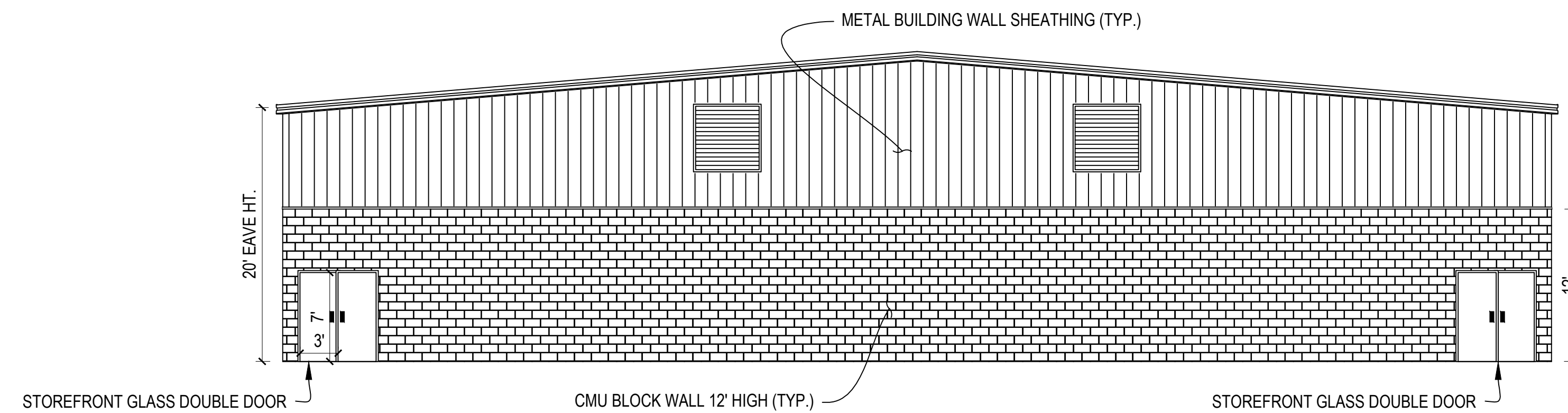
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.1 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Rolando Aquino P.E. 4/15/2021
 Name - Title Signature Date

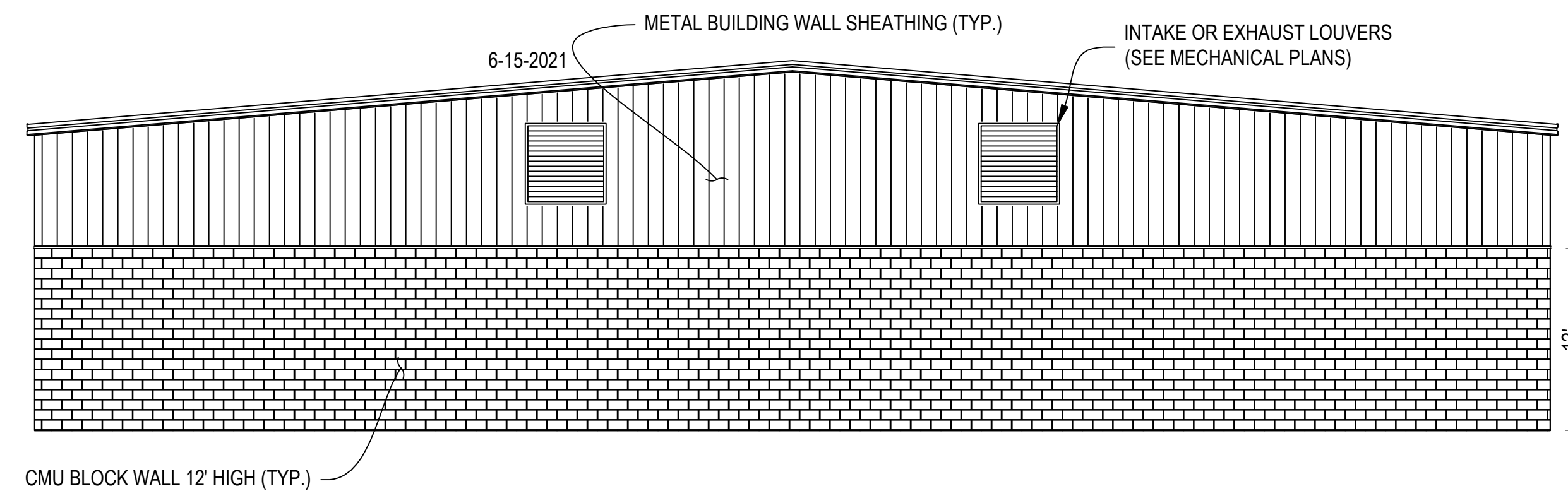
Project Title: Building Shell Warehouse Report date: 04/15/21
 Data filename: C:\Users\Engineering\Documents\Drawings\Projects\400 Edenwold Rd Ali Nouri Page 2 of 10
 Site\Documents\ComCheck 4-15-21.cck



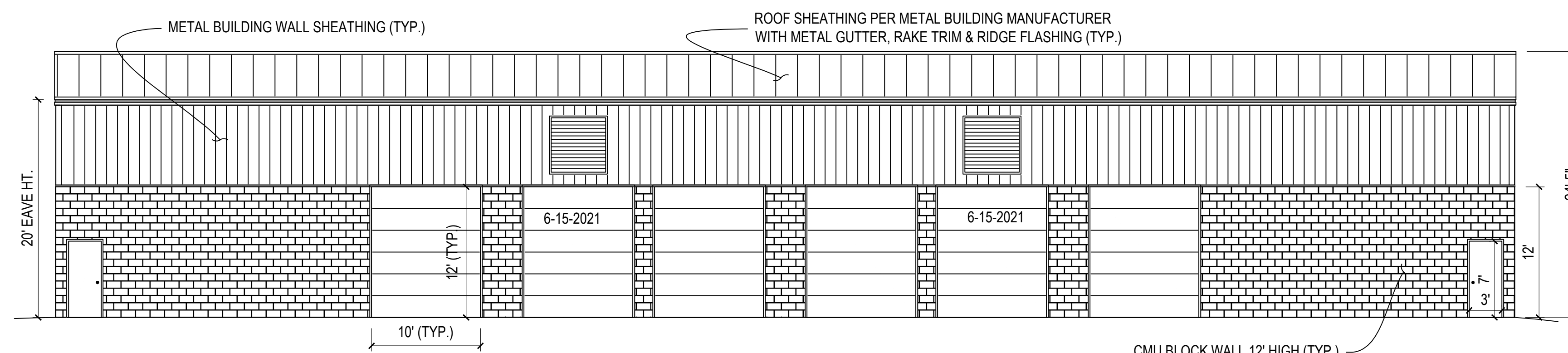
1 SOUTH BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



4 NORTH BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"

T2021000995 PROJECT DESCRIPTION:
LOT 3 RIVERGATE STATION SEC4
SINGLE STORY METAL BUILDING
 400 EDENWOLD RD., MADISON, TN 37115 - PARCEL ID: 03410012100



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

DESIGNED BY: R.S.A.
 DRAWN BY: R.L.
 SCALE: 1/8" = 1'-0"
 PROJECT NO. 1912-01
 DATE: 12/17/2021
 ISSUED FOR:
FOR PERMIT
 DRAWING TITLE:
BUILDING ELEVATIONS



CASE NO. 2022SP-003-001
A3